



# Administrative Approval Action

Case File / Name: ASR-0048-2021

DSLCL - DHHS OFFICE BUILDING AND PARKING DECK

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 34.15 acre site zoned CX-12 is located at the southwest corner of the intersection of Blue Ridge Road and Reedy Creek Road at 3905 Reedy Creek Road.

**REQUEST:** This is a 480,984 square foot office building, associated 7936 square foot parking deck, associated surface parking and infrastructure for the NC Department of Health all within a project area of 19.31 acres.

-

AAD-14-21 Administrative Alternate Request for Blank Wall (1.5.10) approval of an alternative design.

Approved Rezoning to CX-12 (Z-20-21) – 3905 Reedy Creek Road, located at the southwest corner of its intersection with Blue Ridge Road, being Wake County PIN 0784695116. Approximately 34.15 acres rezoned to Commercial Mixed Use-12 Stories (CX-12). ORDINANCE NO. (2021) 290 ZC 828

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SPR-0131-2021: DSLCL - Site Permitting Review/Major [Signature Set]

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 24, 2021 by MCADAMS.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Demonstrate compliance with UDO Section 7.2.8 D1 regarding retaining walls exceeding 10' in height within 30' of a right of way (Reedy Creek Rd)

### **Stormwater**

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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## Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5). This development proposes to establish 3.78 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Engineering

1. A public infrastructure surety for 15 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

***The following are required prior to issuance of building occupancy permit:***

## **General**

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## **Stormwater**

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

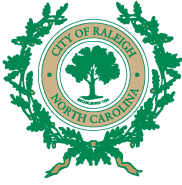
**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** March 23, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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www.raleighnc.gov

I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 11/24/2021  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters









MCADAMS

**LS3P**

434 FAYETTEVILLE STREET SUITE 1700  
RALEIGH, NORTH CAROLINA 27601  
TEL: 919.823.2700 FAX: 919.823.2700  
WWW.LS3P.COM



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**NEW DHHS CAMPUS  
ADMINISTRATIVE SITE REVIEW**

3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCO PROJECT: 19-2189-0002  
LS3P PROJECT: 19-2189-0002

- 1. REVISION: RESPONSE TO CITY COMMENTS
- 2. REVISION: SO PRELIMINARY APPENDIX 1
- 3. REVISION: SO PRELIMINARY APPENDIX 2
- 4. REVISION: RESPONSE TO CITY COMMENTS

SHEET NAME:  
EXISTING CONDITIONS

ORIG SUBMISSION: 2021.06.03

SHEET:  
**C1.00B**

NOT RELEASED FOR CONSTRUCTION



GRAPHIC SCALE  
1" = 40'

E

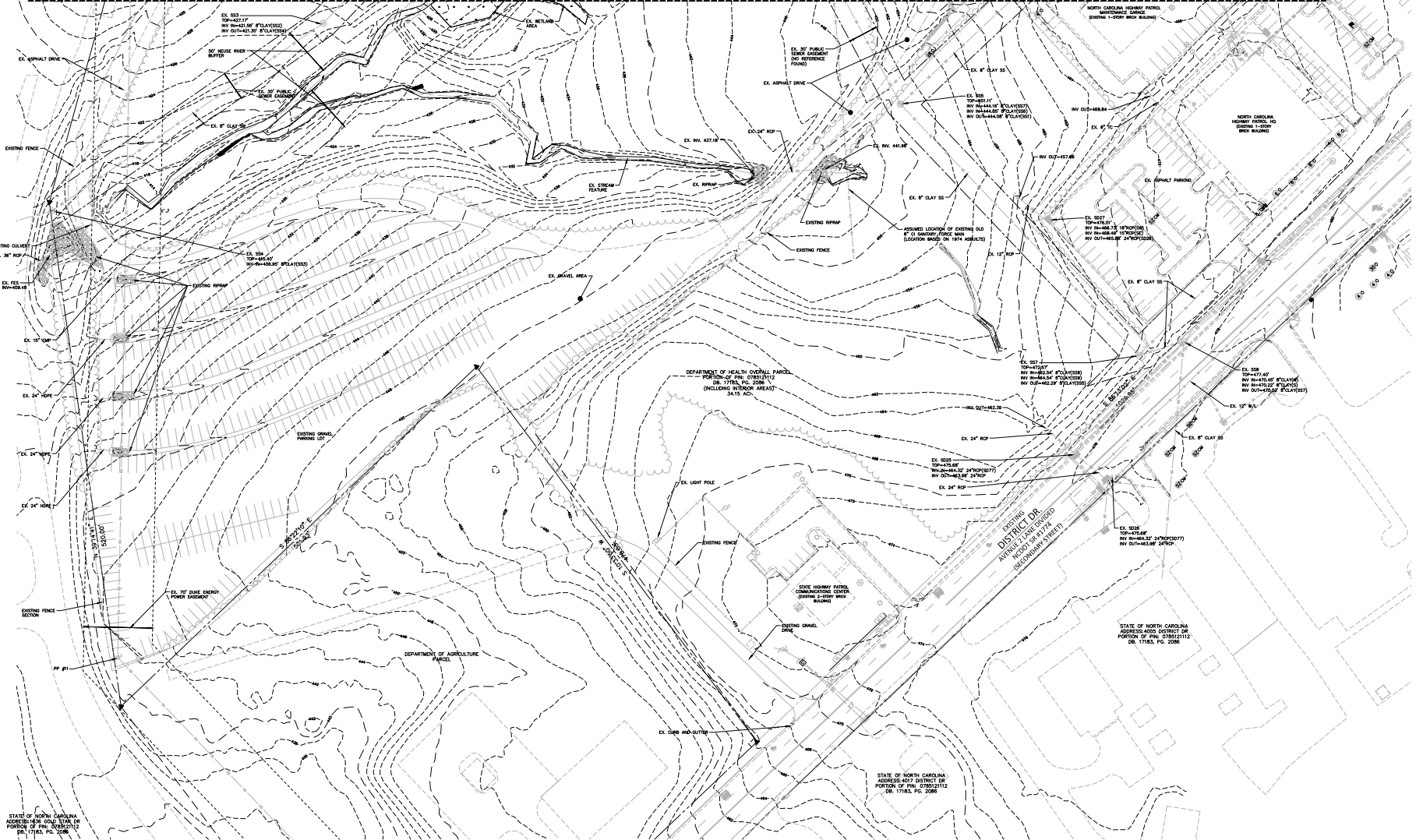
D

C

B

A

SEE SHEET 1.01



1

2

3

4

5

6







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NEW DHHS CAMPUS  
ADMINISTRATIVE SITE REVIEW  
3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
BCD PROJECT: 19-2189-02E  
LS3P PROJECT: 19-01-162510

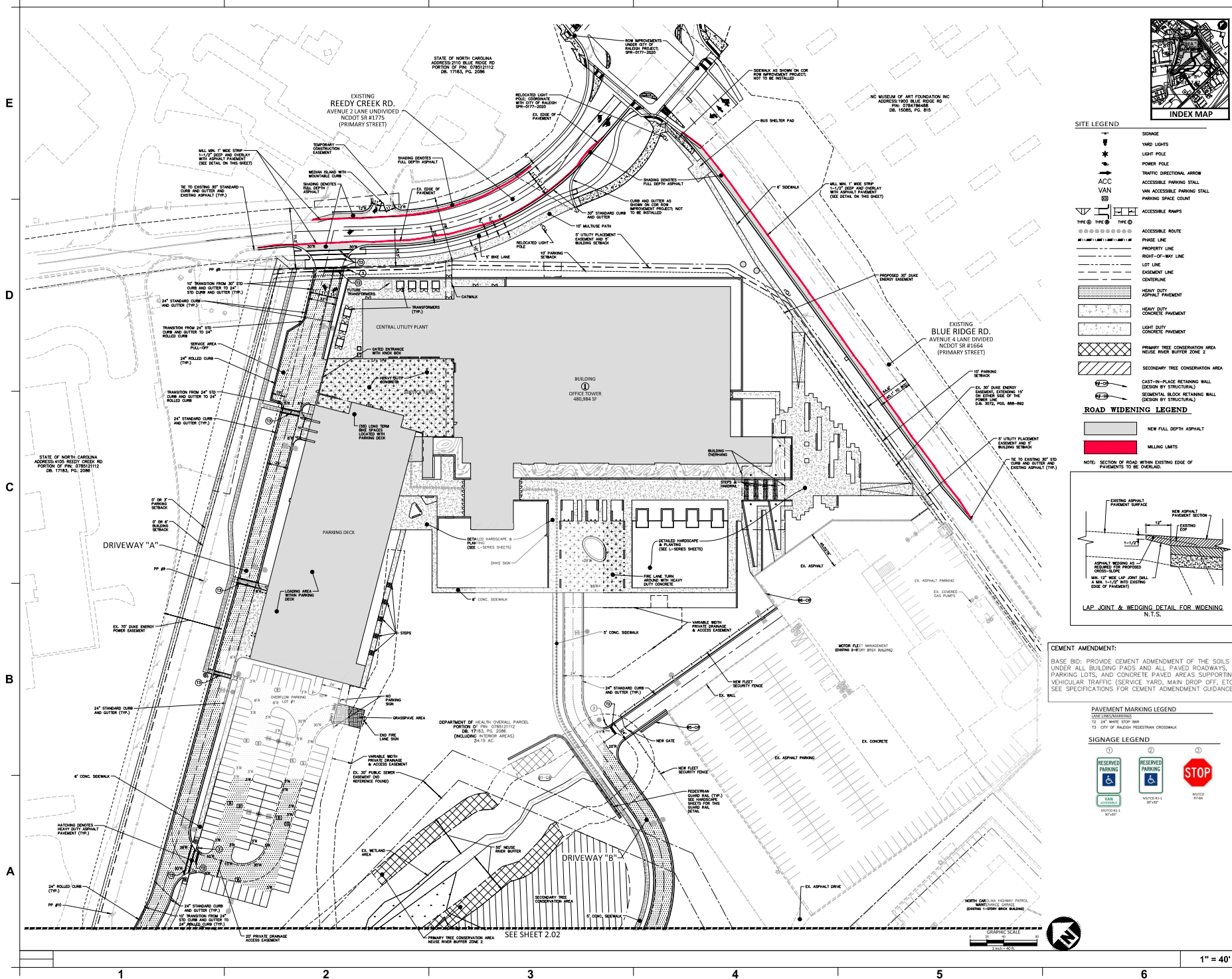
1. BASELINE - RESPONSE TO CITY COMMENTS  
2. DESIGN - 20 PRELIMINARY REVIEW 1  
3. DESIGN - 20 PRELIMINARY REVIEW 2  
4. DESIGN - RESPONSE TO CITY COMMENTS

SHEET NAME:  
SITE PLAN -  
AREA "A"

ORIG SUBMISSION: 2021.06.03

SHEET:  
**C2.01**

NOT RELEASED FOR CONSTRUCTION



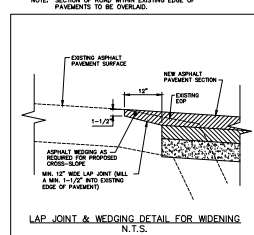
SITE LEGEND

- STORAGE
- YARD LIGHTS
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- LIGHT DUTY CONCRETE PAVEMENT
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- CAST-IN-PLACE RETAINING WALL (DESIGN BY STRUCTURAL)
- SCISSOR-BLOCK RETAINING WALL (DESIGN BY STRUCTURAL)

ROAD WIDENING LEGEND

- NEW FULL DEPTH ASPHALT
- MILLING LIMITS

NOTE: SECTION OF ROAD WITHIN EXISTING EDGE OF PAVEMENTS TO BE OVERLAP.



CEMENT AMENDMENT:

BASE BID: PROVIDE CEMENT AMENDMENT OF THE SOILS UNDER ALL BUILDING PADS AND ALL PAVED ROADWAYS, PARKING LOTS, AND CONCRETE PAVED AREAS SUPPORTING VEHICULAR TRAFFIC (SERVICE YARD, MAN DROP OFF, ETC.). SEE SPECIFICATIONS FOR CEMENT AMENDMENT GUIDANCE.

PAVEMENT MARKING LEGEND

- 12" WIDE STOP BAR
- 12" CITY OF RALEIGH PEDESTRIAN CROSSWALK

SIGNAGE LEGEND

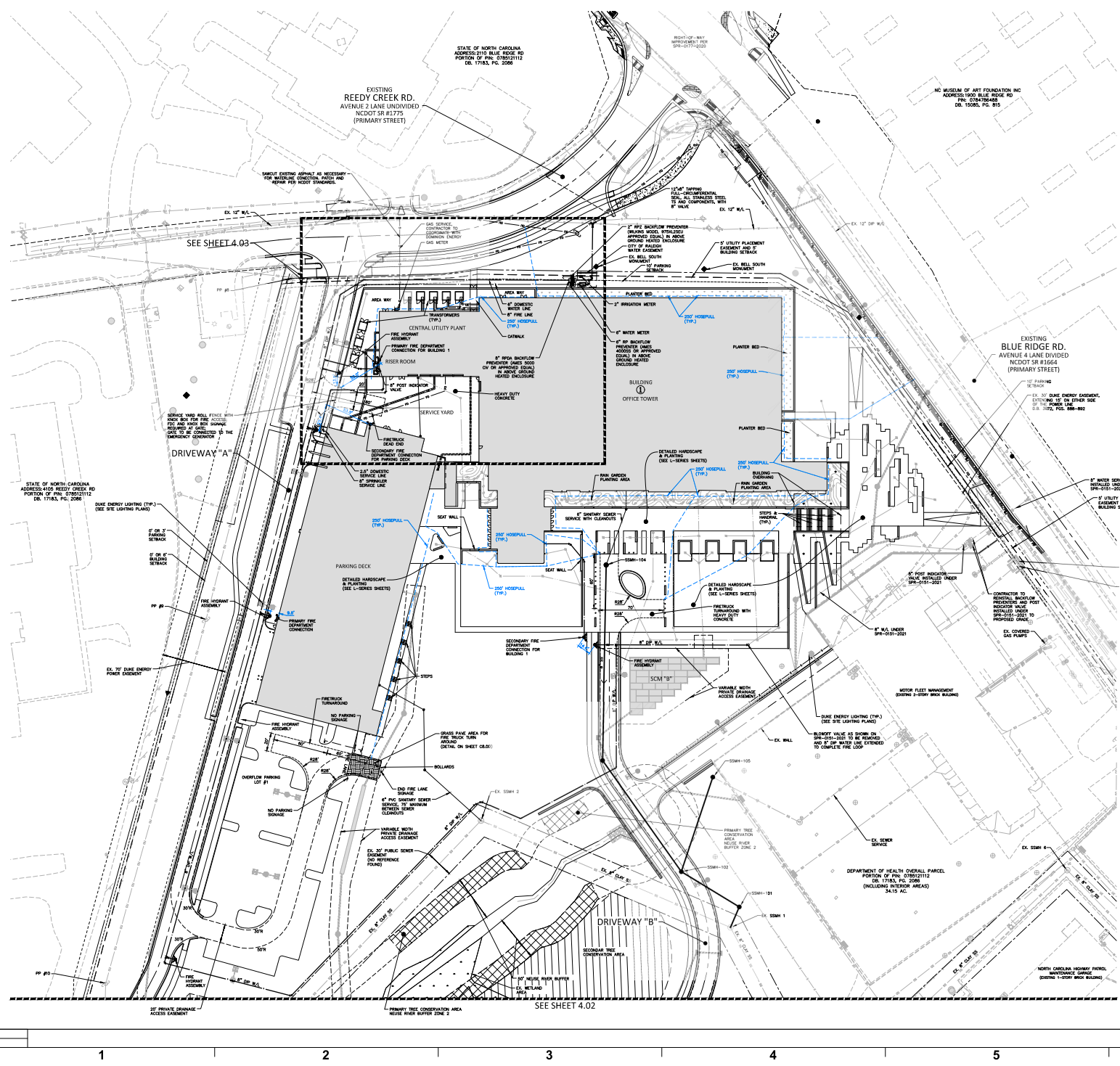
- RESERVED PARKING
- RESERVED PARKING
- STOP
- WATER STOP BAR
- WATER STOP BAR



1" = 40'



E  
D  
C  
B  
A



UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	OVERHEAD UTILITY
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE
	PRIMARY TREE CONSERVATION AREA
	NEUSE RIVER BUFFER ZONE 2
	SECONDARY TREE CONSERVATION AREA

DEPARTMENT OF  
ADMINISTRATION

McADAMS

LS3P

434 FAYETTEVILLE STREET SUITE 1700  
RALEIGH, NORTH CAROLINA 27601  
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WWW.LS3P.COM

NEW DHHS CAMPUS  
ADMINISTRATIVE SITE REVIEW

3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCD PROJECT: 19-2189-A2E  
LS3P PROJECT: 19-001-162510

SHEET NAME:  
UTILITY PLAN -  
AREA "A"

ORIG SUBMISSION: 2021.06.03

SHEET:  
**C4.01**

1" = 40'

NOT RELEASED FOR CONSTRUCTION



McADAMS

**LS3P**

434 FAYETTEVILLE STREET SUITE 1700  
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**NEW DHHS CAMPUS  
ADMINISTRATIVE SITE REVIEW**

3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCO PROJECT: 19-2188-42E  
LS3P PROJECT: 19-2188-42E

1. REVISION: RESPONSE TO CITY COMMENTS
2. REVISION: 30 PARKING ADDENDUM 1
3. REVISION: 30 PARKING ADDENDUM 2
4. REVISION: RESPONSE TO CITY COMMENTS

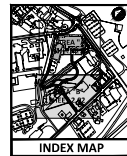
SHEET NAME:  
SITE PLAN -  
AREA "B"

ORIG SUBMISSION: 2021.06.03

SHEET:

**C2.02**

NOT RELEASED FOR CONSTRUCTION



**SITE LEGEND**

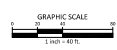
- 1. SIGNAGE
- 2. YARD LIGHTS
- 3. LIGHT POLE
- 4. POWER POLE
- 5. TRAFFIC DIRECTIONAL ARROW
- 6. ACCESSIBLE PARKING STALL
- 7. VAN ACCESSIBLE PARKING STALL
- 8. PARKING SPACE COUNT
- 9. ACCESSIBLE RAMP
- 10. TYPE 1
- 11. TYPE 2
- 12. TYPE 3
- 13. TYPE 4
- 14. ACCESSIBLE ROUTE
- 15. PHASE LINE
- 16. PROPERTY LINE
- 17. RIGHT-OF-WAY LINE
- 18. LOT LINE
- 19. EASEMENT LINE
- 20. CENTERLINE
- 21. HEAVY DUTY ASPHALT PAVEMENT
- 22. HEAVY DUTY CONCRETE PAVEMENT
- 23. LIGHT DUTY CONCRETE PAVEMENT
- 24. PRIMARY TREE CONSERVATION AREA
- 25. NEUSE RIVER BUFFER ZONE 2
- 26. SECONDARY TREE CONSERVATION AREA
- 27. CAST-IN-PLACE RETAINING WALL (DESIGN BY STRUCTURAL)
- 28. SEGMENTAL BLOCK RETAINING WALL (DESIGN BY STRUCTURAL)

**PAVEMENT MARKING LEGEND**

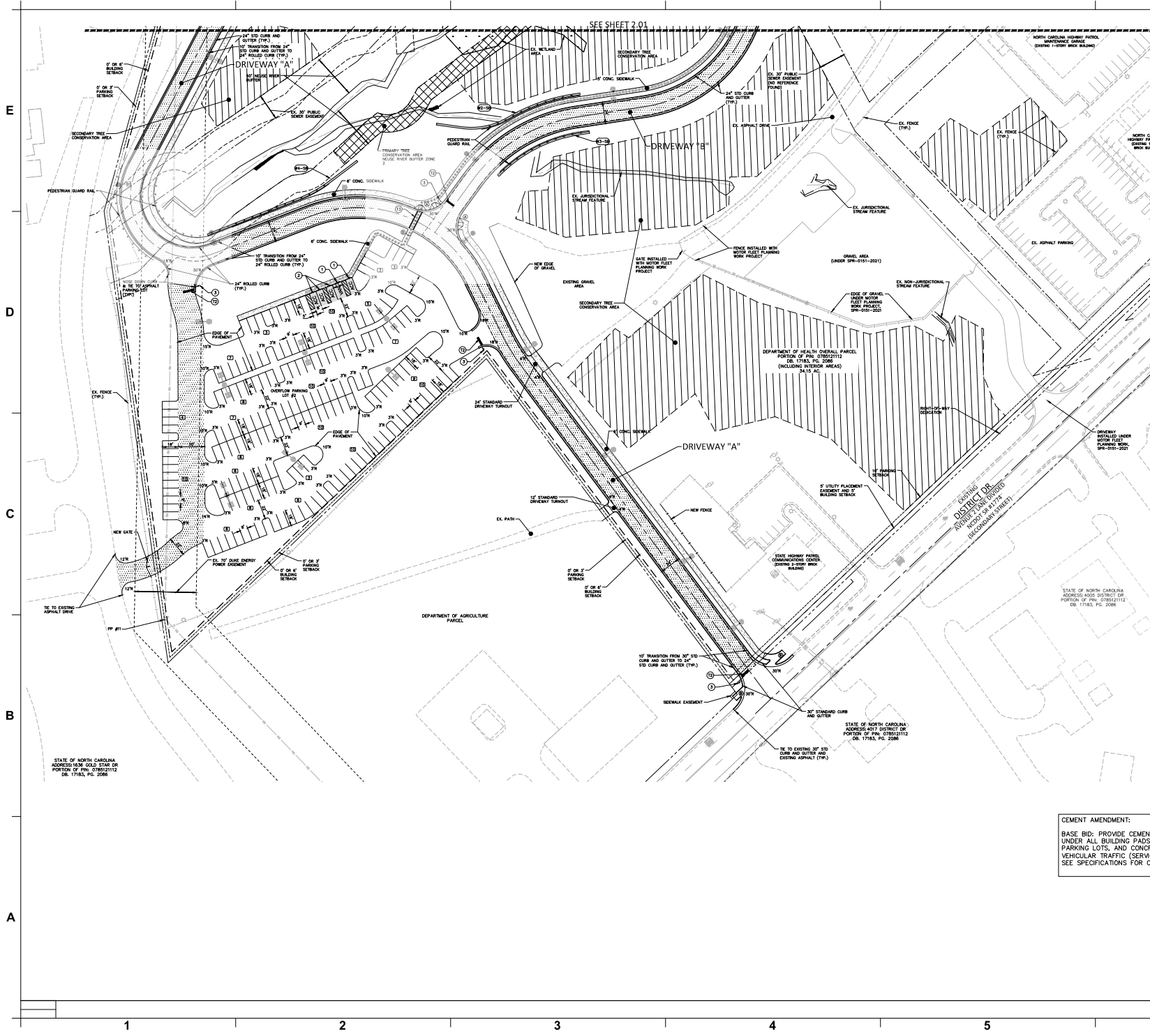
- 1. 2" - 4" WHITE STOP BAR
- 2. CITY OF RALEIGH PEDESTRIAN CROSSWALK

**SIGNAGE LEGEND**

- 1. RESERVED PARKING
- 2. RESERVED PARKING
- 3. STOP
- 4. VAN
- 5. METRO BUS
- 6. METRO BUS



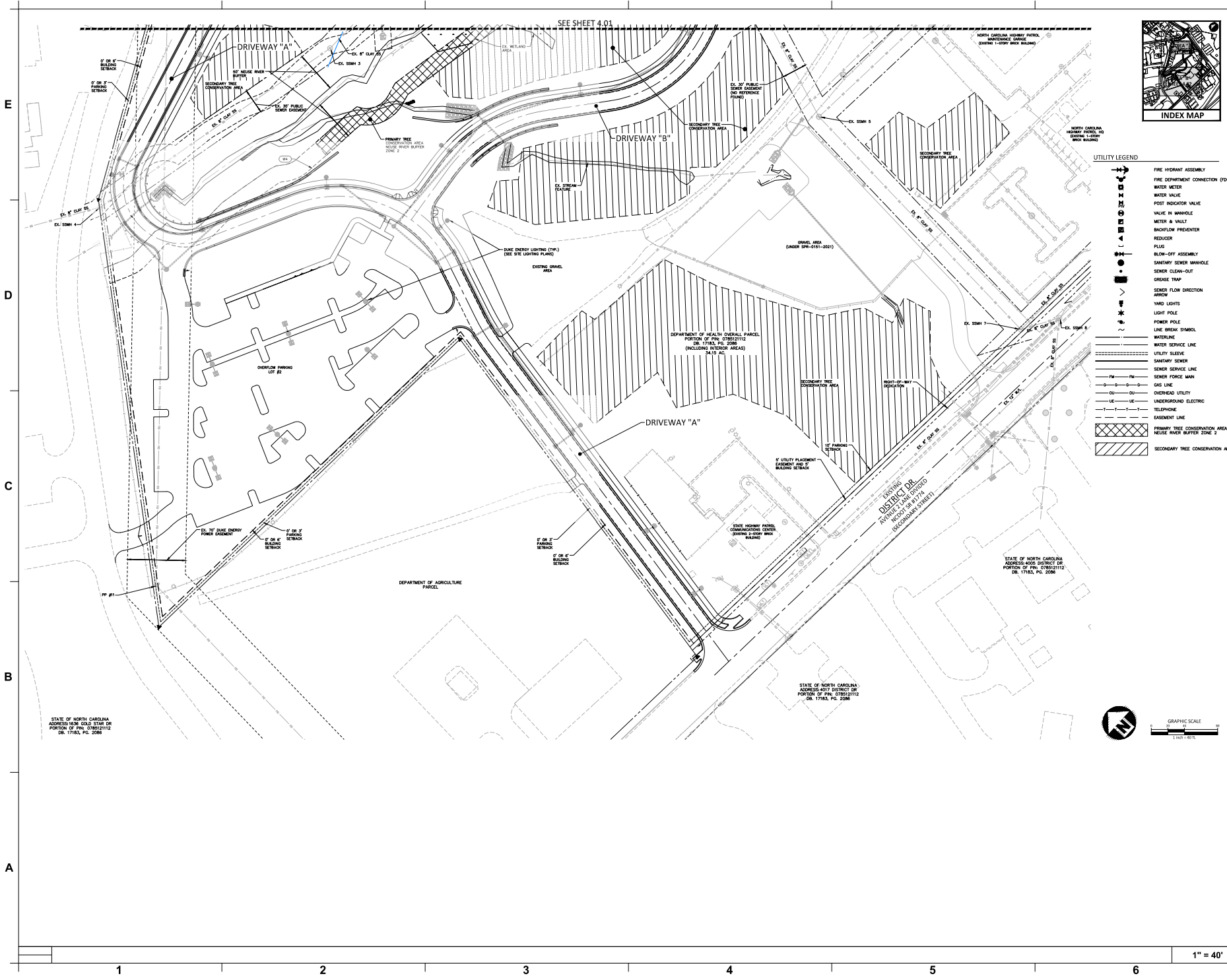
**CEMENT AMENDMENT:**  
BASE BID: PROVIDE CEMENT AMENDMENT OF THE SOILS UNDER ALL BUILDING PADS AND ALL PAVED ROADWAYS, PARKING LOTS, AND CONCRETE PAVED AREAS SUPPORTING VEHICULAR TRAFFIC (SERVICE YARD, MAIN DROP OFF, ETC.). SEE SPECIFICATIONS FOR CEMENT AMENDMENT GUIDANCE.



E  
D  
C  
B  
A

1 2 3 4 5 6

1" = 40'



UTILITY LEGEND

[Symbol]	FIRE HYDRANT ASSEMBLY
[Symbol]	FIRE DEPARTMENT CONNECTION (FDC)
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	POST INDICATOR VALVE
[Symbol]	VALVE IN MANHOLE
[Symbol]	METER & VAULT
[Symbol]	BACKFLOW PREVENTER
[Symbol]	REDUCER
[Symbol]	FLUG
[Symbol]	BLOW-OFF ASSEMBLY
[Symbol]	SAWTOOTH SEWER MANHOLE
[Symbol]	SEWER CLEAN-OUT
[Symbol]	GRASSY TRAP
[Symbol]	SEWER FLOW DIRECTION
[Symbol]	ARROW
[Symbol]	YARD LIGHTS
[Symbol]	LIGHT POLE
[Symbol]	POWER POLE
[Symbol]	LINE BREAK SYMBOL
[Symbol]	WATERLINE
[Symbol]	WATER SERVICE LINE
[Symbol]	UTILITY SLEEVE
[Symbol]	SEWERY SERVICE LINE
[Symbol]	SEWER SERVICE LINE
[Symbol]	SEWER FORCE MAIN
[Symbol]	GAS LINE
[Symbol]	OVERHEAD UTILITY
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	EASEMENT LINE
[Symbol]	PRIMARY TREE CONSERVATION AREA
[Symbol]	REUSE RIVER BUFFER ZONE 2
[Symbol]	SECONDARY TREE CONSERVATION AREA

DEPARTMENT OF  
ADMINISTRATION

McADAMS

LS3P

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TEL: 919.821.2700 FAX: 919.821.2730  
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NEW DHHS CAMPUS  
ADMINISTRATIVE SITE REVIEW

3305 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCD PROJECT: 19-21084-002  
LS3P PROJECT: 19-03-162670

SHEET NAME:  
UTILITY PLAN -  
AREA "B"

ORIG SUBMISSION: 2021.06.03

SHEET:  
**C4.02**

1" = 40'

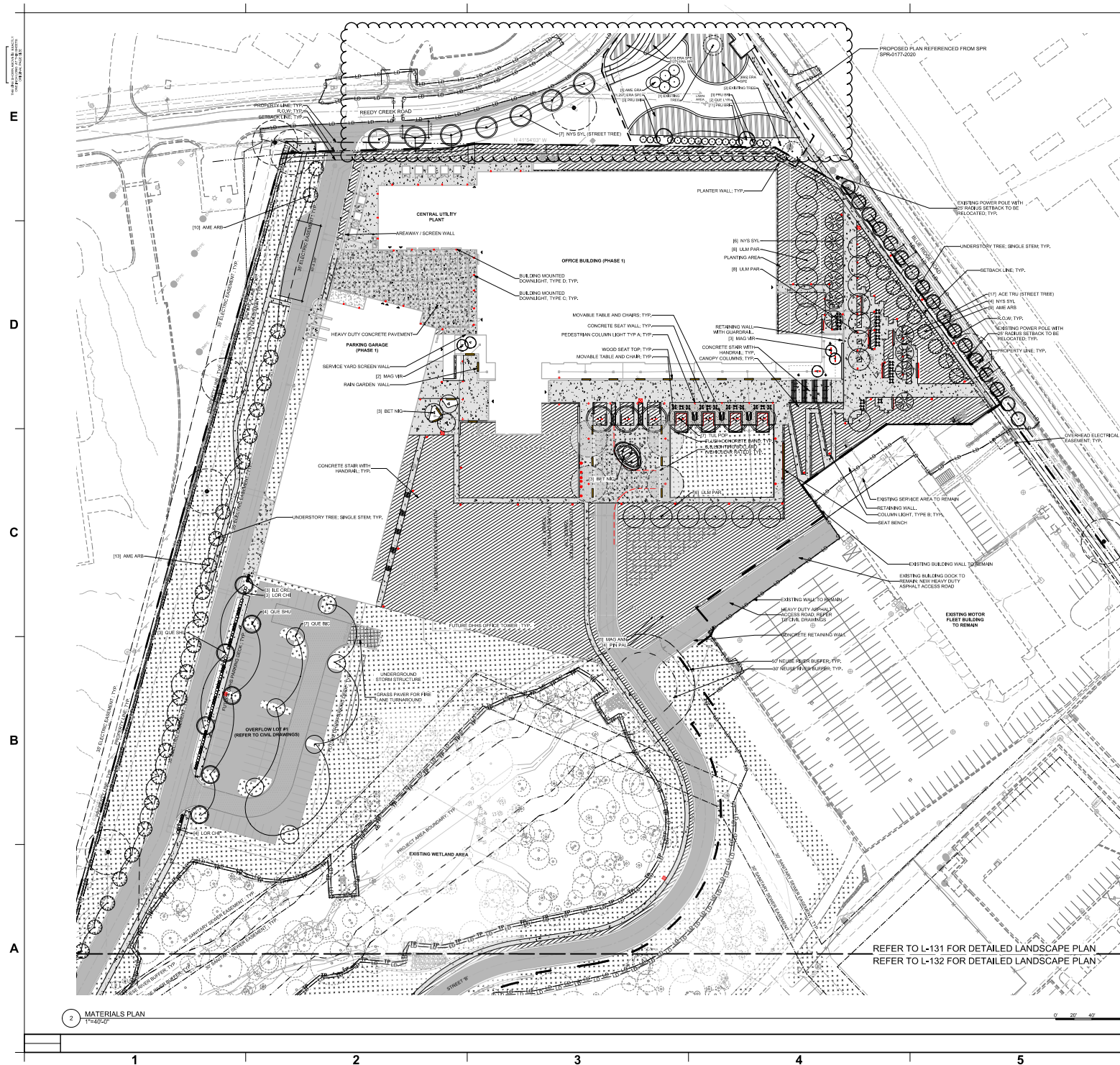
NOT RELEASED FOR CONSTRUCTION











DATE	DESCRIPTION

MATERIAL LEGEND

	HEAVY DUTY ASPHALT REFER TO CIVIL DRAWINGS
	HEAVY DUTY CONCRETE
	LIGHT DUTY CONCRETE
	TURF FIRE LANE
	DECORATIVE GRAVEL
	CONCRETE BENCH
	C.J.P. CONCRETE RETAINING WALL
	STAINLESS-STEEL BOLLARDS
	PEDESTRIAN COLUMN LIGHT
	POLE LIGHT, TYPE A (PEDESTRIAN USE)
	POLE LIGHT, TYPE B (VEHICULAR USE)
	PEDESTRIAN BOLLARD LIGHT
	ADJUSTABLE FLOODLIGHT
	BACKGROUND UPLIGHT
	EMERGENCY BLUE LIGHT
	LIMITS OF DISTURBANCE
	TREE PROTECTION FENCE

	GROUND COVER
	TURF (SEEDING)

E

D

C

B

A

2 MATERIALS PLAN  
1"=40'-0"

0' 20' 40' 60'

1

2

3

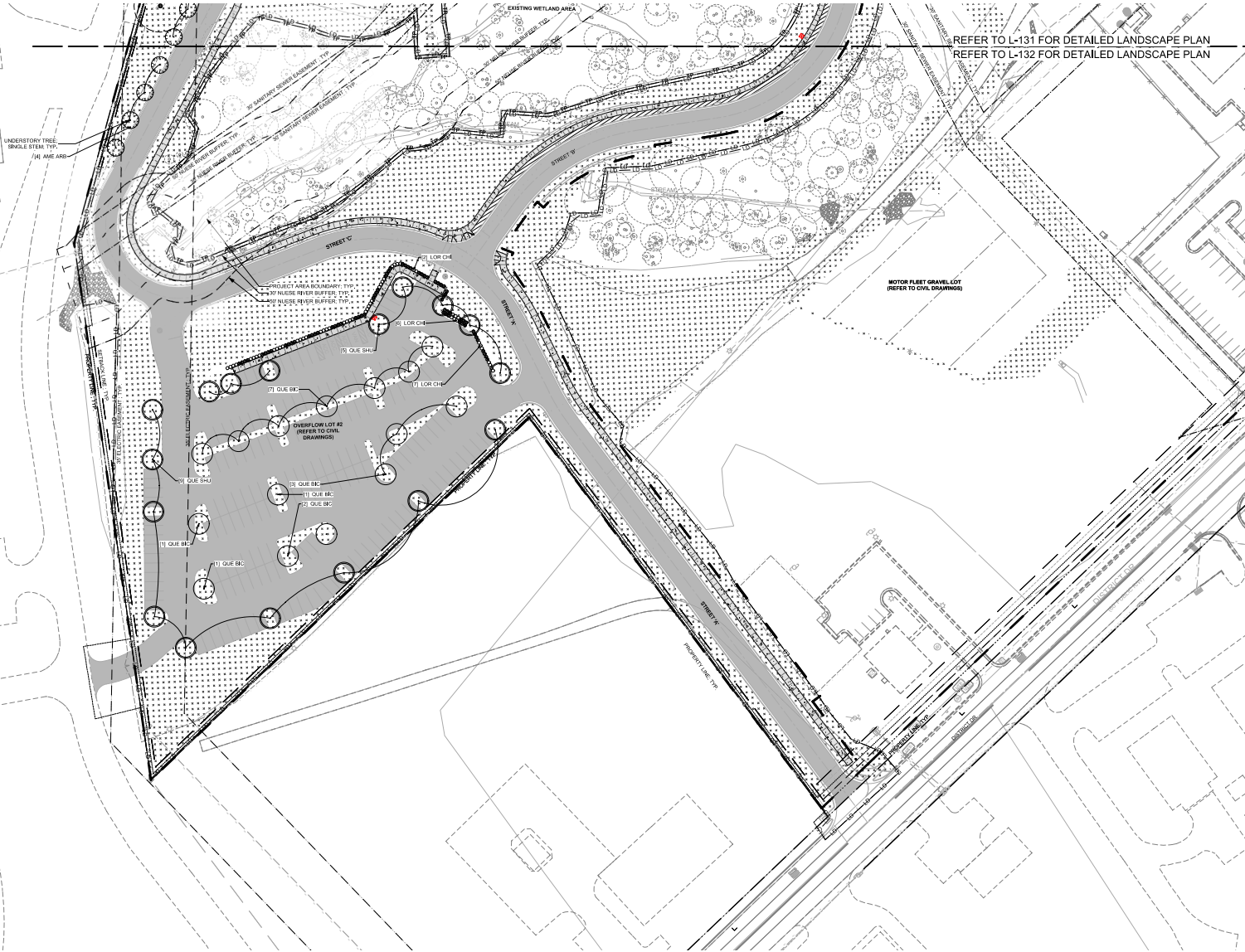
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5

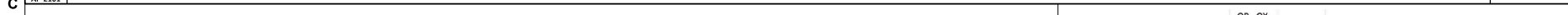
6

REFER TO L-131 FOR DETAILED LANDSCAPE PLAN  
REFER TO L-132 FOR DETAILED LANDSCAPE PLAN

MOTOR FLEET GRAVEL LOT  
(REFER TO CIVIL DRAWINGS)





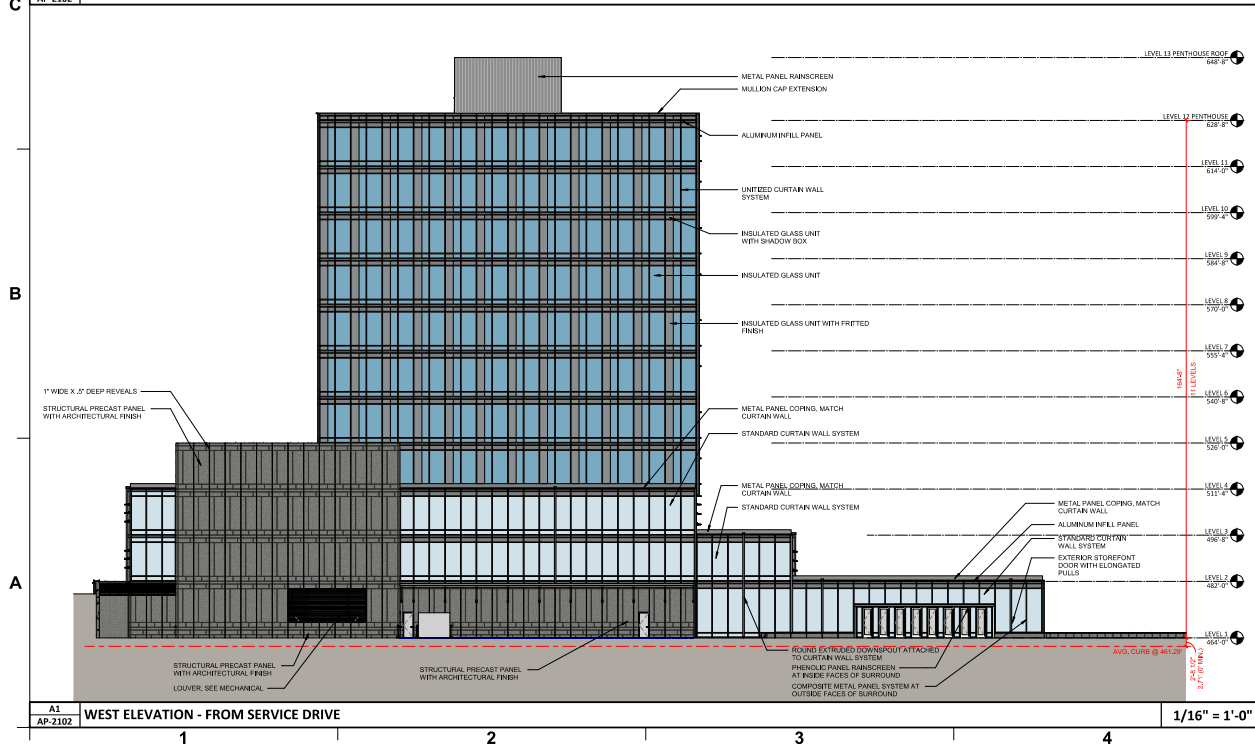
[illegible]

<p>  </p> <p> <b>YATIRIM MENKUL DEĞERLER A.Ş.</b>  <b>YATIRIM MENKUL DEĞERLER A.Ş.</b>  <b>YATIRIM MENKUL DEĞERLER A.Ş.</b> </p>	<p> <b>YATIRIM MENKUL DEĞERLER A.Ş.</b>  <b>YATIRIM MENKUL DEĞERLER A.Ş.</b>  <b>YATIRIM MENKUL DEĞERLER A.Ş.</b> </p>
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[illegible]



C1 AP-2102 SOUTH ELEVATION - FROM PLAZA 1/16" = 1'-0"

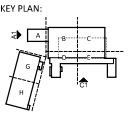


A1 AP-2102 WEST ELEVATION - FROM SERVICE DRIVE 1/16" = 1'-0"

**NEW DHHS CAMPUS  
ADMINISTRATIVE SITE REVIEW**

3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCO PROJECT: 19-21089-02E  
LS3P PROJECT: 8705-192510

DATE	DESCRIPTION



SHEET NAME:  
BUILDING  
ELEVATIONS-ASR

ORIG SUBMISSION: 2021.06.03

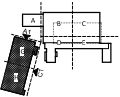
SHEET:  
**AP-2102**  
SUBMITTAL 1

## NEW DHHS CAMPUS ADMINISTRATIVE SITE REVIEW

3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCO PROJECT: 19-21089-02E  
LS3P PROJECT: 8703-192810

[illegible]

KEY PLAN:

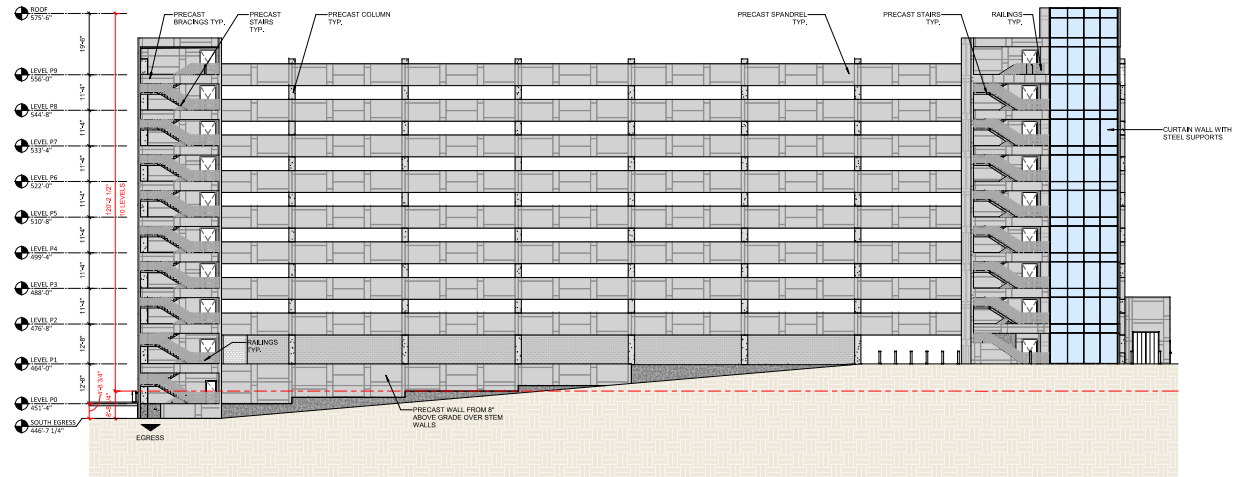


SHEET NAME:  
BUILDING  
ELEVATIONS-ASR

ORIG 2021.06.03  
SUBMISSION:

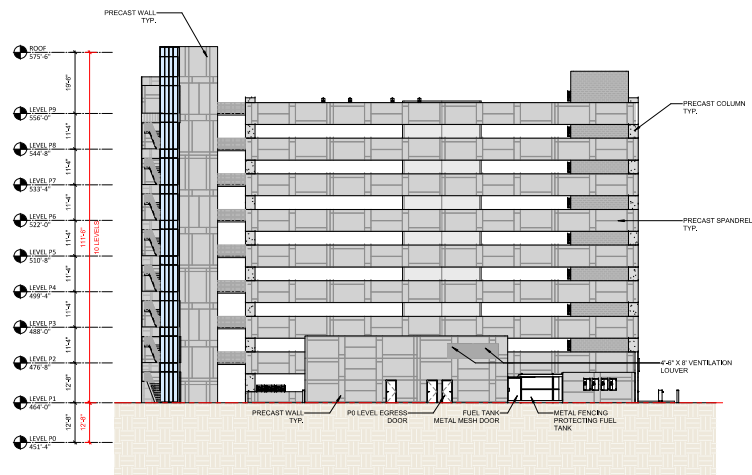
SHEET: **AP-2103**

**SMITTA 1**



C1	PARKING DECK - EAST ELEVATION
AP-2103	

$$1/16'' = 1'-0''$$



A1	PARKING DECK - NORTH ELEVATION
AP-2103	

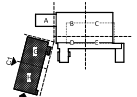
1/16" = 1'-0"
---------------

## NEW DHHS CAMPUS ADMINISTRATIVE SITE REVIEW

3905 REEDY CREEK ROAD  
RALEIGH, NC 27607  
SCO PROJECT: 19-21089-02E  
LS3P PROJECT: 8703-192810

[illegible]

KEY PLAN:

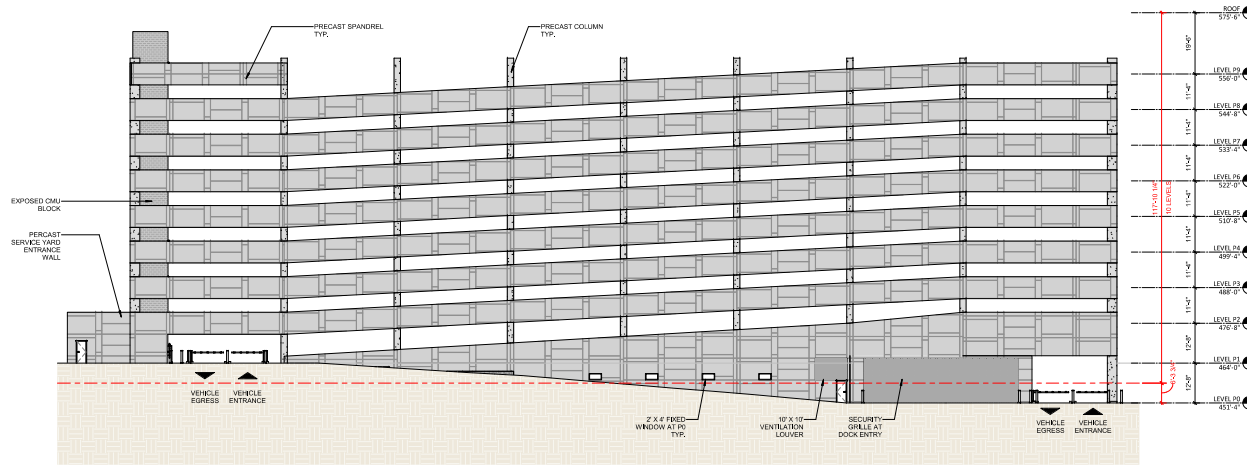


SHEET NAME:  
BUILDING  
ELEVATIONS-ASR

ORIG 2021.06.03  
SUBMISSION:

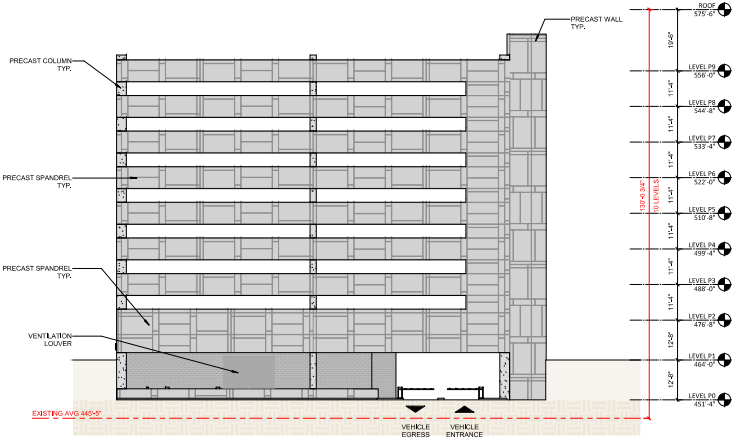
SHEET:  
**AP-2104**

SUBMITTAL 1



C1	PARKING DECK - WEST ELEVATION
AP-2104	

$1/16'' = 1'-0''$
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A1	PARKING DECK - SOUTH ELEVATION
AP-2104	

$1/16'' = 1'-0''$
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