

Case File / Name: ASR-0048-2021 DSLC - DHHS OFFICE BUILDING AND PARKING DECK

LOCATION:	This 34.15 acre site zoned CX-12 is located at the southwest corner of the intersection of Blue Ridge Road and Reedy Creek Road at 3905 Reedy Creek Road.
REQUEST:	This is a 480,984 square foot office building, associated 7936 square foot parking deck, associated surface parking and infrastructure for the NC Depart of Health all within a project area of 19.31 acres.
	- AAD-14-21 Administrative Alternate Request for Blank Wall (1.5.10) approval of an alternative design.
	Approved Rezoning to CX-12 (Z-20-21) – 3905 Reedy Creek Road, located at the southwest corner of its intersection with Blue Ridge Road, being Wake County PIN 0784695116. Approximately 34.15 acres rezoned to Commercial Mixed Use-12 Stories (CX-12). ORDINANCE NO. (2021) 290 ZC 828
DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:	SPR-0131-2021: DSLC - Site Permitting Review/Major [Signature Set]
FINDINGS:	City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 24, 2021 by MCADAMS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with UDO Section 7.2.8 D1 regarding retaining walls exceeding 10' in height within 30' of a right of way (Reedy Creek Rd)

Stormwater

- 2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
- 3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



Urban Forestry

- 5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5). This development proposes to establish 3.78 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

- A public infrastructure surety for 15 street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
- 3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
- 4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
- 5. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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- 8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

The following are required prior to issuance of building occupancy permit:

General

- 1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
- 2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

- 3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
- EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 23, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: _ Date: 11/24/2021

Development Services Dir/Designee Staff Coordinator: Michael Walters

NORTH CAROLINA DEPARTMENT OF HEALTH **AND HUMAN SERVICES - PHASE 1**

This form is required when submitting alle plans as reference 10.2.8. Please check the appropriate building types and inc	n, June 400 Haleigh NC 27101 979-995-2000 Raleigh	R
Office Use Only: Case #	Planter (print):	
Please review UDD Section 10.2.8. as amended by text cha assistance dotermining a Site Plan Tier is needed a Site Plan Parmit and Development Portal. (Note: There is a fee for th	nge case TC-14-19 to determine the site plan tier. If in Tier Verification request can be submitted online via the	AD
Site Plan Tier: Tier Two Site Plan Tier Three 5		
		CITY
Detached Coneral Atlached Mixed use	bits Interaction Instery Subdivision care #	CITI
Apartment Open tot Townhouse Civic	Board of Adjustment #	
GENERAL P	Administrative Alternate #:	
Development name: Department of Health Office		
Property address(es) 3905 Reedy Cre	ek Road, Raleigh, NC	
Please describe the scope of work. Include any additions, Office building, parking structure, parking lots, drive	expansions, and change of use. ways, and site utilities to support the development.	
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submit	tting this form.	
Company: Address:	Title:	
Phone #: Email: Applicant Name:		
Company: Address:		
Phone R: Email:		
Page 1 of 2	NEWSON 42, 23, 21	
	raleighnc.gov	
DEVELOPMENT TYPE (Applicable to al	+ SITE DATE TABLE	
SITE DATA Zoning district (if more than one, please provide the	BUILDING DATA Existing gross floor area (not to be demolished):	
acreage of each): CX-12	0 SF Existing gross floor area to be demolished: 0 SF	
Gross site acreage: 34,15 acres	0 SF New gross floor area: 488,920 SF	
Gross site acreage: 34,15 acres # of perking spaces required: See Site Data Table # of perking spaces required: See Site Data Table	Total of gross (to remain and new): 488,920 SF	
If of parking spaces proposed: See Site Data Table Overlay District (if applicable): N/A	Proposed # of stories for each: 6	
Existing use (UDO 6.1.4): Commercial Proposed use (UDO 6.1.4): Office		
	INFORMATION	
Existing Impervious Surface: Acres: 14.39 Square Feet: 628.623	Proposed Impervious Surface: Acres: 17.15 Square Feet: 747.054	TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:
Is this a flood hazard area? Yes No 🗹		
Constraint of the second		 PRIOR TO ANY WORK IN NUT MAKES THE BEHT-OF-WAY, LODSING OR DITIOURING OF ANY STREET, LANE, OR SERVING, THE CONTINUETOR INST AFYL TO IN A DEARM WITH INSERT-OF-WAY SERVICES. PLACE DIRECT AND QUESTIONS TO RISHTOPWAYSERVICES/PALES/PAC.COV.
FEMA Map Panel R Neuse River Buffer Yes V No	Wetlands Yes 🗹 No 🗌	 THE CITY OF RALEGH REQUERS AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NEDOT ROAD WITHIN BALEIGH'S JURISDICTION.
DESIDENTIAL D	VELOPMENTS	 A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RESHT-OF-WAY SERVICES THROUGH THE CIT OF RALENSH PERMIT AND DEVELOPMENT PORTAL.
Total # of dwelling units: 0 # of badroom units: 1br 2br 3br # of lots:	Total # of hotel units: 0 4br or more Is your project a cottage court? Yes No	 PRIOR TO THE STRATOF WORK, THE CLENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE IMMINITIATION INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED FLAN, AND REMINE ALL PRIMITS AND RESULT.
		AND ENSURE ALL PERMITS ARE ESSUED.
SIGNATUR The undersided indicates that the remark operations	E BLOCK	 ALL TOYED PLANS SHALL COMPY WITH ALL LOCAL STATE, AND FEDERAL RECOMMENTS AND STANDARDS, INC. MORE THE TOY TO THE TOY TO THE TOY TOY TO THE TO TH
The undersigned indicates that the property owner(s) is awar described in this application will be maintained in all respect herewith, and in accordance with the provisions and regulation	It is even expressed and that the proposed project is accordance with the plans and specifications submitted ans of the City of Raleigh Unified Development Ordinance.	 MARKUM, KN UNBEURIN HAR E CUNTROL (MOTOL): PUBLIC RIERTS-OF-WAY ACCESSION/PUBLIC SUBJECTS (FINOWAG); AMERICAN DISARLITY ACT (ANA) REQUIREMENTIS; RAM, BERCH TREET DESKIM MANAAL, RESOND
WILLIAM & JOHNDON WILL	ans of the City of Raleigh Unified Development Ordinance. we as the agent regarding this application, and will receive applicable documentation, and will represent the property	5.4. RALEIGH STREET DESIGN MANUAL (RSDM). 6. ALL PUBLIC SIDEWALIS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPLIFIED AND/OR PEOPLE
owner(s) in any public meeting regarding this application.		6. All HARLE CORPORTED LEADERS LINE OF PECISITENCE WITH A REVEALED AND/OR PEOPLE WITH MOBILITY CORCERNS. ENDER AND A DATEMANANY PEOPLETIANA ROUTES DURING CONSTRUCTION SAULU IN RIGUMED TO ISE CONCERNS. ENDER AND A DATEMANANY PEOPLETIANA ROUTES DURING CONSTRUCTION SAULU IN RIGUMED TO ISE CONCERNS. ENDER AND A DATEMANANY DURING CONSTRUCTION SAULU AND A DATEMANDASI FOR ACCESSIBLE DESSEN AND THE MANANA. ON UNIFORM TRAFFIC CONTINGL DRIVERS MUTTORING.
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Signature: William C Joinigens Pro	Date: 5/19/2021	7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.
Providence Alternation Contractionery But	nu umulit	 IF A CLOSURE OR DETOUR ALONG ANY SECTION OF THE REEDY CREEK ORLENWAY TRAIL IS NECESSARY TO ACCOMMODATE CONSTRUCTION, THE CONTINUCTOR SHALL NOTIFY AND PROVIDE CLOSURE AND DETOUR SECTION OF THE INFORMATION AND RECEIVED AND MANTTAN
Page 2 of 2	NVIIIO9 (2.31.21	INVENTIALE TO THE PROCESSED WARK MANAGER BAND HAMLED IN ANY PLANNED CLOSURE OR (WILLIAM HAMILTON/RALEISHING GOV) A MINIMUM OF 30 DAYS PRIOR TO ANY PLANNED CLOSURE OR DETOUR ALL CLOSURE OR DETOUR SIGNARGE SHOULD INCLUDE THE REASON FOR THE CLOSURE OR DETOUR.
	raleighnc.gov	II A CODUME OF EXCLUSION A UNIX. ANY INSTRUME OF THE RECYCLERGE CREENANT THUS IN SUCCEMPTO ACCOMMODITI CONTENCION IN TERCONTENCE DAVID INSTRUME TRANSPORTER CONTENT AND A DECEMPTO SOMME DETAILS TO THE FREE RECYCLERGE OWNER MANAGER DAVID NAMETOR (VIELLIMA MANA TORES (USE) CONTENT AND AND A DE DAST INFORMATION AND A DE DAST (VIELLIMA MANA) TORES (USE) CONTENT AND AND A DE DAST INFORMATION AND A DE DAST (VIELLIMA MANA) TORES (USE) CONTENT AND AND A DE DAST INFORMATION AND A DE DAST (VIELLIMA MANA) TORES (USE) CONTENT AND AND A DE DAST INFORMATION AND A DE DAST (VIELLIMA MANA) TORES (VIELLIGANCE) CONTENT AND A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIGANCE) CONTENT AND A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIGANCE) AND A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIGANCE) AND A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIGANCE) AND A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIGANCE) AND A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIMA DE DAST (VIELLIMA MANA) TORES (VIELLIMA) A DE DAST INFORMATIONAL DE DAST (VIELLIMA MANA) TORES (VIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST (VIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST (VIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST (VIELLIMA DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INTERVIELLIMA DE DAST INT
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San	Va	[]
r Z	132	ATTENTION CONTRACTORS
DISTRICT DR		The Construction Contractor responsible for the extension of water, seewer, and/or muse, as approved in these plans, is responsible for contacting the Public Strein Superiminent of (<u>1919) 2082-2540</u> , and the Public Utilities Department of (<u>1919) 2082-2540</u> , at least <u>teamly four incurs</u> prior to beginning any of their construction.
		and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
WADE AVENUE		Failure to notify both City Departments in advance of beginning
> ····· AVENUE		Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sever facilities not inspected as a result of this notification failure.
	~~	or one nouncation tallure.
		Follure to call for inspection, install a Demastream Plug, howe Permitted Plans on the obtails, or any other Velabilian of City of Roleigh Standards will result in a <u>Elne and Possible Exclusion</u> from future work in the City of Roleigh.
VICINITY		future work in the City of Roleigh.
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3905 REEDY CREEK ROAD RALEIGH, NORTH CAROLINA, 27606

ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH CASE #: ASR-0048-2021 **PROJECT NUMBER: LSP-19000** DATE: JUNE 3, 2021

SITE DATA					
SITE ADDRESS	3965 REEDY CREEK ROAD, RALEIGH, NC,	27606			
PARCEL FIN NUMBER & FLAT REFERENCE	784495136, RM 2023, PG. 00951				
GROSS/WET SITE AREA	GROSS STE AREA:	3,487,345 5*	34.34 AC		
	NET SITE ANEA:	1.467.730 SF	\$3.69 AC.		
CHEFTING 20N ING	ok-a				
PROPOSED ZONING	01:12				
OVERLAY DISTRICT	NONE APPLICABLE				
WATERSHED	FICHLAND CREEK				
FLOODFLAIN/FIRM PANEL	37200764003				
EXISTING USE	STATE OF NORTH CANDLESA MALLSERVE	Z AND TEXTOOOK WAREHOUSE			
PROPOSED USE	OFFICE BUILDING				
IMPERVICUS AREA	EXERTING IMPERATOUS.	34.39.46.			
IMPORTOUS AREA	PROPOSED IMPERVIOUS:	17.17 AC.			
BLOCK PERIMETER	DESIGN ADJUSTMENT REQUESTED				
	BUILONG L	OFFICE	493,554	55	
BUILDINGS	PM90N6 DECK - P0 LEVEL	OFFICE	7,535	55	
	TOTAL GROSS SQUARE POOTAGE		488,920	57	
	PRIVARY STREET - REEDY CREEK ROAD &	NUERIDGE ROAD	5		
DUILDING SETDACKS	SIDE LOT LINE		0' CR.6'		
	REARLOTUNE		\$* OR 6*		
BUILDING HEIGHT	12-510WY				
	PRIVARY STREET - REEDY CREEK ROAD &	RUUERIDGE ROAD	307		
PARENG SETEACIS	SIDE LOF LINE		0' CR 3'		
	REAR LOT LINE		6' CR 3'		
	VEHICLE PARKING				
	REQUIRED (LISPACE PER 400 SF OF GEA)		1223		
			PARENG DECK	PARKING DECK	
			SUPFACE PARKING	SUFFACE PARKING	
	morosco	PROPOSED		ELECTRIC PAREING	
PARKING DATA			TOTAL PARADAG	TOTAL PARKING	
VEHICLE AND BICYCLE PARKING REDUREMENTS PER UDD SECTION 7.1.2.C	ACCESSIBLE PARNING				
PRODUCTION FOR COUNCIEN FLICE			ADA	VAN	
	1	PEQUIRED	23	4	
		PROPOSED	29	2	
	REAR PARANG		SHORT TERM	LOP	IG TERM
		PEQUIRED*		50	
	1	14040520		50	

BIKE PARKING	G CALCU	ATIONS					
	untr	CODE REQUIREMENT		REQUIRED SPACES		PROVIDED SPACES	
	- nii	SHORT TERM	LONG TERM	SHORT TERM	LONS TERM	SHORT TERM	LONG TERM
NULDING #1	498,920	1 SPACE PER 10,000 SF OF GEA, MIN-4	1 SPACE PER 5,000 SF OF GFA, MIN. 4	49	28	0	38
"Nor 7.1.8.A REQUIRED BIRE	PARONS SHALL	NOT EXCEED 50 SPACES.		TOTAL REQUIR	160 = 54*	TOTAL PRO	DVIDED = 58*

AMENITY AREA			
	AREA (AC.)	REQUIRED AMENITY AREA (AC.)	PROVIDED AMENITY AREA (AC.)
PROJECT AREA (CURRENT)	19.31	1.54	1.95
RUTURE PROJECT AREA*	14.33	1.41	FUTURE PROJECT
NET LOT AREA	33.64	3.37	3.37

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Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY INC811" (811) OR (1-800-432-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCANATOR TO HAVE EXPRIME UTLITES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTLITES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF VICATI. REPORT ANY DISCREPANCIES TO THE ENGINEER ATELY.

4

ALL CONSTRUCTION SHALL CONFORM WITH THE LA VERSION OF THE CITY OF RALEIGH AND NCDOT STA SPECIFICATIONS AND DETAILS

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CL00A EXISTING CONDITIONS - AREA "A" CL00B EXISTING CONDITIONS - AREA "B" CL01D DEMOLITION PLAN - AREA "A" CL02 DEMOLITION PLAN - AREA "A" CL02 DEMOLITION PLAN - AREA "A" CL01 STEF PLAN - AREA "A" C201 STEF PLAN - AREA "A" C2102 STEF PLAN - AREA "A" C3103 STEF PLAN - AREA "A" C3104 GRADING & STORM DRAINAGE PLAN - AREA "A" C320 GRADING & STORM DRAINAGE PLAN - AREA "A" C321 GRADING & STORM DRAINAGE PLAN - AREA "A" C4.01 UTILITY PLAN - AREA "A" C4.02 UTILITY PLAN - AREA "A" C4.03 UTILITY PLAN - AREA "A" C4.04 UTILITY PLAN - AREA "A" C4.03 UTILITY PLAN - AREA "A" C4.04 UTILITY PLAN - AREA "A" C4.05 UTILITY PLAN - AREA "A" C4.02 UTILITY PLAN - AREA "A" C4.03 UTILITY PLAN - AREA "A" C4.04 UTILITY PLAN - AREA "A" C4.05 UTILITY PLAN - AREA "A" C4.03 UTILITY PLAN - AREA "A" </th <th>C1.00B E: C1.01 D C1.02 D C2.00 O C2.01 S C2.02 S C3.00 G C3.01 G C3.02 G C4.01 U C4.02 U C4.03 U C4.03 S</th> <th>XISTING CONDITIONS - AREA "B" IEMOLITION PLAN - AREA "A" IEMOLITION PLAN - AREA "B" VICRALL SITE PLAN ITE PLAN - AREA "A" UTE PLAN - AREA "A" UTE PLAN - AREA "B" UTE PLAN - AREA "B" TILITP PLAN - AREA "B" TILITP PLAN - AREA "B"</th>	C1.00B E: C1.01 D C1.02 D C2.00 O C2.01 S C2.02 S C3.00 G C3.01 G C3.02 G C4.01 U C4.02 U C4.03 U C4.03 S	XISTING CONDITIONS - AREA "B" IEMOLITION PLAN - AREA "A" IEMOLITION PLAN - AREA "B" VICRALL SITE PLAN ITE PLAN - AREA "A" UTE PLAN - AREA "A" UTE PLAN - AREA "B" UTE PLAN - AREA "B" TILITP PLAN - AREA "B" TILITP PLAN - AREA "B"
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CL02 DEMOLITION PLAN - AREA "B" C2.00 OVERALL STE PLAN - AREA "B" C2.01 STE PLAN - AREA "B" C2.02 STE PLAN - AREA "B" C3.01 GRADING & STORM DRAINAGE PLAN - AREA "A" C3.01 GRADING & STORM DRAINAGE PLAN - AREA "A" C3.02 GRADING & STORM DRAINAGE PLAN - AREA "A" C3.02 GRADING & STORM DRAINAGE PLAN - AREA "B" C4.01 UTILITY PLAN - AREA "A" C4.02 UTILITY PLAN - AREA "A" C6.03 UTILITY PLAN - AREA "B" C4.04 UTILITY PLAN - AREA "B" C6.03 UTILITY PLAN - AREA "B" C6.04 UTILITY PLAN - AREA "B" C6.05 UTILITY PLAN - AREA "B" C6.01 UTILITY PLAN - AREA "B" C6.02 STORM DRAINAGE DETAILS C6.03 SCWE TO TAILS C3.05 SCM "A" AND "B" PLAN VIEW AND NOTES C4.00 CONSERVATION PLAN C4.11 CANDSCAPE PLAN C4.12 DETAILED LANDSCAPE PLAN C4.12 DETAILED STEL GETING PLAN C4.12 DETAILED STEL GETING PLAN </td <td>C1.02 D C2.00 O C2.01 S C2.02 S C3.00 O C3.01 G C3.02 G C4.01 U C4.03 U C8.00 S</td> <td>EMOLITION PLAN - AREA "B" VYERALL STE PLAN ITE PLAN - AREA "A" ITE PLAN - AREA "B" VERALL GRADING PLAN RADING & STORM DRAINAGE PLAN - AREA "A" RADING & STORM DRAINAGE PLAN - AREA "B" TILITP PLAN - AREA "B"</td>	C1.02 D C2.00 O C2.01 S C2.02 S C3.00 O C3.01 G C3.02 G C4.01 U C4.03 U C8.00 S	EMOLITION PLAN - AREA "B" VYERALL STE PLAN ITE PLAN - AREA "A" ITE PLAN - AREA "B" VERALL GRADING PLAN RADING & STORM DRAINAGE PLAN - AREA "A" RADING & STORM DRAINAGE PLAN - AREA "B" TILITP PLAN - AREA "B"
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CAL03 UTILITY PLAN - AREA "A" INSET CAL03 UTILITY PLAN - AREA "A" INSET CR00 STE DETAILS CR01 WATER DETAILS CR02 STORM DRAINAGE DETAILS CR03 SEWER DETAILS CR03 SEWER DETAILS CR04 A" AND "B" PLAN VIEW AND NOTES L6.00 TREE CONSERVATION PLAN L6.01 TREE CONSERVATION CALCULATIONS L-130 OVERALL LANDSCAPE PLAN L-131 DETAILED SANDSCAPE PLAN L-132 DETAILED STE LIGHTING PLAN L-134 LANDSCAPE CALCULATIONS & PLANTING PLAN L-134 LANDSCAPE CALCULATIONS & PLANTING PLAN L-134 LANDSCAPE CALCULATIONS & PLANTING PLAN L-134 LIGHTING DETAILS DUKE ENKERY LIGHTING PLAN-105 Z DUKE ENKERY LIGHTING PLAN-105 Z DUKE ENKERY LIGHTING PLAN-105 Z DUKE ENKERY LIGHTING PLAN-205 Z LOUDING ELEVATIONS AP-2103 AP-2102 BUILDING ELEVATIONS AP-2103 BUILDING ELEVATIONS	C4.03 U C8.00 S	
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AP-2104 BUILDING ELEVATIONS		
A-1005GH PARKING DECK FLOOR PLAN - LEVEL P4 & P5		
A-1005GH PARKING DECK FLOOR PLAN - LEVEL P4 & P5 A-1007GH PARKING DECK FLOOR PLAN - LEVEL P6 & P7		
A-1001GH PARKING DECK FLOOR PLAN - LEVEL PO & P1	AP-2104 B A-1001GH P. A-1003GH P. A-1005GH P. A-1007GH P.	UILDING ELEVATIONS ARKING DECK FLOOR PLAN - LEVEL PO & P1 ARKING DECK FLOOR PLAN - LEVEL P2 & P3 ARKING DECK FLOOR PLAN - LEVEL P4 & P5
A-1005GH PARKING DECK FLOOR PLAN - LEVEL P4 & P5		
A-1005GH PARKING DECK FLOOR PLAN - LEVEL P4 & P5 A-1007GH PARKING DECK FLOOR PLAN - LEVEL P6 & P7		



NC DEPARTMENT OF HEALTH AND HUMAN SERVICES

COPYRON 2021 ALL ROND RELEASED INTER ON ELECTRONIC OWN HOR AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM HER NOT WETTEN PENNEMIN FROM 150P ASSOCIATED TO





SHEET NAME: COVER SHEET

ORIG SUBMISSION: 2021. 06. 03

SHEET COVER

NOT RELEASED FOR

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