

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits? Yes No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use. 			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

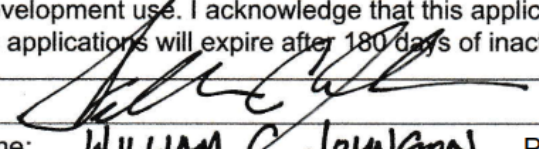
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, WILLIAM C JOHNSON will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 

Date: 5/19/2021

Printed Name: WILLIAM C JOHNSON Project Executive

NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES - PHASE 1

3905 REEDY CREEK ROAD
RALEIGH, NORTH CAROLINA, 27606

ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH CASE #: ASR-0048-2021 PROJECT NUMBER: LSP-19000 DATE: JUNE 3, 2021

SHEET INDEX

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C1.00B	EXISTING CONDITIONS - AREA "B"
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C1.02	DEMOLITION PLAN - AREA "B"
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN - AREA "A"
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C3.00	OVERALL GRADING PLAN
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C8.03	SEWER DETAILS
C9.00	SCM "A" AND "B" PLAN VIEW AND NOTES
L6.00	TREE CONSERVATION PLAN
L6.01	TREE CONSERVATION CALCULATIONS
L-100	OVERALL LANDSCAPE PLAN
L-131	DETAILED LANDSCAPE PLAN
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L-134	LANDSCAPE CALCULATIONS & PLANTING PLAN
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E-0002	SITE LIGHTING DETAILS
	DUKE ENERGY LIGHTING PLAN-1 OF 2
	DUKE ENERGY LIGHTING PLAN-2 OF 2

AI-1001	FLOOR PLAN - LEVEL 1
AP-2101	BUILDING ELEVATIONS
AP-2102	BUILDING ELEVATIONS
AP-2103	BUILDING ELEVATIONS
AP-2104	BUILDING ELEVATIONS
A-1001GH	PARKING DECK FLOOR PLAN - LEVEL P0 & P1
A-1003GH	PARKING DECK FLOOR PLAN - LEVEL P2 & P3
A-1005GH	PARKING DECK FLOOR PLAN - LEVEL P4 & P5
A-1007GH	PARKING DECK FLOOR PLAN - LEVEL P6 & P7
A-1009GH	PARKING DECK FLOOR PLAN - LEVEL P8 & P9

Administrative Site Review Application
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Office Use Only: Case #: _____ Planner (print): _____

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Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☐

Building Type

Detached ☐ Attached ☐ Apartment ☐ Townhouse ☐

Site Transaction History

General ☒ Subdivision case #: _____
Mixed use ☐ Scoping/sketch plan case #: _____
Open lot ☐ Certificate of Appropriateness #: _____
Civic ☐ Board of Adjustment #: _____
Zoning Case #: _____
Administrative Alternate #: _____

GENERAL INFORMATION

Development name: Department of Health Office
Inside City limits? Yes ☒ No ☐
Property address(es): 3905 Reedy Creek Road, Raleigh, NC
Site P.I.N.(s): 078512112
Please describe the scope of work. Include any additions, expansions, and change of use.
Office building, parking structure, parking lots, driveways, and site utilities to support the development.

Current Property Owner/Developer Contact Name: _____
NOTE: please attach purchase agreement when submitting this form.
Company: _____ Title: _____
Address: _____
Phone #: _____ Email: _____
Applicant Name: _____
Company: _____ Address: _____
Phone #: _____ Email: _____

Page 1 of 2

DEVELOPMENT TYPE - SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12	Existing gross floor area (not to be demolished): 0 SF Existing gross floor area to be demolished: 0 SF
Gross site acreage: 34.15 acres	New gross floor area: 488,920 SF
# of parking spaces required: See Site Data Table	Total # of gross (to remain and new): 488,920 SF
# of parking spaces proposed: See Site Data Table	Proposed # of buildings: 2
Overlay District (if applicable): N/A	Proposed # of stories for each: 4
Existing use (UDO 6.1.4): Commercial	
Proposed use (UDO 6.1.4): Office	

STORMWATER INFORMATION

Existing Impervious Surface:
Acre: 14.39 Square Feet: 626,623
Is this a flood hazard area? Yes ☐ No ☒
If yes, please provide:
Alluvial soils: _____
Flood study: _____
FEMA Map Panel #: _____
Neuse River Buffer Yes ☒ No ☐ Wetlands Yes ☒ No ☐

Proposed Impervious Surface:
Acre: 17.15 Square Feet: 747,054

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 0 Total # of hotel units: 0
of bedroom units: 1br 2br 3br 4br or more
of lots: _____ Is your project a cottage court? Yes ☐ No ☐

SIGNATURE BLOCK

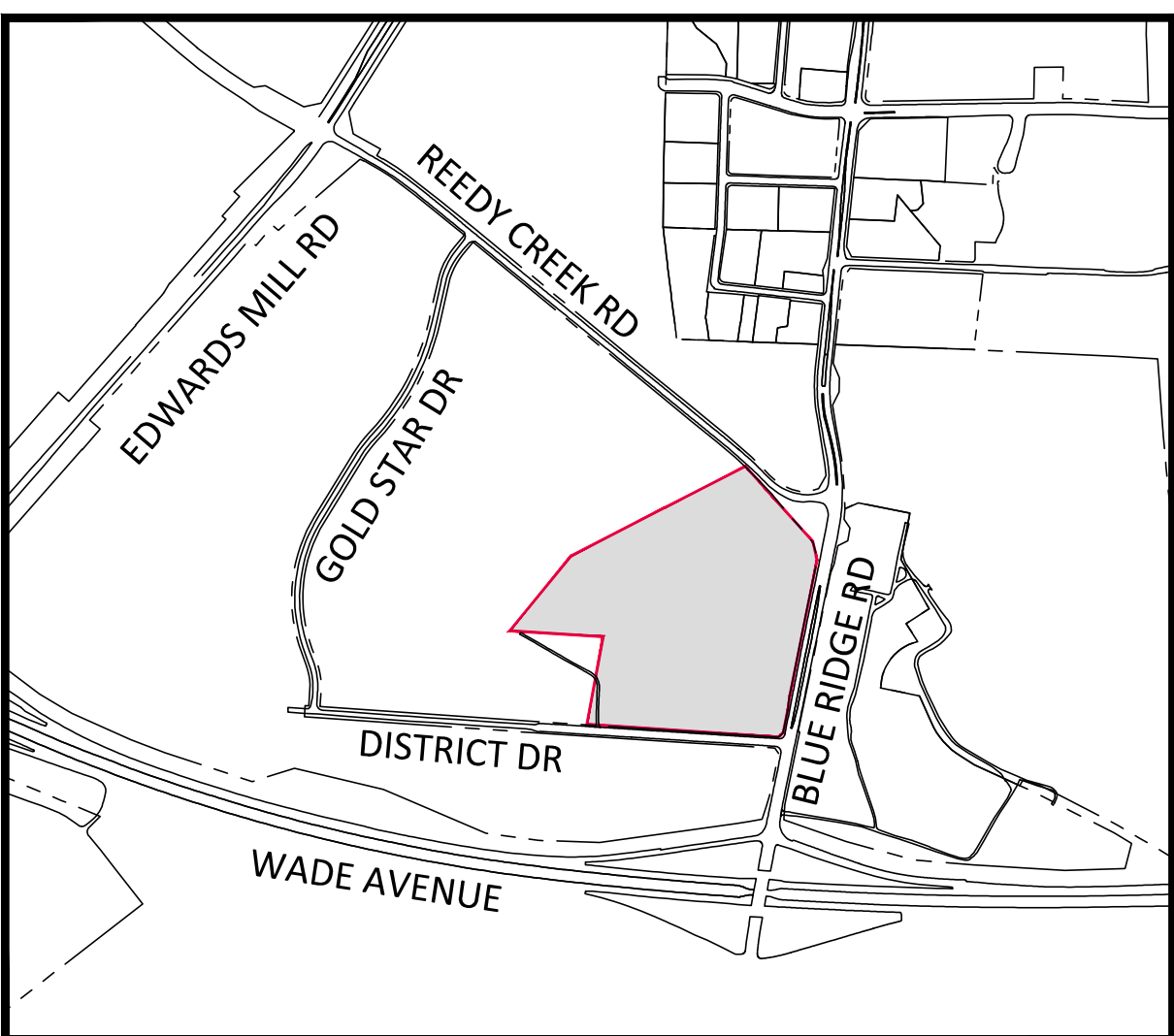
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I, William C. Johnson, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans, and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

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Signature: William C. Johnson Date: 5/19/2021
Printed Name: William C. Johnson Project Executive

Page 2 of 2



VICINITY MAP
1" = 1000'

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - 1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - 2. PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - 3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - 4. RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.
- IF A CLOSURE OR DETOUR ALONG ANY SECTION OF THE REEDY CREEK GREENWAY TRAIL IS NECESSARY TO ACCOMMODATE CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY AND PROVIDE CLOSURE AND DETOUR SIGNAGE DETAILS TO THE PECK GREENWAY MANAGER DAVID HAMILTON (WILLIAM.HAMILTON@RALEIGHNC.GOV) A MINIMUM OF 30 DAYS PRIOR TO ANY PLANNED CLOSURE OR DETOUR. ALL CLOSURE OR DETOUR SIGNAGE SHOULD INCLUDE THE REASON FOR THE CLOSURE OR DETOUR, CONTACT INFORMATION FOR QUESTIONS, AND THE ESTIMATED TIMELINE FOR THE CLOSURE OR DETOUR. ALL CLOSURE OR DETOUR SIGNAGE SHALL BE PLACED AT BOTH ENDS OF ANY CLOSURE OR DETOUR.

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRDACH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

SOLID WASTE COMPLIANCE STATEMENT:

THE NC DEPARTMENT OF ADMINISTRATION WILL BE RESPONSIBLE FOR HANDLING COLLECTION AND DISPOSAL OF SOLID WASTE AND RECYCLING UNDER A STATE CONTRACT FOR WASTE SERVICE.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 998-2409, and the Public Utilities Department at (919) 998-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SITE DATA			
SITE ADDRESS: 3905 REEDY CREEK ROAD, RALEIGH, NC, 27606			
PARCEL PIN NUMBER & PLAT REFERENCE: 794095116, BM 2021, PG. 00351			
GROSS/NET SITE AREA:	GROSS SITE AREA: 1,487,245 SF	34.14 AC.	
NET SITE AREA:	1,467,710 SF	33.69 AC.	
EXISTING ZONING:	OX-3		
PROPOSED ZONING:	OX-12		
OVERLAY DISTRICT:	NONE APPLICABLE		
WATERSHED:	RICHLAND CREEK		
FLOODPLAIN/FIRM PANEL:	17200784001		
EXISTING USE:	STATE OF NORTH CAROLINA MAIL SERVICE AND TEXTBOOK WAREHOUSE		
PROPOSED USE:	OFFICE BUILDING		
IMPERVIOUS AREA:	EXISTING IMPERVIOUS: 14.39 AC.		
	PROPOSED IMPERVIOUS: 17.17 AC.		
BLOCK PERIMETER:	Total # of gross (to remain and new): 488,920 SF		
BUILDINGS:	BUILDING 1: OFFICE	480,984	SF
	PARKING DECK - PO LEVEL: OFFICE	7,936	SF
	TOTAL GROSS SQUARE FOOTAGE:	488,920	SF
BUILDING SETBACKS:	PRIMARY STREET - REEDY CREEK ROAD & BLUE RIDGE ROAD	5'	
	SIDE LOT LINE	0' OR 6'	
	REAR LOT LINE	0' OR 6'	
BUILDING HEIGHT:	12-STORY		
PARKING SETBACKS:	PRIMARY STREET - REEDY CREEK ROAD & BLUE RIDGE ROAD	10'	
	SIDE LOT LINE	0' OR 3'	
	REAR LOT LINE	0' OR 3'	
VEHICLE PARKING:	REQUIRED (1 SPACE PER 400 SF OF GFA)	1223	
	PARKING DECK	1031	
	SURFACE PARKING	265	
	ELECTRIC PARKING	18	
	TOTAL PARKING	1296	
PROPOSED:			
ACCESSIBLE PARKING:			
	ADA	VAN	
	REQUIRED	4	
	PROPOSED	29	
BIKE PARKING:			
	REQUIRED*	50	LONG TERM
	PROPOSED	56	

BIKE PARKING CALCULATIONS

BUILDING #1	UNIT	CODE REQUIREMENT	REQUIRED SPACES		PROVIDED SPACES	
			SHORT TERM	LONG TERM	SHORT TERM	LONG TERM
	488,920	1 SPACE PER 10,000 SF OF GFA, MIN. 4	49	98	0	58
		1 SPACE PER 5,000 SF OF GFA, MIN. 4				
TOTAL REQUIRED = 99*			TOTAL PROVIDED = 58*			

AMENITY AREA

	AREA (AC.)	REQUIRED AMENITY AREA (AC.)	PROVIDED AMENITY AREA (AC.)
PROJECT AREA (CURRENT)	19.31	1.94	1.95
FUTURE PROJECT AREA*	14.33	1.43	
NET LOT AREA	33.64	3.37	3.37

*FUTURE PROJECT TO MEET A MINIMUM OF 1.43 ACRES OF AMENITY AREA.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



DEPARTMENT OF
ADMINISTRATION



McADAMS



434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX. 919.829.2730
WWW.LS3P.COM



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NEW DHHS CAMPUS
ADMINISTRATIVE SITE REVIEW

3905 REEDY CREEK ROAD
RALEIGH, NC 27607

SCO PROJECT: 19-21089-02E
LSP PROJECT: 8703-192810

- 08/10/2021 RESPONSE TO CITY COMMENTS
- 09/03/2021 DD PRICING ADDENDUM 1
- 09/10/2021 DD PRICING ADDENDUM 2
- 09/24/2021 RESPONSE TO CITY COMMENTS

SHEET NAME:

COVER SHEET

ORIG SUBMISSION: 2021.06.03

SHEET:

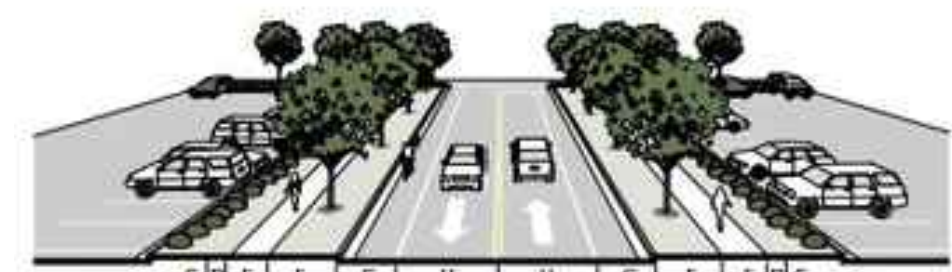
COVER

NOT RELEASED FOR CONSTRUCTION

C:\Projects\LS3P\LS3P_00000004\Production Drawings\Current Drawings\DHHS Campus Administrative\201 Review\LS3P0000-450-0401.dwg, 9/24/2021 10:51:27 AM, Nani, Linda

REEDY CREEK RD

A. Avenue 2-Lane, Undivided



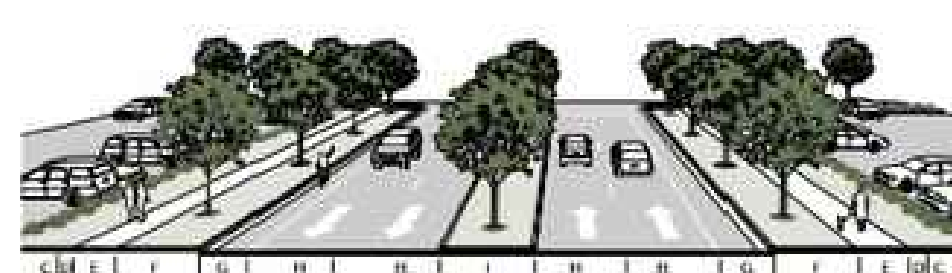
Width	
A Right-of-way width	64'
B Back-of-curb to back-of-curb	36'
Streetscape	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
Travelway	
G Bike lane	7'
H Travel lane	11'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg

REEDY CREEK STREET SECTION DEVIATES FROM ABOVE STREET SECTION DUE TO BIKE/PED IMPROVEMENTS PROJECT C-56040F.

1. REEDY CREEK RIGHT-OF-WAY WIDTH IN EXCESS OF 64' (71' AT MOST NARROW SECTION).
2. THIS PROJECT CONTINUES RIGHT OF WAY IMPROVEMENTS FROM BIKE/PED IMPROVEMENT PLAN.
3. 5' BIKE LANE CONTINUATION ESTABLISHED 3' BEHIND PROPOSED REEDY CREEK BACK OF CURB AND 10' WIDE MULTI-USE WALK.
4. 6' PLANTING AREA ESTABLISHED BETWEEN BIKE LANE AND MULTI-USE WALK FOR THE INSTALLATION OF STREET TREES 12' FROM THE FACE OF CURB ADHERING NC DOT REQUIREMENT FOR 12' CLEARANCE FROM THE EDGE OF TRAVEL WAY.

BLUE RIDGE RD

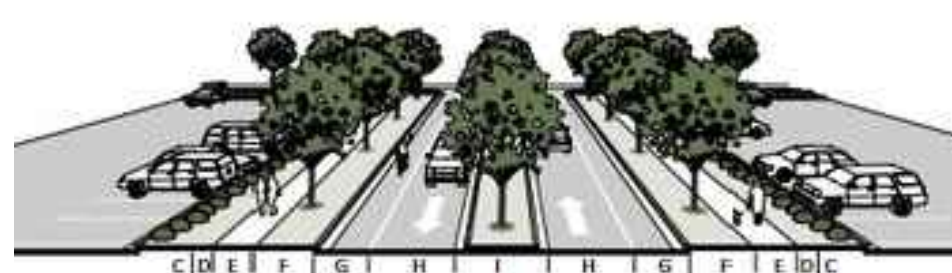
B. Avenue 4-Lane, Divided



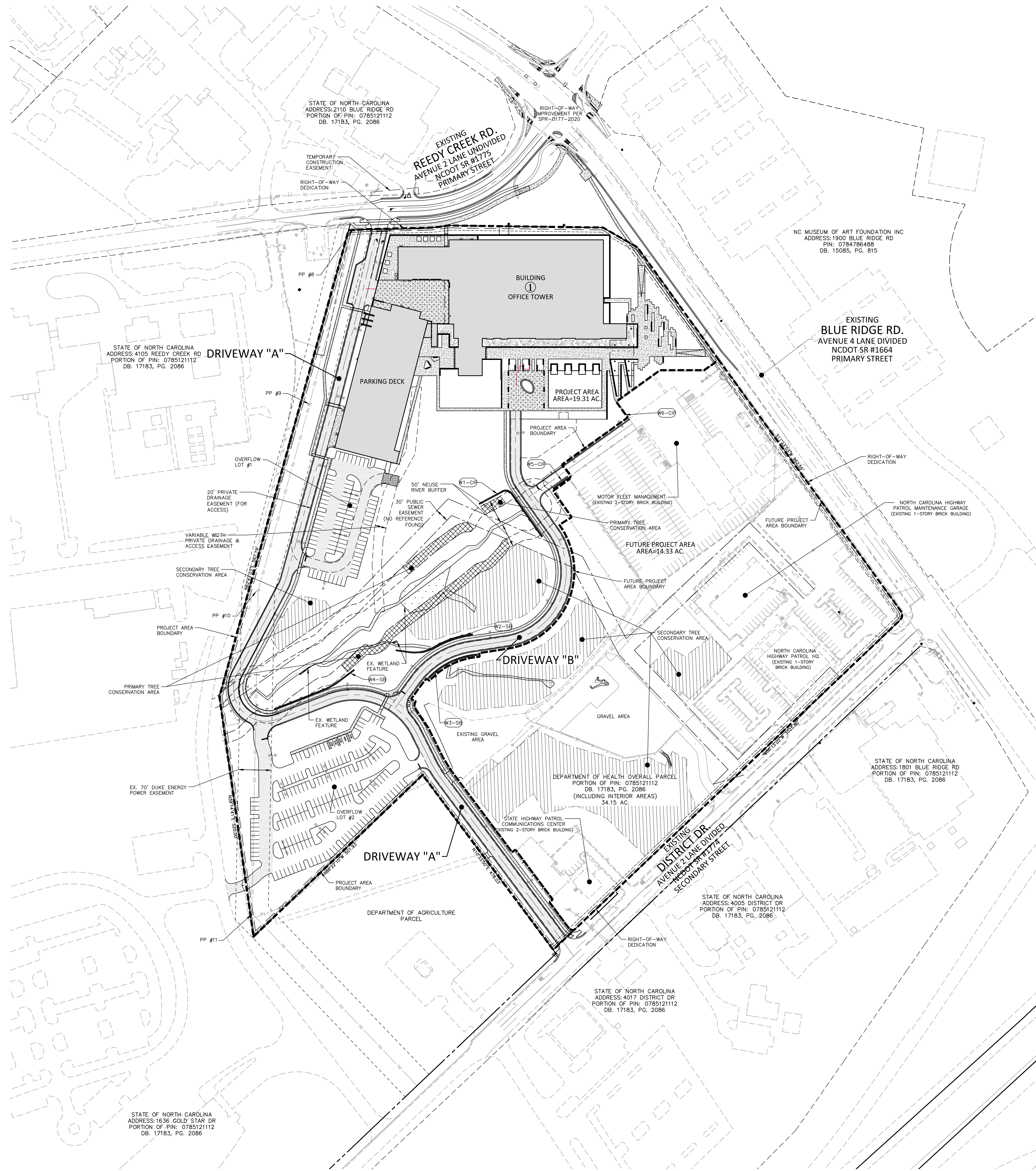
Width	
A Right-of-way width	104'
B Back-of-curb to back-of-curb	70'
Streetscape	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
Travelway	
G Bike lane	7.5'
H Travel lane	11'
I Median	17'
General	
Walkway type	Sidewalk
Planting type	Tree grate / lawn
Tree spacing	60' o.c. avg

DISTRICT DR

B. Avenue 2-Lane, Divided

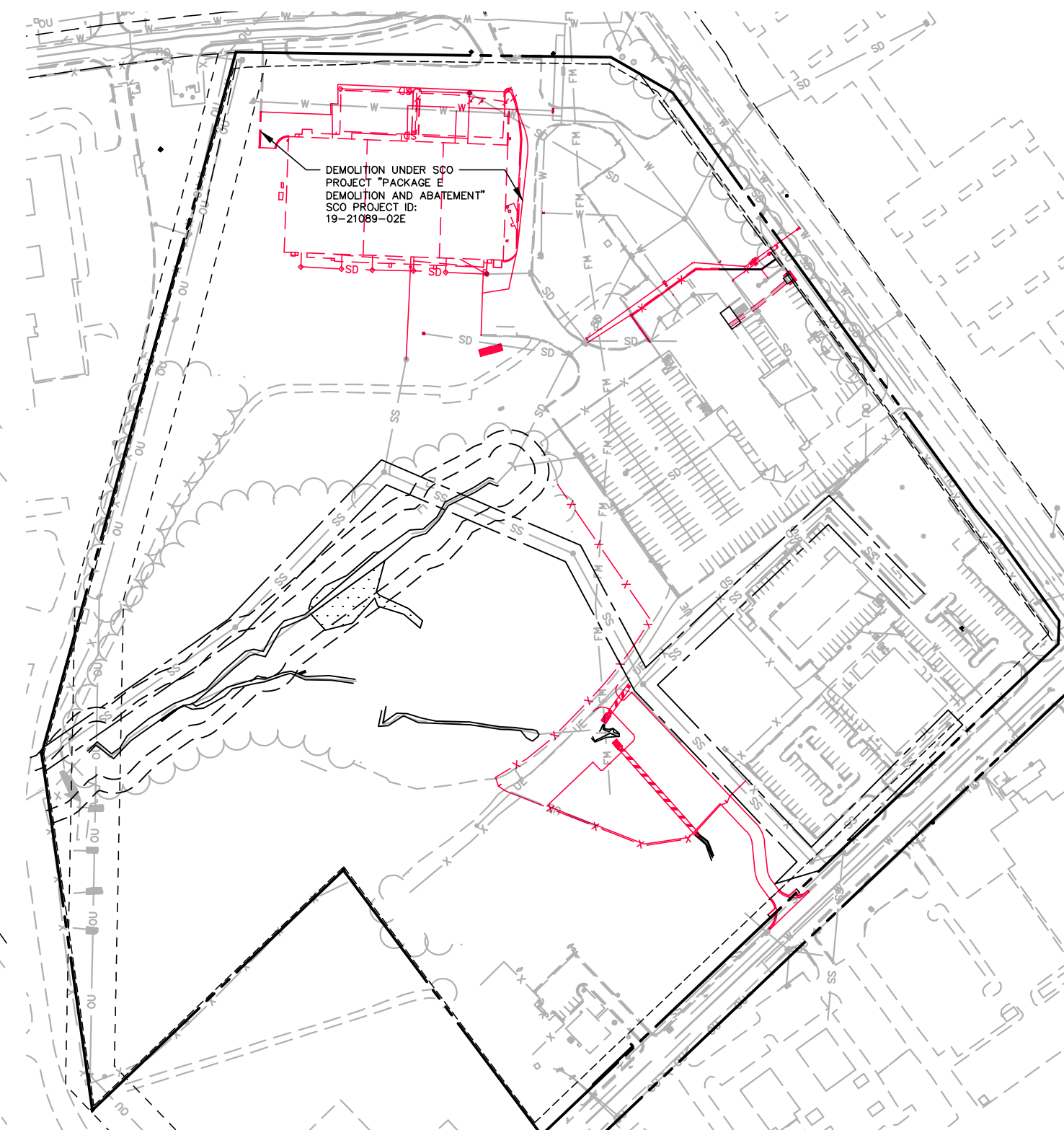


Width	
A Right-of-way width	75'
With center turn lane	79'
With median	79'
B Back-of-curb to back-of-curb	48'
With center turn lane	52'
With median	52'
Streetscape	
C Utility placement, easement (min)	5'
D Maintenance strip (min)	2'
E Sidewalk (min)	6'
F Planting area (min)	6'
Travelway	
G Bike lane	7'
H Travel lane	11'
I Center lane	11'
Striped turn lane	11'
Median	15'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg

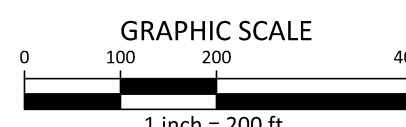


SITE LEGEND

SIGNAGE	
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
ACCESSIBLE ROUTE	
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	PRIMARY TREE CONSERVATION AREA
	NEUSE RIVER BUFFER ZONE 2
	SECONDARY TREE CONSERVATION AREA
	CAST-IN-PLACE RETAINING WALL (DESIGN BY STRUCTURAL)
	SEGMENTAL BLOCK RETAINING WALL (DESIGN BY STRUCTURAL)
SEE SHEET L-100 FOR AMENITY AREA CALCULATIONS.	



WORK COMPLETED UNDER MOTOR FLEET PLANNING WORK PROJECT SPR-0151-2021 & DEMOLITION AND ABATEMENT PROJECT INSET FOR REFERENCE ONLY



DEPARTMENT OF ADMINISTRATION



McADAMS

LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
TEL. 919.829.2700 FAX. 919.829.2730
WWW.LS3P.COM



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NEW DHHS CAMPUS
ADMINISTRATIVE SITE REVIEW

3905 REEDY CREEK ROAD
RALEIGH, NC 27607
SCO PROJECT: 19-27089-02E
LS3P PROJECT: 8703-192810

1.	08/10/2021	RESPONSE TO CITY COMMENTS
2.	09/03/2021	DD PRICING ADDENDUM 1
3.	09/10/2021	DD PRICING ADDENDUM 2
4.	09/24/2021	RESPONSE TO CITY COMMENTS

SHEET NAME:
OVERALL SITE PLAN

ORIG SUBMISSION: 2021.06.03

SHEET:
C2.00

NOT RELEASED FOR CONSTRUCTION

S:\Projects\LS3P\LS3P-20200304-Production\Drawings\Current Drawings\DHHS Campus\Administrative\Site Review\LS3P-202003-02-01.dwg, 02/27/2021 9:50:25 AM, Linda Todd

E

D

C

B

A

STATE OF NORTH CAROLINA
ADDRESS: 2110 BLUE RIDGE RD
PORTION OF PIN: 0785121112
DB: 17183, PG: 2086

EXISTING
REEDY CREEK RD.
AVENUE 2 LANE UNDIVIDED
NCDOT SR #1775
(PRIMARY STREET)

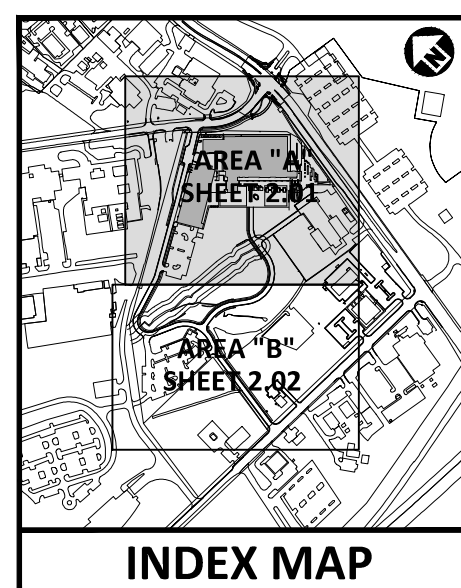
RELOCATED LIGHT
POLE, COORDINATE
WITH CITY OF RALEIGH
SPR-0177-2020

EX. EDGE OF
PAVEMENT

ROW IMPROVEMENTS
UNDER CITY OF
RALEIGH PROJECT,
SPR-0177-2020

SIDEWALK AS SHOWN ON COR
ROW IMPROVEMENT PROJECT;
NOT TO BE INSTALLED

NC MUSEUM OF ART FOUNDATION INC
ADDRESS: 1900 BLUE RIDGE RD
PIN: 0784786488
DB: 12085, PG: 815



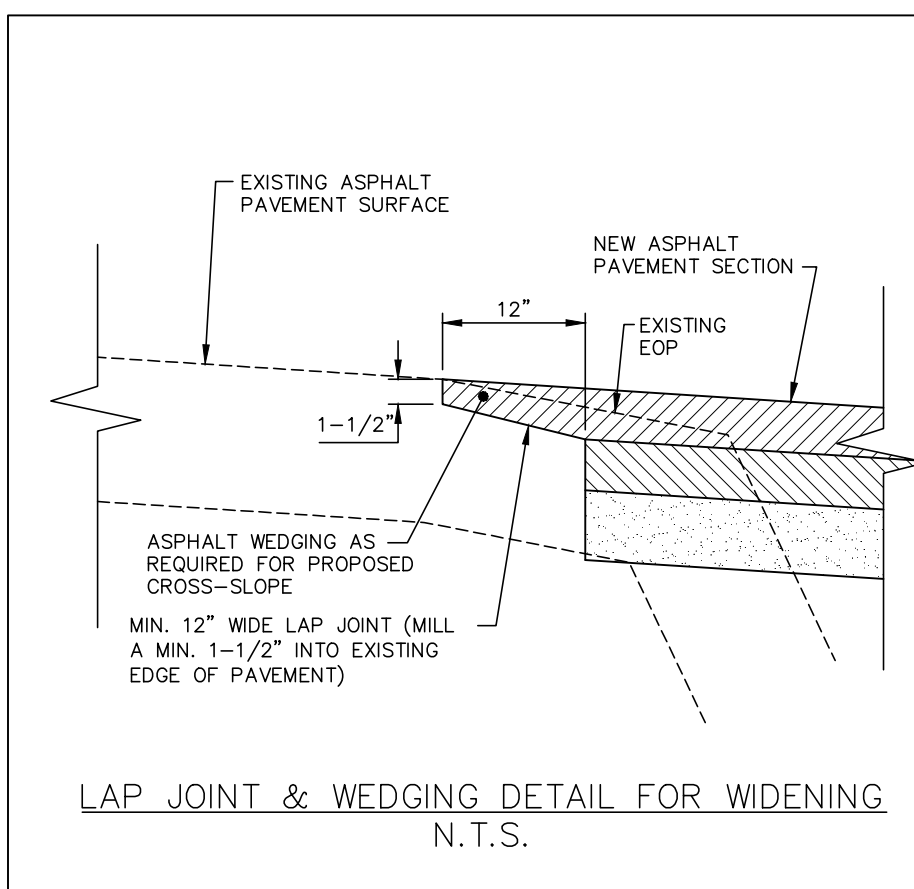
SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- PRIMARY TREE CONSERVATION AREA
NEUSE RIVER BUFFER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- CAST-IN-PLACE RETAINING WALL
(DESIGN BY STRUCTURAL)
- SEGMENTAL BLOCK RETAINING WALL
(DESIGN BY STRUCTURAL)

ROAD WIDENING LEGEND

- NEW FULL DEPTH ASPHALT
- MILLING LIMITS

NOTE: SECTION OF ROAD WITHIN EXISTING EDGE OF
PAVEMENTS TO BE OVERLAP.



CEMENT AMENDMENT:

BASE BID: PROVIDE CEMENT ADMENDMENT OF THE SOILS
UNDER ALL BUILDING PADS AND ALL PAVED ROADWAYS,
PARKING LOTS, AND CONCRETE PAVED AREAS SUPPORTING
VEHICULAR TRAFFIC (SERVICE YARD, MAIN DROP OFF, ETC.).
SEE SPECIFICATIONS FOR CEMENT ADMENDMENT GUIDANCE.

PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS
- T2 24" WHITE STOP BAR
- T3 CITY OF RALEIGH PEDESTRIAN CROSSWALK

SIGNAGE LEGEND

- RESERVED PARKING
- RESERVED PARKING
- STOP
- VAN ACCESSIBLE
- MUTCD R3-1
30"x30"
- MUTCD R6-1
30"x30"
- MUTCD R7-8A

NORTH CAROLINA HIGHWAY PATROL
MAINTENANCE GARAGE
(EXISTING 1-STORY BRICK BUILDING)

GRAPHIC SCALE
1 inch = 40 ft.

SEE SHEET 2.02



McADAMS

LS3P

434 FAYETTEVILLE STREET SUITE 1700
RALEIGH, NORTH CAROLINA 27601
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NEW DHHS CAMPUS ADMINISTRATIVE SITE REVIEW

3905 REEDY CREEK ROAD
RALEIGH, NC 27607
SCO PROJECT: 19-21089-02E
LS3P PROJECT: 8703-192810

- 1 08/10/2021 RESPONSE TO CITY COMMENTS
- 2 09/03/2021 DD PRICING ADDENDUM 1
- 3 09/10/2021 DD PRICING ADDENDUM 2
- 4 09/24/2021 RESPONSE TO CITY COMMENTS

SHEET NAME:

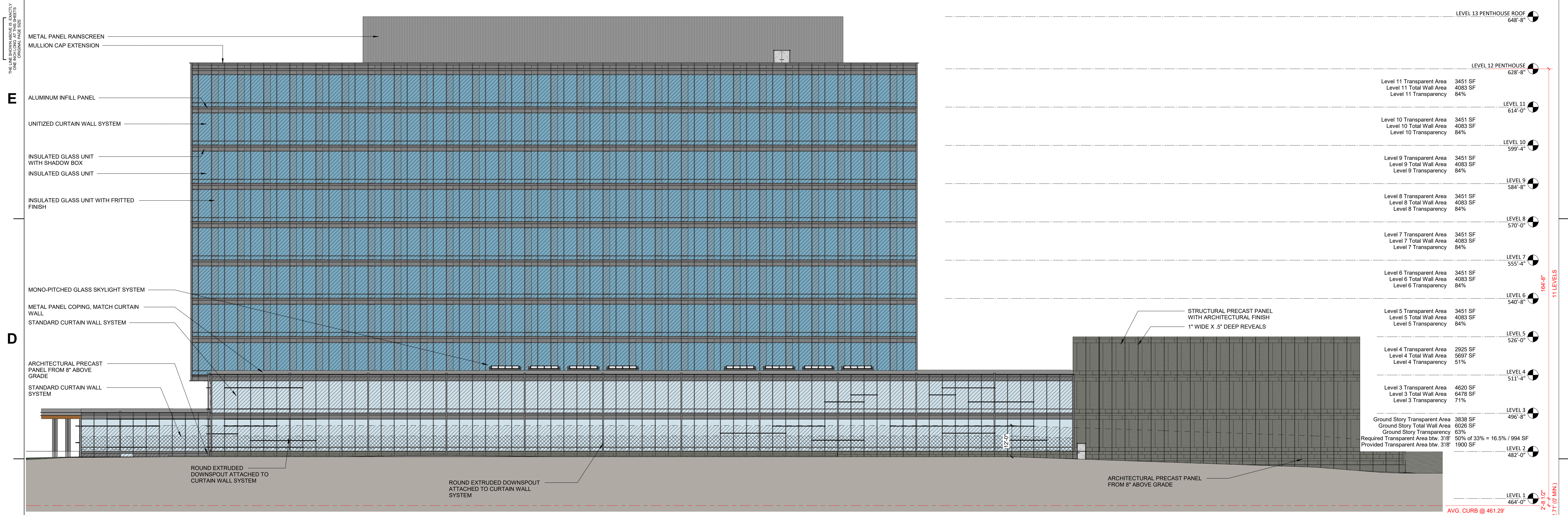
SITE PLAN -
AREA "A"

ORIG SUBMISSION: 2021.06.03

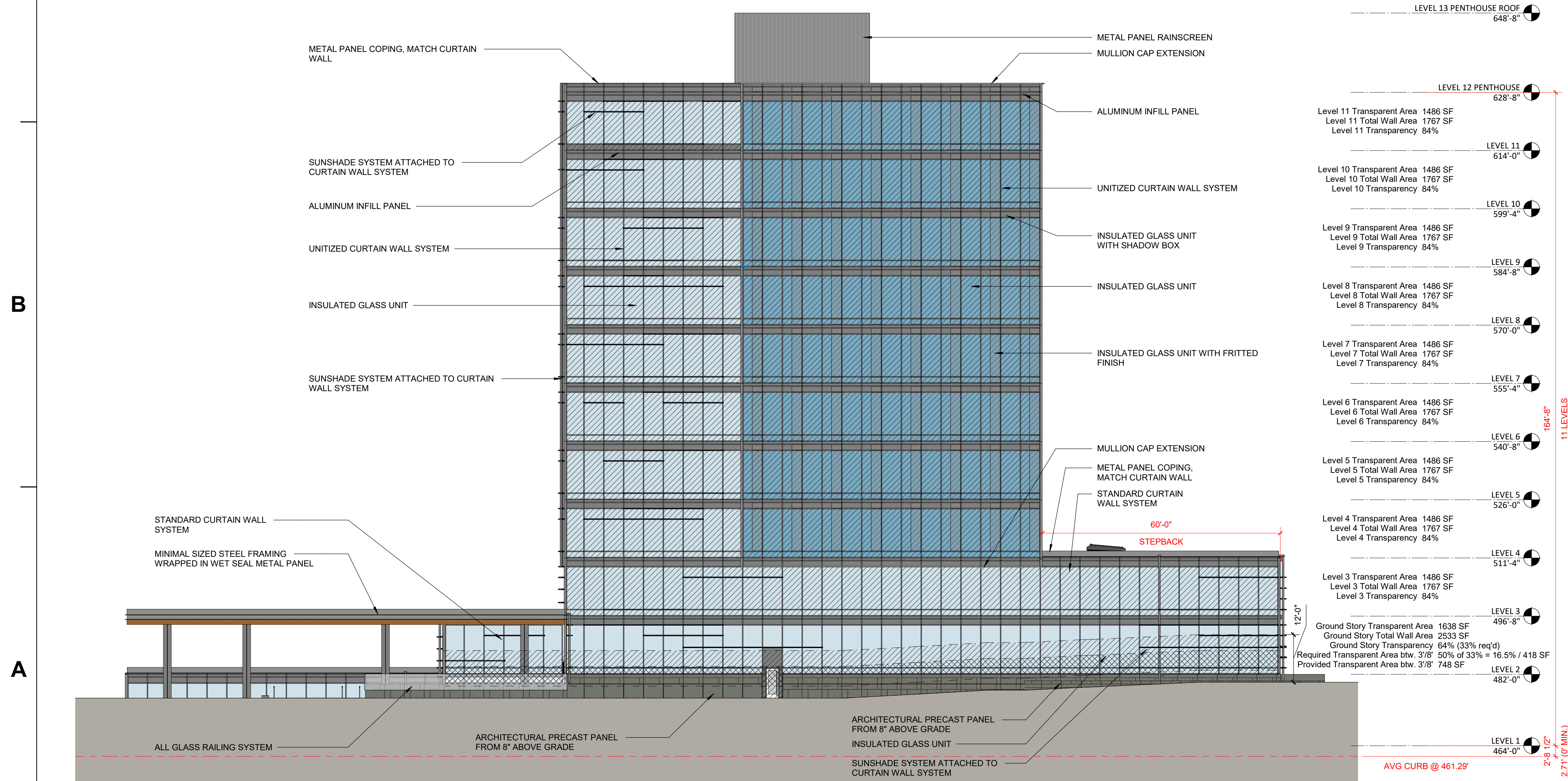
SHEET:

C2.01

NOT RELEASED FOR CONSTRUCTION



C1	NORTH ELEVATION - FROM REEDY CREEK ROAD (PRIMARY STREET)	1/16" = 1'-0"
AP-2101		





A1	EAST ELEVATION - FROM BLUE RIDGE ROAD (PRIMARY STREET)	1/16" = 1'-0"
AP-2101		

		OP-, OX-			DX-			IX-
		NX-, CX-						
D. Height								
D1	Principal building (max)	Set by district		Set by district		Set by district		
D2	Accessory structure (max)	25'		25'		25'		
E. Floor Heights								
E1	Ground floor elevation (min)	0'		0'		0'		
E2	Ground story height, floor to floor (min)	11'		13'		11		
E3	Upper story height, floor to floor (min)	9'		9'		9'		
F. Transparency								
F1	Ground story (min)	33%		50%		20%		
F2	Upper story (min)	20%		20%		20%		
F3	Blank wall area (max)	30'		30'		50'		
District		-3	-4	-5	-7	-12	-20	-40
A. Max Height								
A1	Building height (max stories)	3	4	5	7	12	20	40
A1	Building height (max feet)	50'	62'	75'				

	Height of Building	Up to 3 Stories	4 to 5 Stories	6 to 7 Stories	8 to 12 Stories	13 to 20 Stories	21 to 40 Stories
C. Massing							
C1	3rd - 7th story stepback (min)	n/a	n/a	n/a	12'	15'	15'
D. Towers							
D1	Floor plate size above 12 stories (max)	n/a	n/a	n/a	n/a	25,000 sf	25,000 sf
D2	Spacing between towers - floors above 12 stories (min)*	n/a	n/a	n/a	n/a	n/a	100'

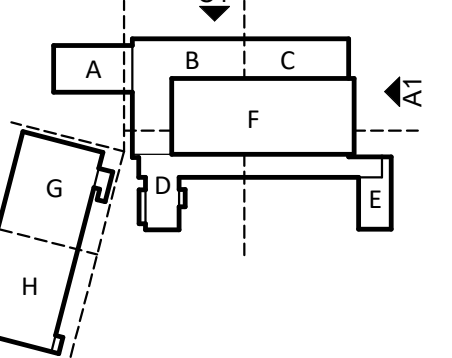
TRANSPARENCY LEGEND

	TRANSPARENT AREA PER STORY
	TRANSPARENT AREA BTW. 3' / 8"

3905 REEDY CREEK ROAD
RALEIGH, NC 27607
SCO PROJECT: 19-21089-02E
LS3P PROJECT: 8703-192810

[illegible]

KEY PLAN: C1



HEET NAME:
BUILDING
ELEVATIONS-ASR

RIG SUBMISSION: 2021.06.03

HEET: **AP-2101**

BMITTAL 1

3903 REEDY CREEK ROAD
RALEIGH, NC 27607
SCO PROJECT: 19-21089-02E
LS3P PROJECT: 8703-192810

KEY PLAN:



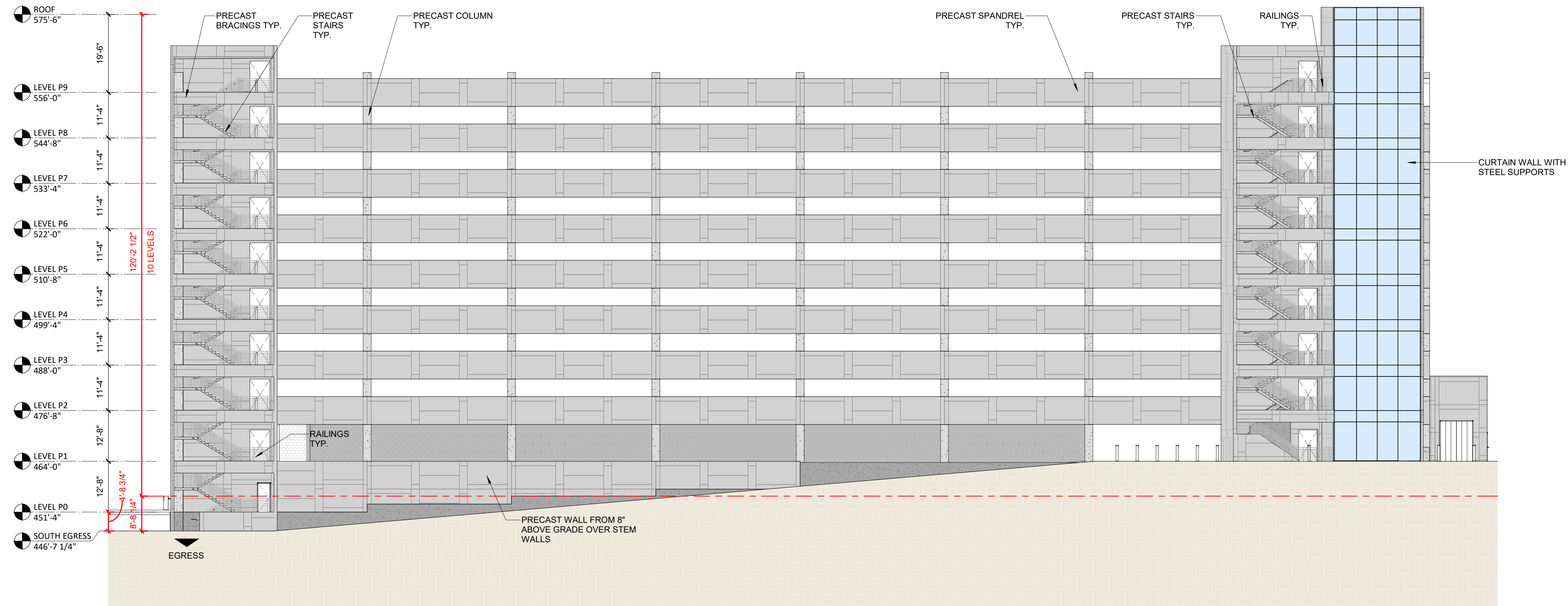
BMITTAL 1



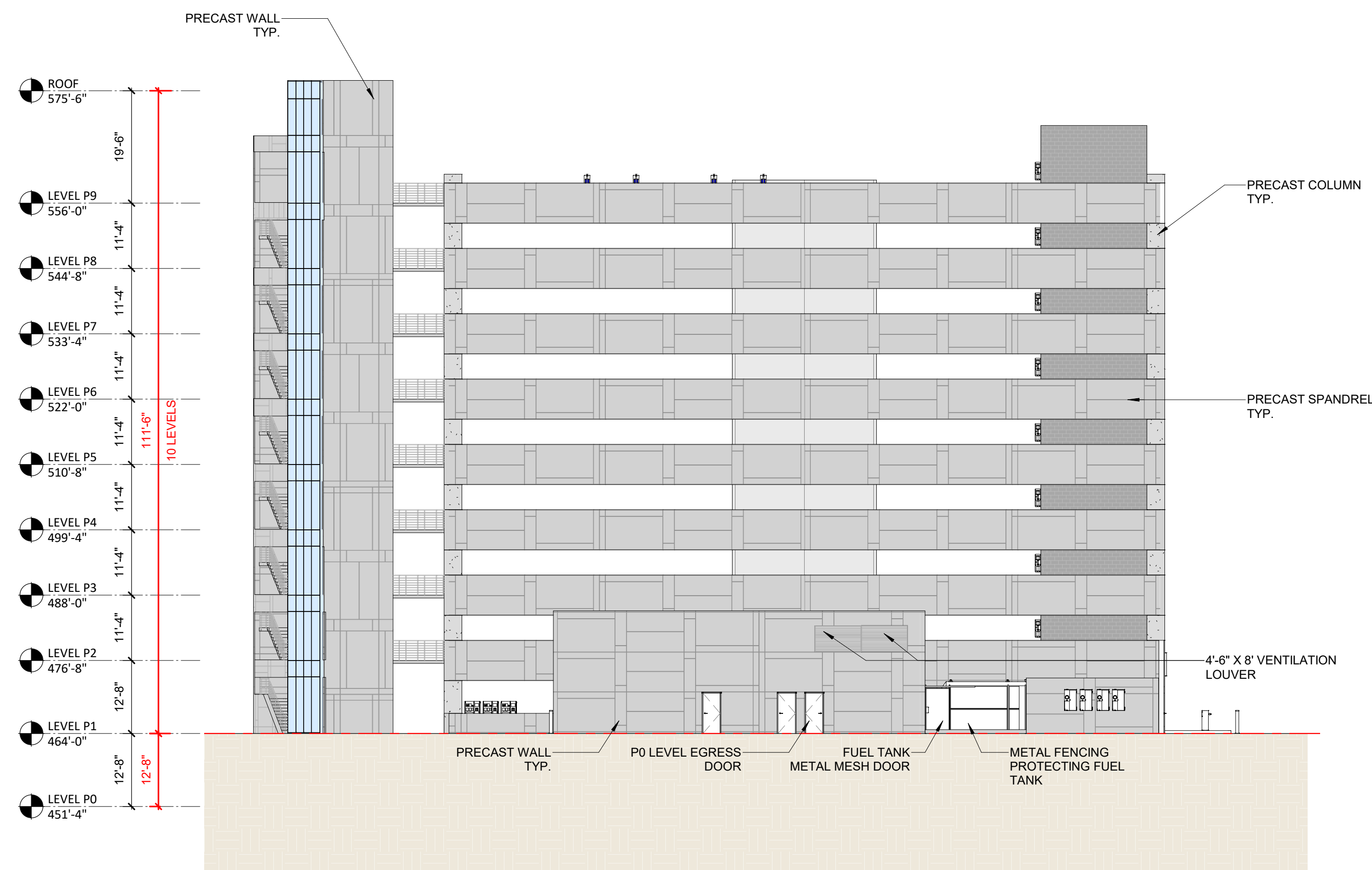
C



A



C1	PARKING DECK - EAST ELEVATION	
AP-2103		1/16" = 1'-0"



A1	PARKING DECK - NORTH ELEVATION	1/16" = 1'-0"
AP-2103		

THE LINE SHOWN ABOVE IS EXACTLY
ONE INCH LONG AT THIS SHEETS
ORIGINAL PAGE SIZE

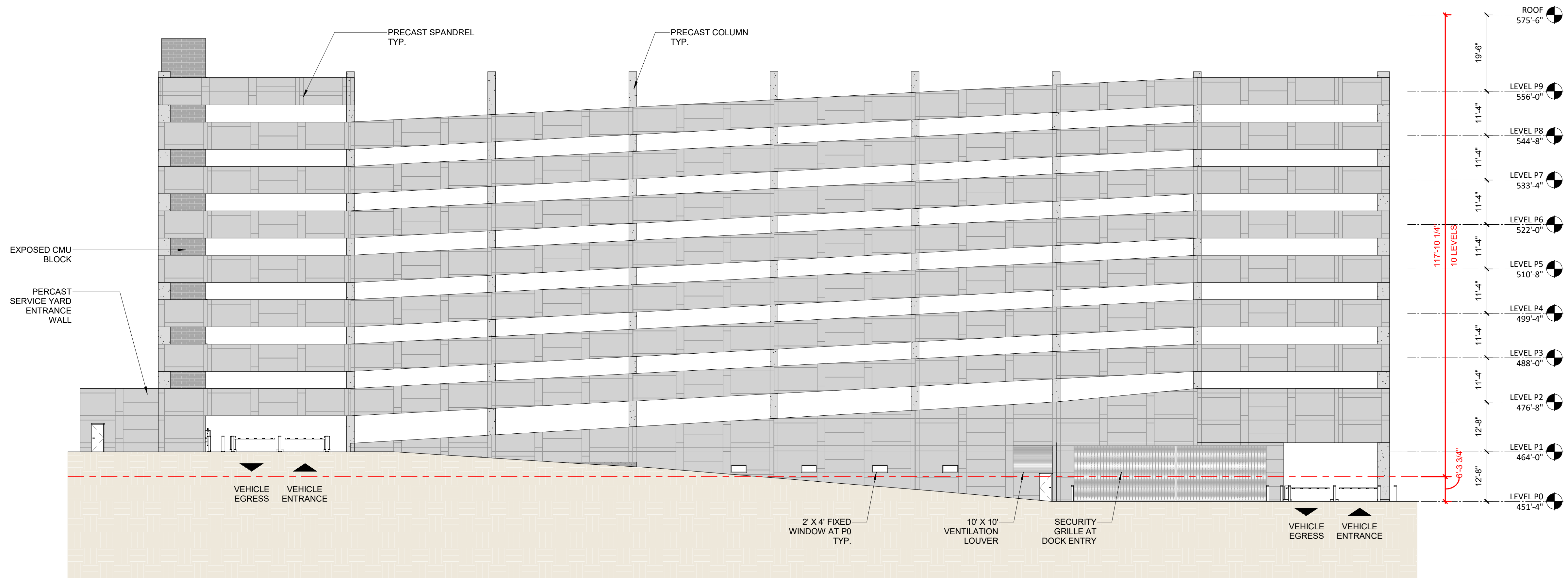
E

D

C

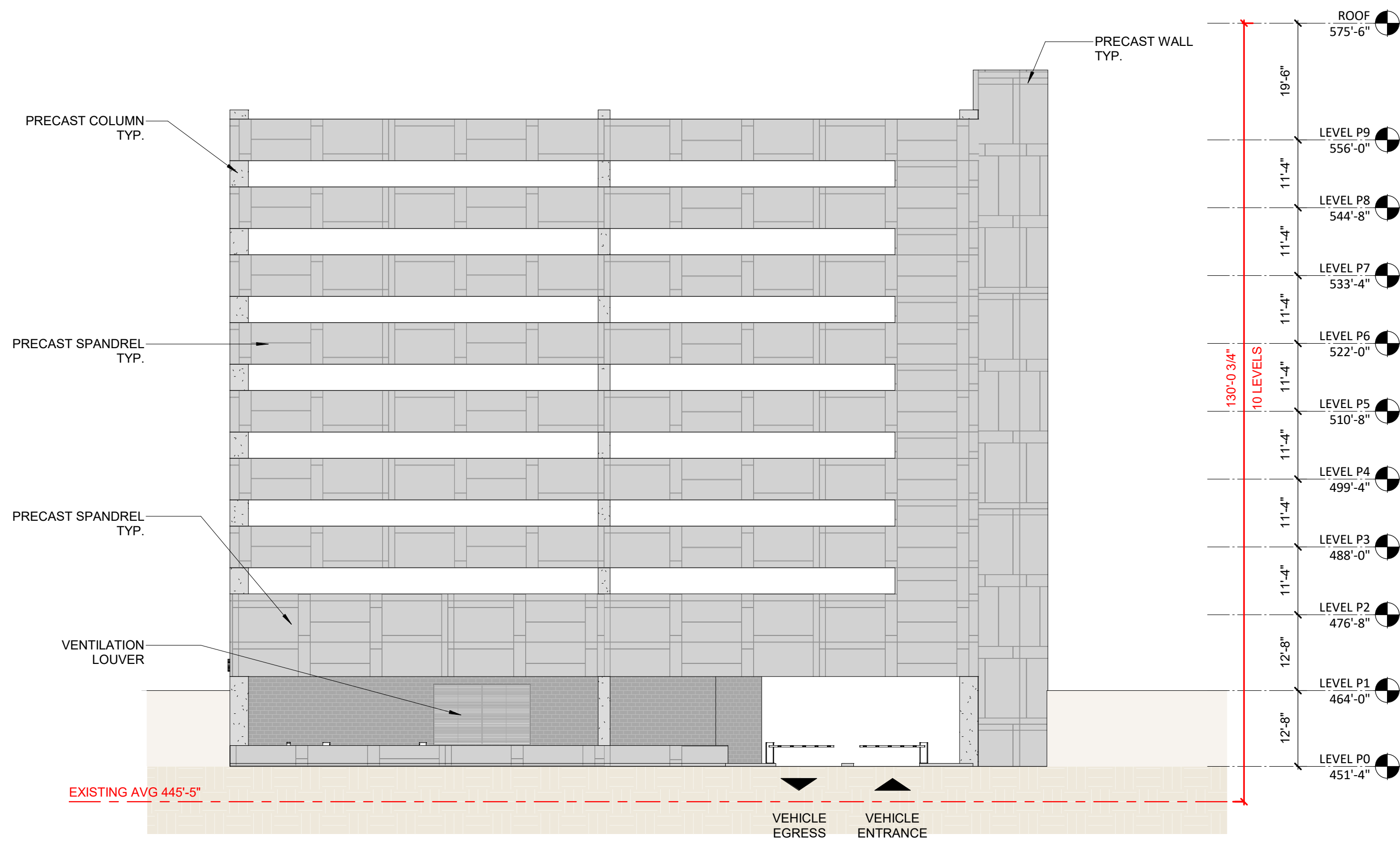
B

A



C1	PARKING DECK - WEST ELEVATION
P-2104	

1/16" = 1'-0"



A1	PARKING DECK - SOUTH ELEVATION
P-2104	

$$1/16'' = 1'-0''$$