



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_


Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: SUB-S-46-17	
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: St. Albans Residential			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <b>500 Hardimont Road</b>			
Site P.I.N.(s): 1715082275			
Please describe the scope of work. Include any additions, expansions, and change of use. Approximately 324 residential apartments and 6,310 sf retail with structured parking. This development is also only for Lot 9.			
Current Property Owner/Developer Contact Name: John Kane			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: Kane Andrews Acquisition, LLC		Title: Manager	
Address: c/o Kane Realty, 4321 Lassiter at North Hills Ave, Raleigh, NC 27609			
Phone #: 919-719-5449		Email: dpitts@kanerealtycorp.com	
Applicant Name: Jonathan Balderson, Assistant Project Manager			
Company: McAdams		Address: 561 Hillsborough St, Suite 500, Raleigh, NC 27603	
Phone #: 919-287-0815		Email: balderson@mcadamsco.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0 sf
	Existing gross floor area to be demolished: 0 sf
Gross site acreage: 4.98 ac	New gross floor area: 467,605 sf
# of parking spaces required: See Site Data Table	Total sf gross (to remain and new): 467,605 sf
# of parking spaces proposed: See Site Data Table	Proposed # of buildings: 1
Overlay District (if applicable): n/a	Proposed # of stories for each: 8 per building code
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Mixed Use (multi-family & Retail)	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.00      Square Feet: 0.00	Proposed Impervious Surface: Acres: 2.84      Square Feet: 123,918
Is this a flood hazard area?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: n/a	
Alluvial soils: n/a	
Flood study: n/a	
FEMA Map Panel #: 37020170500K, 3720171500K	
Neuse River Buffer      Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands      Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 324	Total # of hotel units: 0
# of bedroom units: 1br 261      2br 58      3br 5      4br or more 0	
# of lots: 2	Is your project a cottage court?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>Jonathan Balderson</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: 8/16/2023
Printed Name: Jonathan Balderson	

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<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Subdivision case #: SUB-S-46-17	
Scoping/sketch plan case #: _____	
Certificate of Appropriateness #: _____	
Board of Adjustment #: _____	
Zoning Case #: _____	
Administrative Alternate #: _____	

### GENERAL INFORMATION

Development name: **St. Albans Residential**

Inside City limits? Yes  No

Property address(es): **500 Hardimont Road**

Site P.I.N.(s): 1715082275

Please describe the scope of work. Include any additions, expansions, and change of use. Approximately 324 residential apartments and 6,310 sf retail with structured parking. This development is also only for Lot 9.

Current Property Owner/Developer Contact Name: John Kane  
**NOTE: please attach purchase agreement when submitting this form.**

Company: Kane Andrews Acquisition, LLC Title: Manager

Address: c/o Kane Realty, 4321 Lassiter at North Hills Ave, Raleigh, NC 27609

Phone #: 919-719-5449 Email: dpitts@kanerealtycorp.com

Applicant Name: Jonathan Balderson, Assistant Project Manager

Company: McAdams Address: 561 Hillsborough St, Suite 500, Raleigh, NC 27603

Phone #: 919-287-0815 Email: balderson@mcadamsco.com

# BLOCK 4 MIDRISE

500 HARDIMONT ROAD  
RALEIGH, NORTH CAROLINA 27609  
**ADMINISTRATIVE SITE REVIEW**  
CITY OF RALEIGH CASE# ASR-XXXX-2023  
PROJECT NUMBER: KAN-22008  
DATE: AUGUST 18, 2023

### SHEET INDEX

C0.00	PROJECT NOTES
C0.01	WILL SERVE LETTER
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	SIGHT DISTANCE TRIANGLE PLAN
C2.02	EASEMENT PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C4.01	UTILITY INSET PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	WATER DETAILS
C8.04	WATER AND STORM DRAINAGE DETAILS
C8.05	STORM DRAINAGE DETAILS
C8.06	SANITARY SEWER DETAILS
C8.07	SANITARY SEWER DETAILS

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 621  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187  
www.mcadamsco.com

### CONTACT

JONATHAN BALDERSON  
balderson@mcadamsco.com  
PHONE: 919. 287. 0815

### CLIENT

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVE, SUITE 250  
RALEIGH, NORTH CAROLINA 27609  
PHONE: 919.833.7755

### PROJECT DIRECTORY

TYPE  
NAME  
ADDRESS  
ADDRESS

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0 sf
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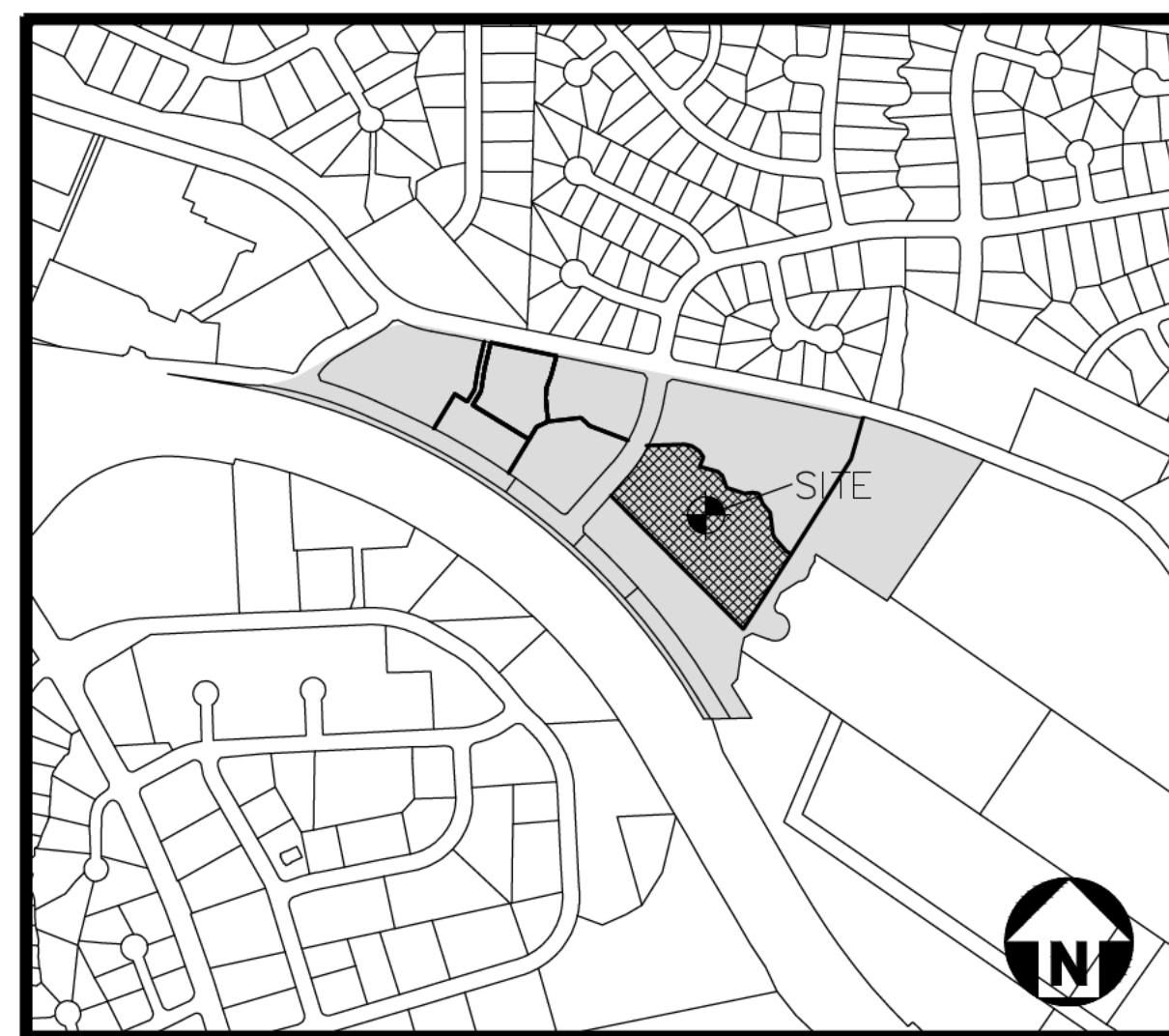
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I, **Jonathan Balderson** will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: \_\_\_\_\_ Date: 8/16/2023  
Printed Name: Jonathan Balderson



**VICINITY MAP**  
N.T.S.

### SITE DATA

PHYSICAL ADDRESS:	500 HARDIMONT ROAD, RALEIGH, NC 27609
PARCEL PIN:	1715082275
ZONING:	PD
OVERLAY DISTRICT:	NONE
WATERSHED:	BIG BRANCH
SITE AREA:	LOT 9 216,715 SF / 4.98 AC
FLOODWAY/FLOODPLAIN:	3720171500K, 3720170500K
PROPOSED USES:	MIXED USE BUILDING WITH MULTI-LEVEL PARKING FACILITY, RETAIL, AND RESIDENTIAL.
BUILDING DATA:	RESIDENTIAL: 324 TOTAL UNITS, 261 1-BEDROOM, 58 2-BEDROOM, 5 3-BEDROOM
	RETAIL: 6,310 SF COMMERCIAL (LIVE/WORK): 8,050 SF PARKING DECK: 142,945 SF RESIDENTIAL: 310,300 SF TOTAL: 467,605 SF
PARKING DATA:	VEHICLE PARKING REQUIRED: RESIDENTIAL UNITS: 0 SPACES (PER UDO SEC. 7.1.3.A.1.A) (537 MAX.) 1-BEDROOM: 1.5 SPACES/UNIT 2-BEDROOM: 2.25 SPACES/UNIT 3-BEDROOM: 3 SPACES/UNIT RETAIL: 0 SPACES (PER UDO SEC. 7.1.3.A.1.A) (32 MAX.) OVERALL REQUIRED PARKING: 0 SPACES (PER UDO SEC. 7.1.3.A.1.A) (569 MAX.) PROPOSED: 422 TOTAL SPACES (393 STANDARD) (21 COMPACT) (6 ADA & 2 VAN)
	ACCESSIBLE PARKING REQUIRED: 8 SPACES 1 VAN 8 SPACES (6 ADA SPACES & 2 VAN)
	BIKE PARKING REQUIRED: 56 LONG TERM SPACES; 21 SHORT TERM SPACES RETAIL: LONG TERM: 0 SPACES (NONE) SHORT TERM: 4 SPACES (1/5,000 SF, 4 MIN.) RESIDENTIAL: LONG TERM: 56 SPACES (1/7 BEDROOMS) SHORT TERM: 17 SPACES (1/20 UNIT SF, 4 MIN.) PROPOSED: 56 LONG TERM SPACES; 18 SHORT TERM SPACES
BUILDING + PARKING SETBACKS	NONE
EXISTING IMPERVIOUS:	0 AC. (0 SF)
PROPOSED IMPERVIOUS ALLOCATION:	2.84 AC. (123,918 SF)
BUILDING HEIGHT	MAXIMUM ALLOWED: 265' PROPOSED: 90'-8"
BUILDING/STRUCTURE SETBACKS:	NONE
OUTDOOR AMENITY AREA (LOT 9)	REQUIRED: 0.25 ACRES (10,835 SF, 5.0% OF 4.98 ACRES) PROVIDED: 0.34 ACRES (14,827 SF, 6.8% OF 4.98 ACRES)

### SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED IN ROLL-OUT TRASH AND RECYCLING CARTS THAT WILL BE BROUGHT OUT CURB SIDE FOR PICKUP. PICKUP WILL BE PROVIDED TWICE A WEEK.

### ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2408 and the **Public Utilities Department** at (919) 996-4542 at least **twenty four hours** prior to beginning any of their construction.

**Failure** to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

**Failure** to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

### REVISIONS

NO.	DATE
1.	
2.	
3.	

### ADMINISTRATIVE SITE REVIEW FOR:

MIDRISE BLOCK 4  
500 HARDIMONT ROAD  
RALEIGH, NC 27609  
PROJECT NUMBER: KAN-22008



Know what's below.  
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



McADAMS

The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269

license number: C-0293, C-187

www.mcadamsco.com

CLIENT

KANE REALTY CORPORATION 4321 LASSITER AT NORTH HILLS AVENUE SUITE 250 RALEIGH, NORTH CAROLINA 27609



BLOCK 4 MIDRISE 520 ST ALBANS DRIVE ADMINISTRATIVE SITE PLAN RALEIGH, NORTH CAROLINA, 27609

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
2.a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE...
2.b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'...

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION...
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH...

STORM DRAINAGE NOTES

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS...
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.

ADDITIONAL UTILITY NOTES

- 1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).

PAVEMENT MARKING NOTES

- 1. ALL PAVEMENT MARKINGS SHOWN IN THESE PLANS FOR CITY OF RALEIGH MAINTAINED STREETS ARE SUBJECT TO FINAL APPROVAL FROM PUBLIC WORKS TRANSPORTATION OPERATIONS DIVISION. CONTRACTOR SHALL CONTACT TRANSPORTATION OPERATIONS AT 919-996-3030 FOR COORDINATION AND FINAL APPROVAL PRIOR TO PLACEMENT OF ANY PAVEMENT MARKINGS...
2. ALL SIGNS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE ORDINANCED FOR ENFORCEMENT.



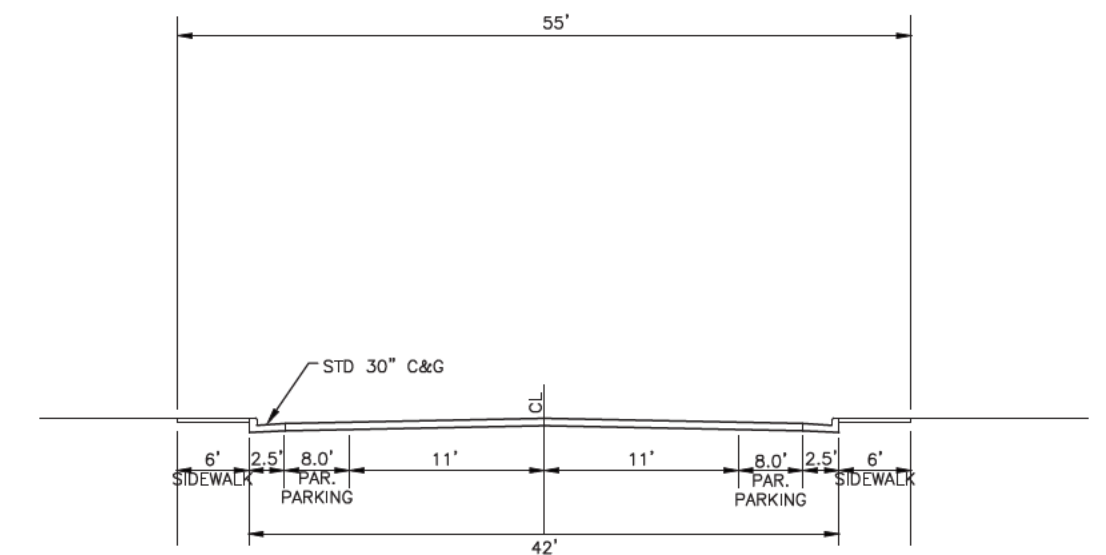
Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

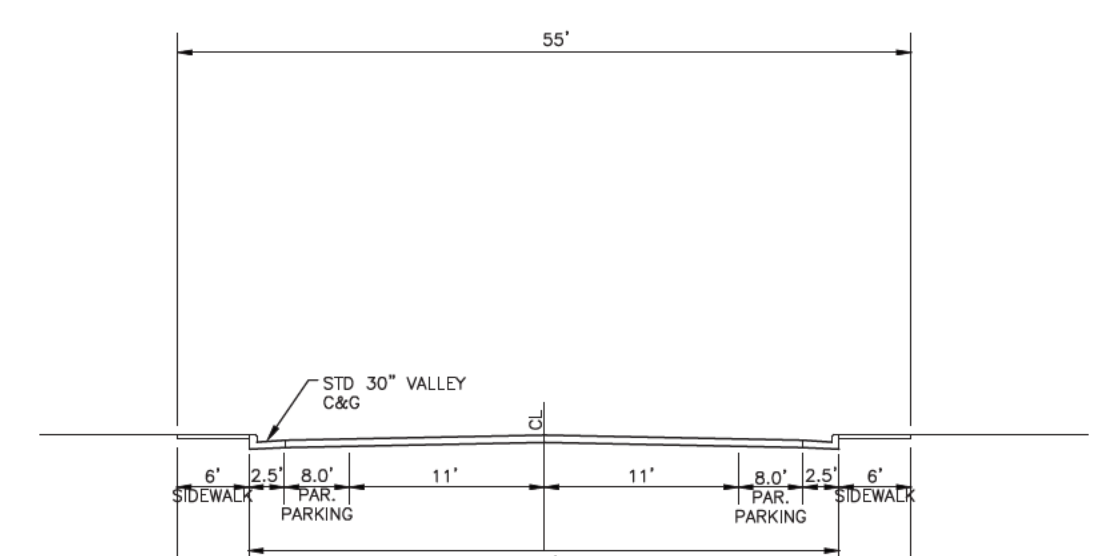
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

SITE PLAN NOTES

- 1. NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE DRIVEWAY SHALL NOT ENCRoACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
2. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THROUGHFARES.



PRIVATE STREET A TYPICAL SECTION: 43' B-B STREET



PRIVATE STREET B TYPICAL SECTION: 43' B-B STREET

SANITARY SEWER NOTES:

- 1. ALL SEWER SERVICES IN PUBLIC R.O.W. SHALL BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
2. BEFORE COMMENCING ANY EXCAVATION IN ANY HIGHWAY, STREET, PUBLIC SPACE, OR IN AN EASEMENT, THE NORTH CAROLINA UNDERGROUND DAMAGE PREVENTION ACT REQUIRES NOTIFICATION OF EACH UTILITY OWNER HAVING U.G. UTILITIES LOCATED IN THE PROPOSED AREA TO BE EXCAVATED...
3. ANY EXISTING UTILITY APPURTENANCES SHALL NOT BE REUSED ON PROPOSED IMPROVEMENTS.

CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

RETAINING WALL NOTES

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE BOTTOM OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCRoACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.

GENERAL NOTES:

- 1. OWNER RESERVES RIGHT TO ADJUST SITE IMPROVEMENTS AND MODIFY BUILDING FOOTPRINTS FROM THOSE SHOWN ON THIS PLAN.
2. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS, ENGINEERING INSPECTIONS DEPARTMENT (919) 996-6824, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER.
3. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR, AFTER PERMISSION BY EROSION CONTROL INSPECTOR.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

DEMOLITION NOTES:

- 1. IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIBLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIBLE ASBESTOS CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

WATER NOTES:

- 1. WATER TO BE USED DURING CONSTRUCTION SHALL EITHER HAVE A PERMANENT TAP INSTALLED THROUGH A NEW SERVICE TAP PERMIT, OR A RENTAL OF A HYDRANT METER SHALL BE SECURED TEMPORARILY; THROUGH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
2. WATER DESIGN
2.1. PUBLIC WATER SYSTEMS SHALL CONFORM TO PUBLIC DISTRIBUTION SYSTEM STANDARDS.
2.2. PRIVATE DISTRIBUTION SYSTEMS SHALL HAVE A MASTER METER AND MASTER BACK FLOW DEVICE.
3. ALL 6" & 8" WATERLINES, SHALL BE DUCTILE IRON PRESSURE CLASS 350 PER CITY OF RALEIGH STANDARDS. ALL 2" WATERLINE SHALL BE TYPE K-COPPER.
4. ALL MAINS SHALL HAVE A MINIMUM 36" COVER.
5. ALL MAINS SHALL HAVE A TYPE 1 LAYING CONDITIONS (GEOTECHNICAL EVALUATION AND COMPACTION REPORTS SHALL BE PROVIDED TO ENGINEER WITH AS-BUILT SUBMITTAL)

M:\Projects\MANV\KAN22008\04-Production\Engineering\Civil Drawings\Current Drawings\KAN22008-ASR-NI.dwg, 8/17/2023 2:15:41 PM, Jackson, Sharen



August 16, 2023

Kane Realty Corporation  
4321 Lassiter at North Hills Ave, #250  
Raleigh, NC 27609

RE: "Will Serve" Letter for Solid Waste and Recycling Services at Block 4 Midrise

In response to your request, this letter serves as confirmation that GFL Environmental can provide waste and recycling services for the proposed Block 4 Midrise project, located at 520 St Albans Drive, Raleigh, North Carolina.

We have reviewed the current proposed site plan and have no safety or collection concerns. If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Sincerely,

*Melissa Dixon*

Melissa Dixon  
National Accounts Sales Executive  
GFL Environmental  
[melissa.dixon@gflenv.com](mailto:melissa.dixon@gflenv.com)

3301 Benson Drive, Suite 601, Raleigh, NC 27609  
Tel: 919-325-3000 | [gflenv.com](http://gflenv.com)



Know what's below.  
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

#### ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at **(919) 996-2409** and the **Public Utilities Department** at **(919) 996-4540** at least **twenty-four hours** prior to beginning any of their construction.

**Failure** to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

**Failure** to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation** of **City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



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fax 919. 361. 2269  
license number: C-0293, C-187

[www.mcadamsco.com](http://www.mcadamsco.com)

#### CLIENT

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVENUE  
SUITE 250  
RALEIGH, NORTH CAROLINA 27609



**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

#### REVISIONS

NO. DATE

#### PLAN INFORMATION

PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-N1  
CHECKED BY JLV  
DRAWN BY JS  
SCALE N.T.S.  
DATE 08.17.2023

#### SHEET

WILL SERVE LETTER

**C0.01**

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SEE SHEET C1.01



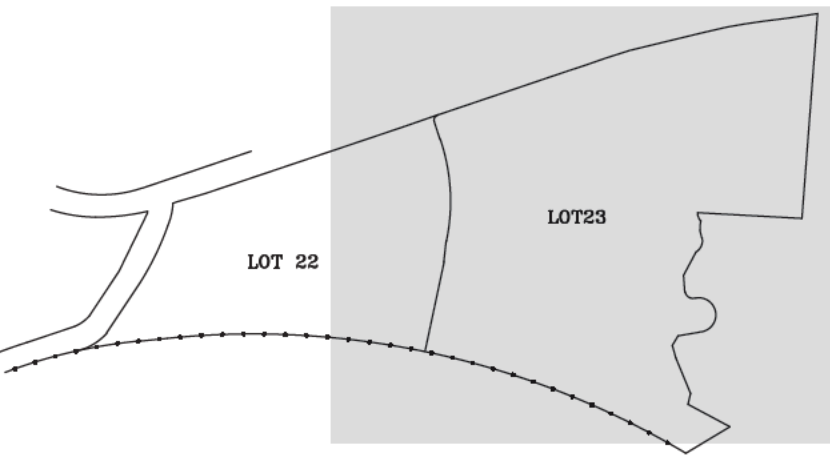
**NOTES:**  
1. EXISTING CONDITIONS ARE BASED ON THE BEST INFORMATION AVAILABLE, INCLUDING SURVEY AND DESIGN OF PREVIOUS MASS GRADING AS PREVIOUSLY APPROVED.

**SANITARY SEWER EASEMENT ABANDONMENT NOTES:**

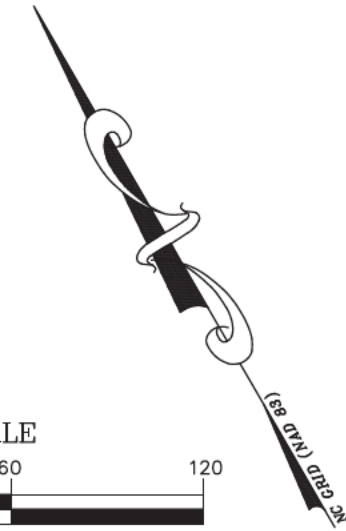
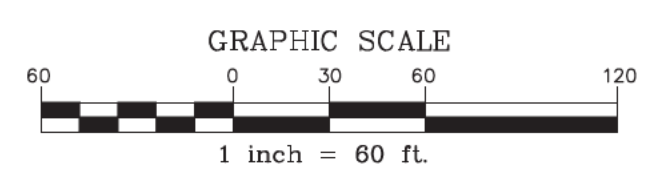
- 1. SUBMIT A WRITTEN REQUEST TO ABANDON SEWER EASEMENT FROM PROPERTY OWNER TO ROBERT MASSELOTT (PUBLIC UTILITIES DIRECTOR) IN C/O CESAR SANCHEZ (DEVELOPMENT REVIEW MANAGER).
- 2. A PLAT MUST BE RECORDED SHOWING THE EASEMENT PORTIONS TO BE ABANDONED WITH A NOTE STATING "EXISTING 30' CITY OF RALEIGH SANITARY SEWER EASEMENT INTENDED TO BE DISPOSED OF BY A FUTURE INSTRUMENT (I.E. NON-WARRANTY DEED OF EASEMENT)".
- 3. EASEMENT BOUNDARIES TO BE DESCRIBED BY METES AND BOUNDS AND AREA (SQFT).
- 4. REFERENCE: ADMINISTRATIVE REGULATION "DISPOSAL OF EASEMENTS IN REAL PROPERTY" (EFFECTIVE 09/01/16).

**LEGEND**

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊕ BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ GUY WIRE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ YARD INLET
- ⊙ FIBER OPTIC MARKER
- ⊙ FIBER OPTIC VAULT
- ⊙ SIGN
- BOLLARD
- STORM DRAIN PIPE
- OU— OVERHEAD UTILITY LINES
- W— WATER LINE
- SS— SANITARY SEWER LINE
- T— TELEPHONE LINE
- G— GAS LINE
- UE— UNDERGROUND ELECTRIC
- █ NEUSE RIPARIAN BUFFER



KEY MAP NTS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**THE JOHN R. MCADAMS COMPANY, INC.**  
2805 Meridian Parkway  
Durham, North Carolina 27713  
Phone No.: 919-286-2888  
Fax No.: 919-286-5646  
www.mcadamsco.com



REVISIONS:

NO.	DATE	DESCRIPTION
1	2023-03-24	ADD LOT 5, COMBINE LOTS 11 & 12
2	2023-07-21	1ST COR PFP COMMENTS

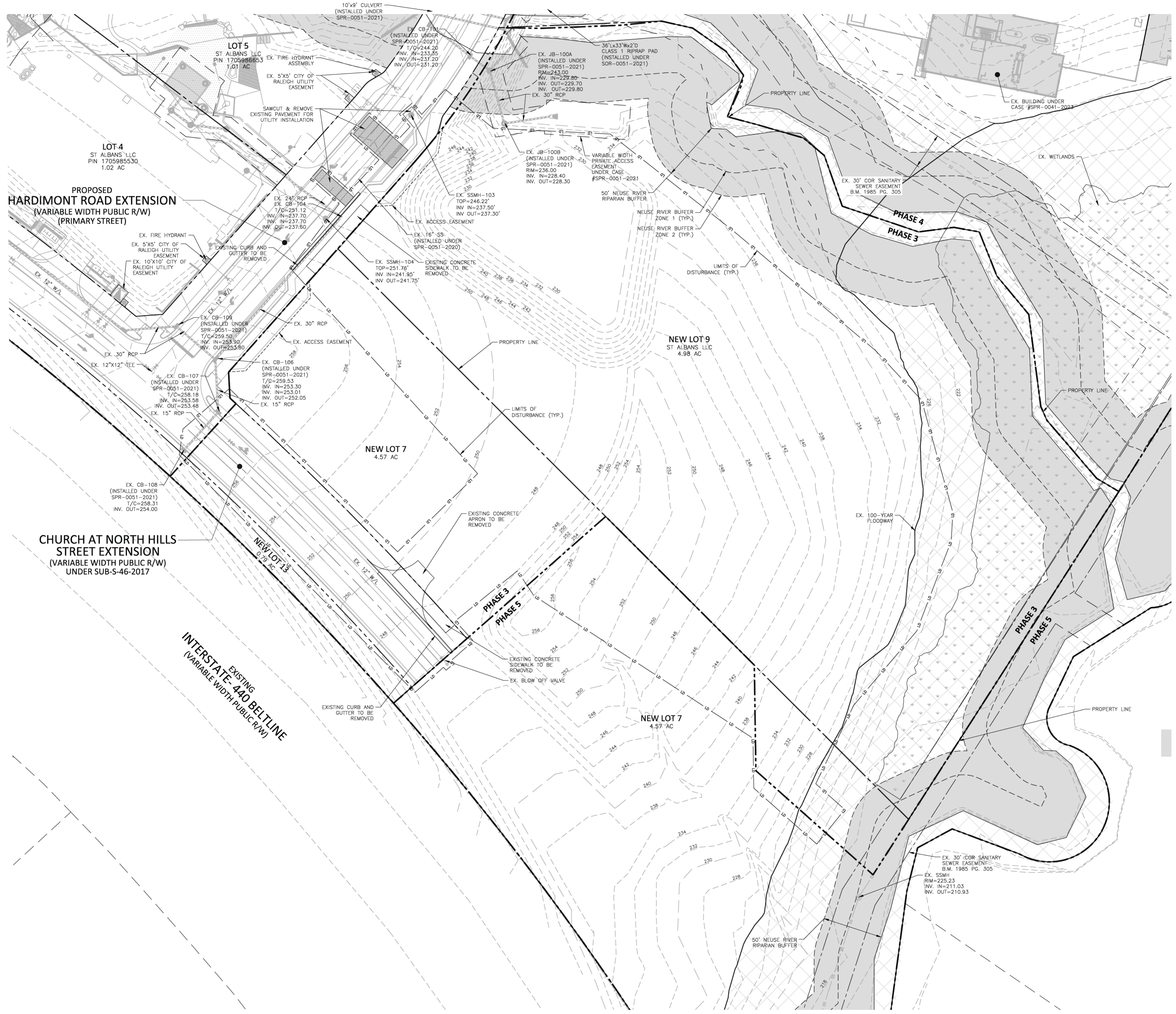
**DEVELOPER:**  
NHE MASTER DEVELOPER, LLC  
C/O KANE REALTY CORPORATION  
4321 LASSITER  
AT NORTH HILLS AVE, SUITE 250  
RALEIGH, NC 27609

**NORTH HILLS EAST  
PRELIMINARY SUBDIVISION PLAN**  
RALEIGH, NORTH CAROLINA  
EXISTING CONDITIONS AREA 'B'

PROJECT NO. KAN-22008  
FILENAME: KAN22008-SUB-XCI  
CHECKED BY: ARP  
DRAWN BY: LLH  
SCALE: 1"=60'  
DATE: 09-20-2017  
SHEET NO. **C1.00**



M:\Projects\MAN\22008\04-Production\Engineering\Civil Drawings\Current Drawings\22008-ASR-DM1.dwg, 8/17/2023 3:20:48 PM, Jackson Shaver



**DEMOLITION LEGEND**

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- NEUSE RIPARIAN BUFFER

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



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SUITE 250  
RALEIGH, NORTH CAROLINA 27609



**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609



**Know what's below.  
Call before you dig.**

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

**CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.**



GRAPHIC SCALE  
0 20 40 80  
1 inch = 40 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**  
NO. DATE

**PLAN INFORMATION**

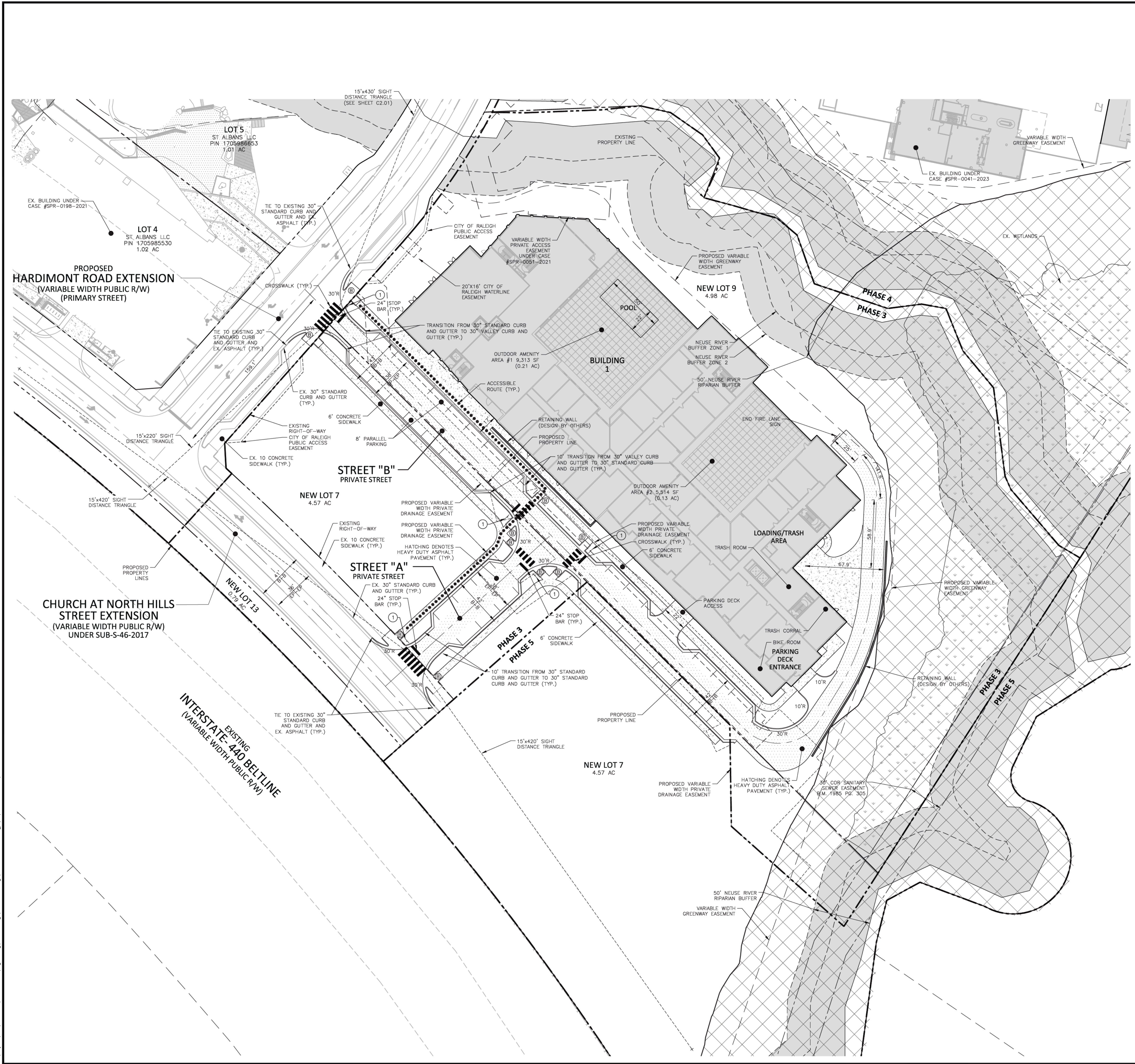
PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-DM1  
CHECKED BY LJV  
DRAWN BY JCS  
SCALE 1"=40'  
DATE 08.17.2023

**SHEET**

**DEMOLITION PLAN**

**C1.01**

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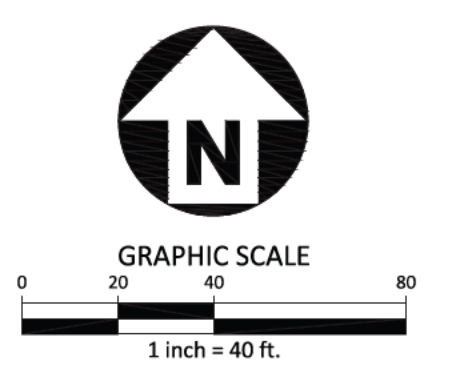
**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- NEUSE RIVER RIPARIAN BUFFER
- FLOODPLAIN / FLOODWAY
- EX. WETLANDS

**SIGNAGE LEGEND**



**OUTDOOR AMENITY AREA**  
 REQUIRED: 10,835 SF (0.25 AC)  
 0.25 ACRES (10,835 SF, 5.0% OF 4.98 ACRES)  
 PROVIDED: 14,827 SF (0.34 AC)  
 0.34 ACRES (14,827 SF, 6.8% OF 4.98 ACRES)



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 www.mcadamsco.com

**CLIENT**  
 KANE REALTY CORPORATION  
 4321 LASSITER AT NORTH HILLS AVENUE  
 SUITE 250  
 RALEIGH, NORTH CAROLINA 27609



**BLOCK 4 MIDRISE**  
 520 ST ALBANS DRIVE  
 ADMINISTRATIVE SITE PLAN  
 RALEIGH, NORTH CAROLINA, 27609

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	KAN-22008
FILENAME	KAN22008-ASR-S1
CHECKED BY	LJV
DRAWN BY	JCS
SCALE	1"=40'
DATE	08. 17. 2023

**SHEET**  
**SITE PLAN**  
**C2.00**





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**CLIENT**

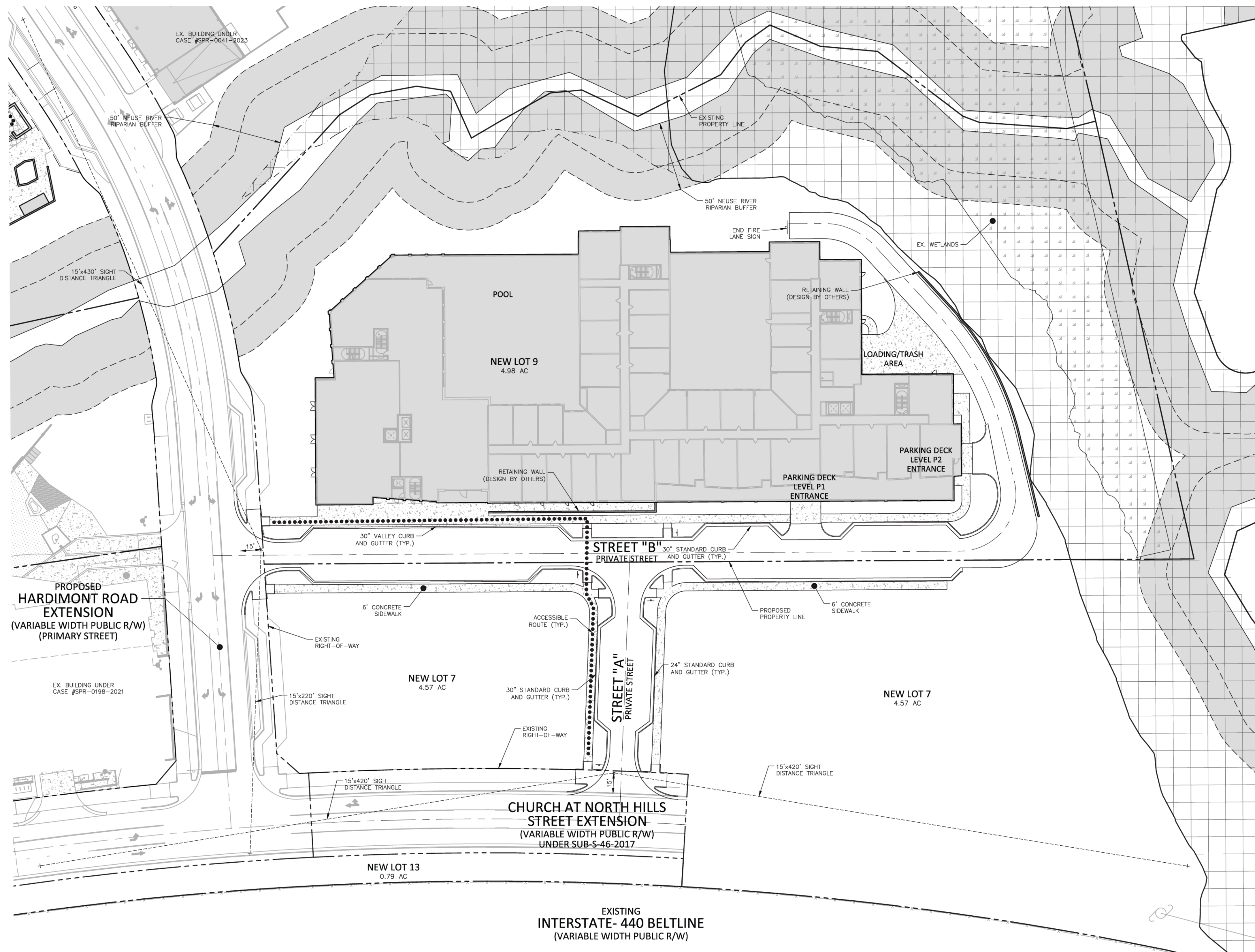
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**BLOCK 4 MIDRISE**  
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ADMINISTRATIVE SITE PLAN  
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**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTERLINE
- NEUSE RIVER RIPARIAN BUFFER
- FLOODPLAIN / FLOODWAY
- EX. WETLANDS



**REVISIONS**

NO. DATE

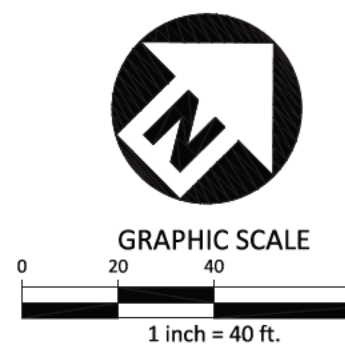
**PLAN INFORMATION**

PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-S1  
CHECKED BY LJV  
DRAWN BY JCS  
SCALE 1"=40'  
DATE 08.17.2023

**SHEET**

**SIGHT DISTANCE TRIANGLE PLAN**

**C2.01**



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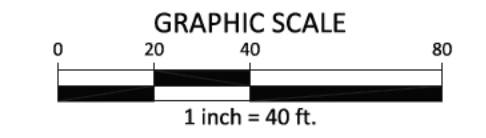
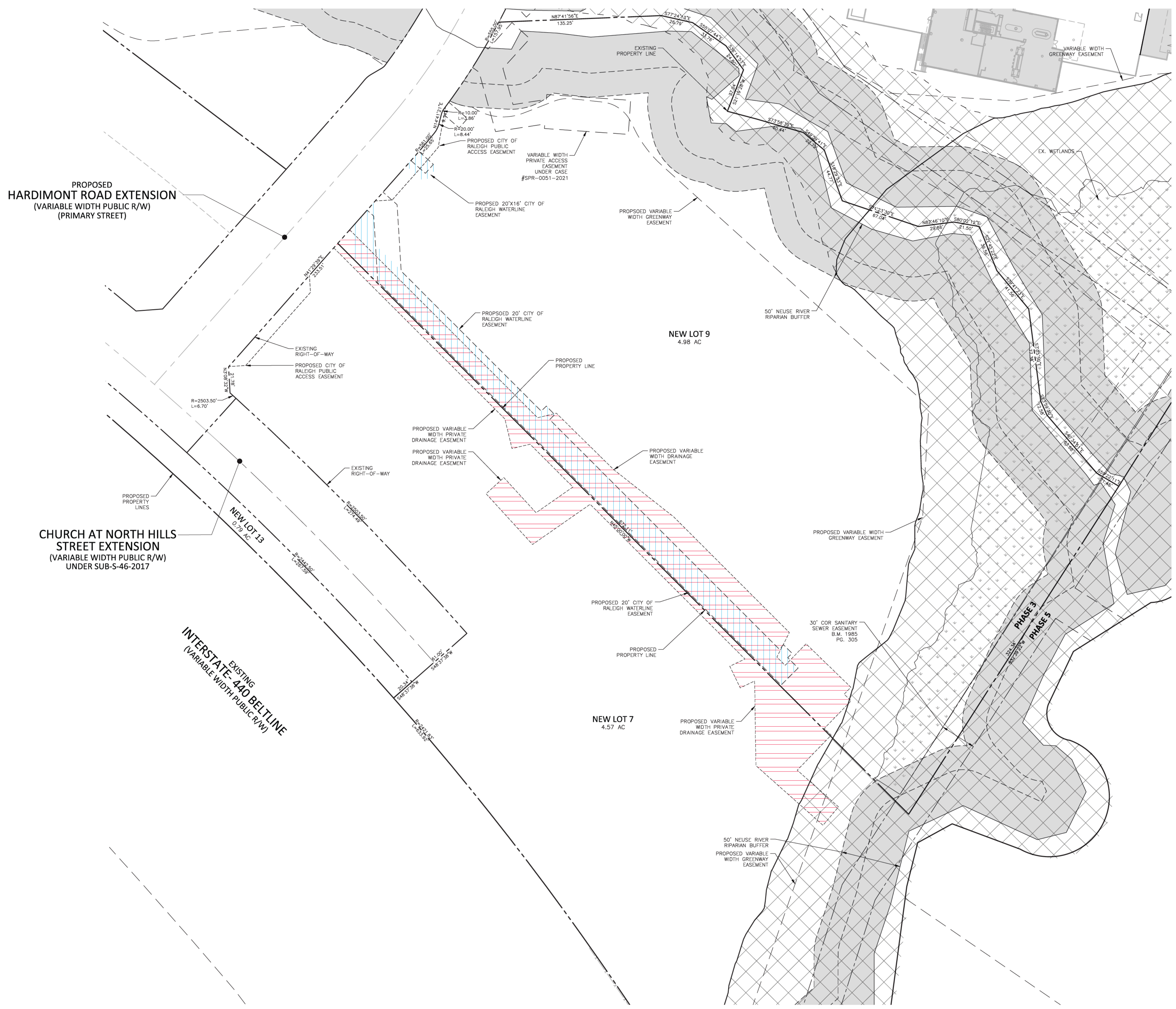
KANE REALTY CORPORATION  
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RALEIGH, NORTH CAROLINA 27609



**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
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**SITE LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- NEUSE RIVER RIPARIAN BUFFER
- FLOODPLAIN / FLOODWAY
- CITY OF RALEIGH WATERLINE EASEMENT
- PRIVATE ACCESS EASEMENT
- EX. WETLANDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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**REVISIONS**

NO.	DATE

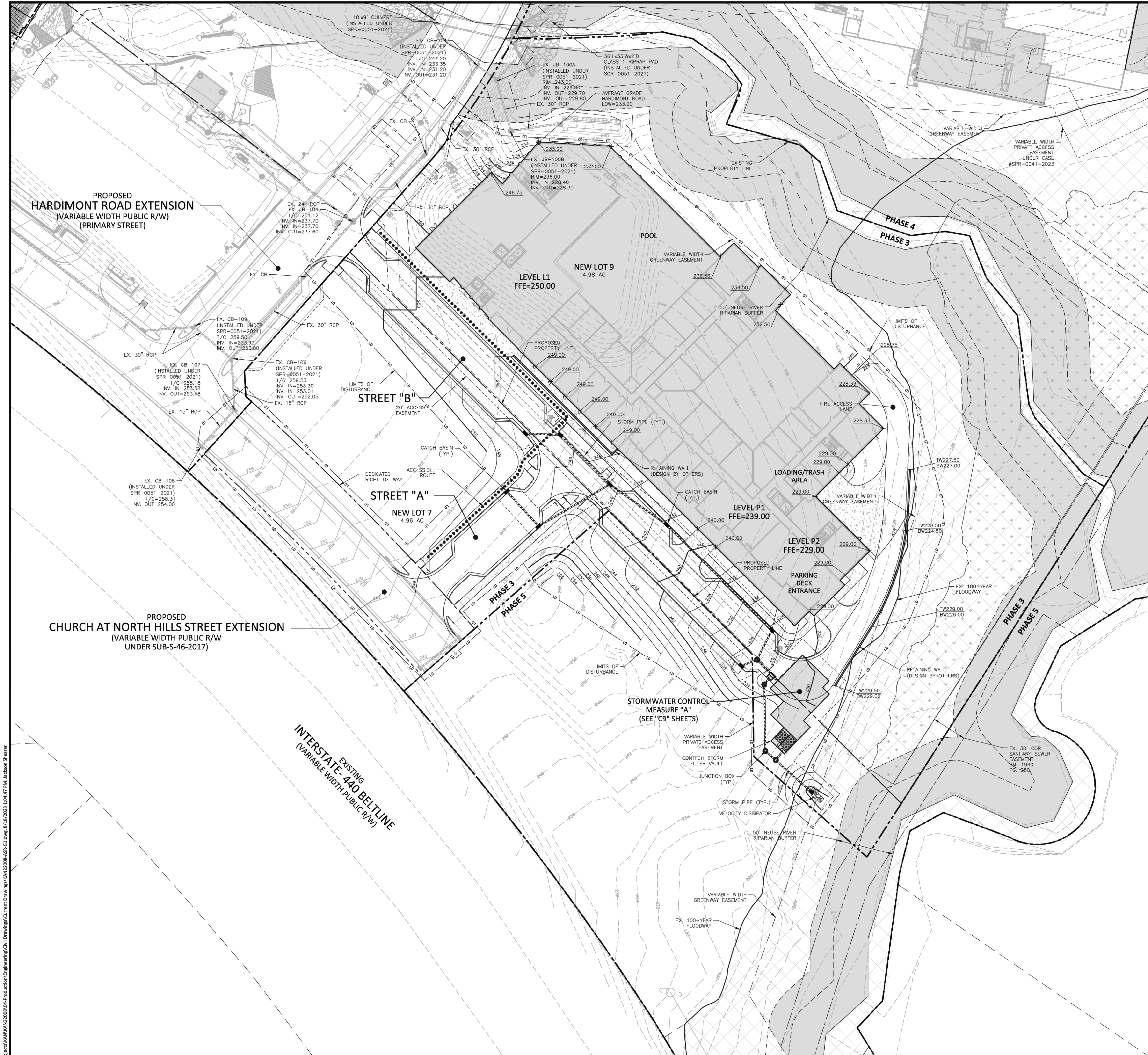
**PLAN INFORMATION**

PROJECT NO.	KAN-22008
FILENAME	KAN22008-ASR-S1
CHECKED BY	LJV
DRAWN BY	JCS
SCALE	1"=40'
DATE	08.17.2023

**SHEET**

**EASEMENT PLAN**

**C2.02**



**GRADING LEGEND**

	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-RAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
	NEUSE RIVER RIPARIAN BUFFER
	FLOODPLAIN / FLOODWAY
	EX. WETLANDS

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**BLOCK 4 MIDRISE**  
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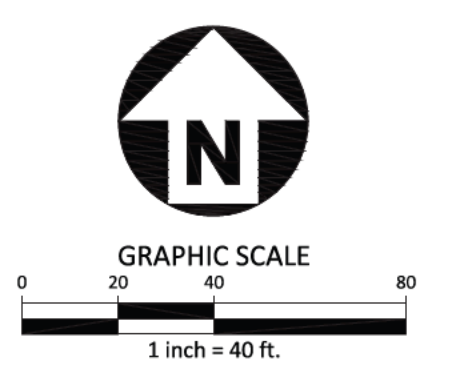
**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	KAN-22008
FILENAME	KAN-22008-ASR-G1
CHECKED BY	LJV
DRAWN BY	ILP
SCALE	1"=40'
DATE	08.17.2023

**GRADING AND STORM DRAINAGE PLAN**  
**C3.00**



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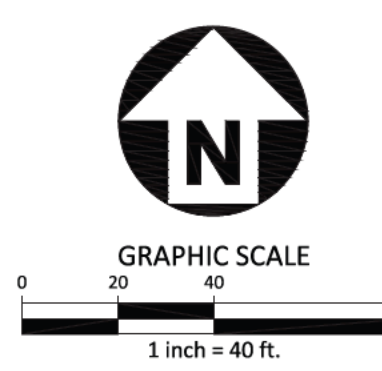
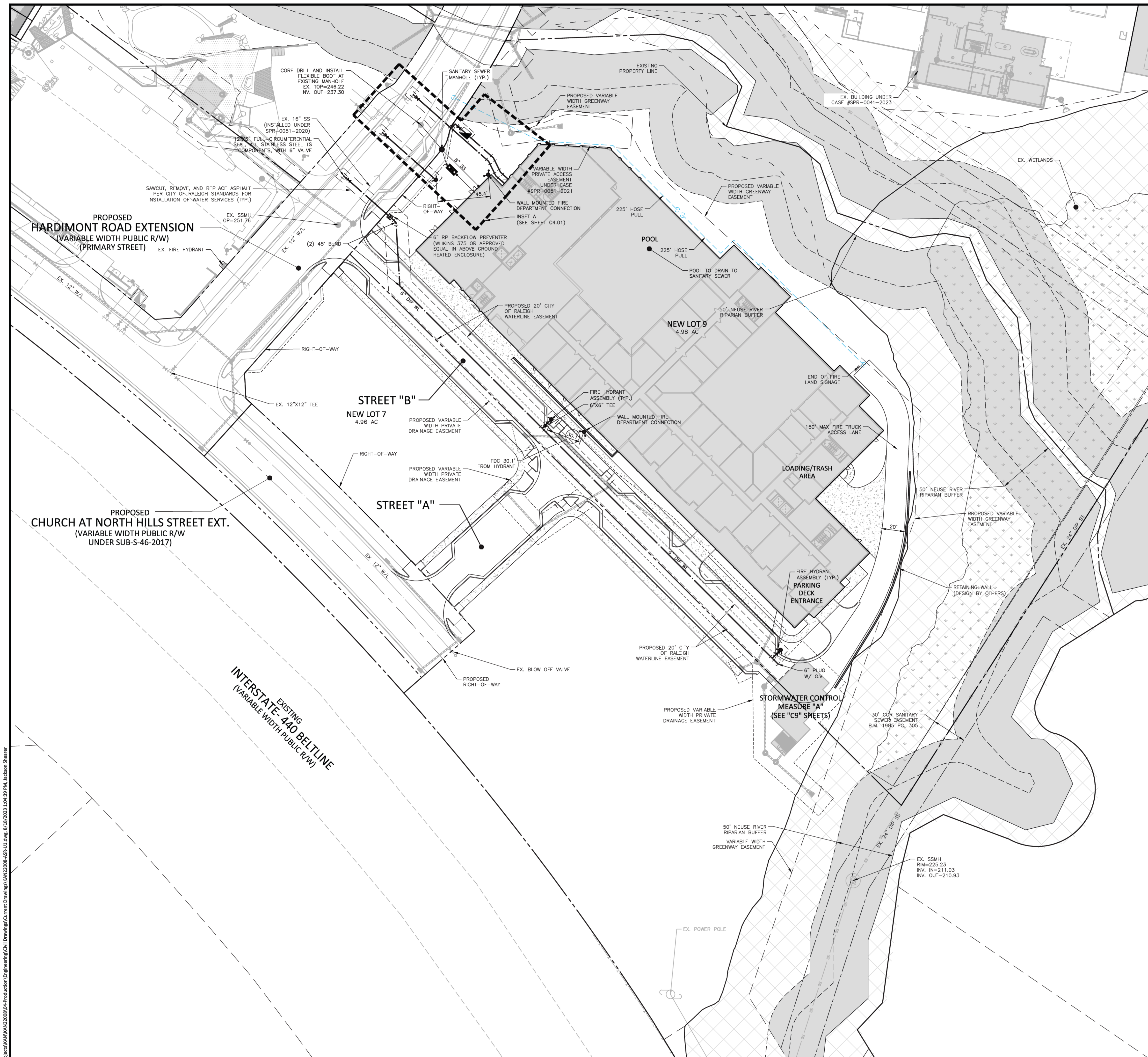
**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- HOSE PULL FROM FIRE LANE
- NEUSE RIVER RIPARIAN BUFFER
- FLOODPLAIN / FLOODWAY
- EX. WETLANDS

**GENERAL NOTES:**

1. THE DOMESTIC BACKFLOW PREVENTOR IS TO BE WITHIN 50' OF THE WATER METER.
2. PER CORPUD STANDARDS THE POOL SHALL HAVE A 50GPM FLOW RESTRICTOR.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. KAN-22008  
 FILENAME KAN-22008-ASR-U1  
 CHECKED BY LJV  
 DRAWN BY JCS  
 SCALE 1"=40'  
 DATE 08.17.2023

**SHEET**

UTILITY PLAN

**C4.00**



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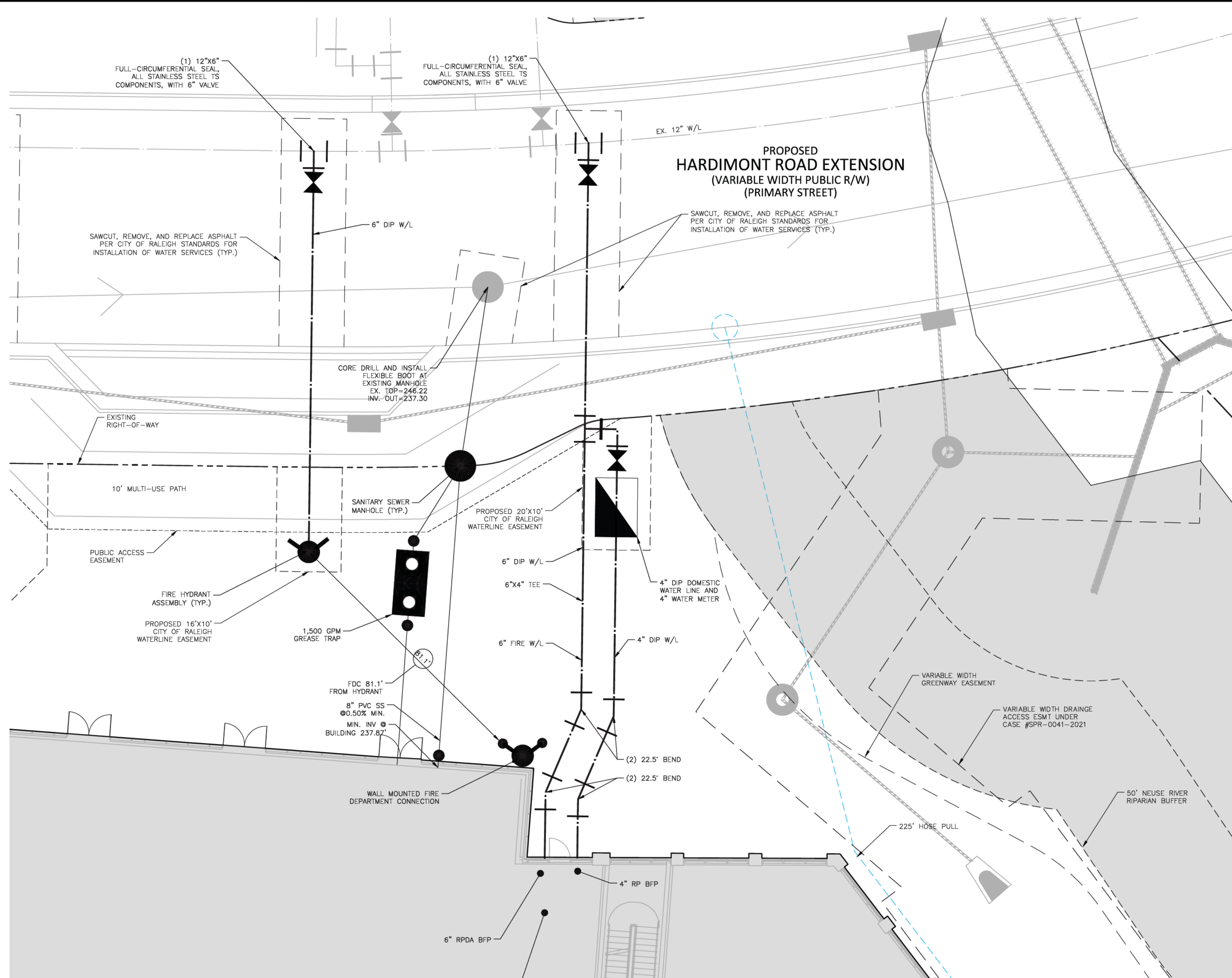
**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

**GENERAL NOTES:**

- PHASE 2 INFRASTRUCTURE CURRENTLY UNDER CONSTRUCTION PER CITY OF RALEIGH CASE #SPR-0053-2020.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

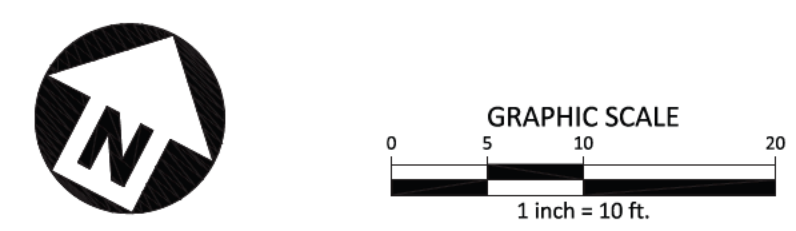
**UTILITY LEGEND**

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	GREASE TRAP
	SEWER CLEAN-OUT
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE
	HOSE PULL FROM FIRE LANE



**INSET A**

DOMESTIC BACKFLOW PREVENTED (FEBCO L7860 RP2) AND FIRE BACKFLOW PREVENTER (COST CS00 QSY RPDA) TO BE LOCATED INSIDE BLDG. LOCATION SHALL BE SUCH TO NOT EXCEED 50' OF PIPING BEHIND THE WATER METER (DOMESTIC BFP) OR 50' BEHIND THE PUBLIC UTILITY EASEMENT (FIRE BFP).



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	KAN-22008
FILENAME	KAN-22008-ASR-U1
CHECKED BY	LJV
DRAWN BY	JCS
SCALE	1"=10'
DATE	08.17.2023

**SHEET**

UTILITY INSET PLAN

**C4.01**

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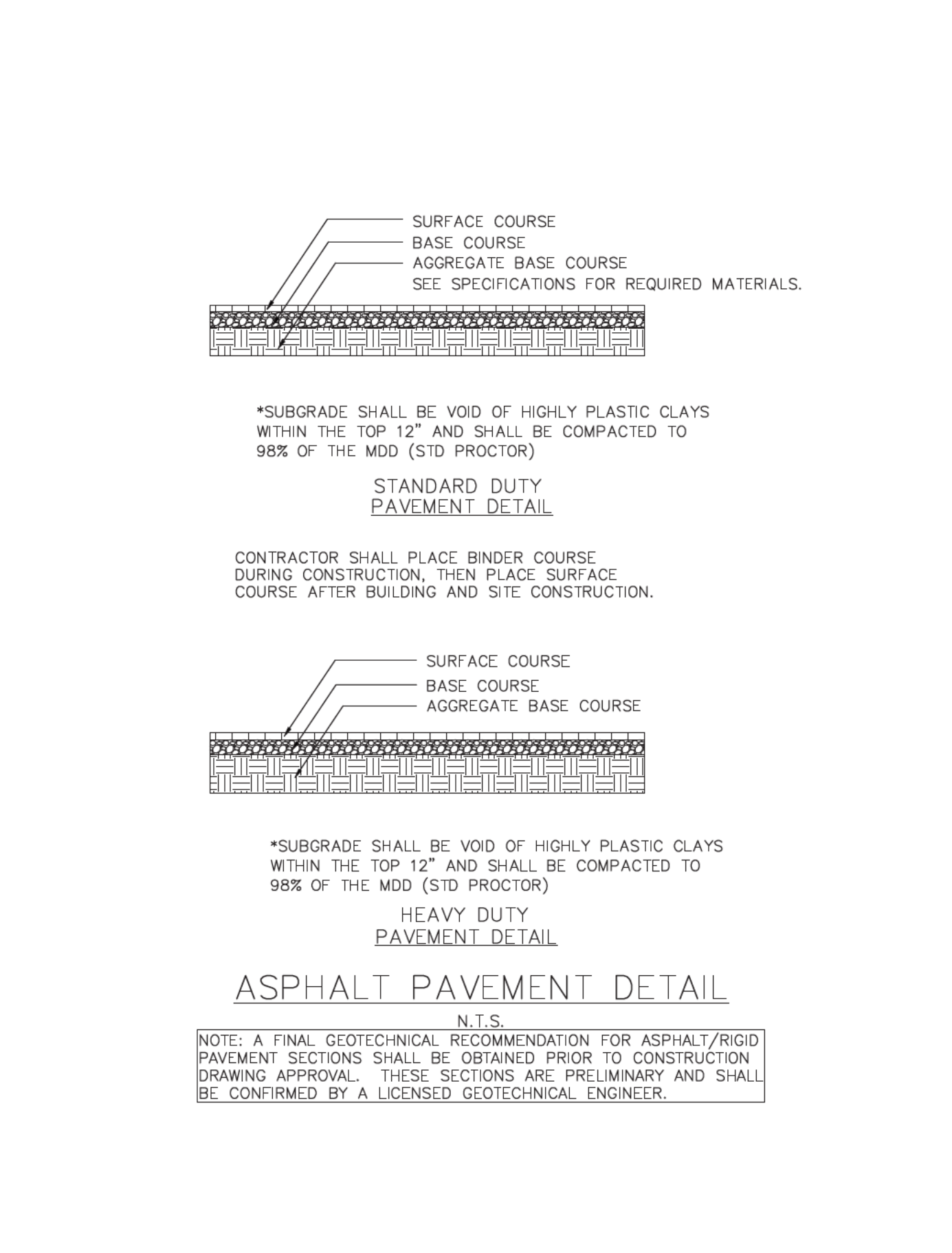
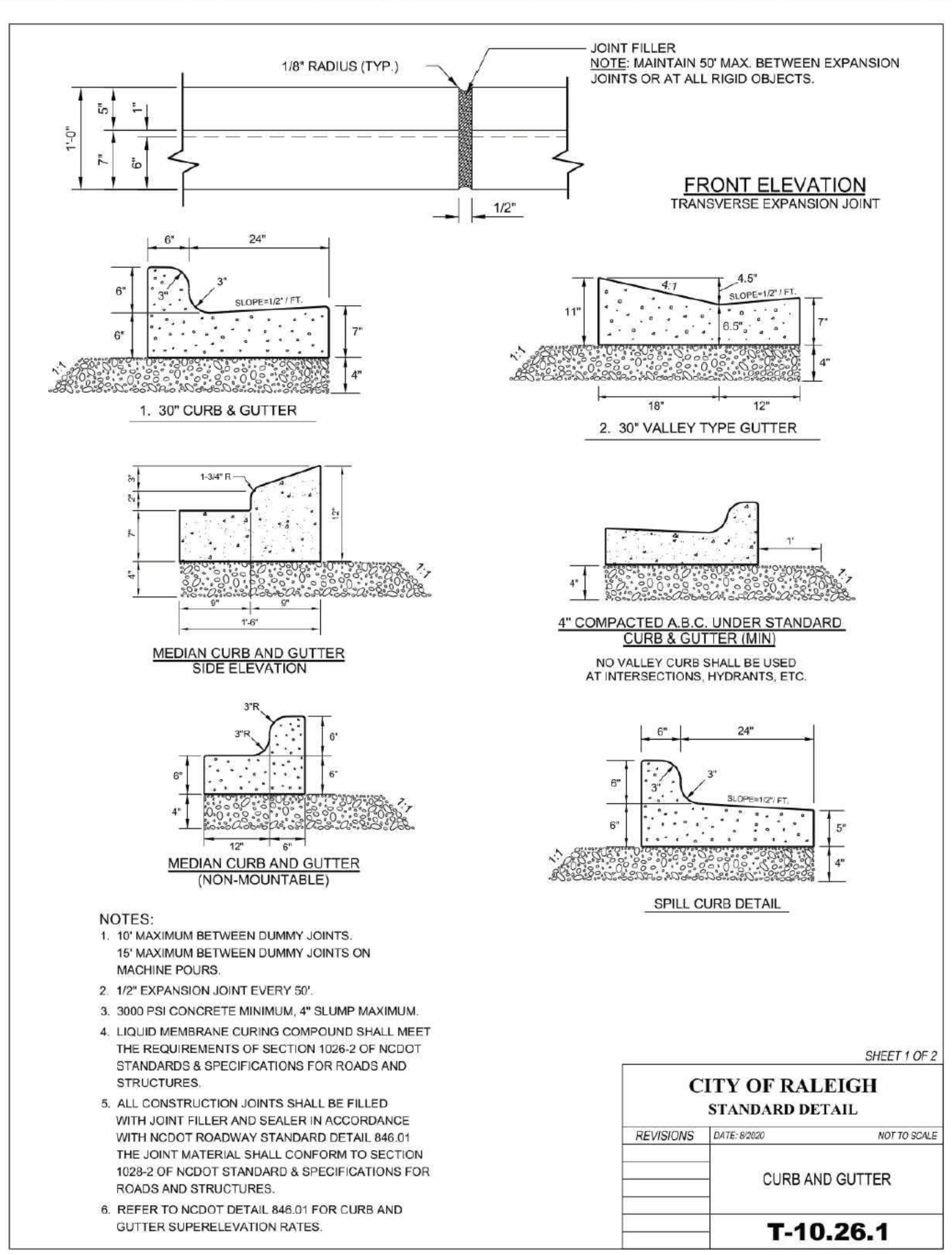
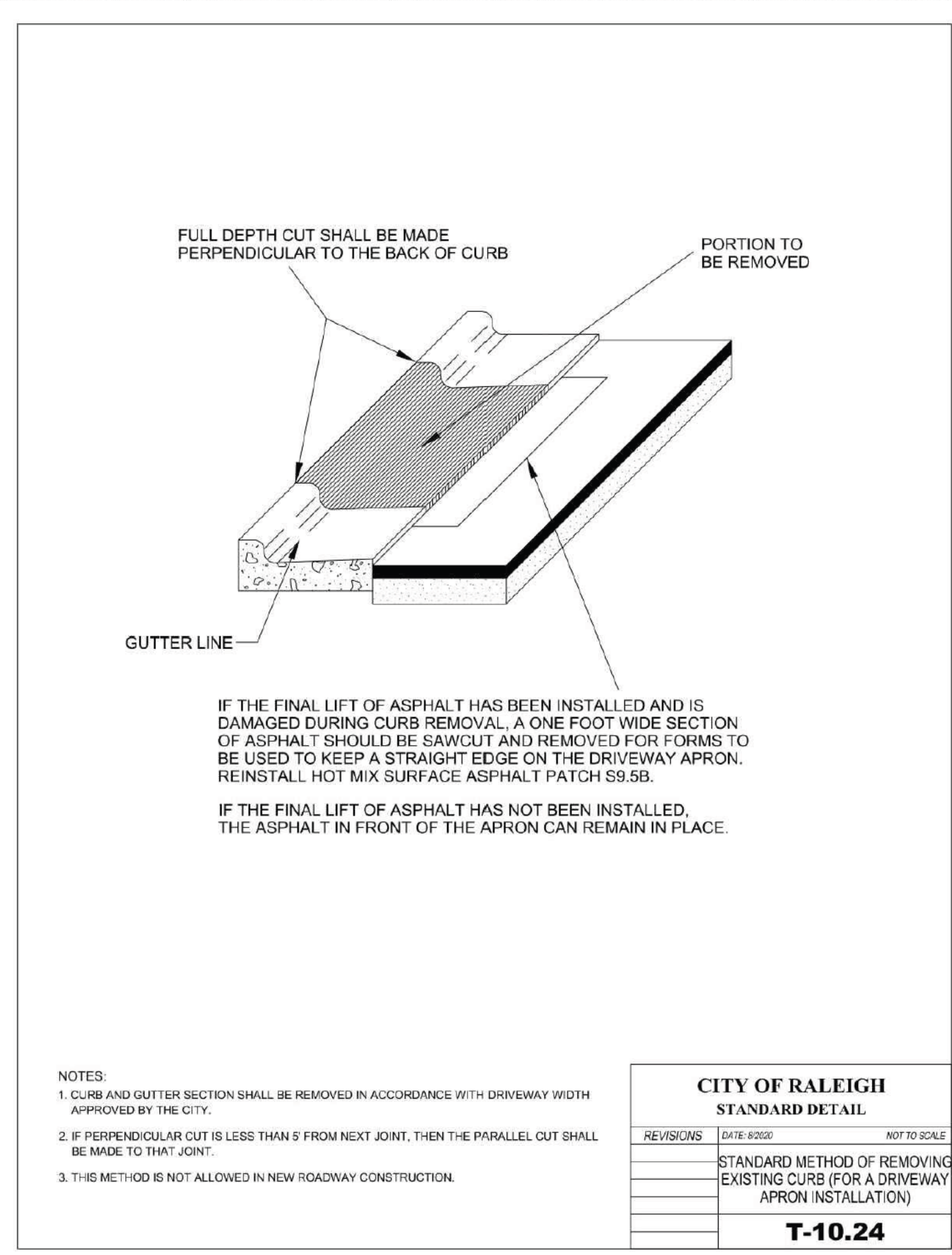
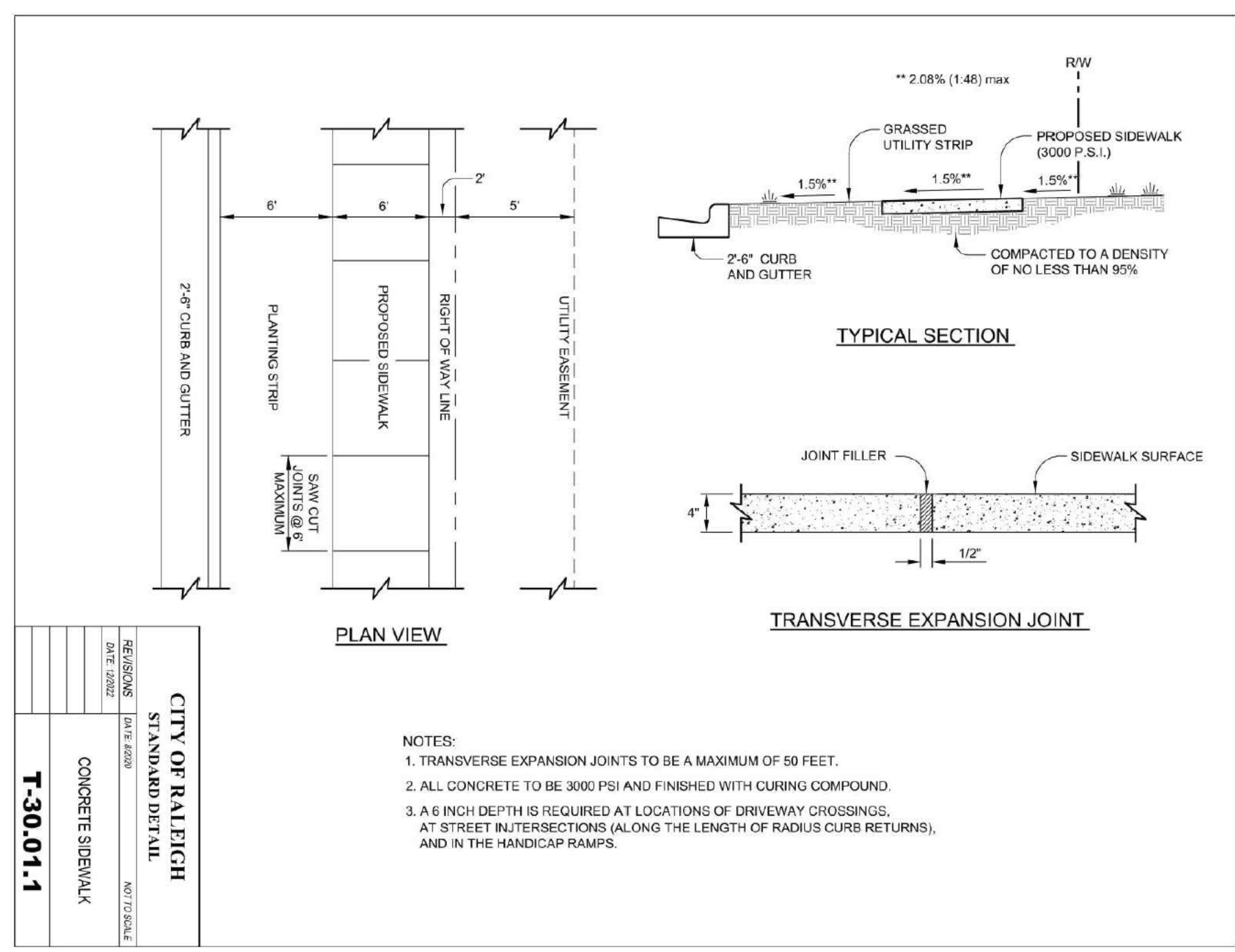
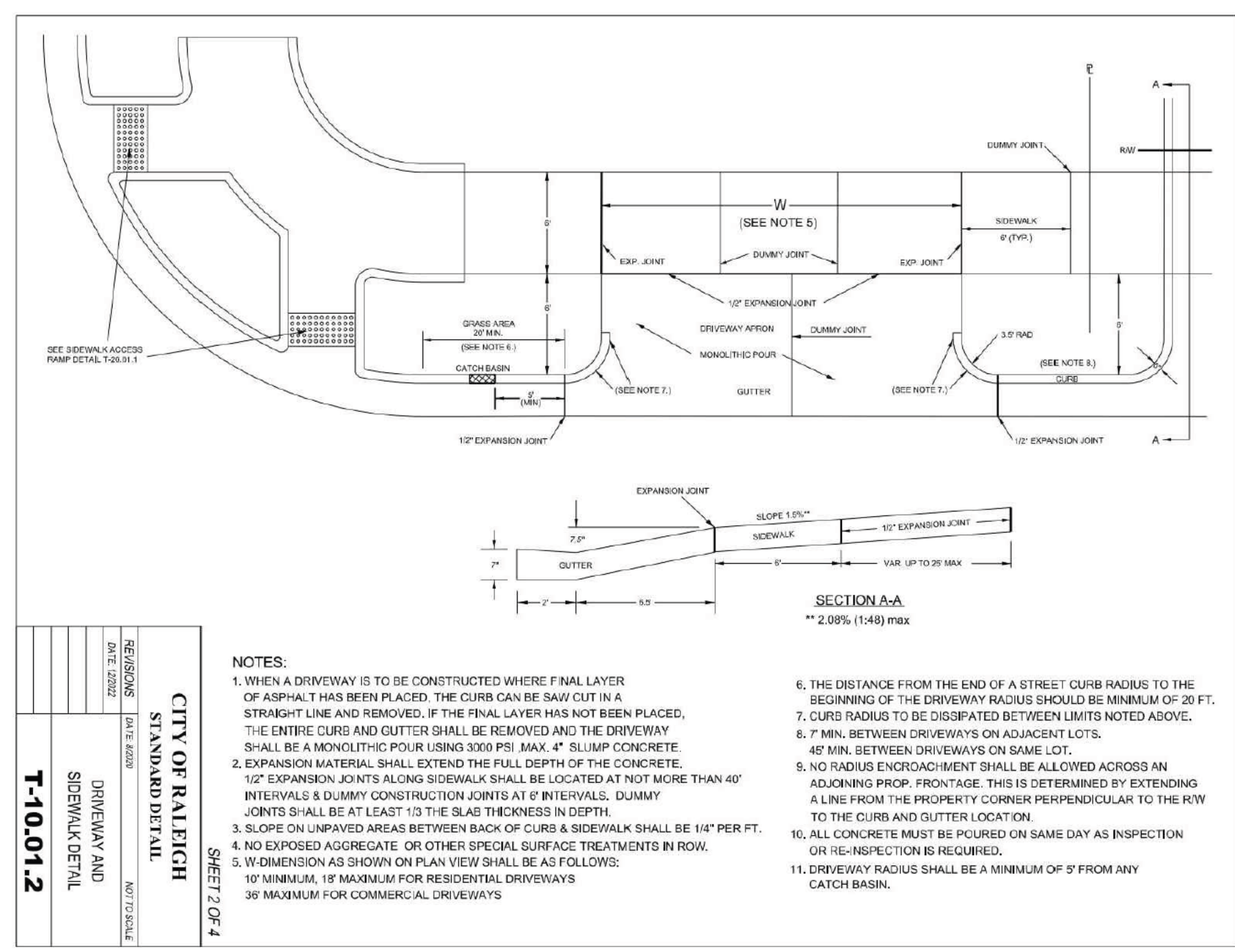
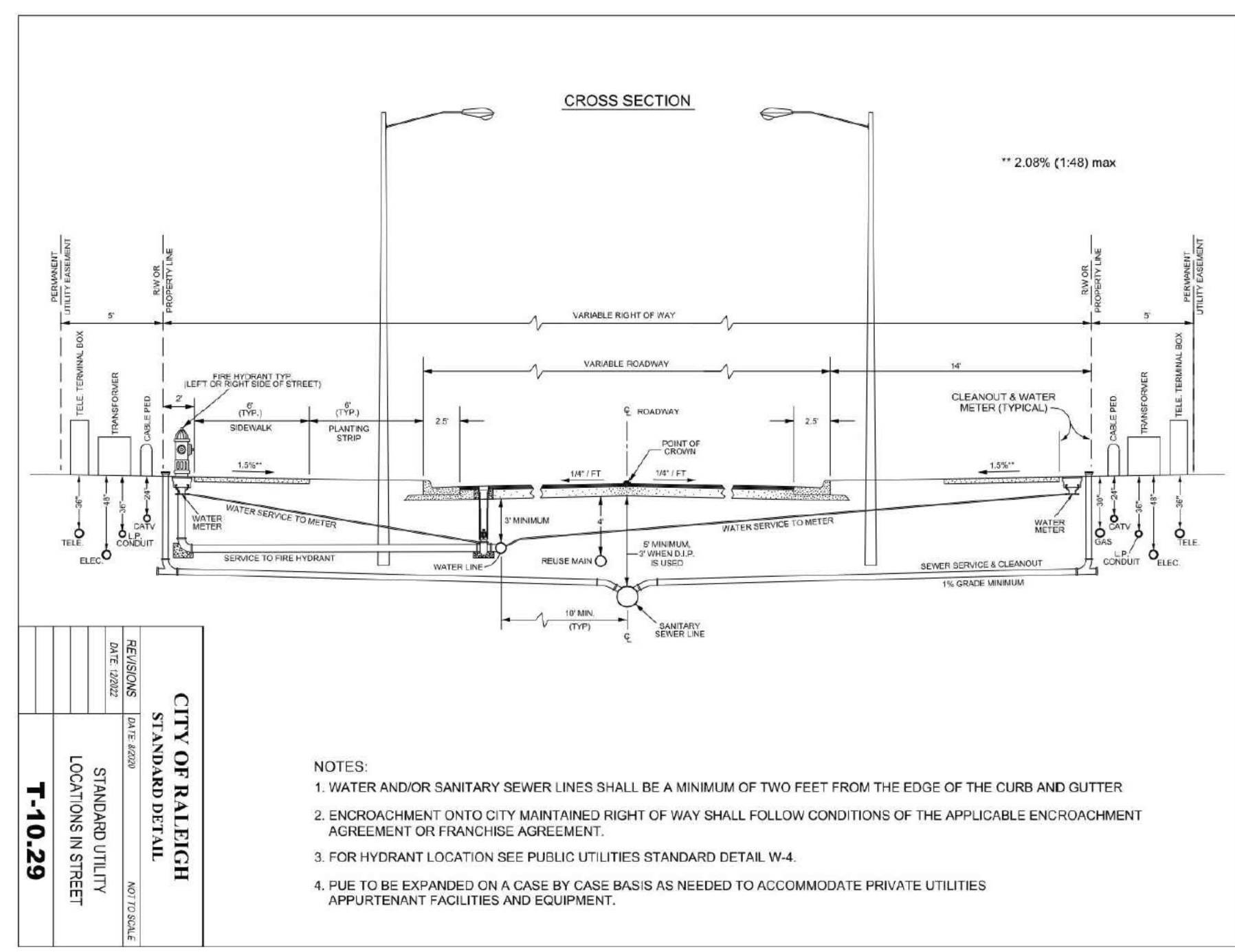
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**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609



NOTES: 1. CURB AND GUTTER SECTION SHALL BE REMOVED IN ACCORDANCE WITH DRIVEWAY WIDTH APPROVED BY THE CITY. 2. IF PERPENDICULAR CUT IS LESS THAN 5' FROM NEXT JOINT, THEN THE PARALLEL CUT SHALL BE MADE TO THAT JOINT. 3. THIS METHOD IS NOT ALLOWED IN NEW ROADWAY CONSTRUCTION.

REVISIONS	DATE	BY	APP'D

CITY OF RALEIGH  
STANDARD DETAIL  
T-10.24

NOTES: 1. 12\"/>

REVISIONS	DATE	BY	APP'D

CITY OF RALEIGH  
STANDARD DETAIL  
CURB AND GUTTER  
T-10.26.1

NOTES: 1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET. 2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND. 3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS. AT STREET INTERSECTIONS (ALONG THE LENGTH OF CURB RETURNS), AND IN THE HANDICAP RAMPS.

REVISIONS	DATE	BY	APP'D

CITY OF RALEIGH  
STANDARD DETAIL  
CONCRETE SIDEWALK  
T-30.01.1

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

REVISIONS

NO. DATE

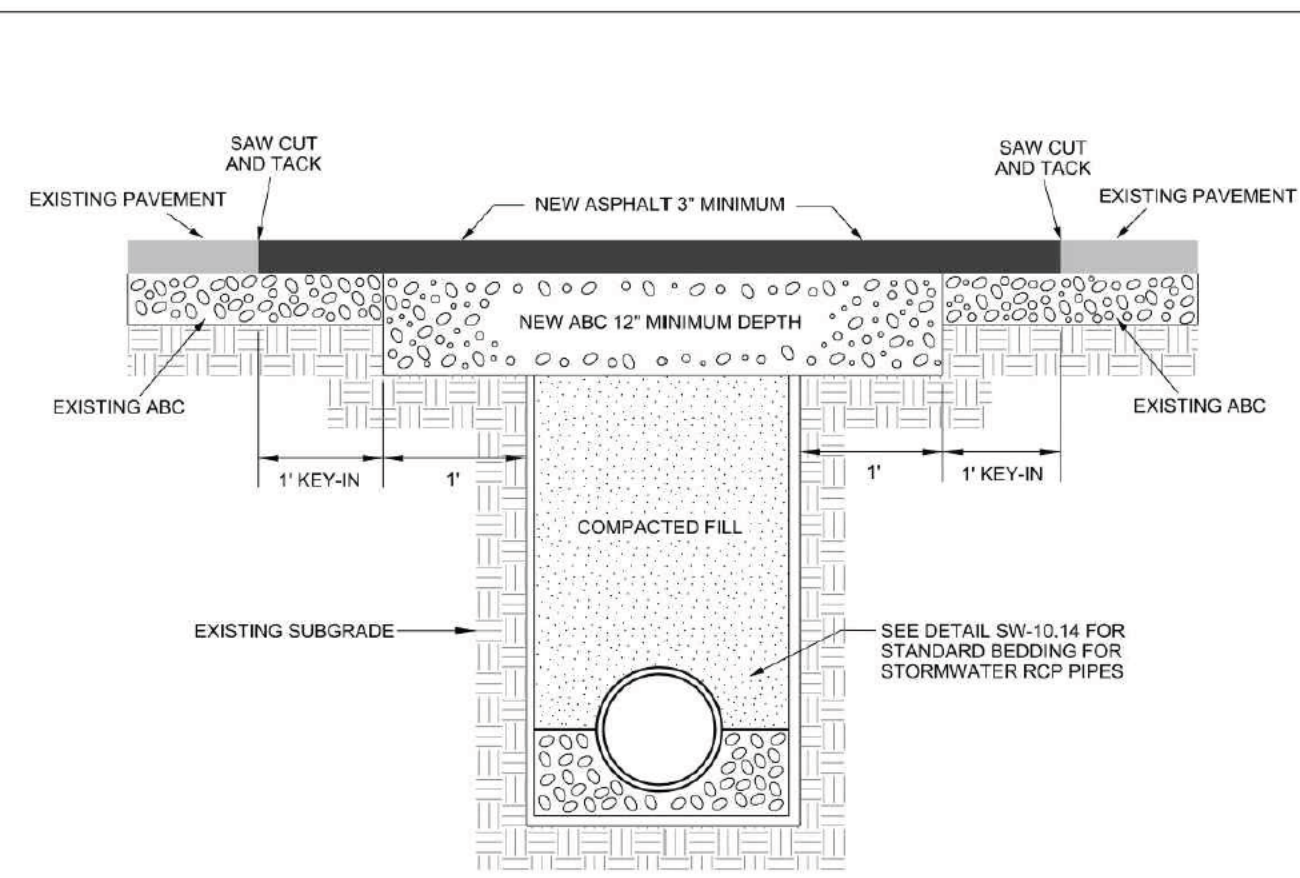
PLAN INFORMATION

PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-D1  
CHECKED BY LVJ  
DRAWN BY JS  
SCALE N.T.S.  
DATE 08.17.2023

SHEET

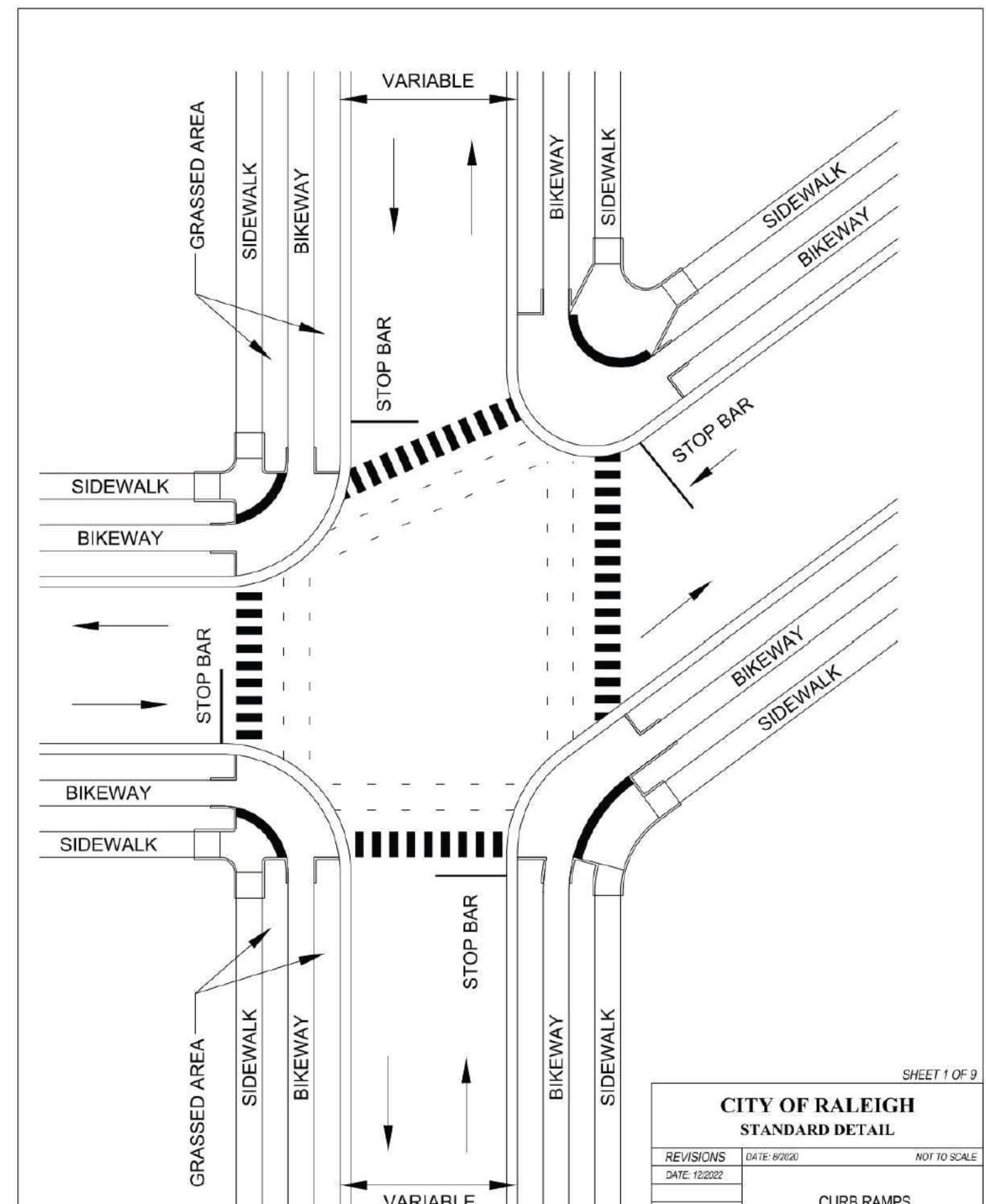
SITE DETAILS

**C8.00**

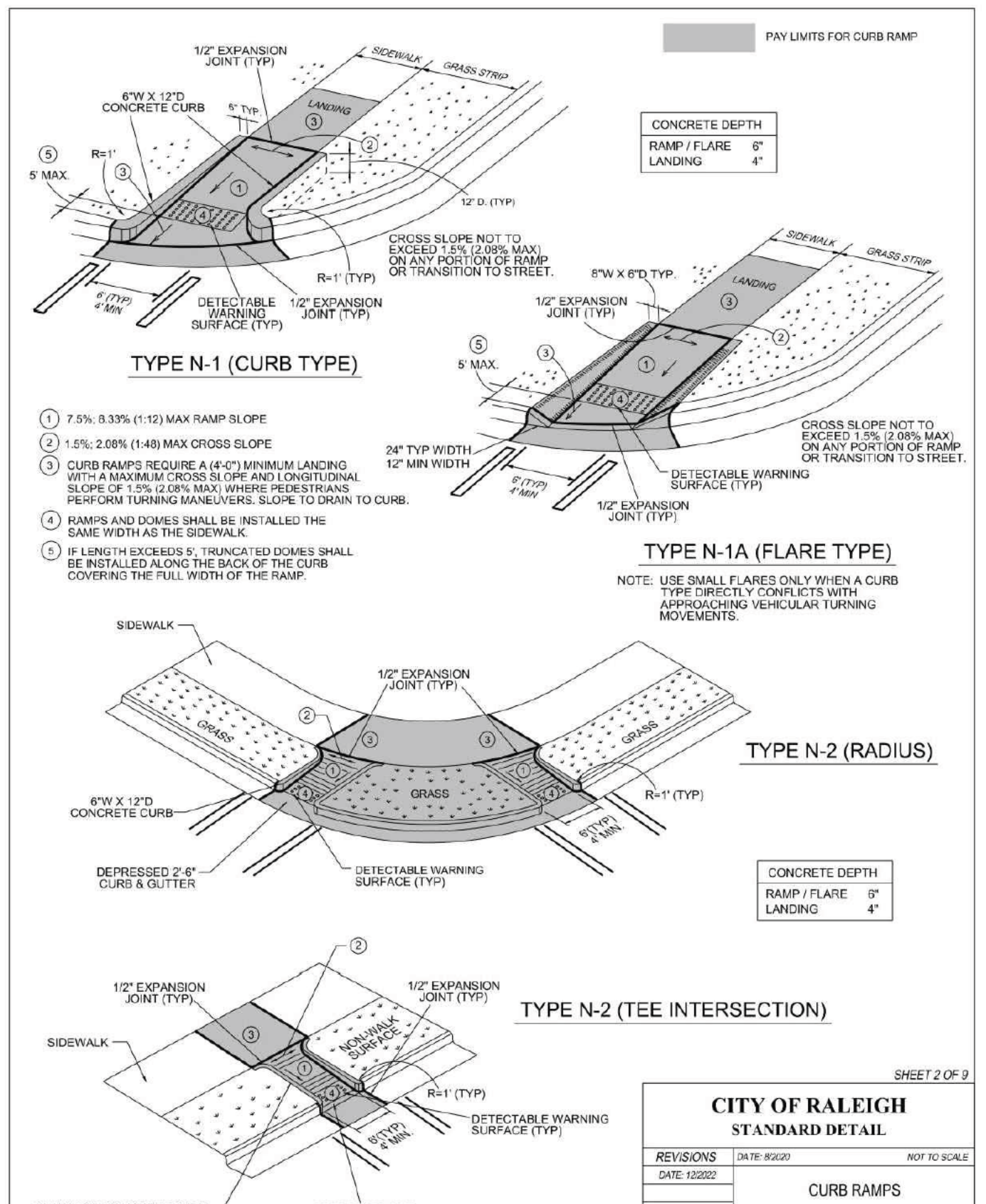


- NOTES:
1. THE PAVEMENT EDGE SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.
  2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT. BITUMINOUS BASE OR BINDER MAY BE SUBSTITUTED IF APPROVED BY TRANSPORTATION DIRECTOR OR DESIGNEE.
  4. THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TACKED.
  5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
  6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY AND ROLLED WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH, LEVEL PATCH.

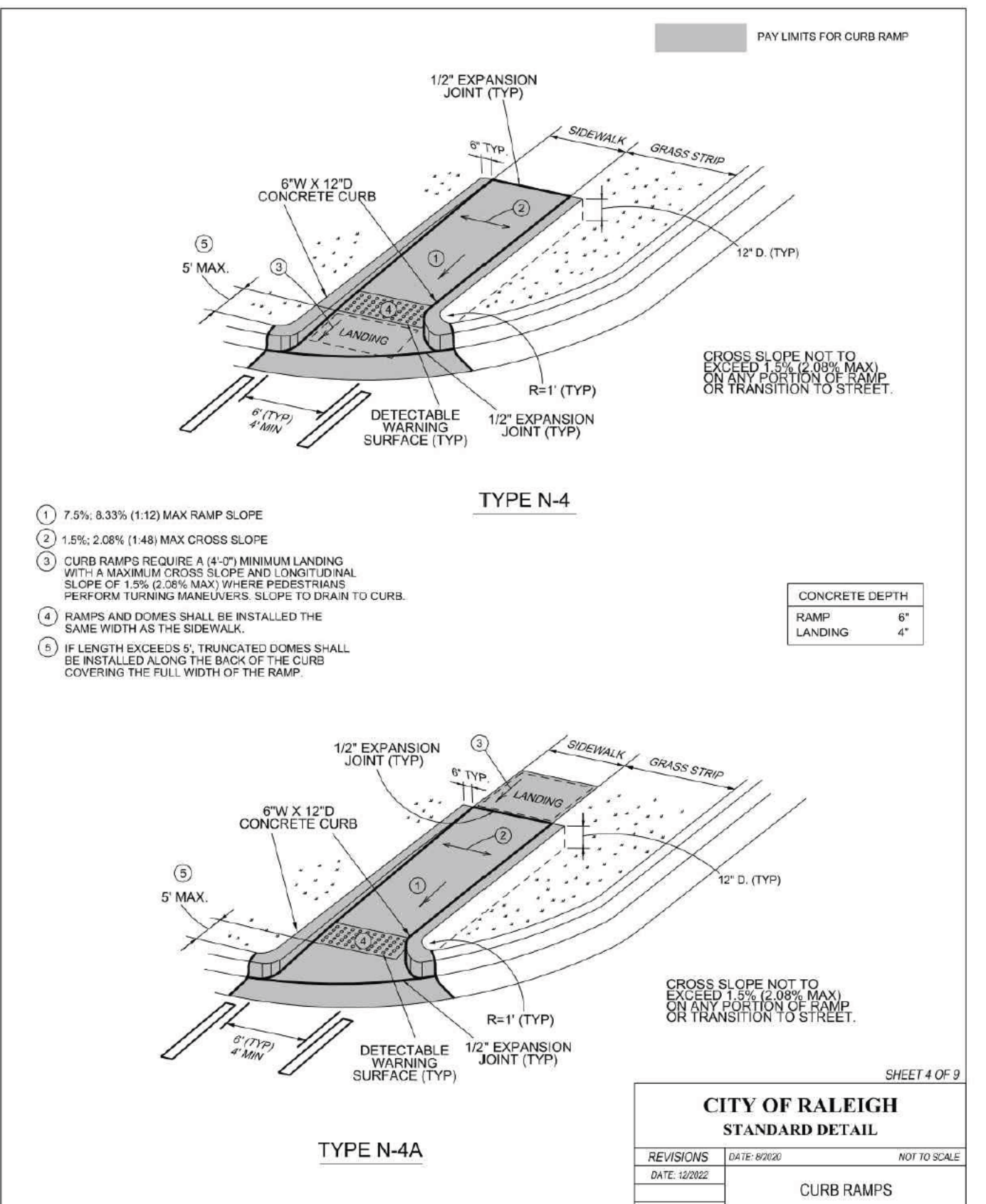
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
ASPHALT PAVEMENT PATCH AND RCP PIPE BACKFILL		
<b>T-10.05</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMPS		
<b>T-20.01.1</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMPS (NEW DEVELOPMENT)		
<b>T-20.01.2</b>		

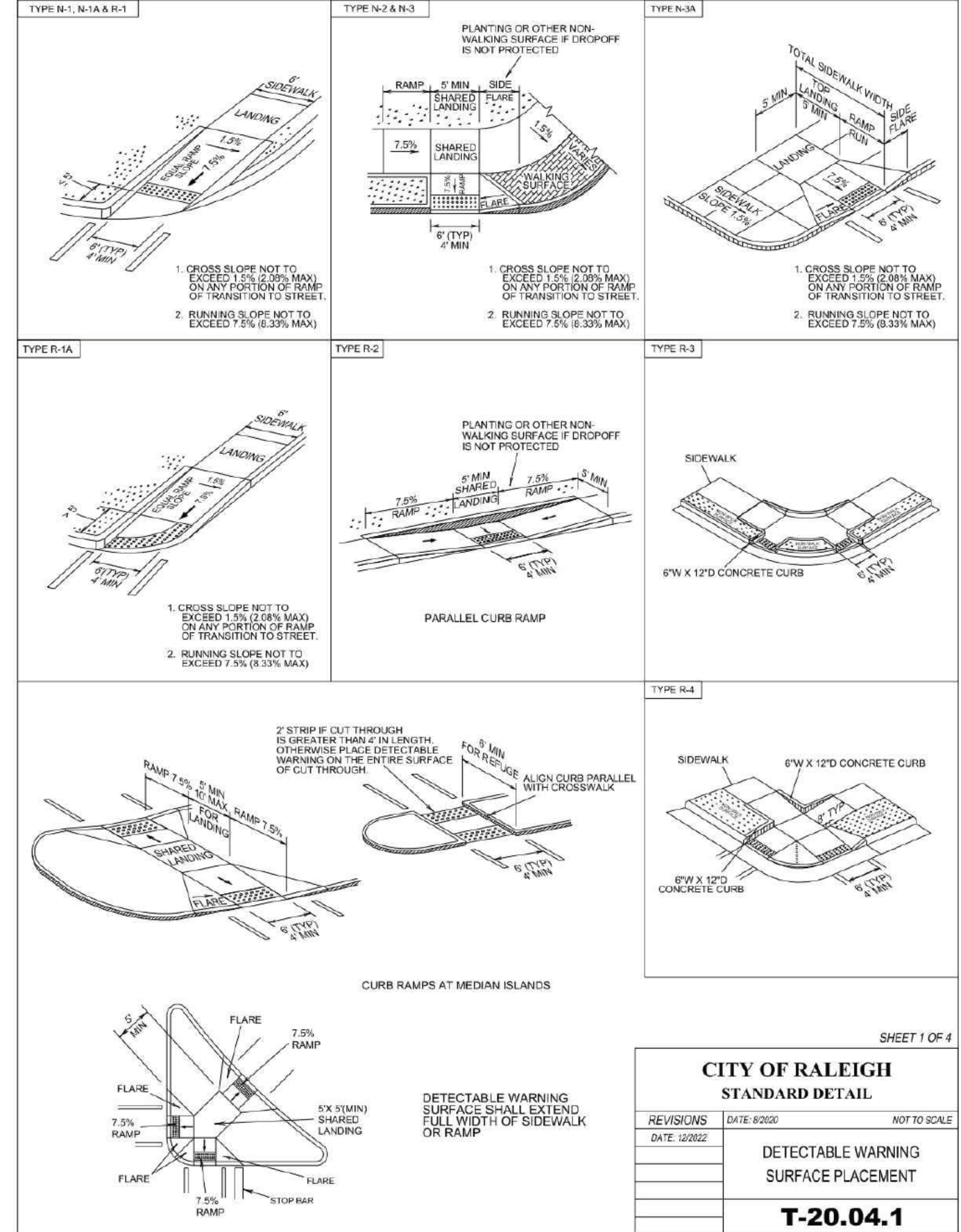


CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMPS (NEW DEVELOPMENT)		
<b>T-20.01.4</b>		

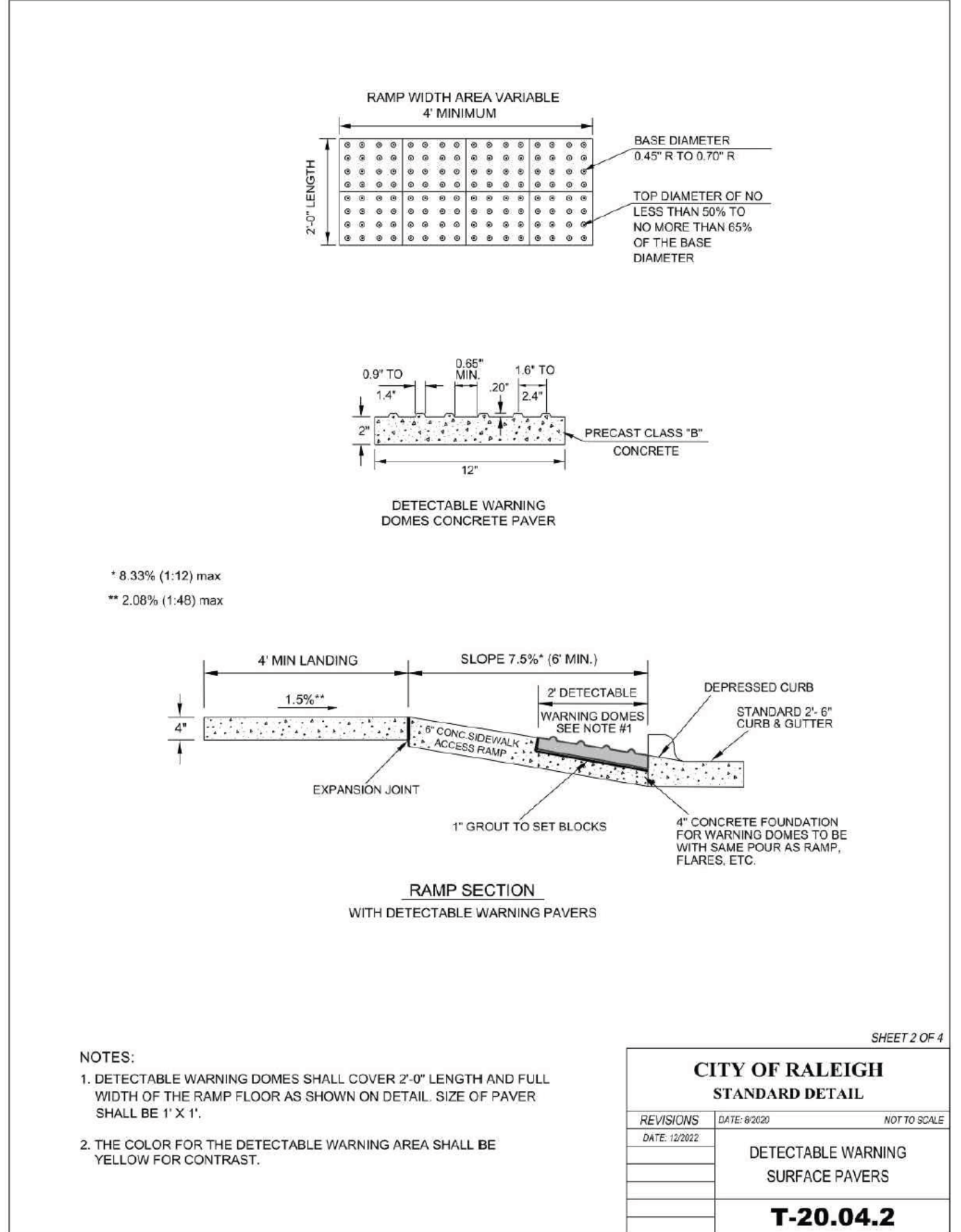
### CITY OF RALEIGH CURB RAMPS GENERAL NOTES

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" / FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

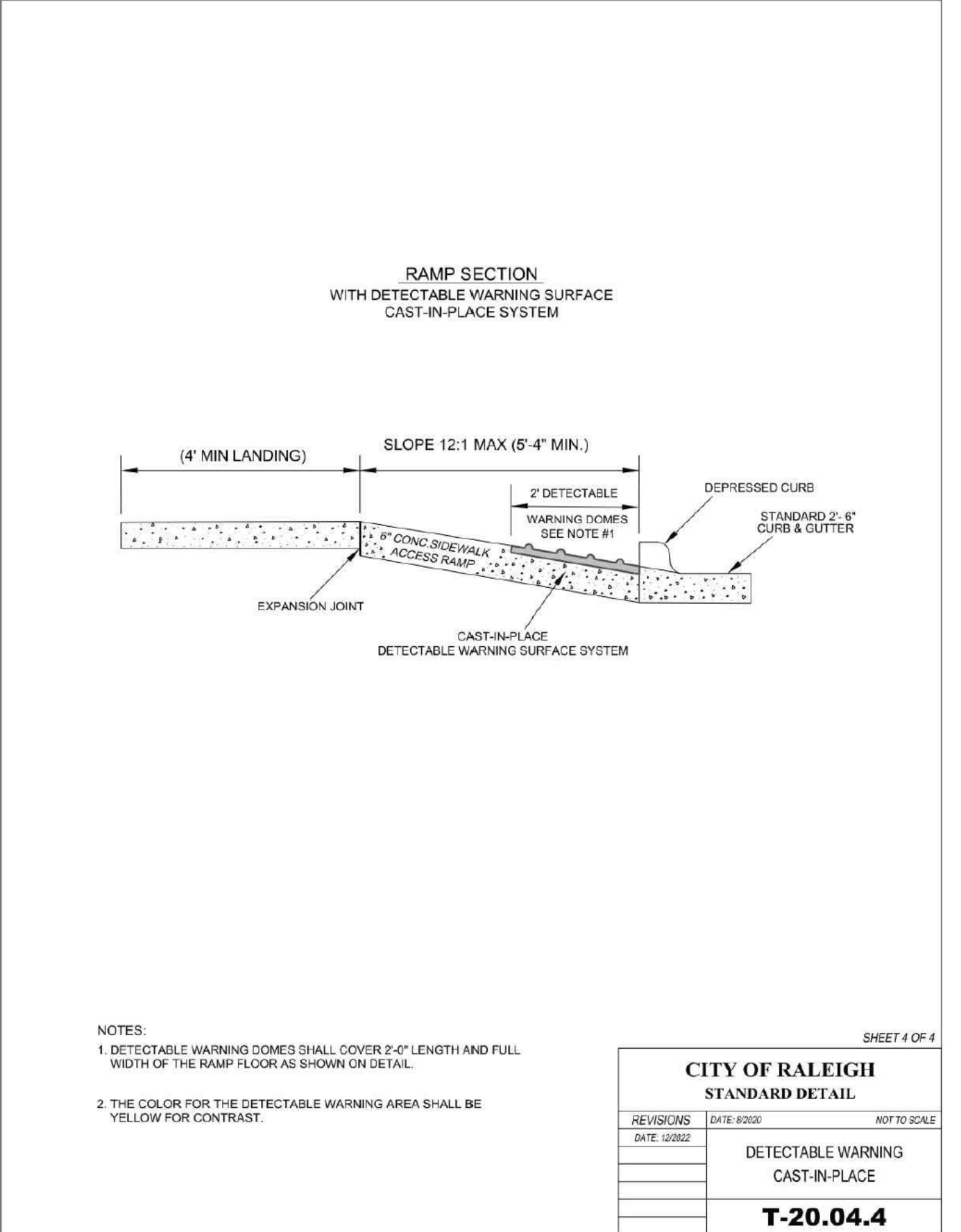
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMP NOTES		
<b>T-20.01.8</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
DETECTABLE WARNING SURFACE PLACEMENT		
<b>T-20.04.1</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
DETECTABLE WARNING SURFACE PAVERS		
<b>T-20.04.2</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
DETECTABLE WARNING CAST-IN-PLACE		
<b>T-20.04.4</b>		

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**KANE**  
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**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-1  
CHECKED BY LJV  
DRAWN BY JS  
SCALE N.T.S.  
DATE 08.17.2023

**SHEET**

**SITE DETAILS**

**C8.01**

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REVISIONS

NO. DATE

PLAN INFORMATION

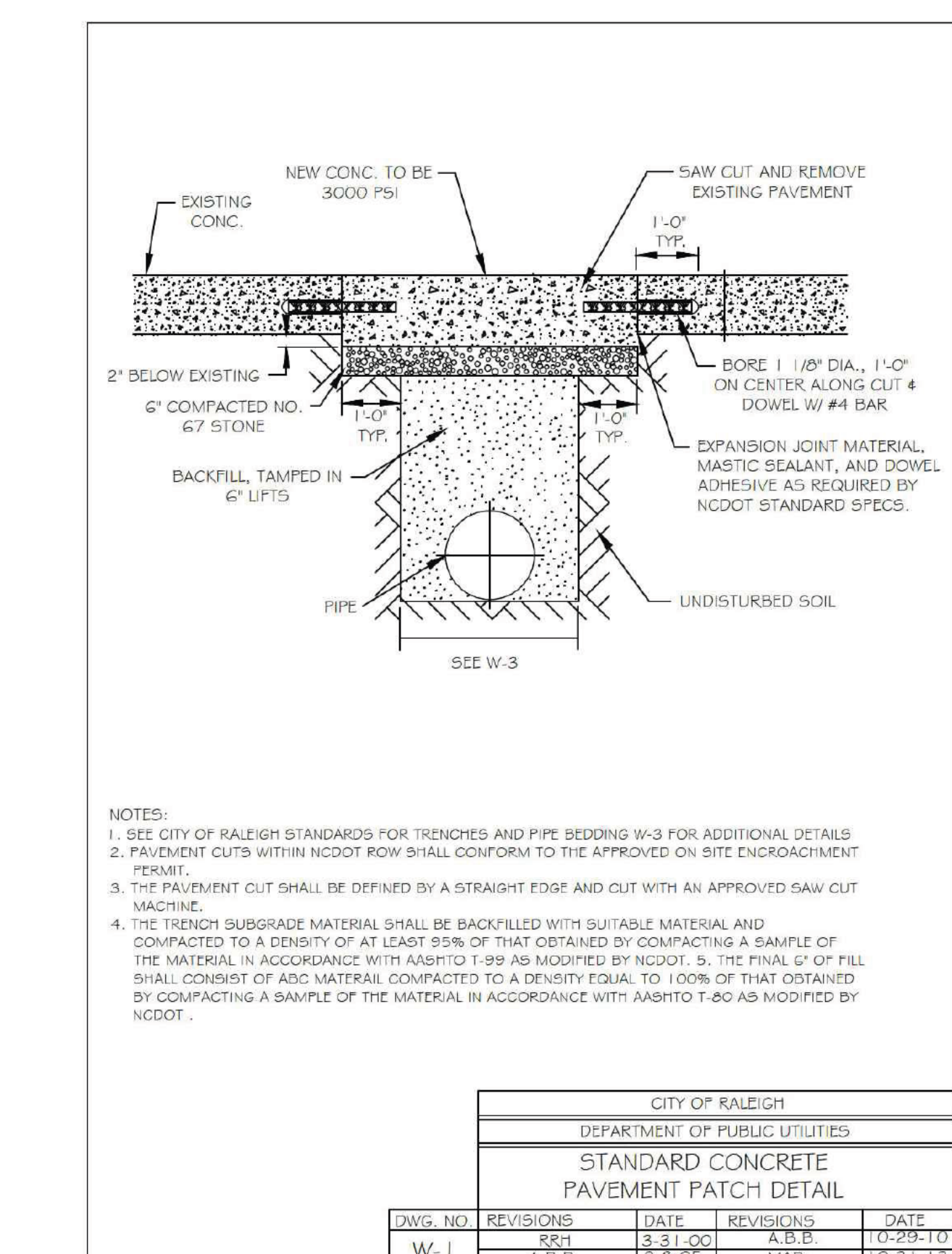
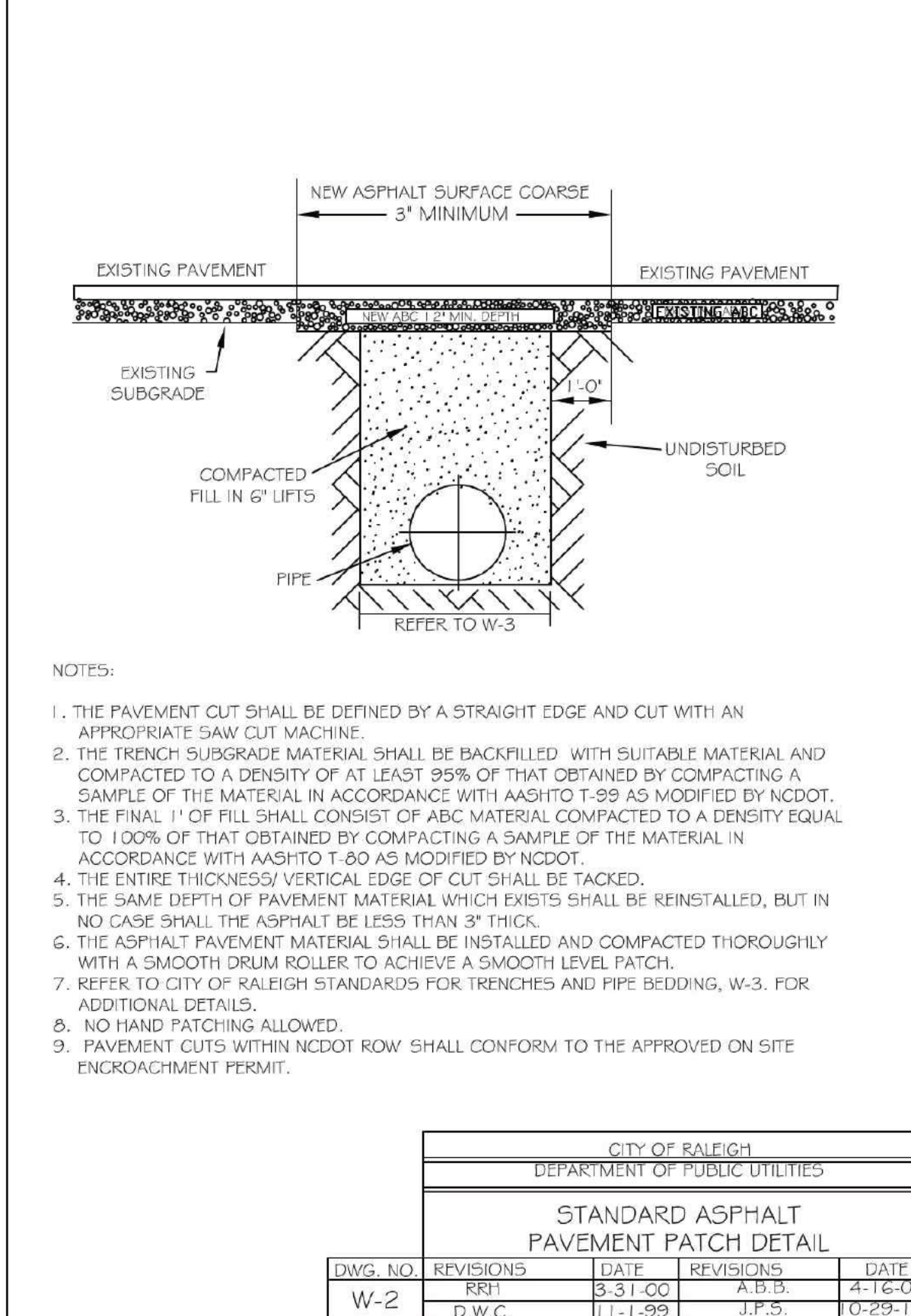
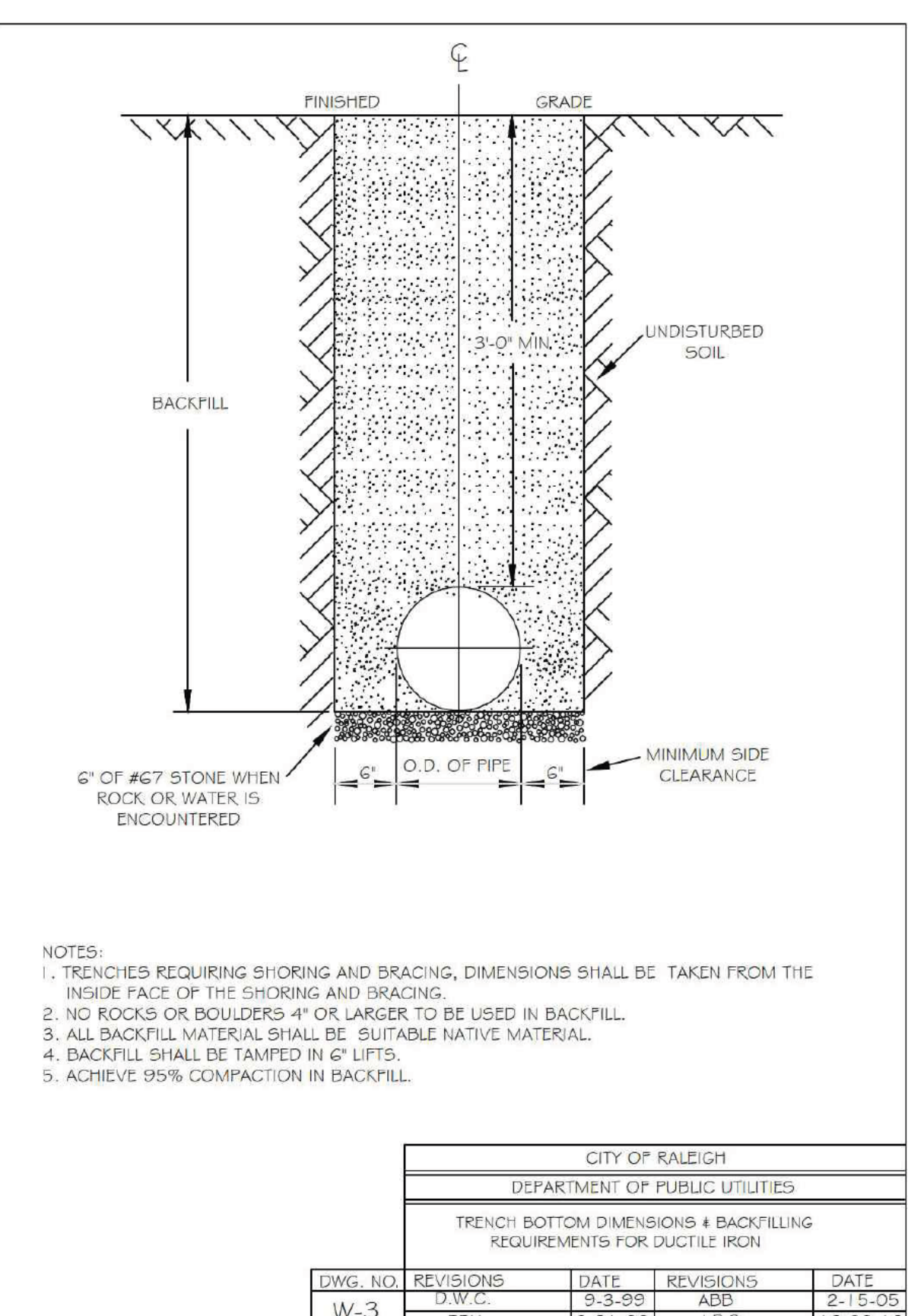
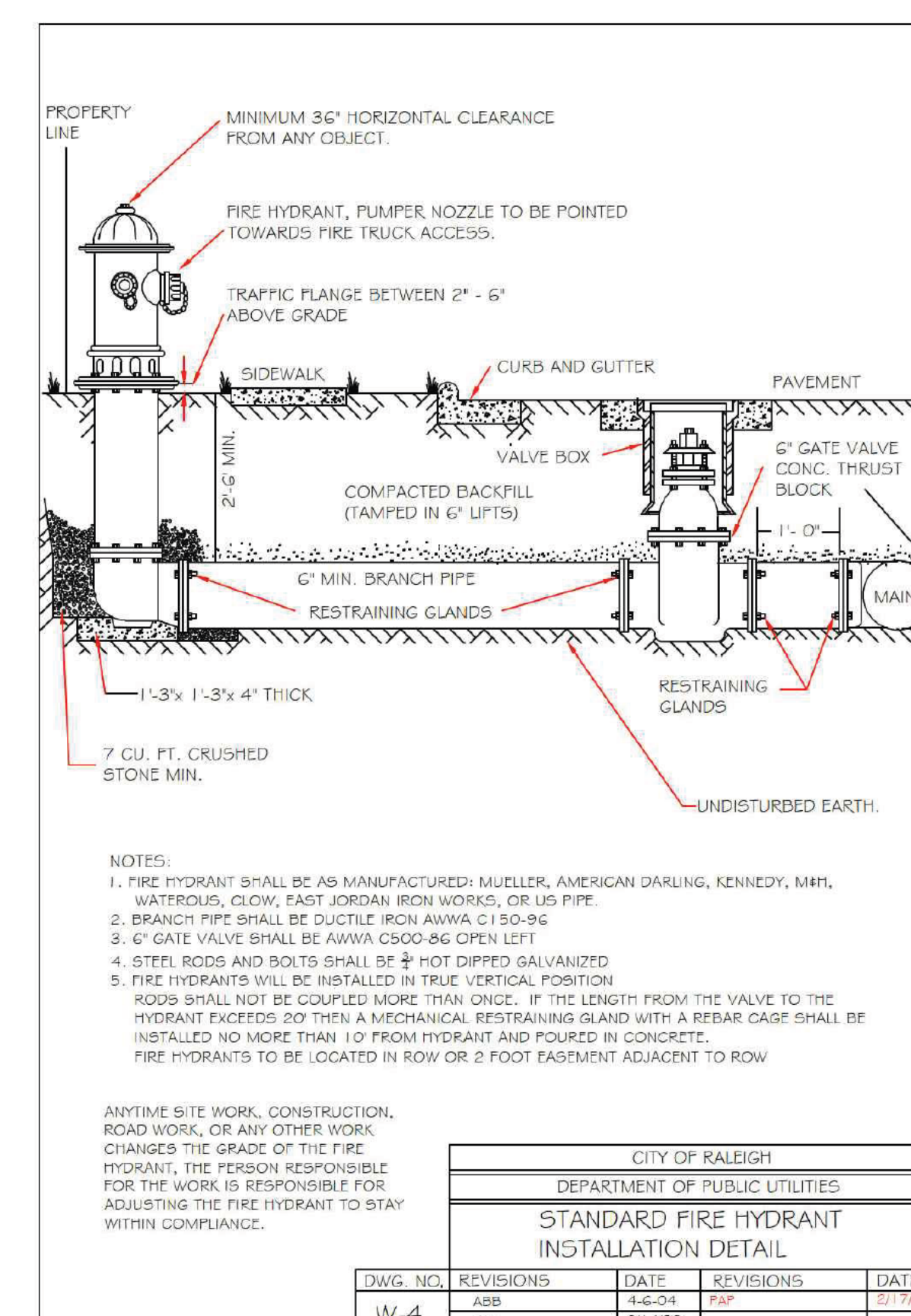
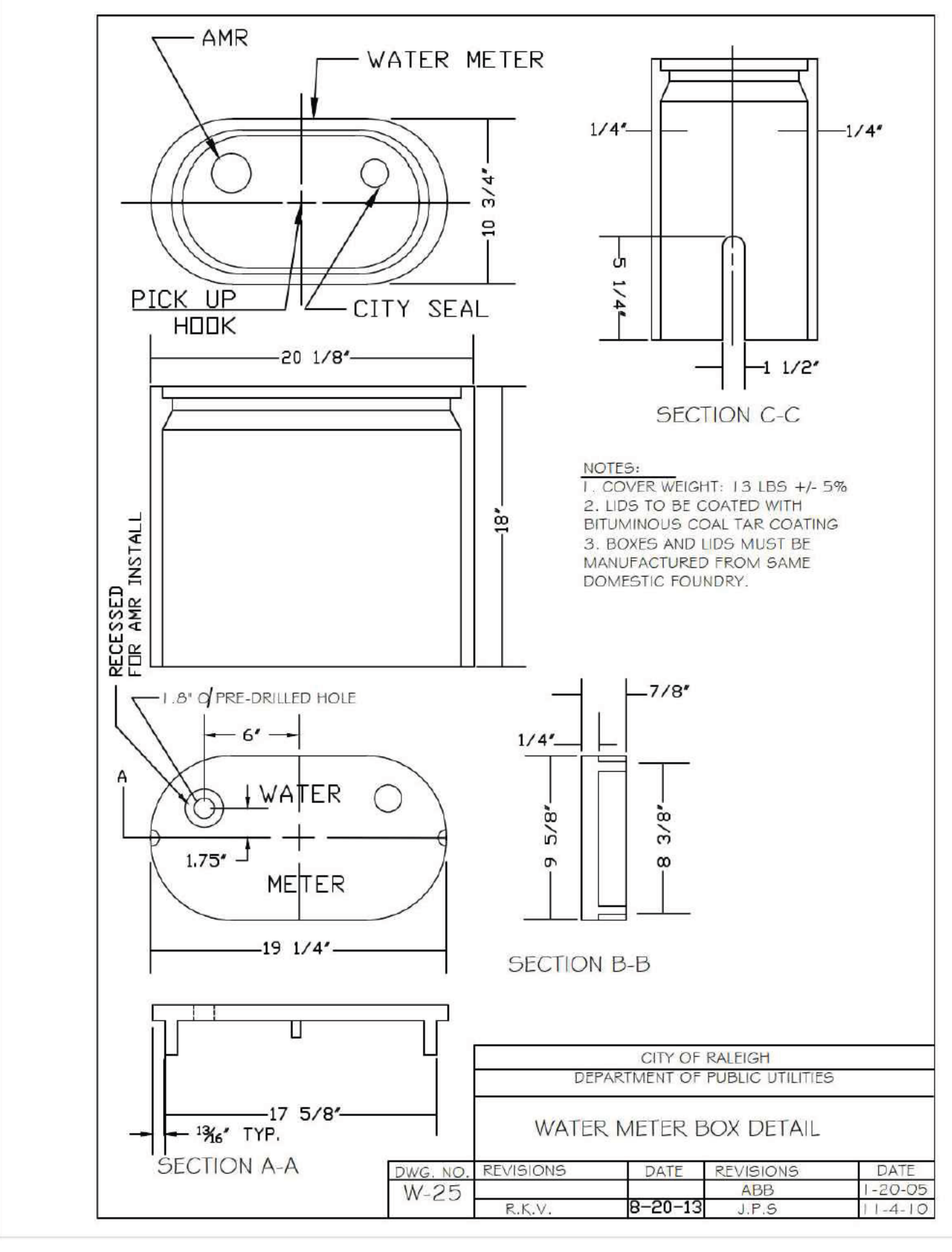
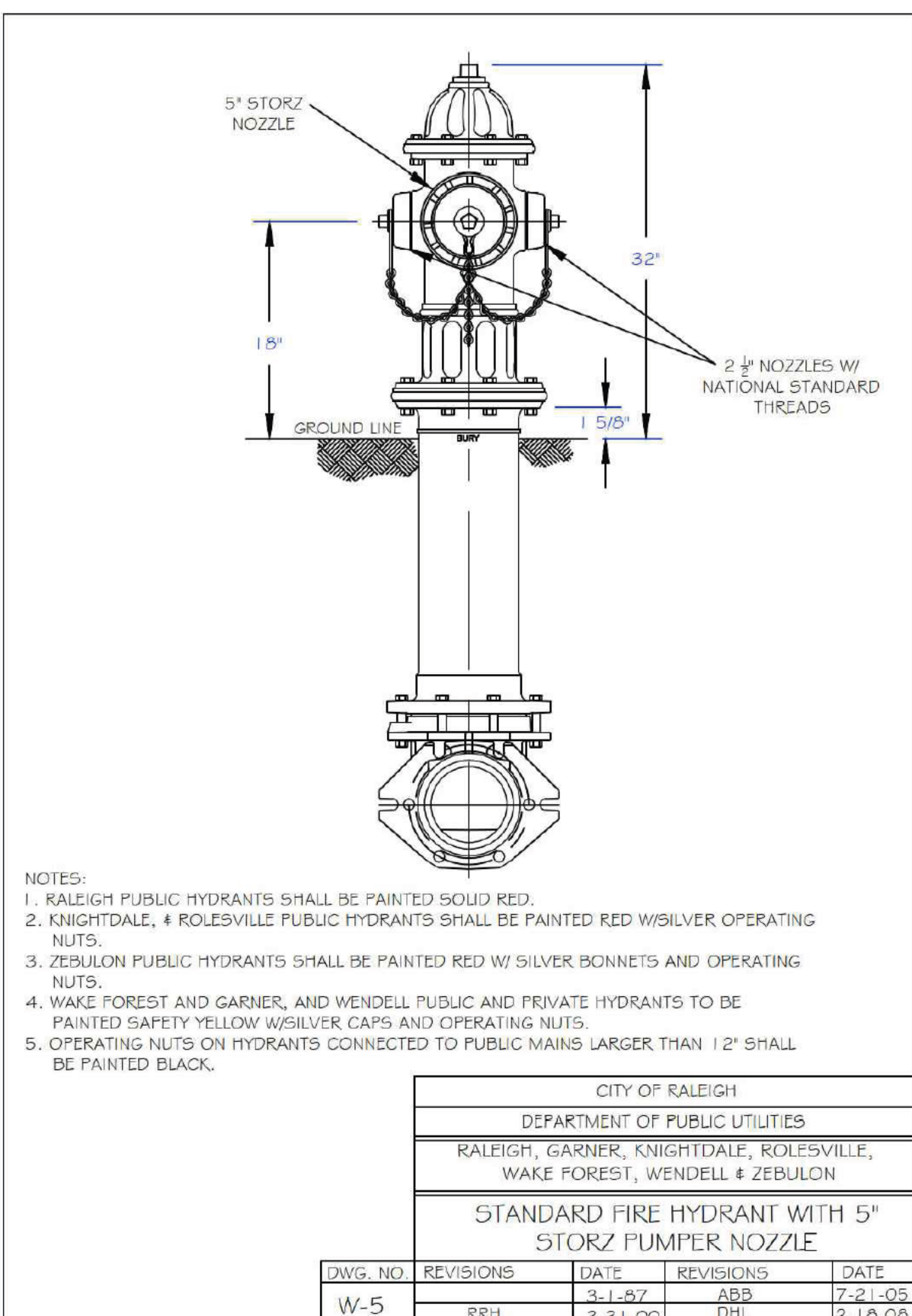
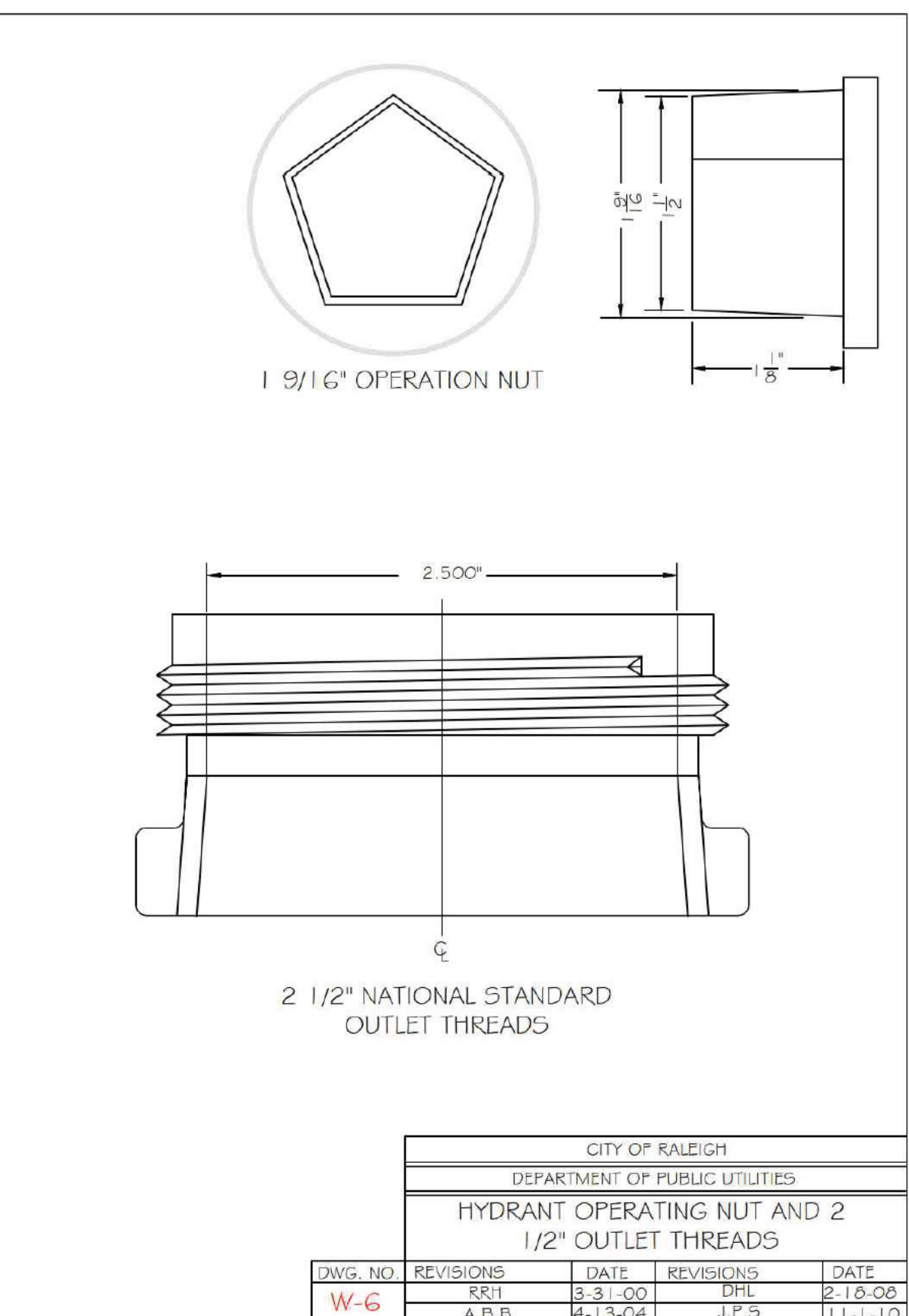
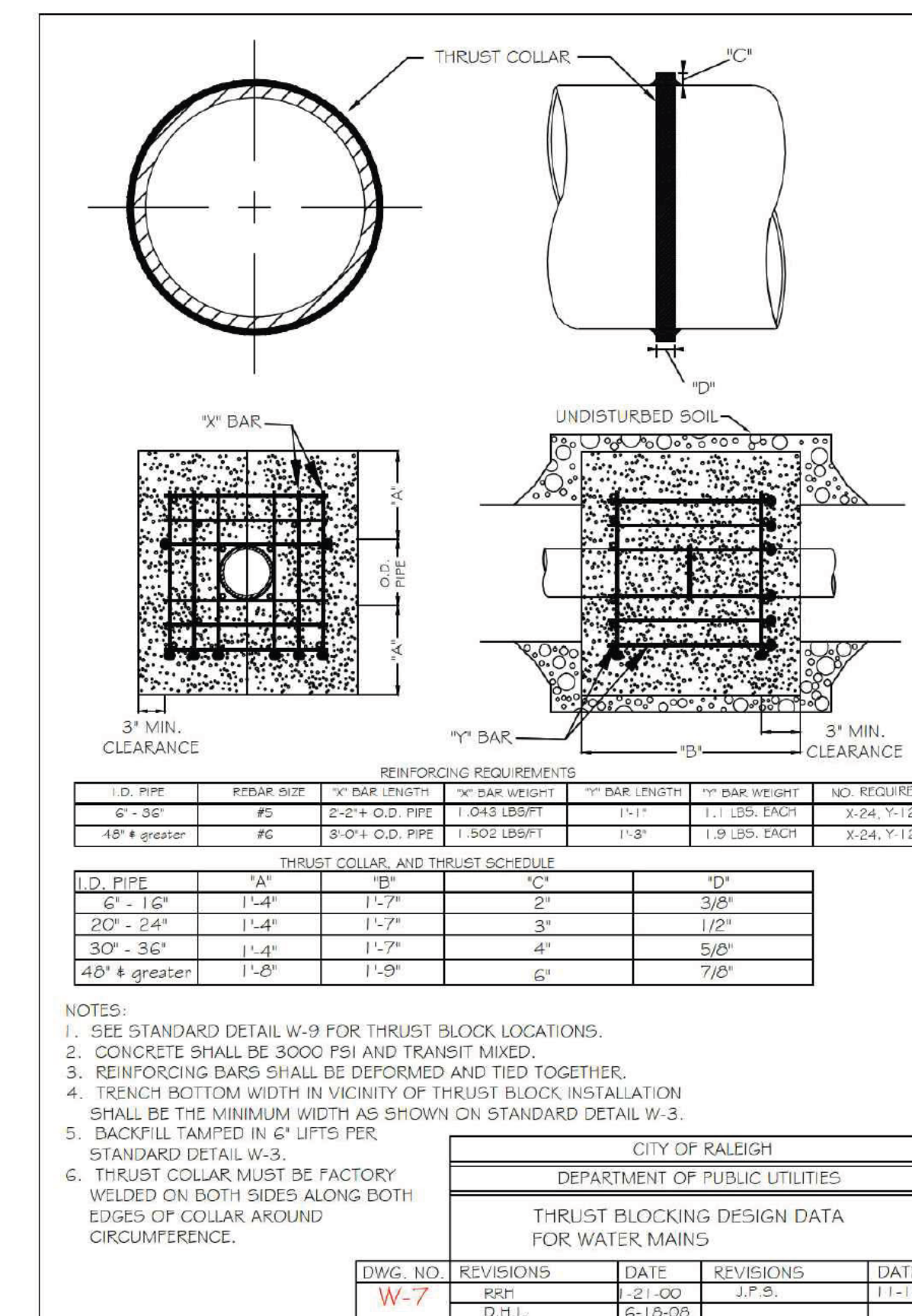
PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-D1  
CHECKED BY LJV  
DRAWN BY JS  
SCALE N.T.S.  
DATE 08.17.2023

SHEET

WATER DETAILS

**C8.02**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS  
BASED ON TEST PRESSURE OF 200 P.S.I.

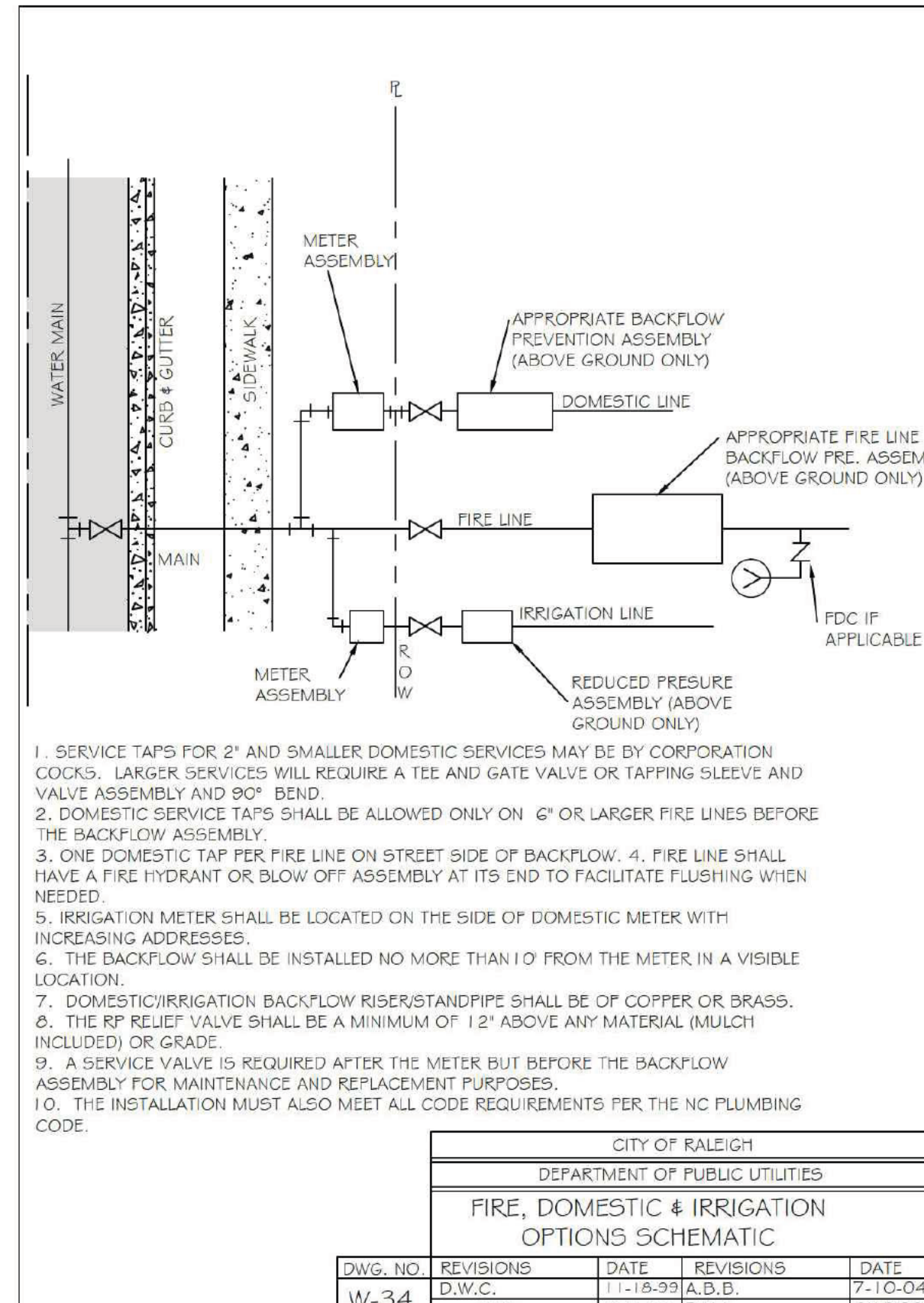
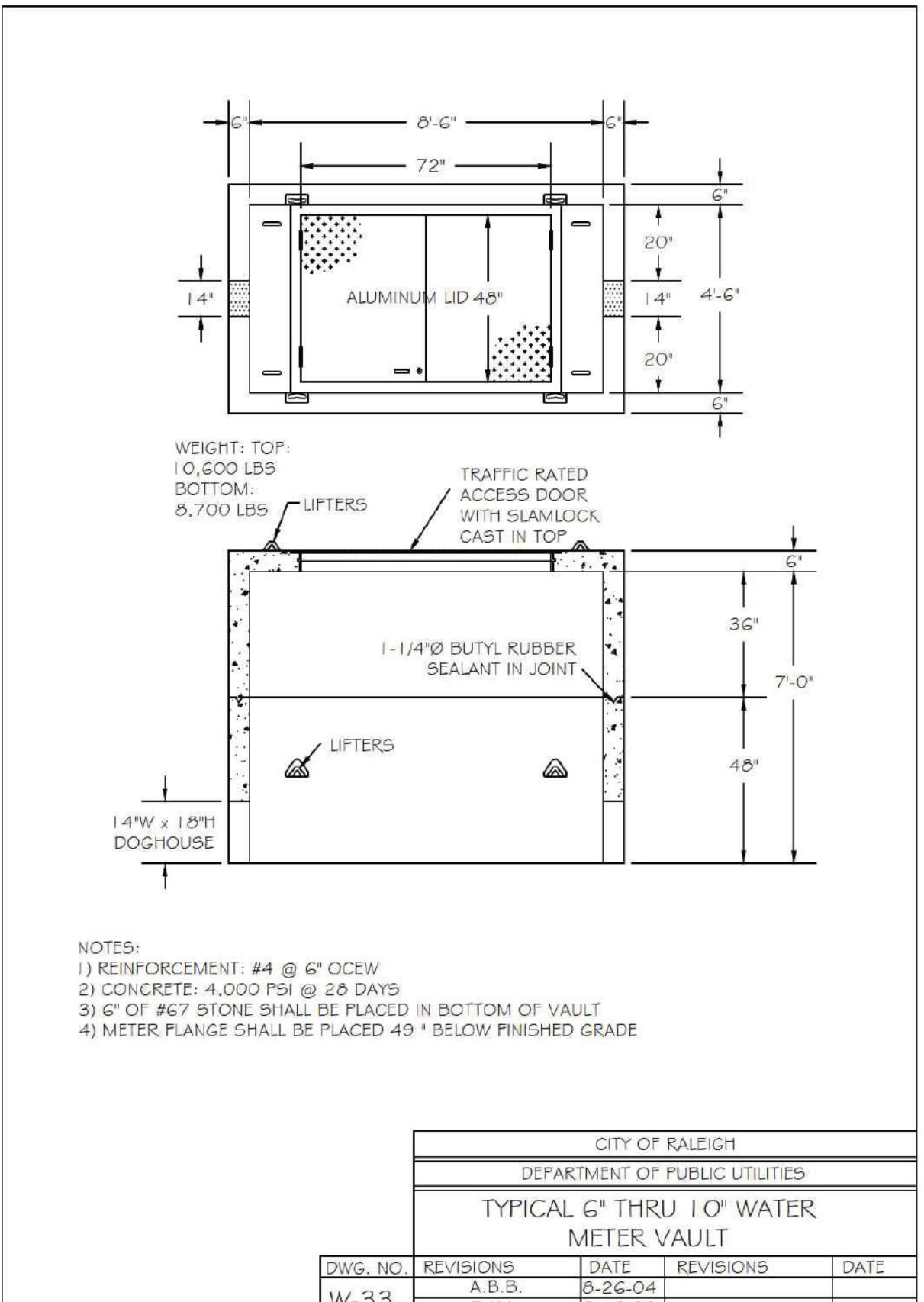
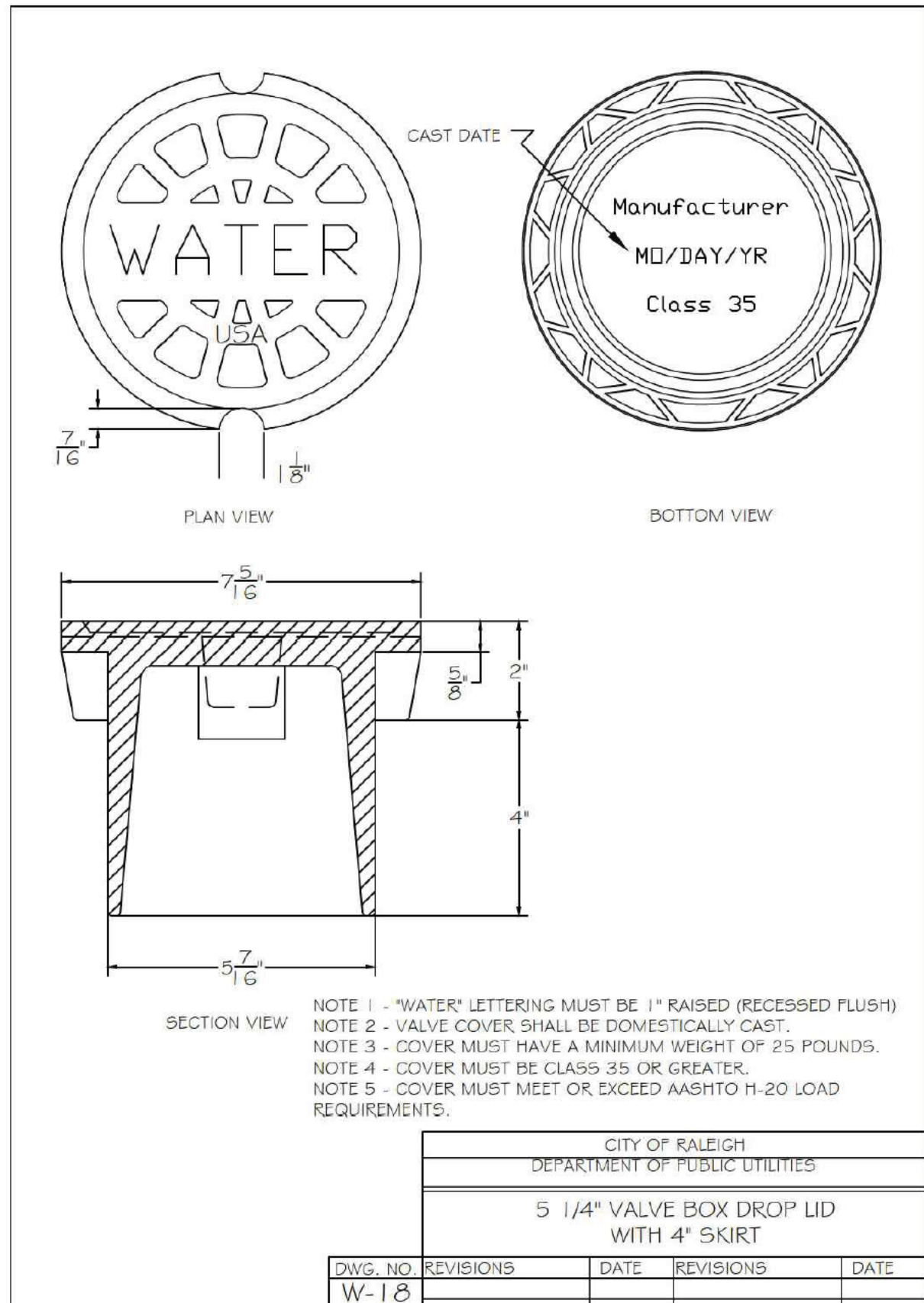
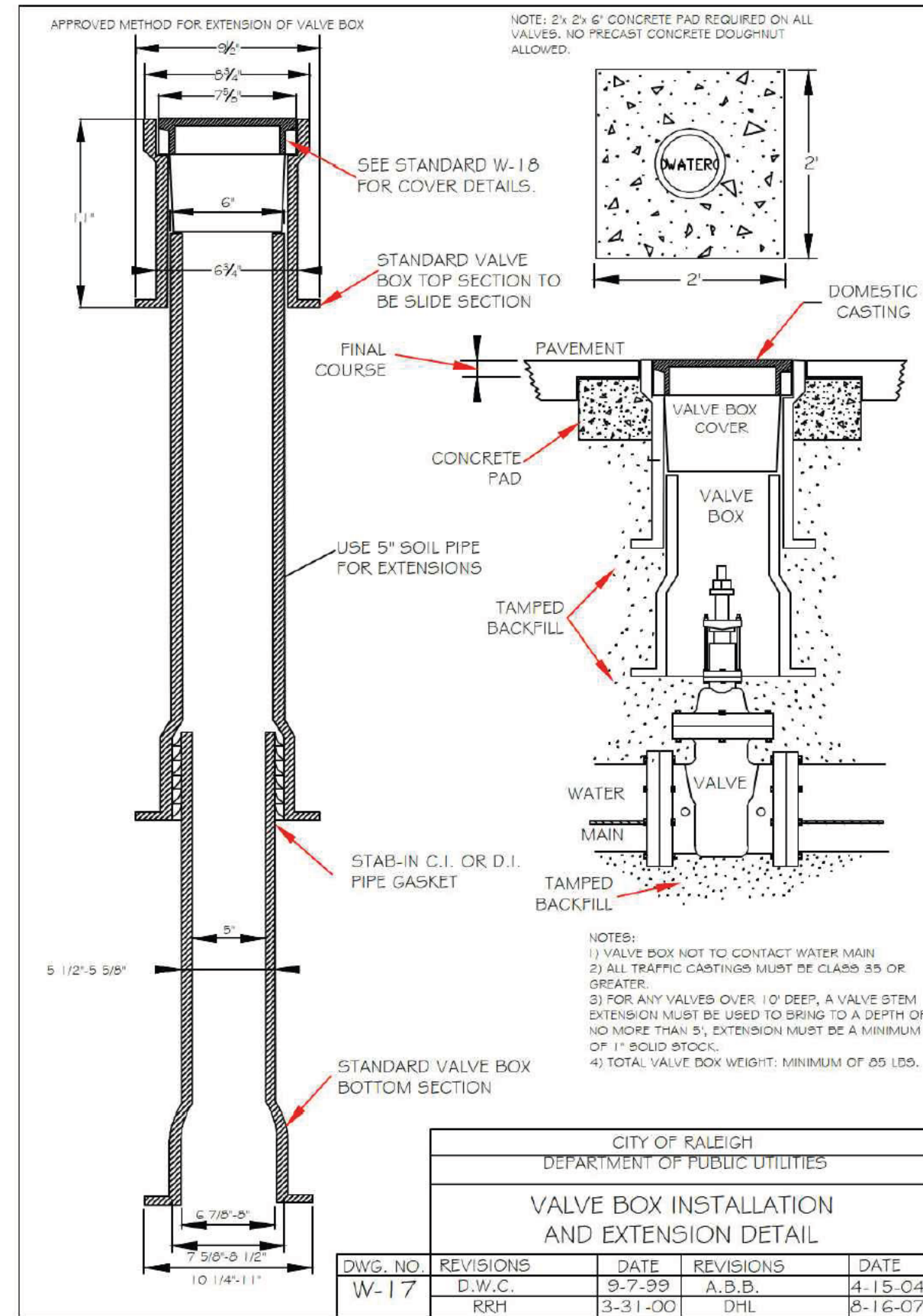
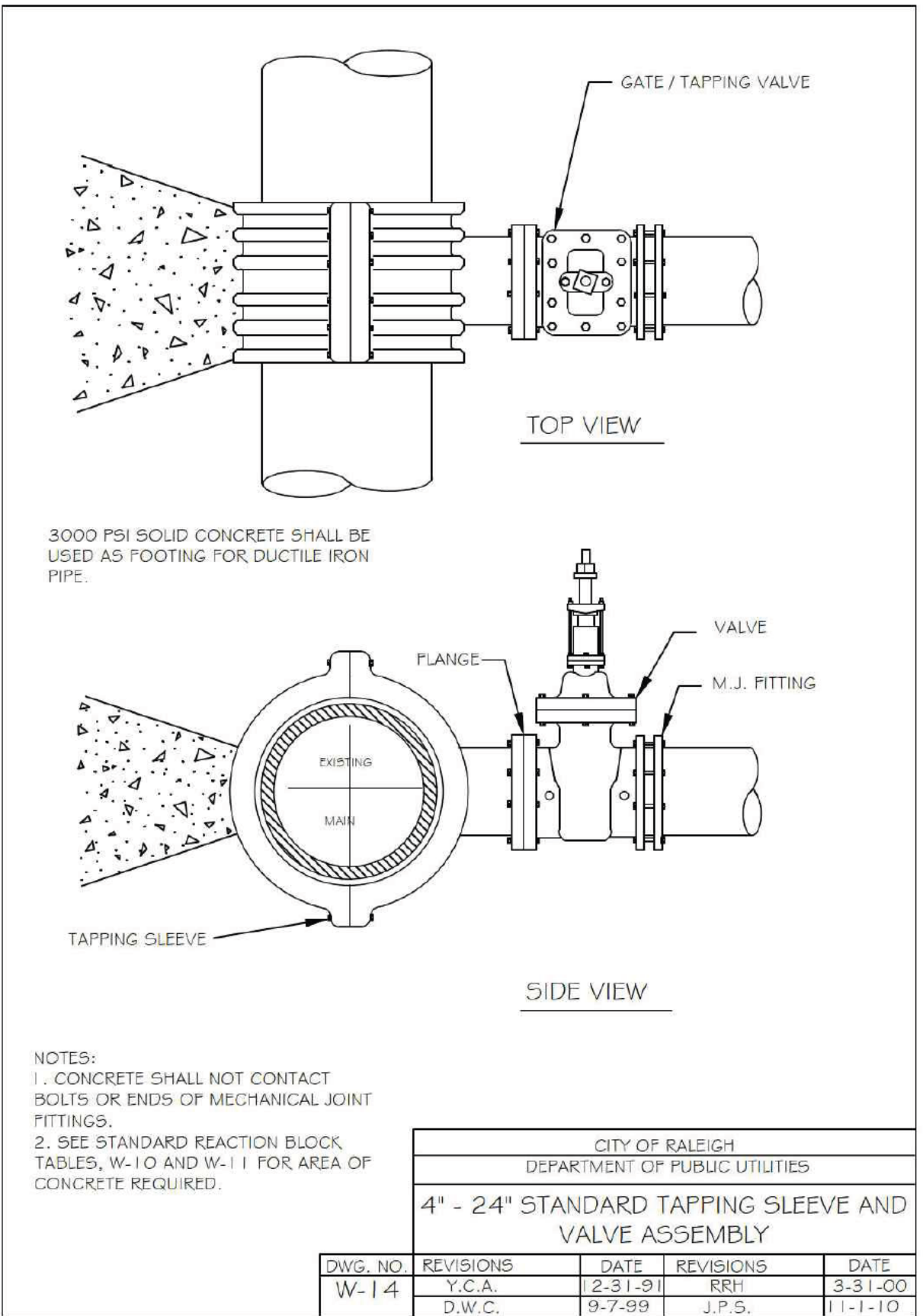
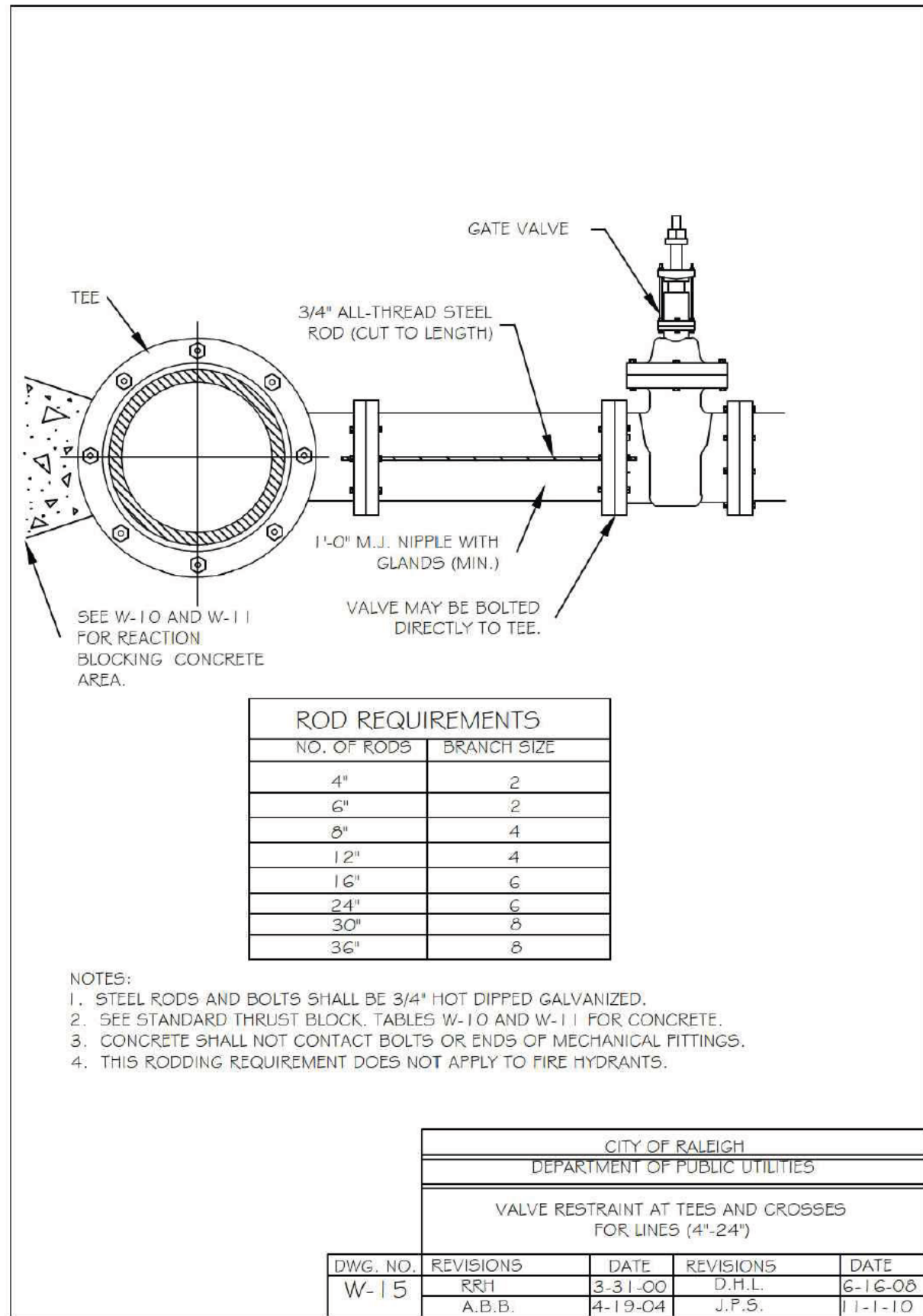
ALL AREAS GIVEN IN SQUARE FEET

BEND	SIZE AND DEGREE OF BEND	STATIC THRUST IN POUNDS	REACTANT IN CLAY (200 LB/FT <sup>2</sup> )	SOIL (CLAY - 2000 LB/FT <sup>2</sup> )	LEO (BEST) SAND (CONCRETE SAND)	ASD (BEST) OR CLAY - 2000 LB/FT <sup>2</sup>	SAND (COMPACT FIRM)	SAND (CLAY OR 2000 LB/FT <sup>2</sup> )	SOLIDIFIED (BEST) OR SAND (2000 LB/FT <sup>2</sup> )	BACK FILL (BEST) OR SAND (2000 LB/FT <sup>2</sup> )
6"										
11 1/4"	1,108	1	1	1	1	1	1	2	1	
22 1/2"	2,207	1	2	2	1	1	1	3	1	
45°	4,328	2	3	3	1	1	2	5	1	
90°	7,896	2	4	5	1	1	2	8	1	
PLUG	5,655	2	3	4	1	1	2	6	1	
8"										
11 1/4"	1,970	1	1	2	1	1	1	2	1	
22 1/2"	3,922	1	2	3	1	1	1	4	1	
45°	7,684	2	4	5	1	1	2	8	1	
90°	14,215	4	8	9	2	2	4	15	2	
PLUG	10,053	3	5	6	2	2	3	10	1	
12"										
11 1/4"	4,433	2	3	3	1	1	2	5	1	
22 1/2"	8,826	3	5	6	2	2	3	9	1	
45°	17,312	5	9	11	3	3	5	18	2	
90°	31,983	8	16	19	4	4	8	32	4	
PLUG	22,619	6	12	14	3	3	6	23	3	
16"										
11 1/4"	7,881	2	4	5	1	1	2	8	1	
22 1/2"	15,681	4	8	10	2	2	4	16	2	
45°	30,778	8	16	19	4	4	8	31	4	
90°	56,861	15	28	35	8	8	15	57	6	
PLUG	40,213	10	21	25	5	5	10	41	5	

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

USE 6" - 90 BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10				



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST SPECIFICATIONS AND DETAILS.

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	KAN-22008
FILENAME	KAN22008-ASR-D1
CHECKED BY	LJV
DRAWN BY	J5
SCALE	N.T.S.
DATE	08.17.2023

**SHEET**

**WATER DETAILS**

**C8.03**

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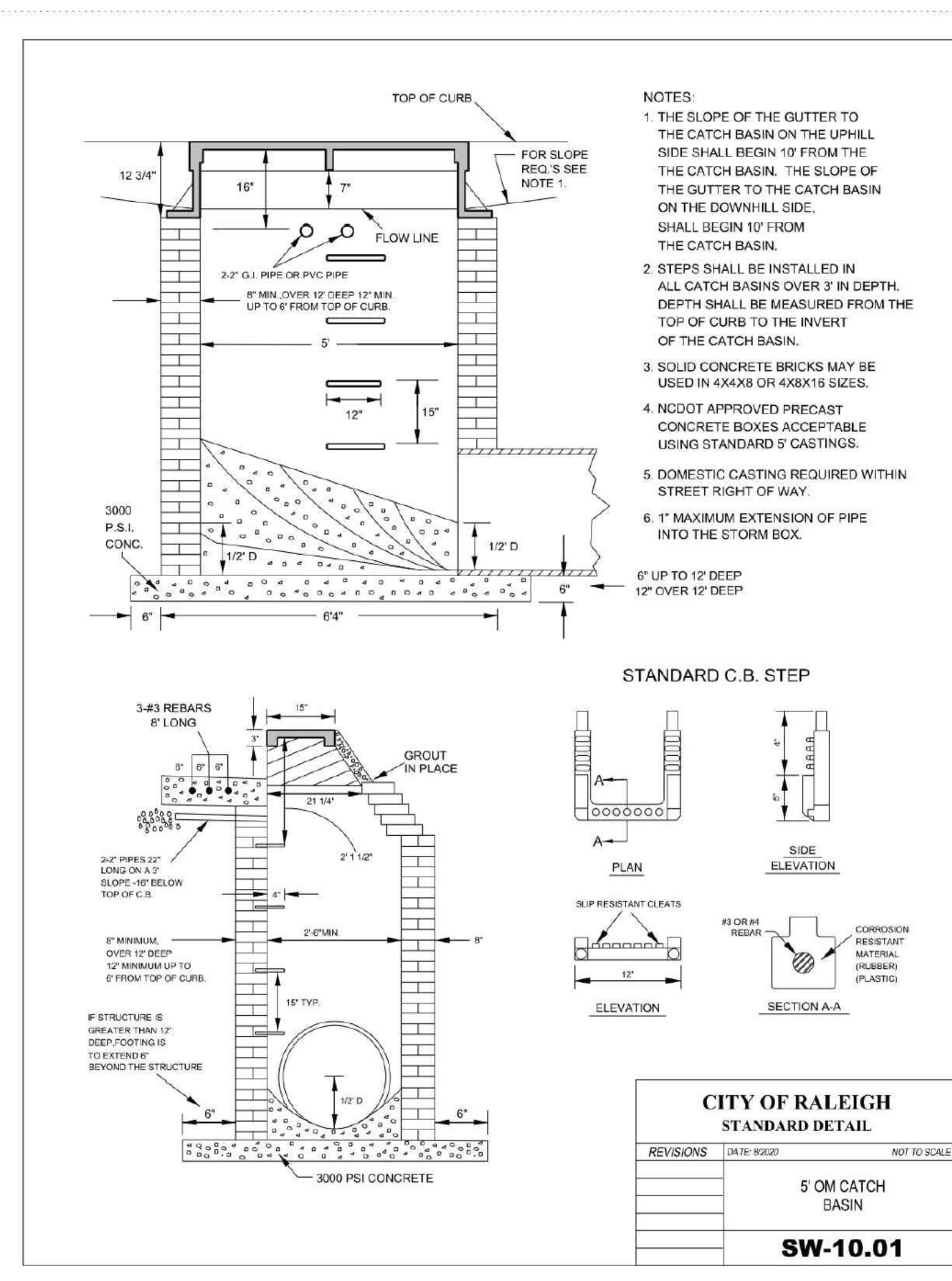
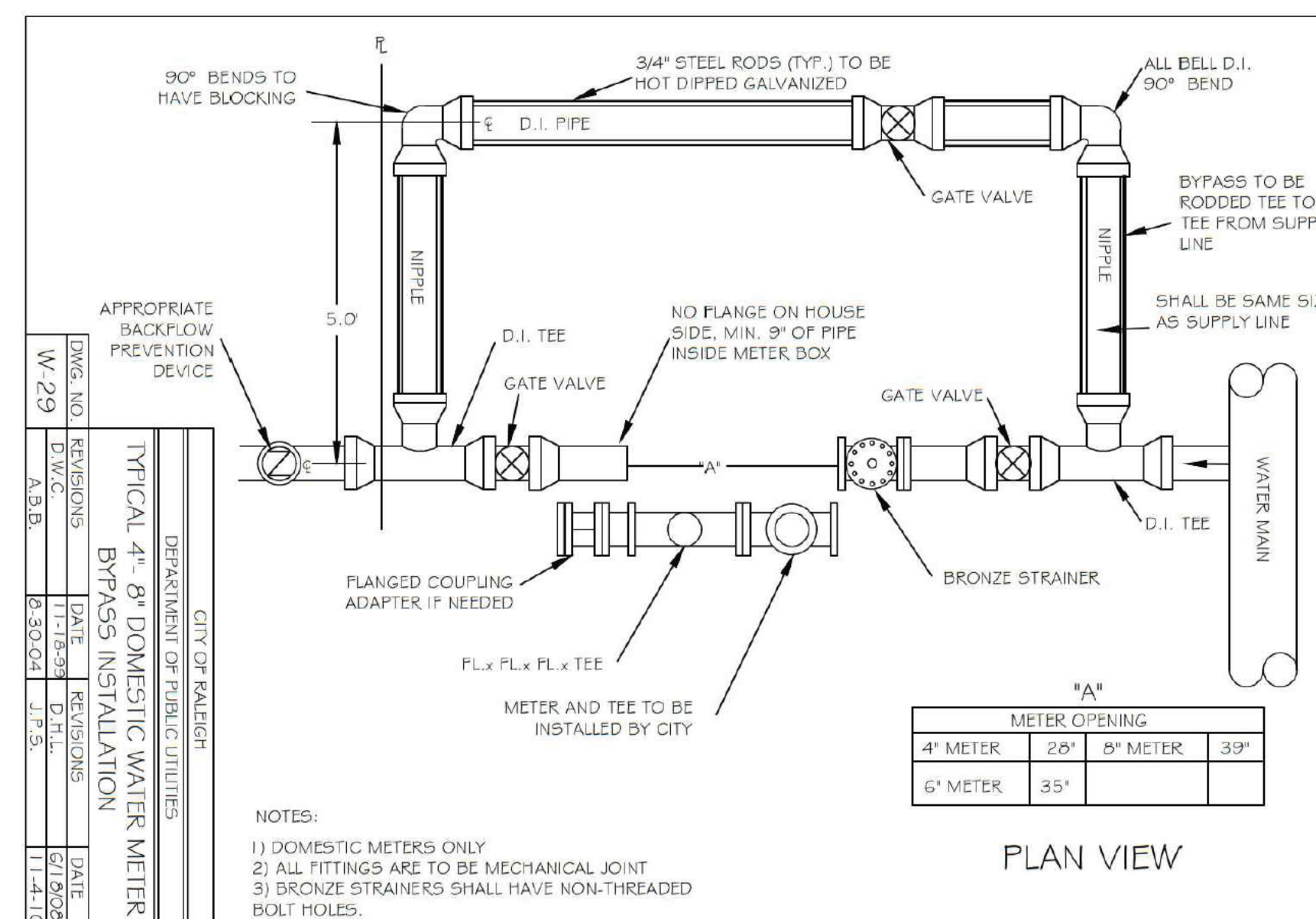
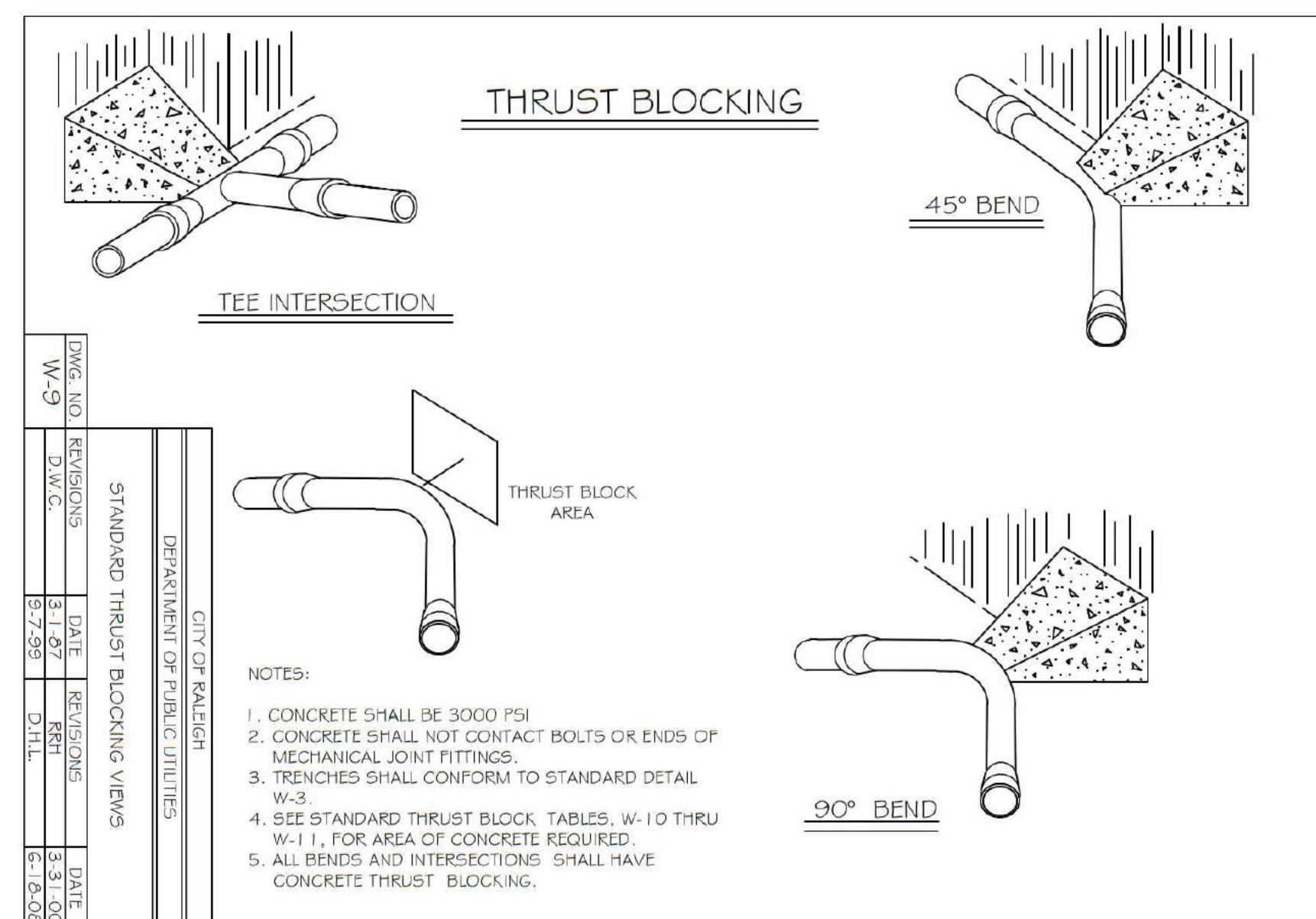
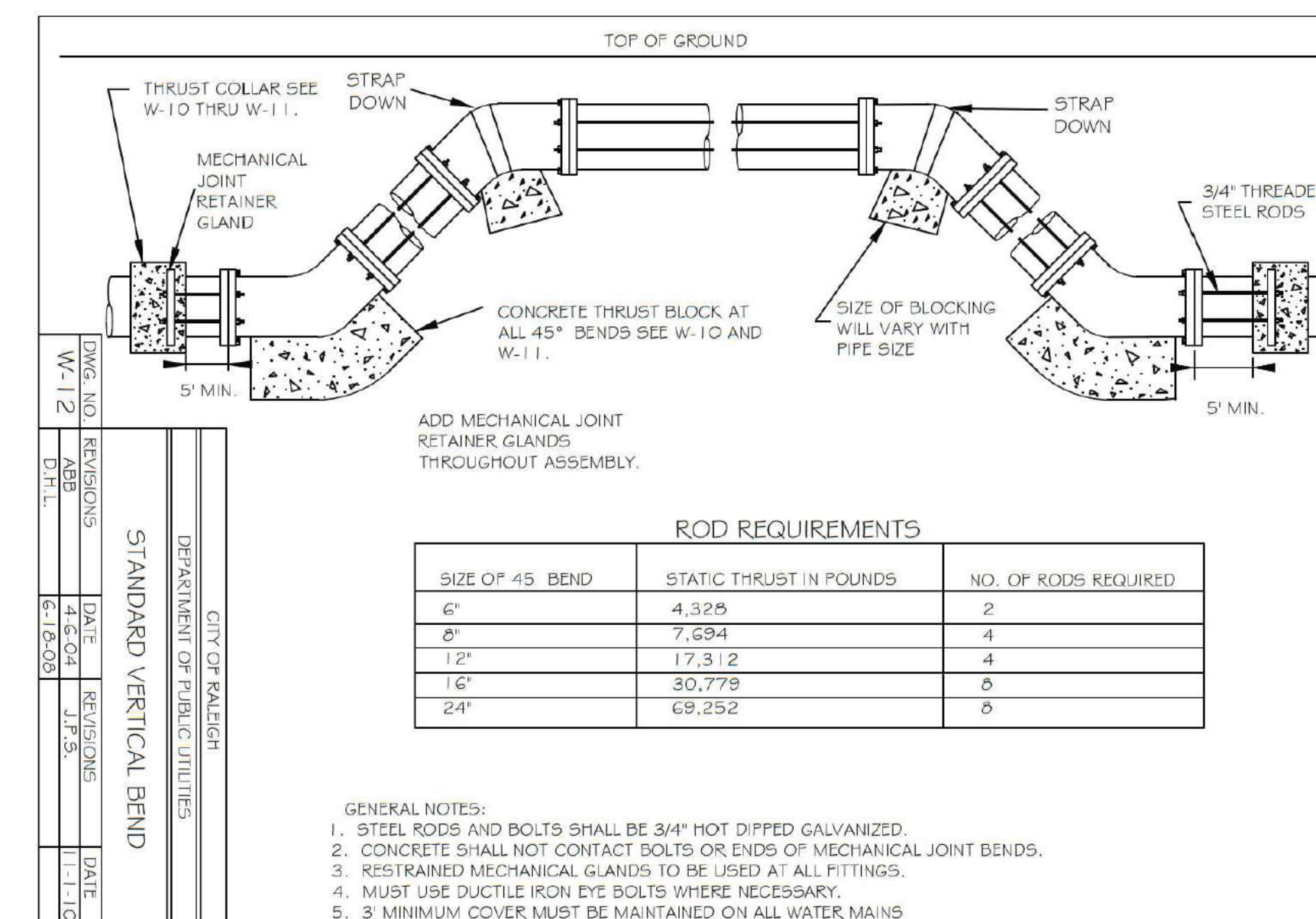
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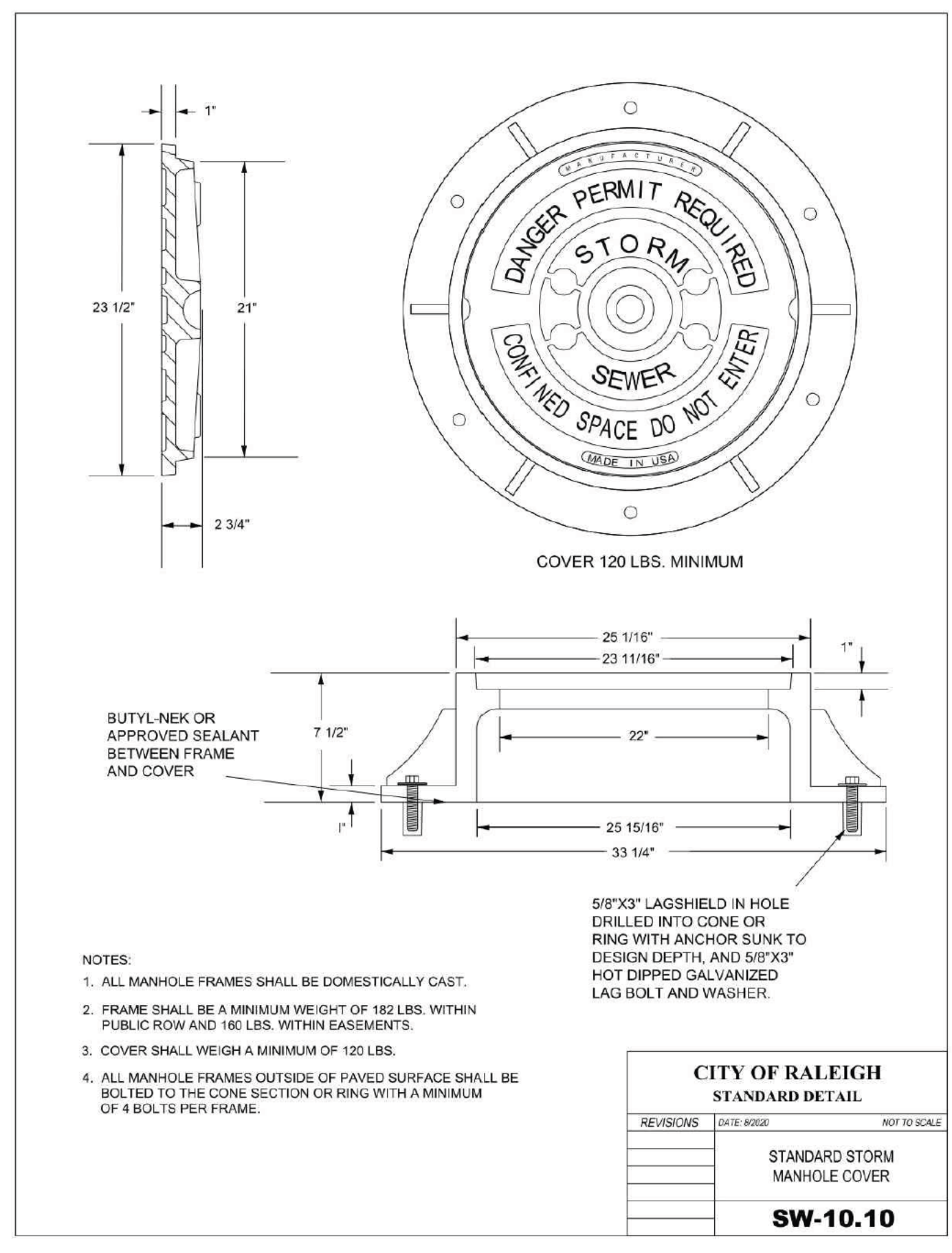
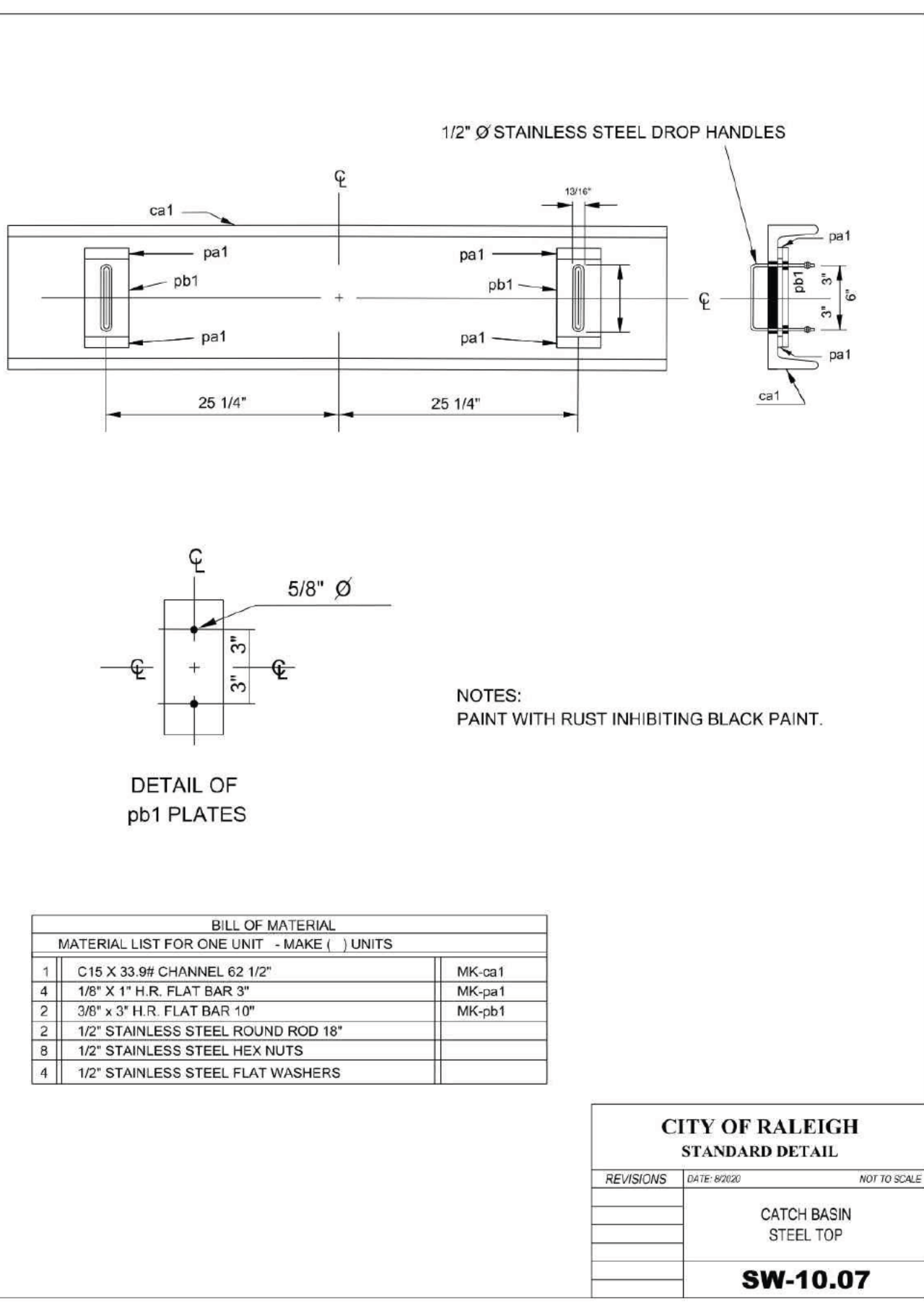
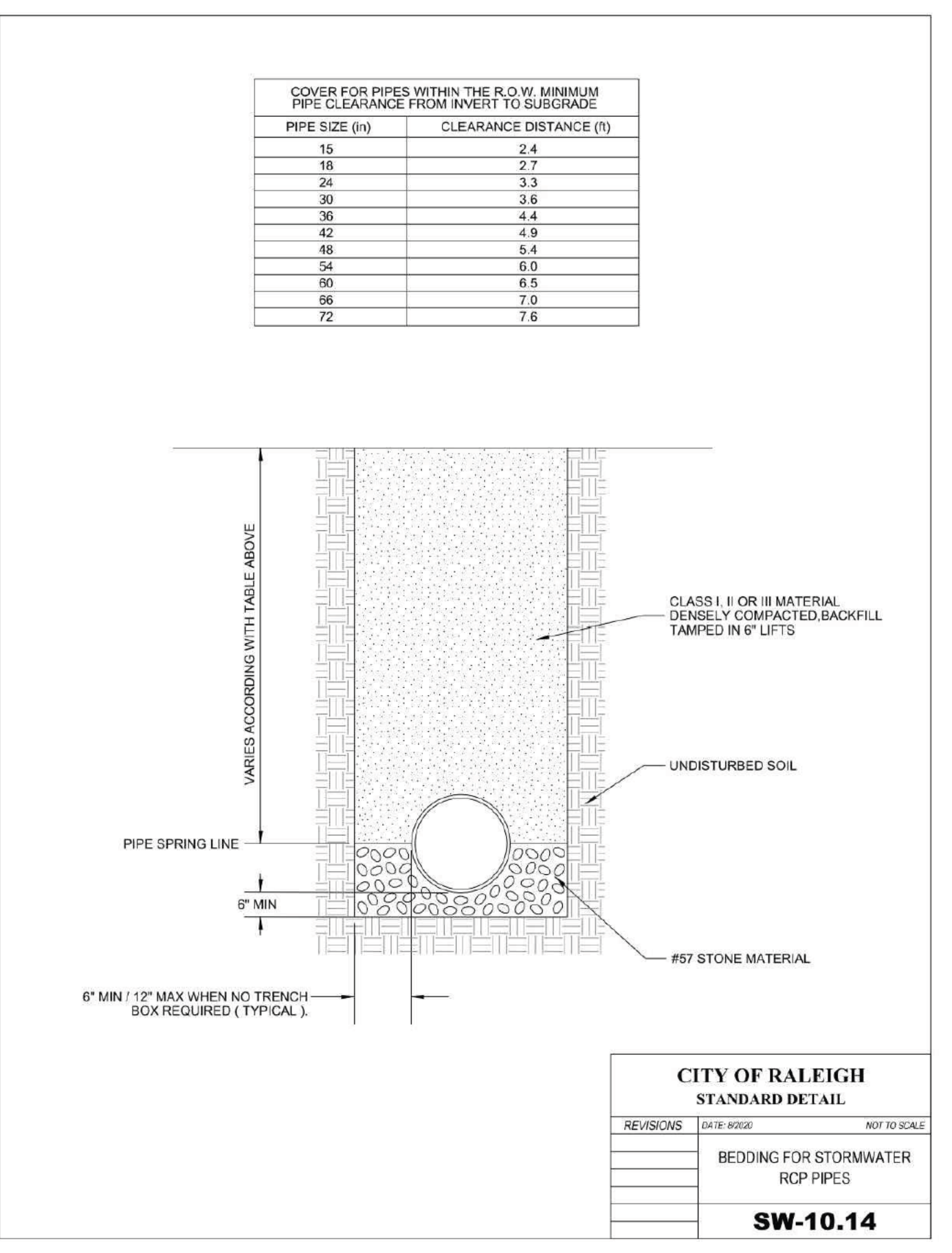
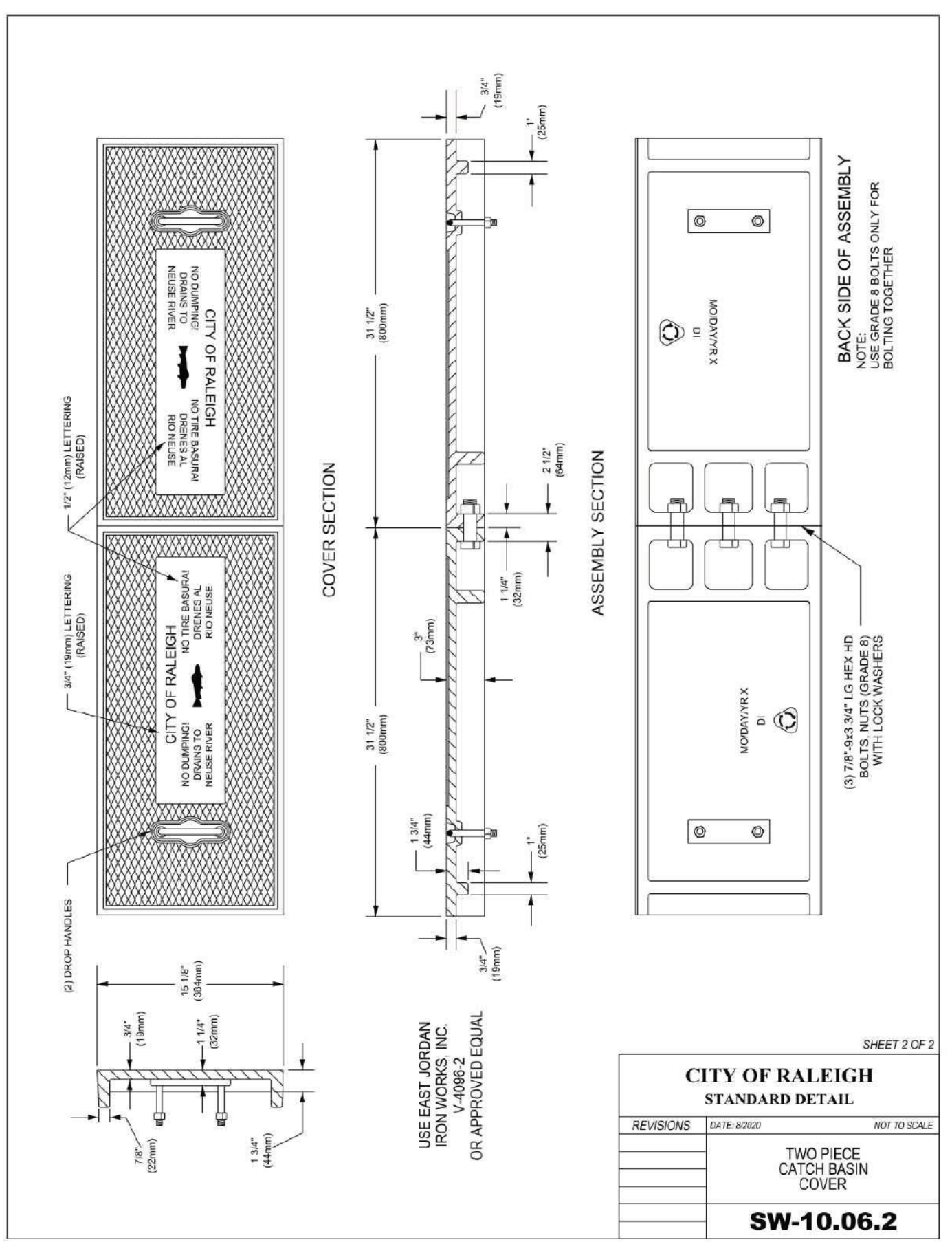
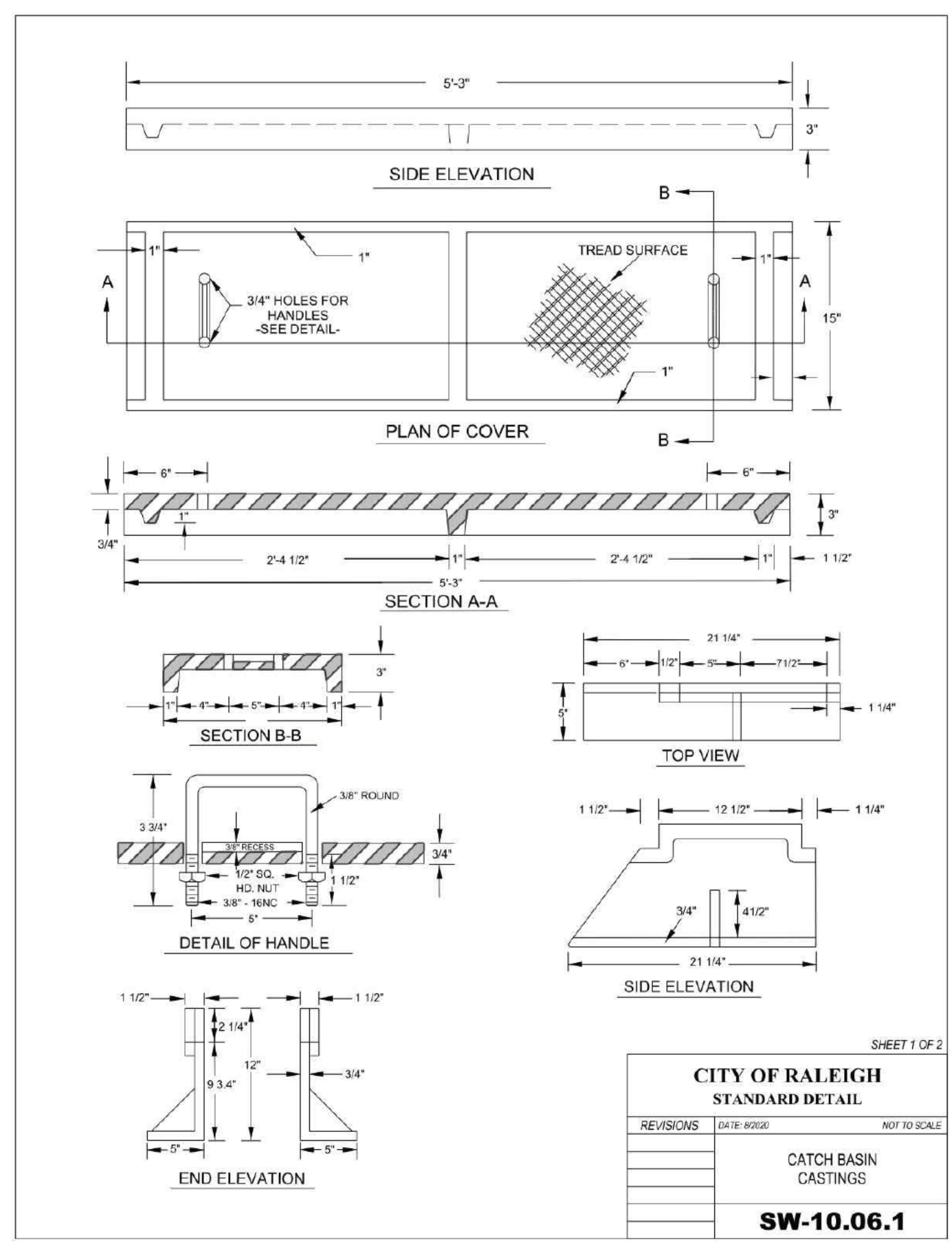
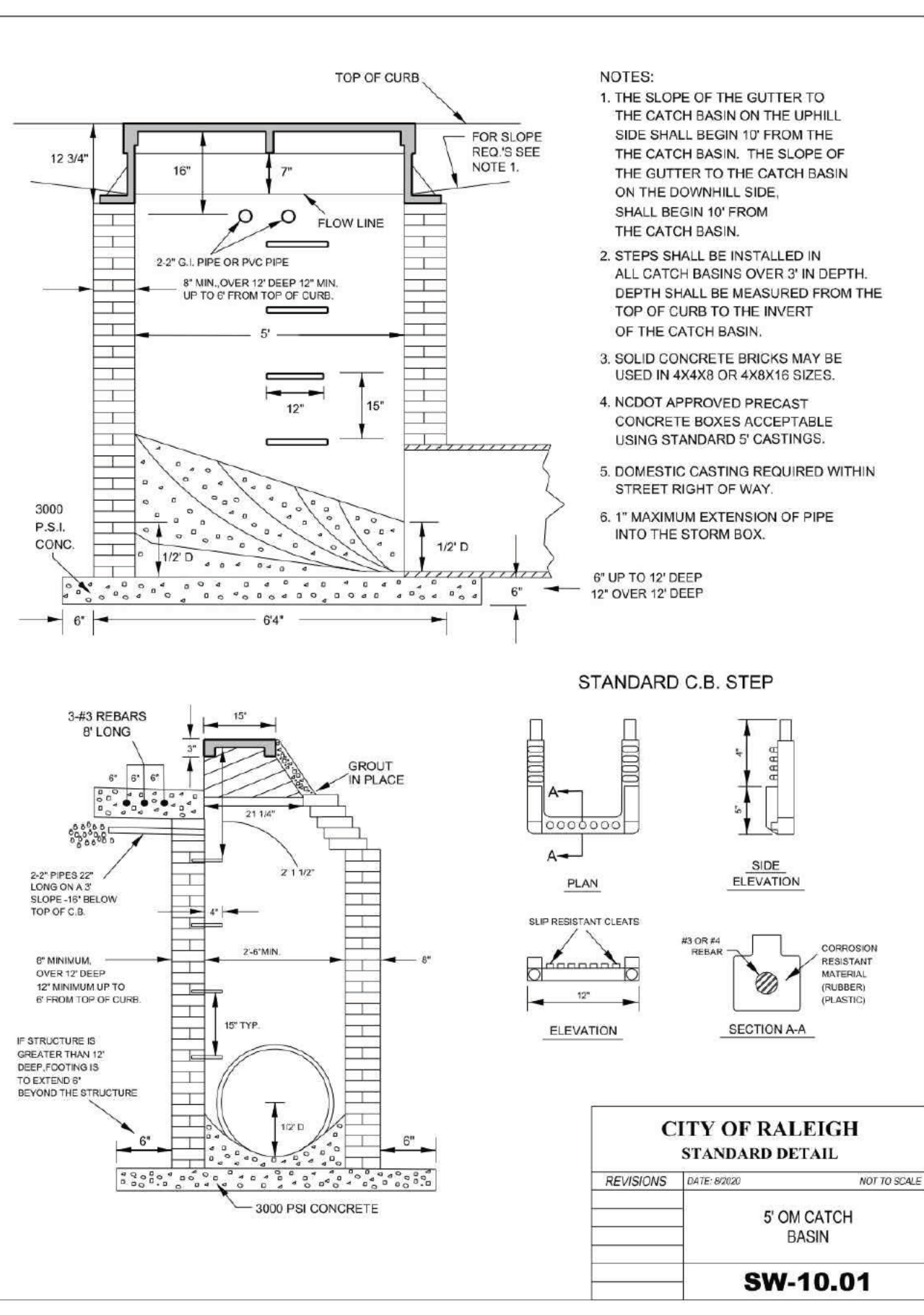
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REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	KAN-22008
FILENAME	KAN22008-ASR-D1
CHECKED BY	LJV
DRAWN BY	JS
SCALE	N.T.S.
DATE	08.17.2023

SHEET

**STORM DRAINAGE DETAILS**

**C8.05**

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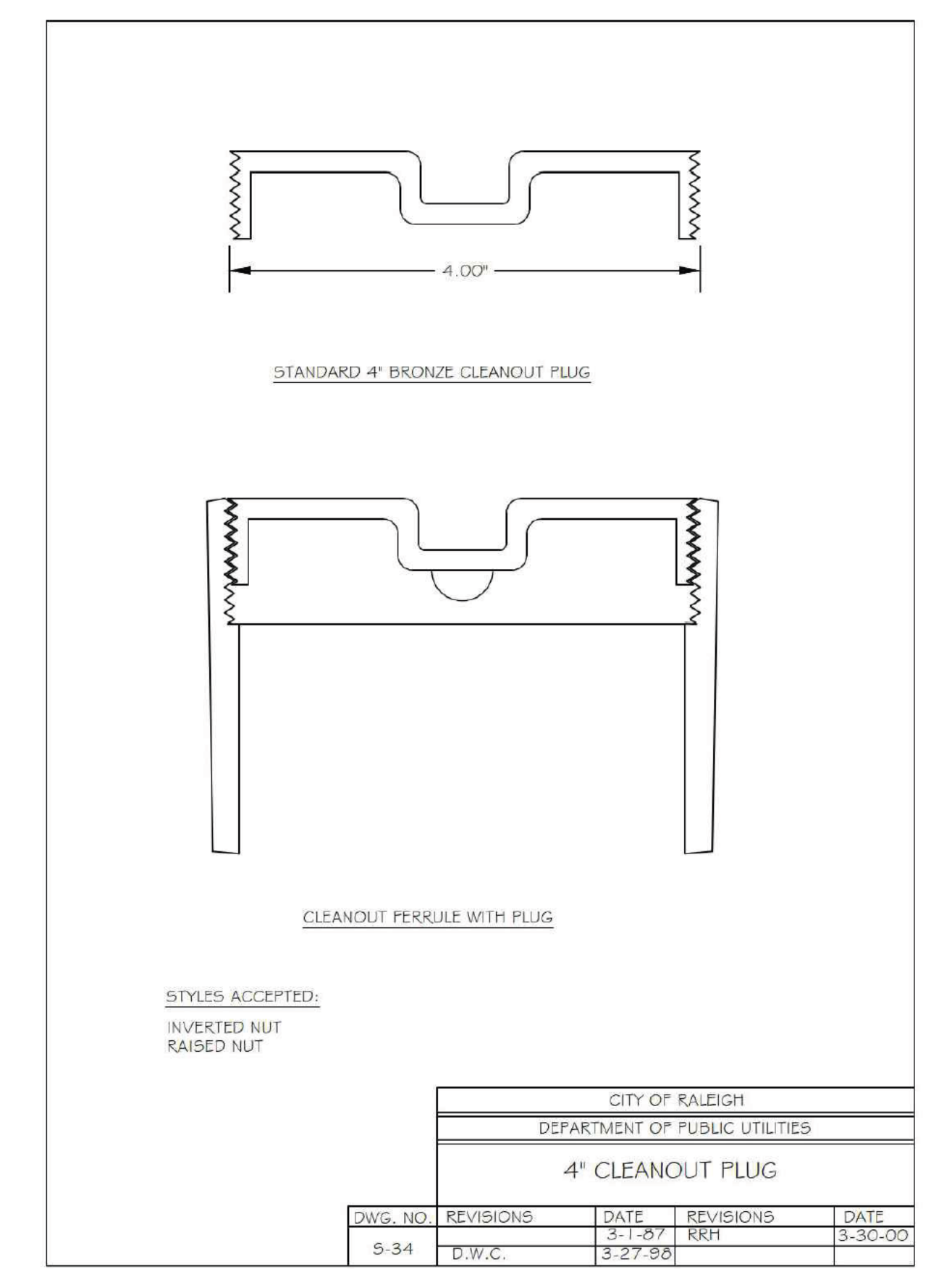
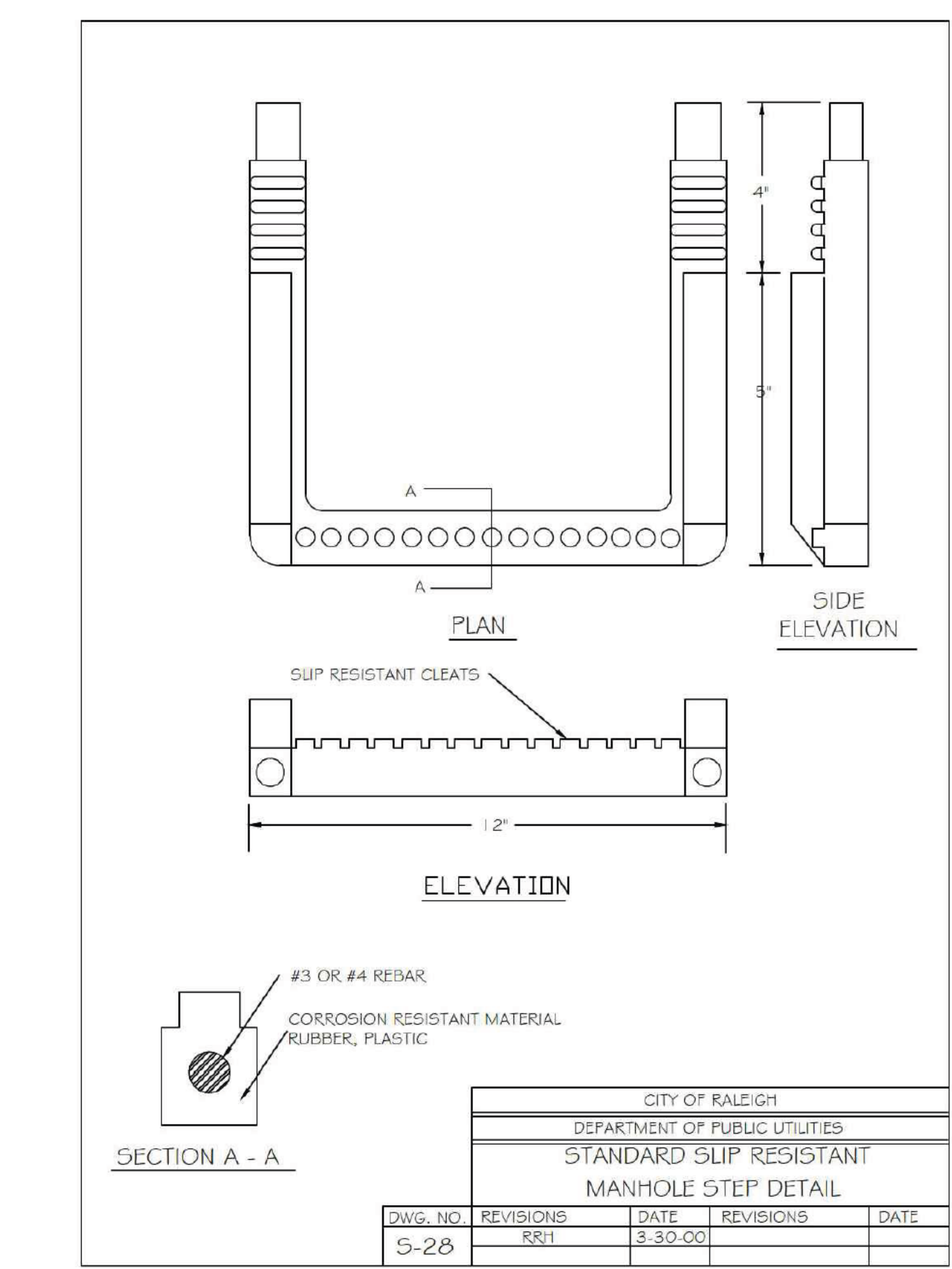
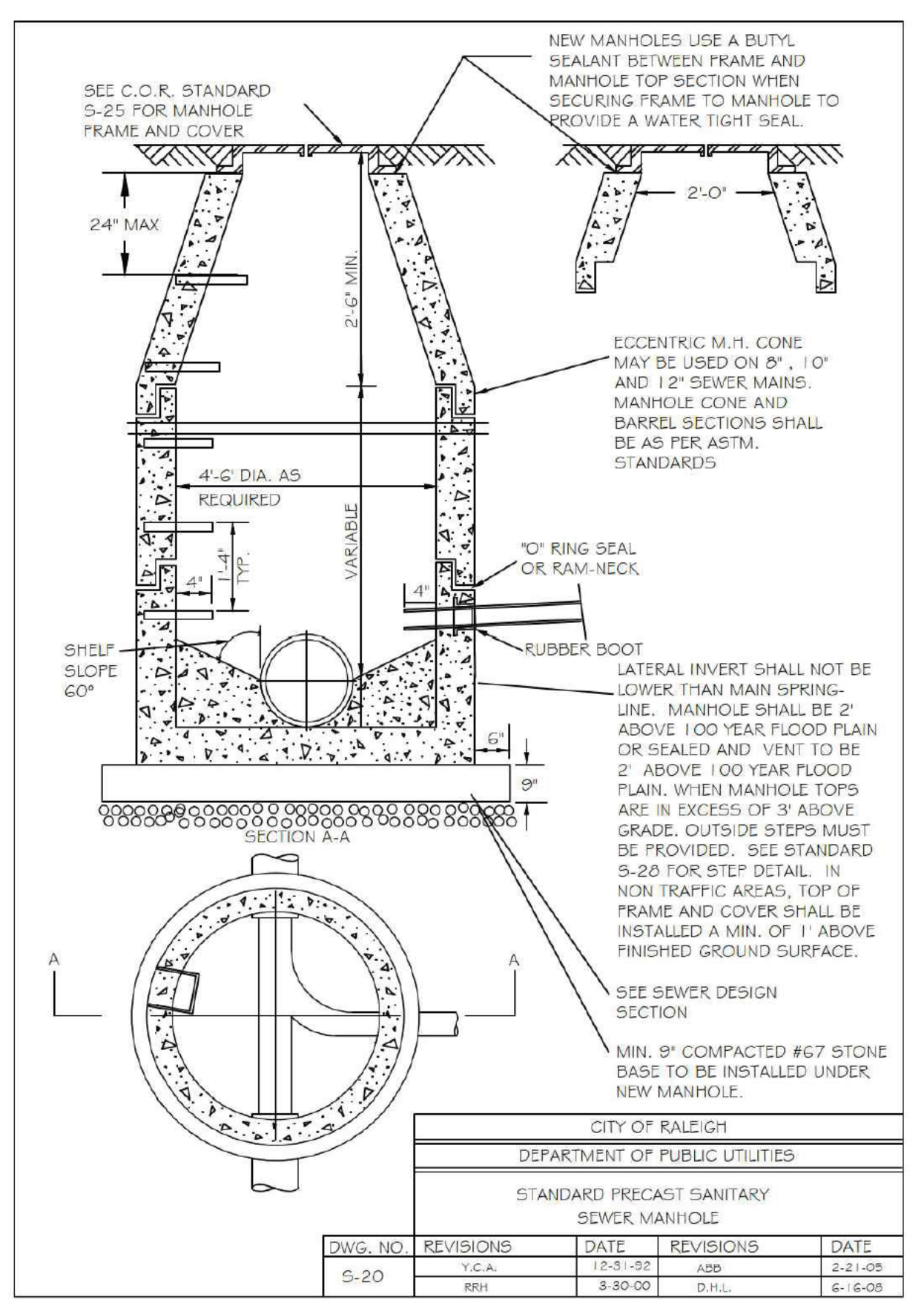
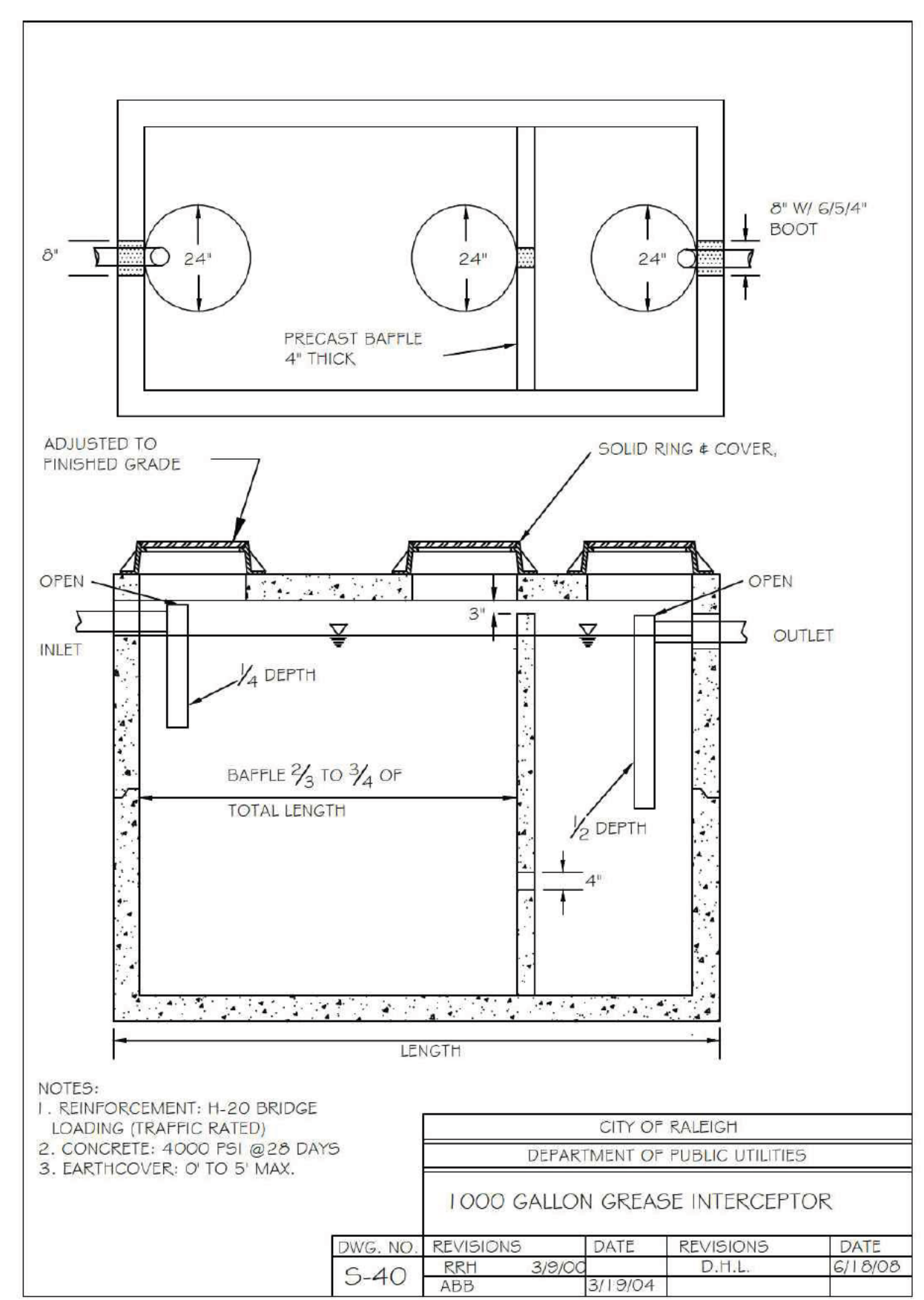
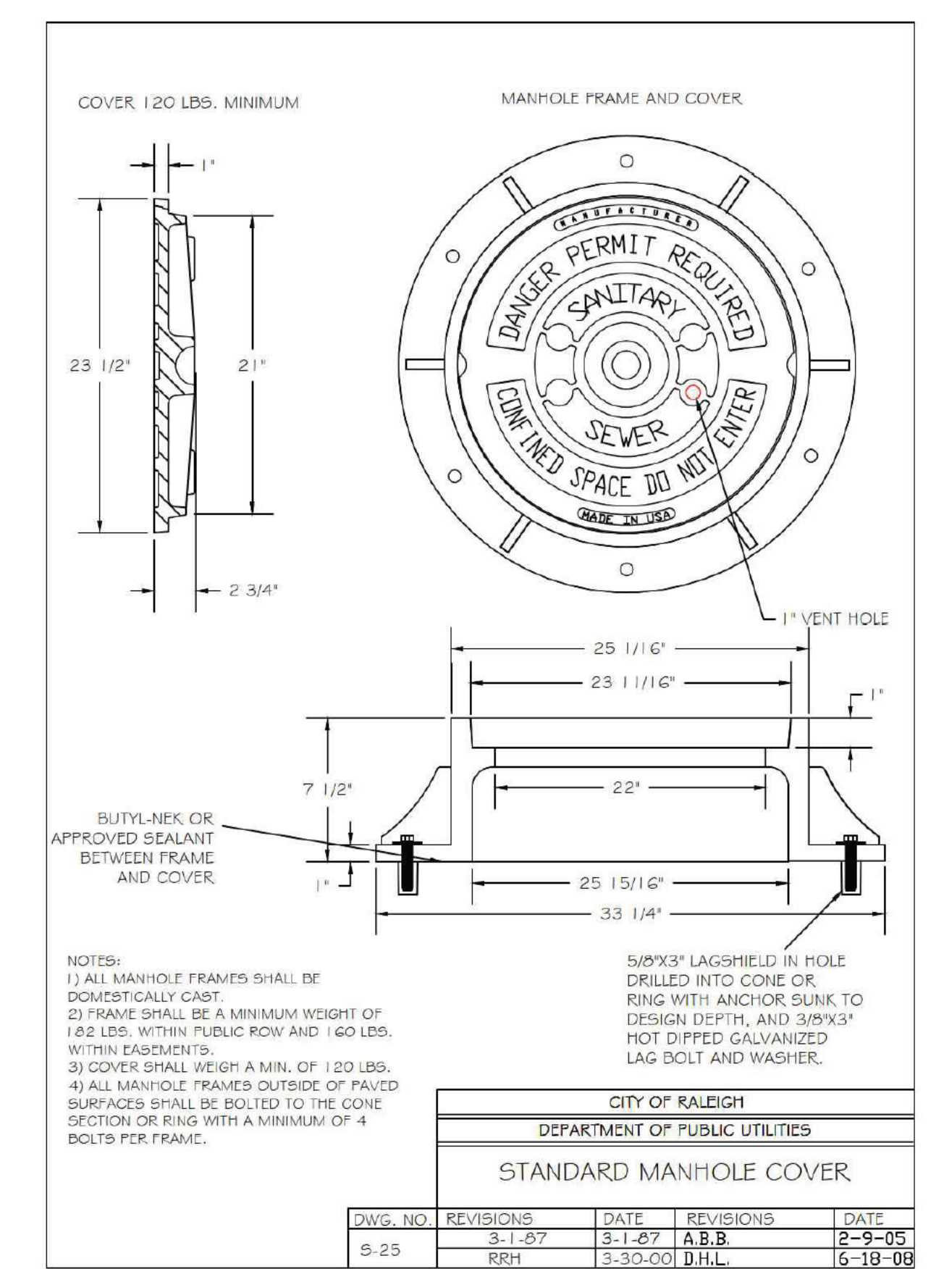
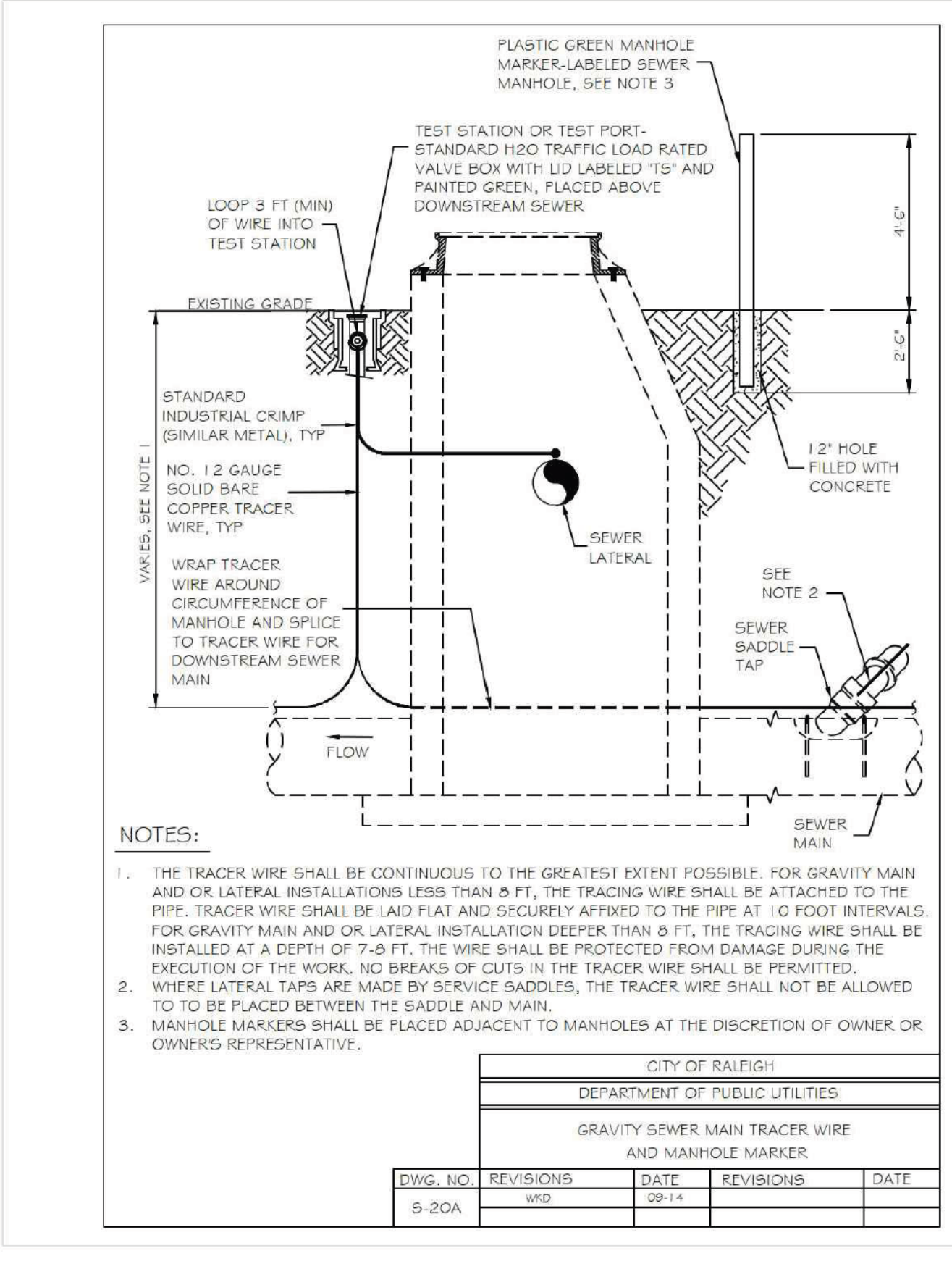
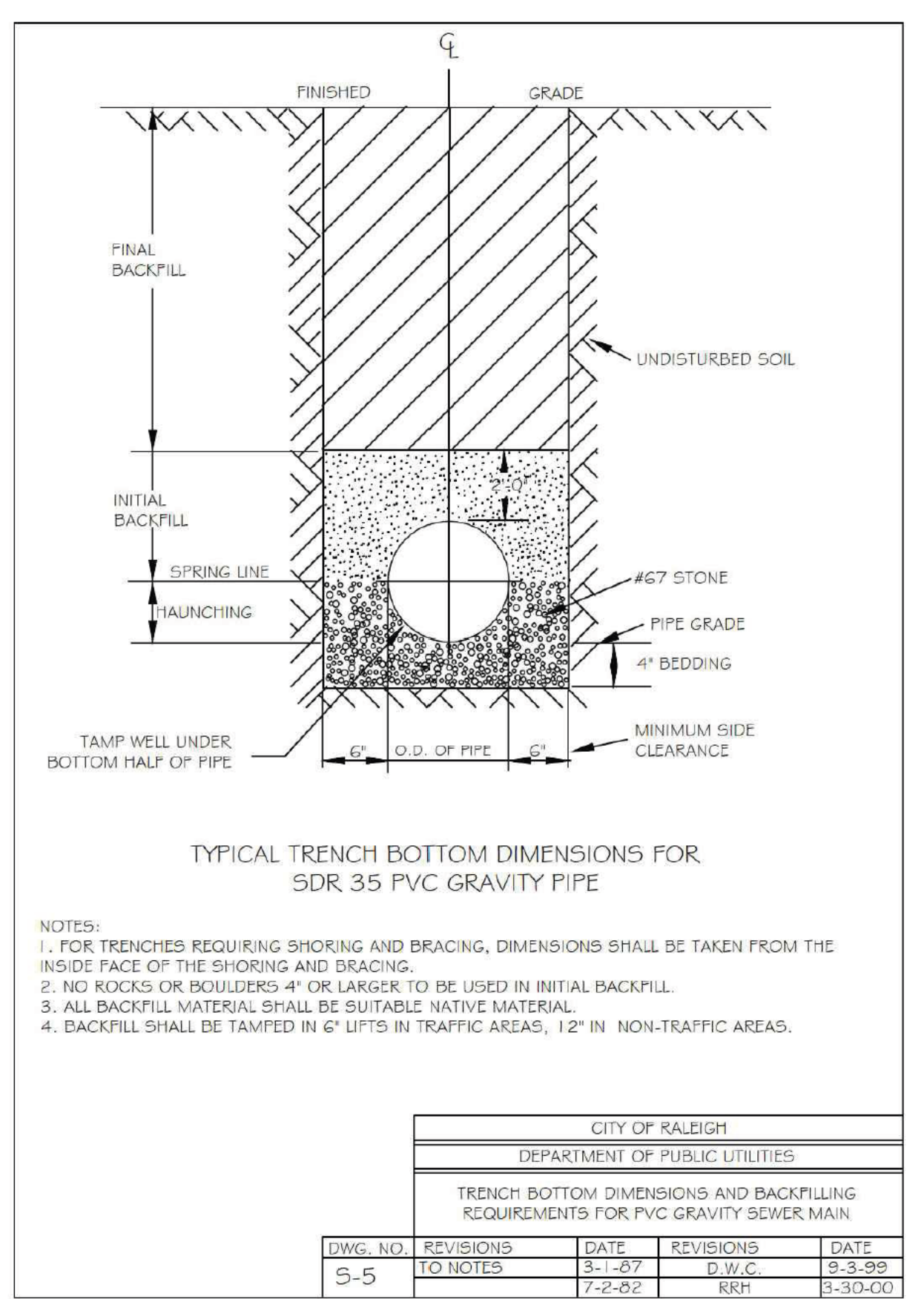
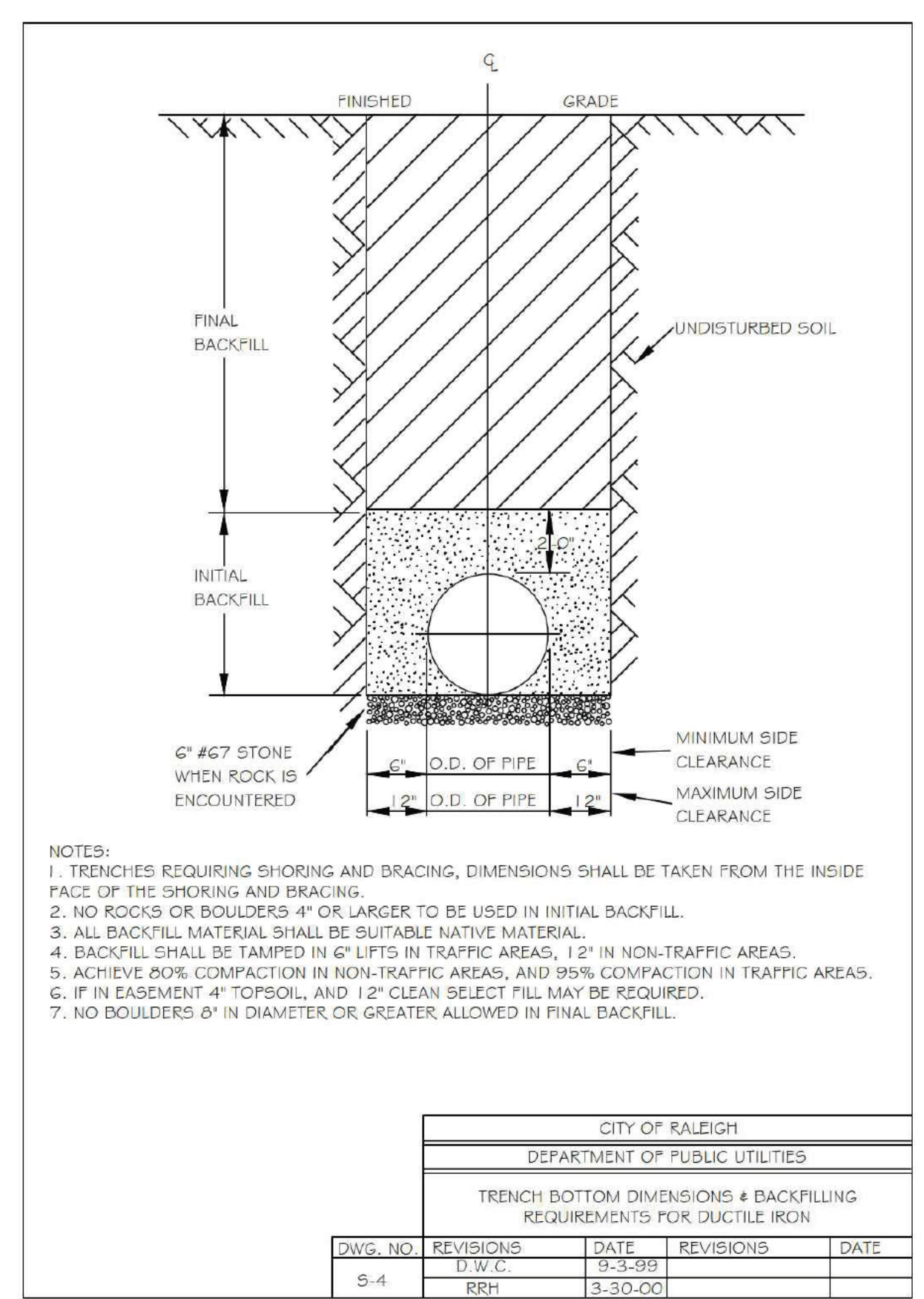
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FILENAME	KAN22008-ASR-D1
CHECKED BY	LJV
DRAWN BY	JS
SCALE	N.T.S.
DATE	08. 17. 2023

**SANITARY SEWER DETAILS**

**C8.06**

M:\Projects\MAN\MAN22008\04-Production\Engineering\Civil Drawings\Current Drawings\MAN22008-ASR-D1.dwg, 8/18/2023 12:53:17 PM, Jackson Shearer



**McADAMS**

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fax 919. 361. 2269  
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www.mcadamsco.com

**CLIENT**

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVENUE  
SUITE 250  
RALEIGH, NORTH CAROLINA 27609



**BLOCK 4 MIDRISE**  
520 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

LOCALLY AVAILABLE SIZES	
INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
300	1000
500	1200
750	1600
1000	
1200	
1500	
2000	
2500	
3000	
4000	
5000	
6000	
9000	

**NOTES:**

1. BAFFLE WALL LOCATED AT A DISTANCE FROM INLET WALL  $\frac{2}{3}$  TO  $\frac{3}{4}$  OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL S-402.
2. BAFFLE WALLS LOCATED AT A DISTANCE APPROXIMATELY OF  $\frac{1}{3}$  OF THE TOTAL LENGTH OF THE SEPARATOR AS SHOWN ON DETAIL S-402.1.
3. EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE OUTLET TEE SHALL EXTEND 20% INTO THE LIQUID DEPTH. THE INLET TEE SHALL EXTEND 20% INTO THE LIQUID DEPTH. INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SAMPLE.
4. ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN PICK HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. MANHOLE COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
5. FULL SIZE DUAL SLOTTED CLEANOUTS SHALL BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
6. INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
7. CONCRETE: 4000 PSI @ 28 DAYS.
8. DESIGN: ACI 318 BUILDING CODE  
ASTM C 114 S.G. FOR GREASE INTERCEPTORS  
ASTM C8 15.02 FOR WATER AND WASTEWATER STRUCTURES  
ASTM C890.02 FOR MINIMAL STRUCTURAL DESIGN LOADING
9. INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
10. INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 12,000 PSI TENSILE STRENGTH, 18,000 PSI FLEXURAL STRENGTH, AND 600,000 PSI TENSURAL MODULUS.
11. ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
DIMENSIONS: GREASE INTERCEPTORS OIL-WATER-SAND SEPARATORS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	REV	3/25/06	D.T.L.L.	6/18/08
	ADD	3/1/2014		

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

**REVISIONS**

NO. DATE

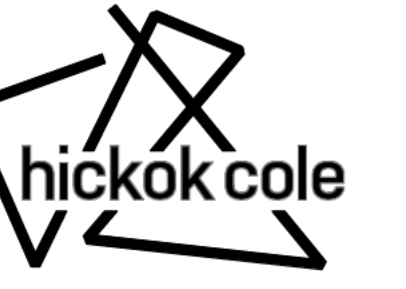
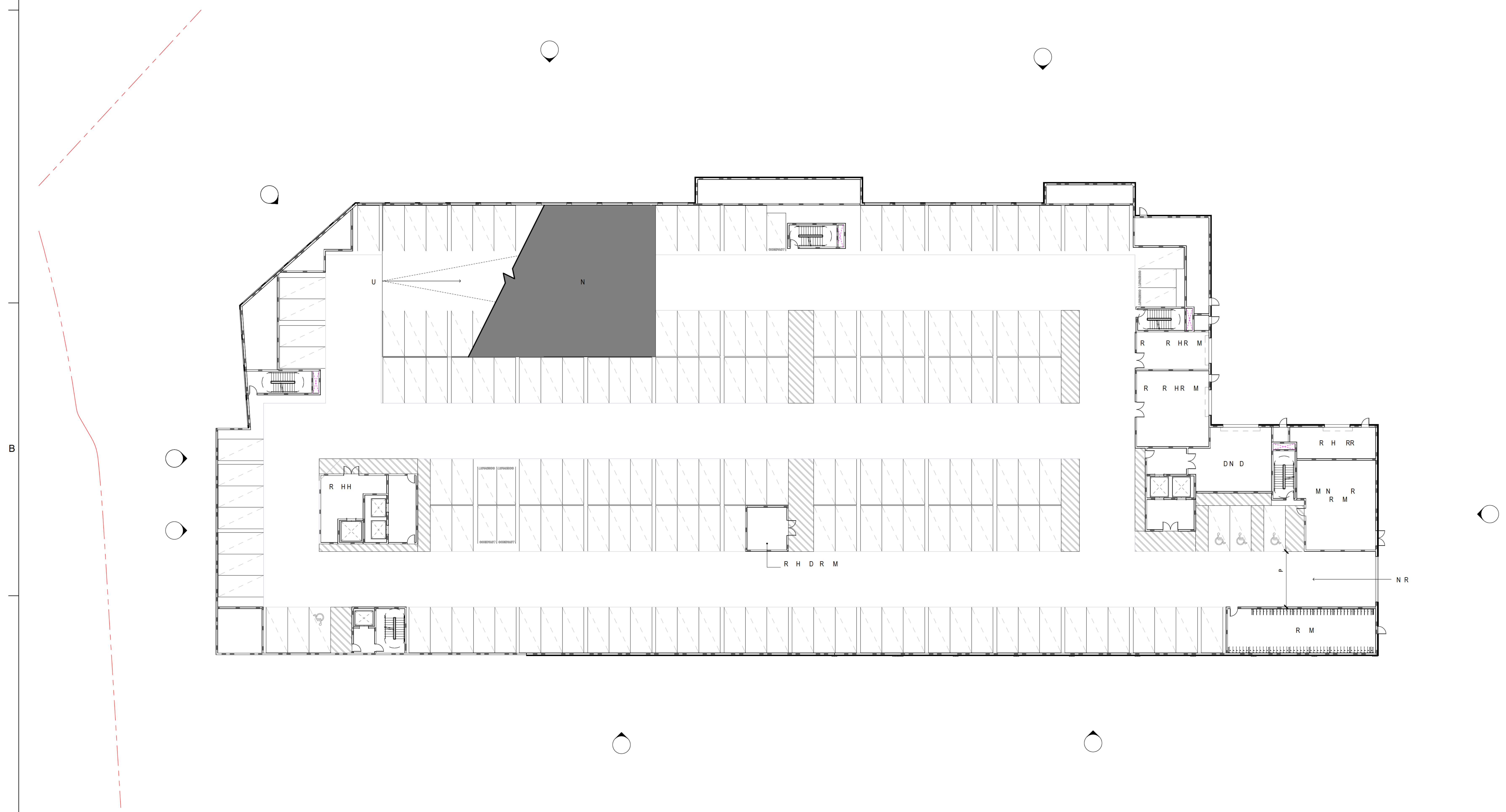
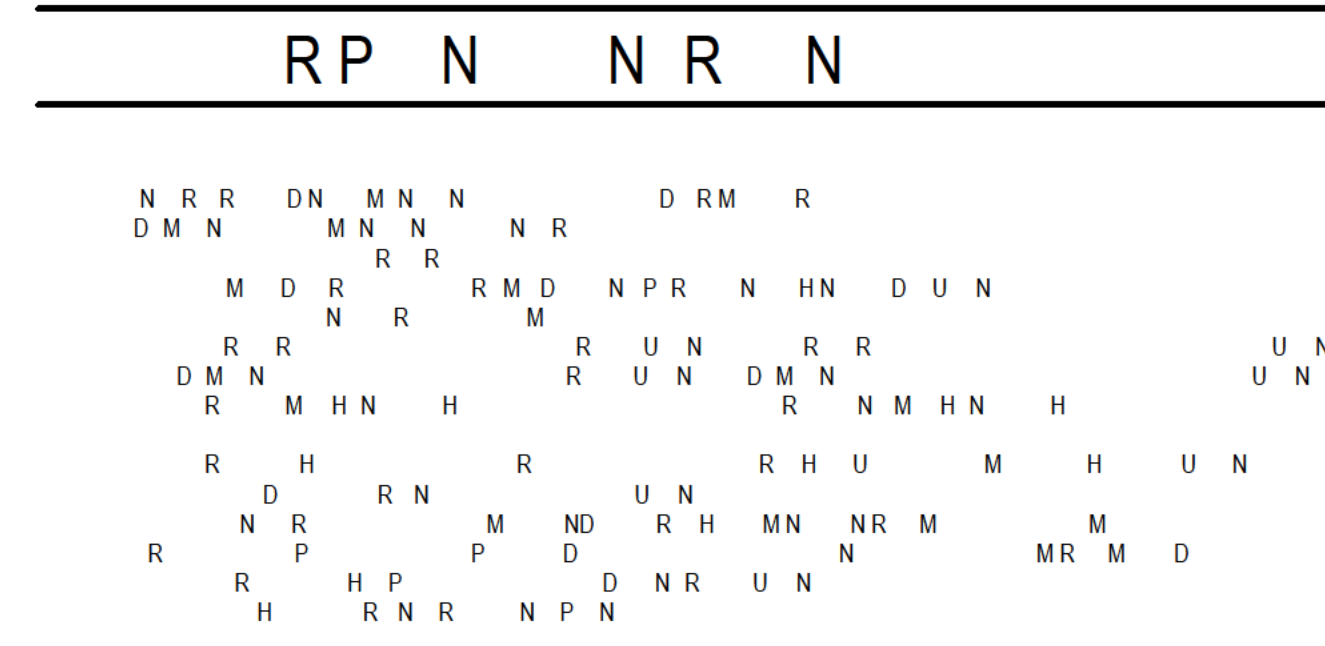
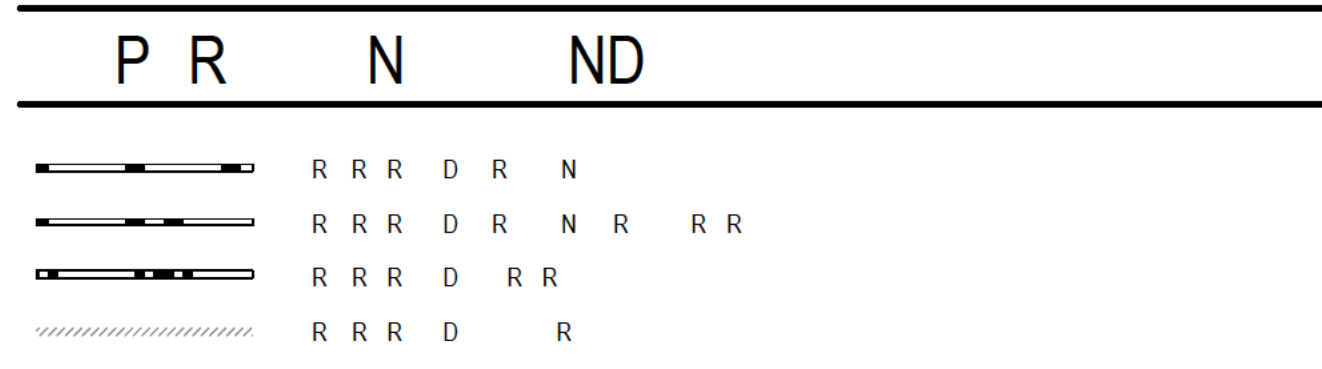
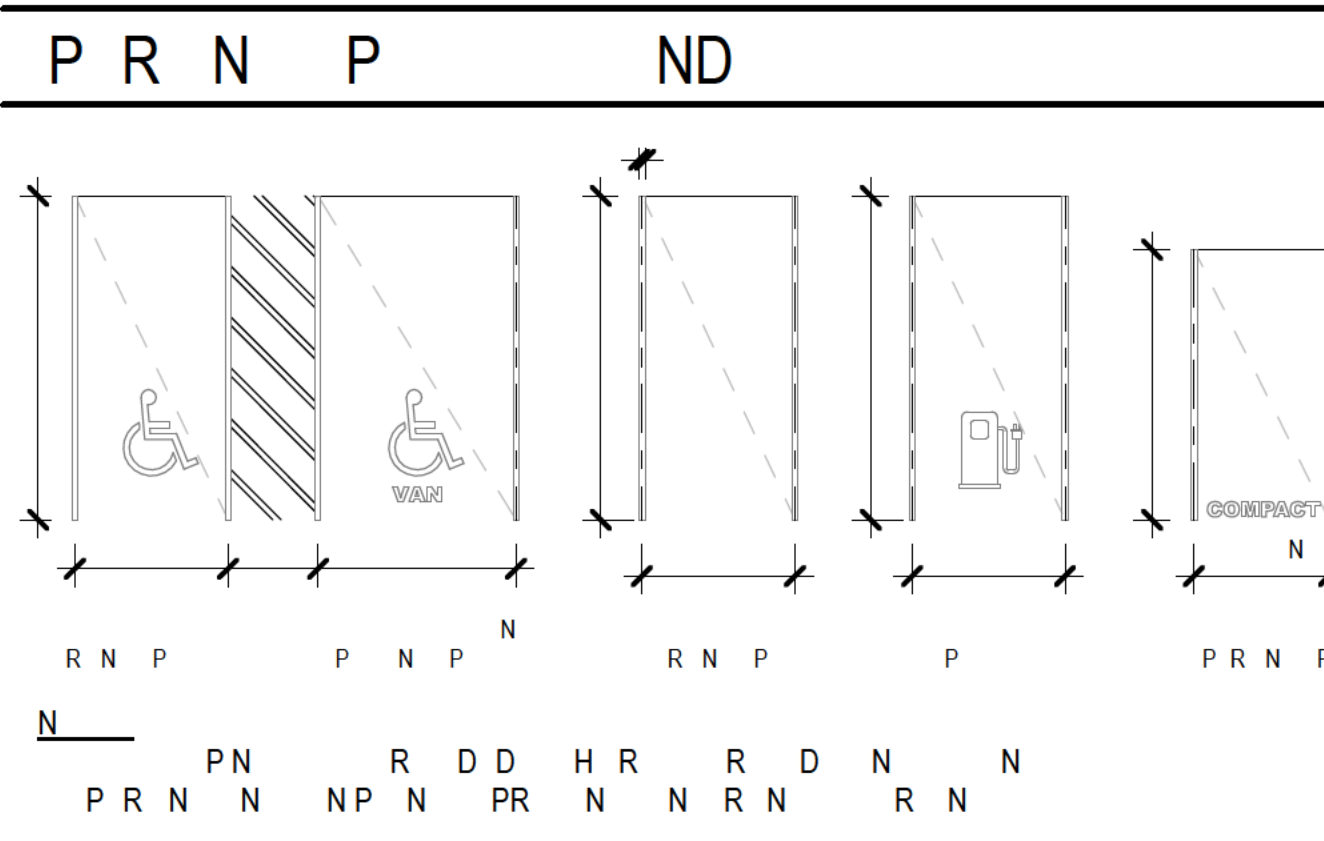
**PLAN INFORMATION**

PROJECT NO. KAN-22008  
FILENAME KAN22008-ASR-D1  
CHECKED BY LJV  
DRAWN BY JS  
SCALE N.T.S.  
DATE 08.17.2023

**SHEET**

**SANITARY SEWER  
DETAILS**

**C8.07**

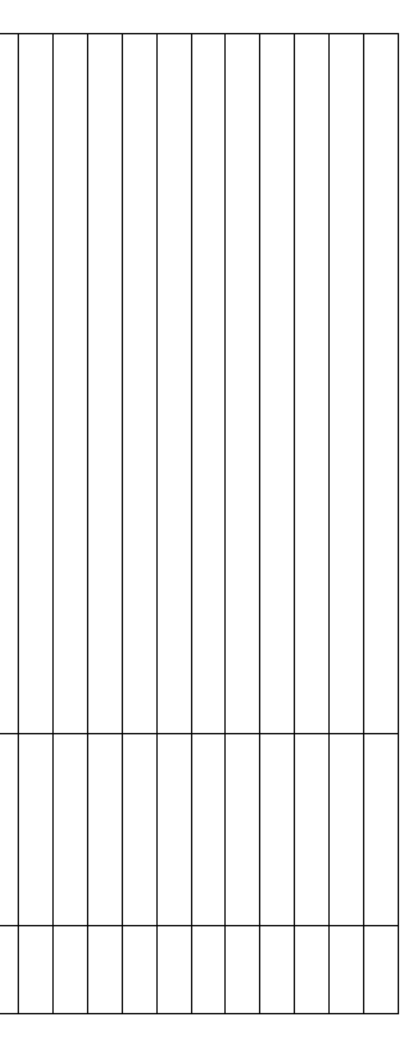


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A A Y

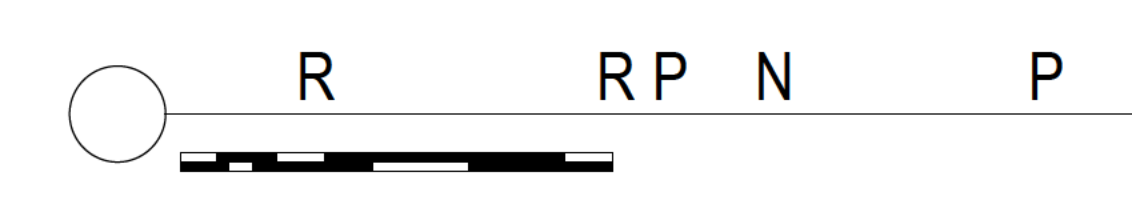
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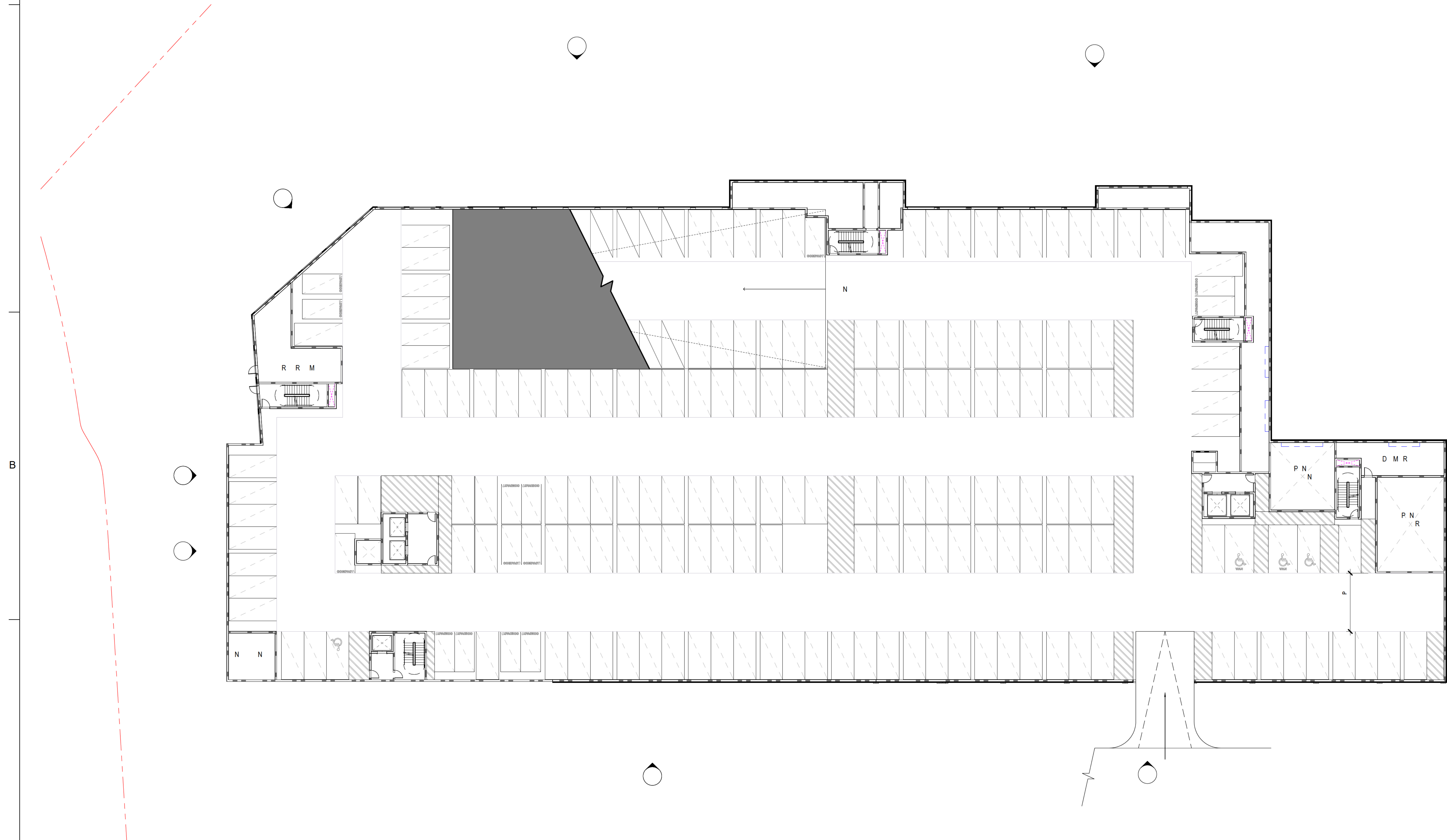
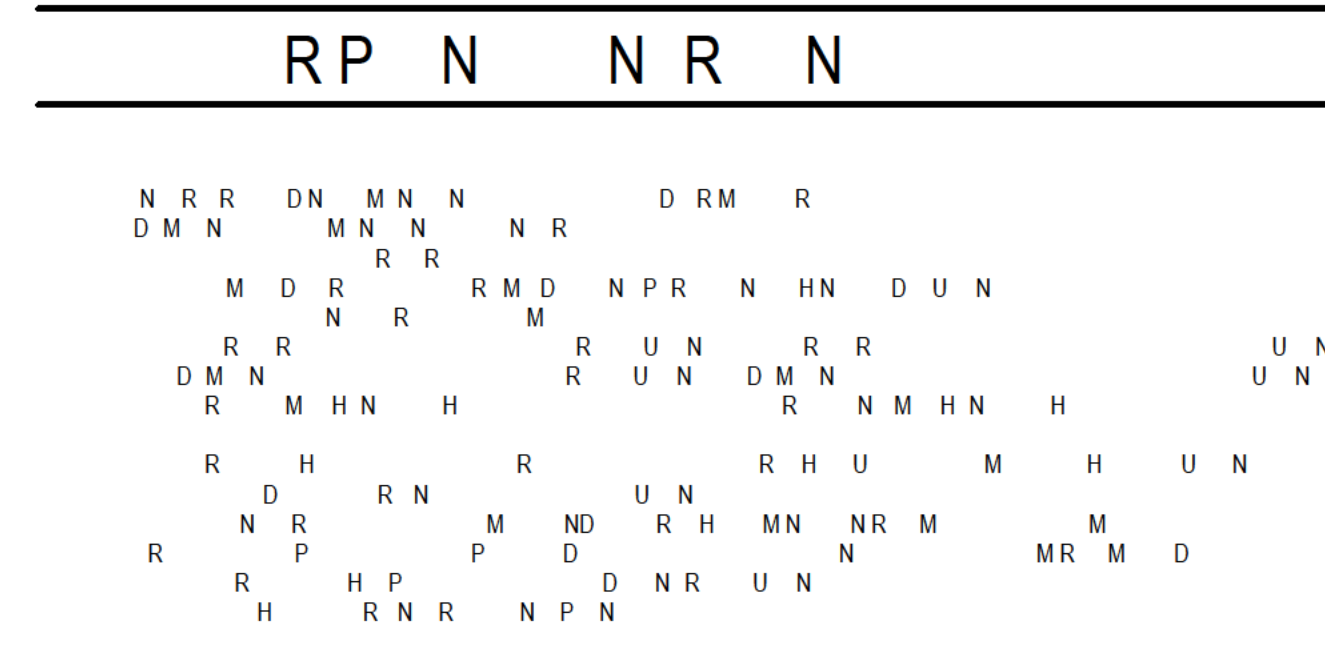
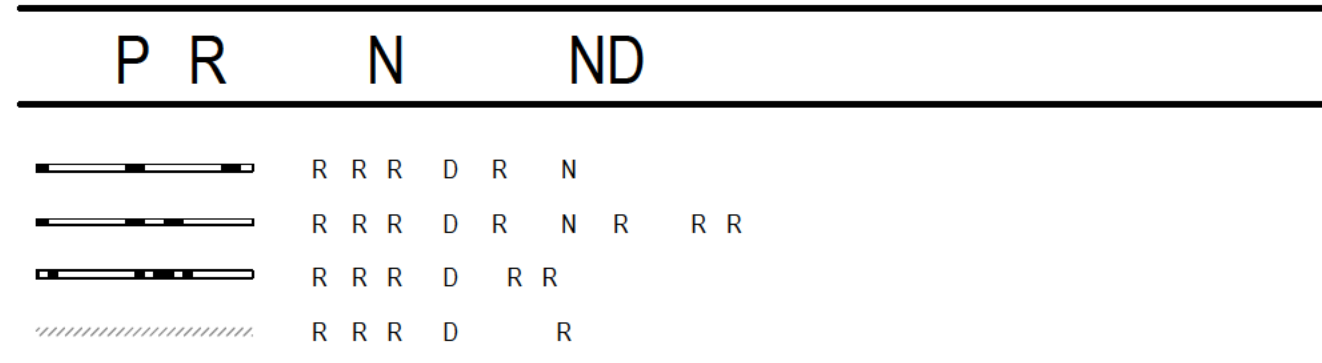
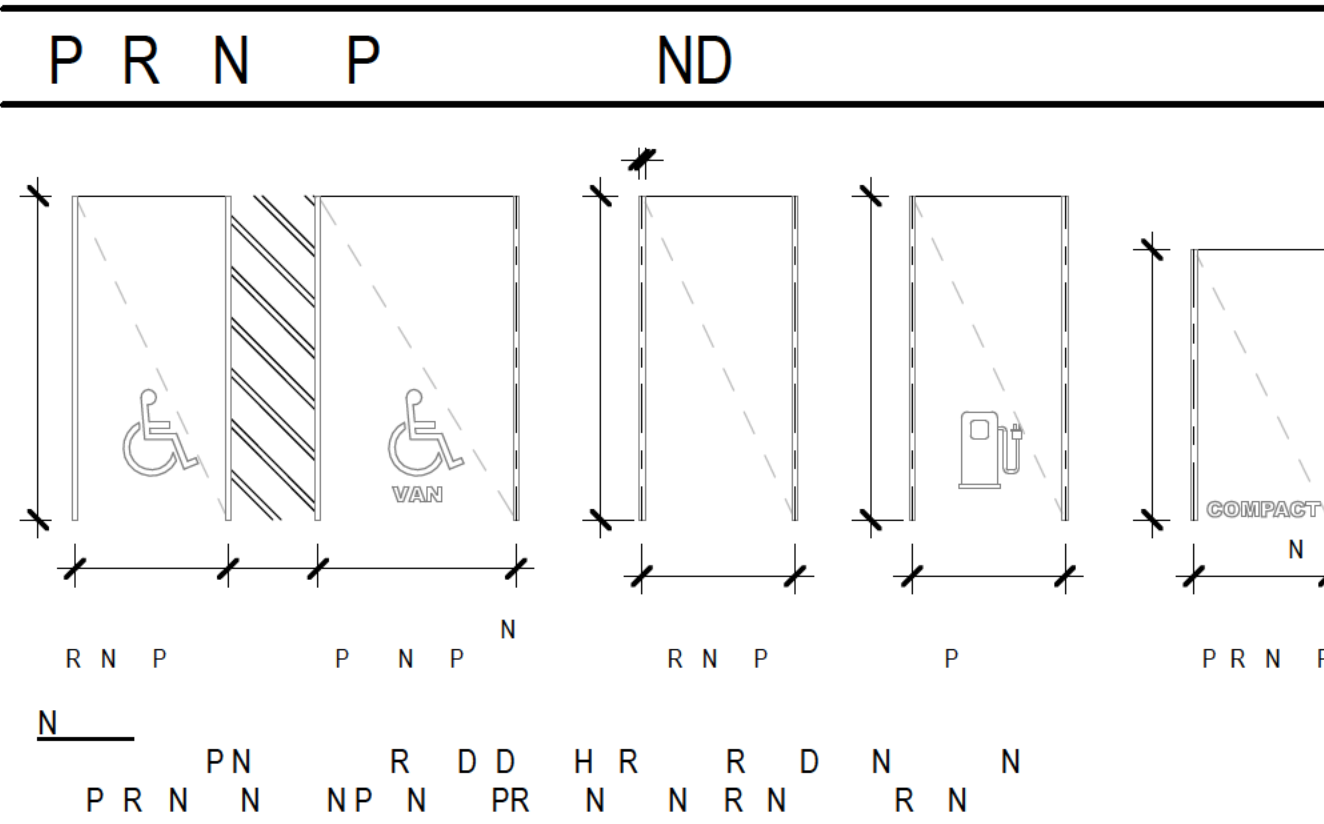
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A d d

V A  
P A V P



A098

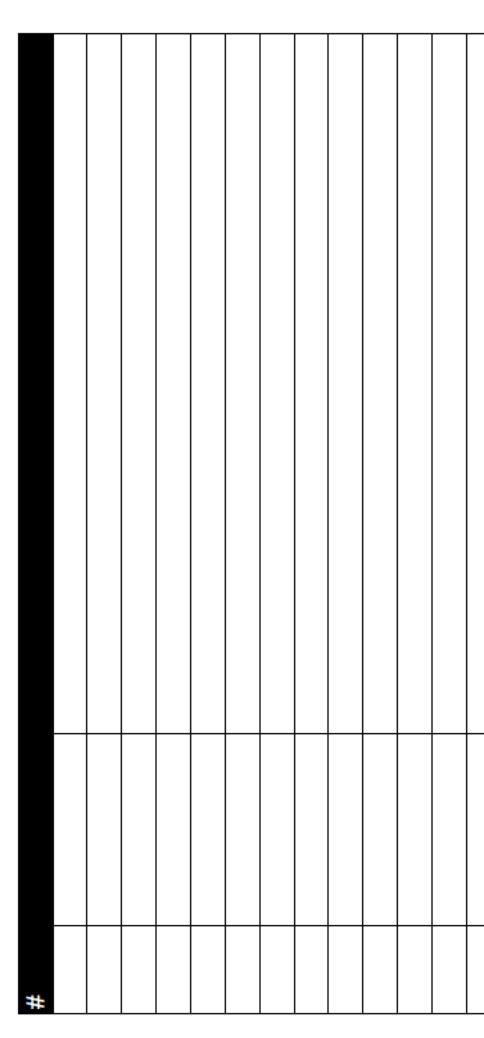


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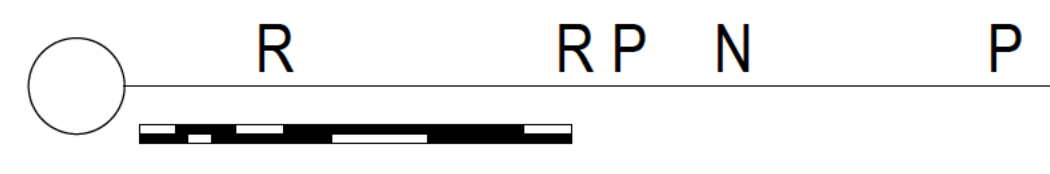
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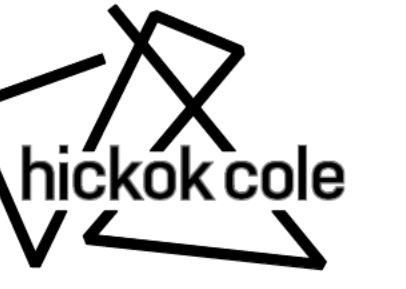
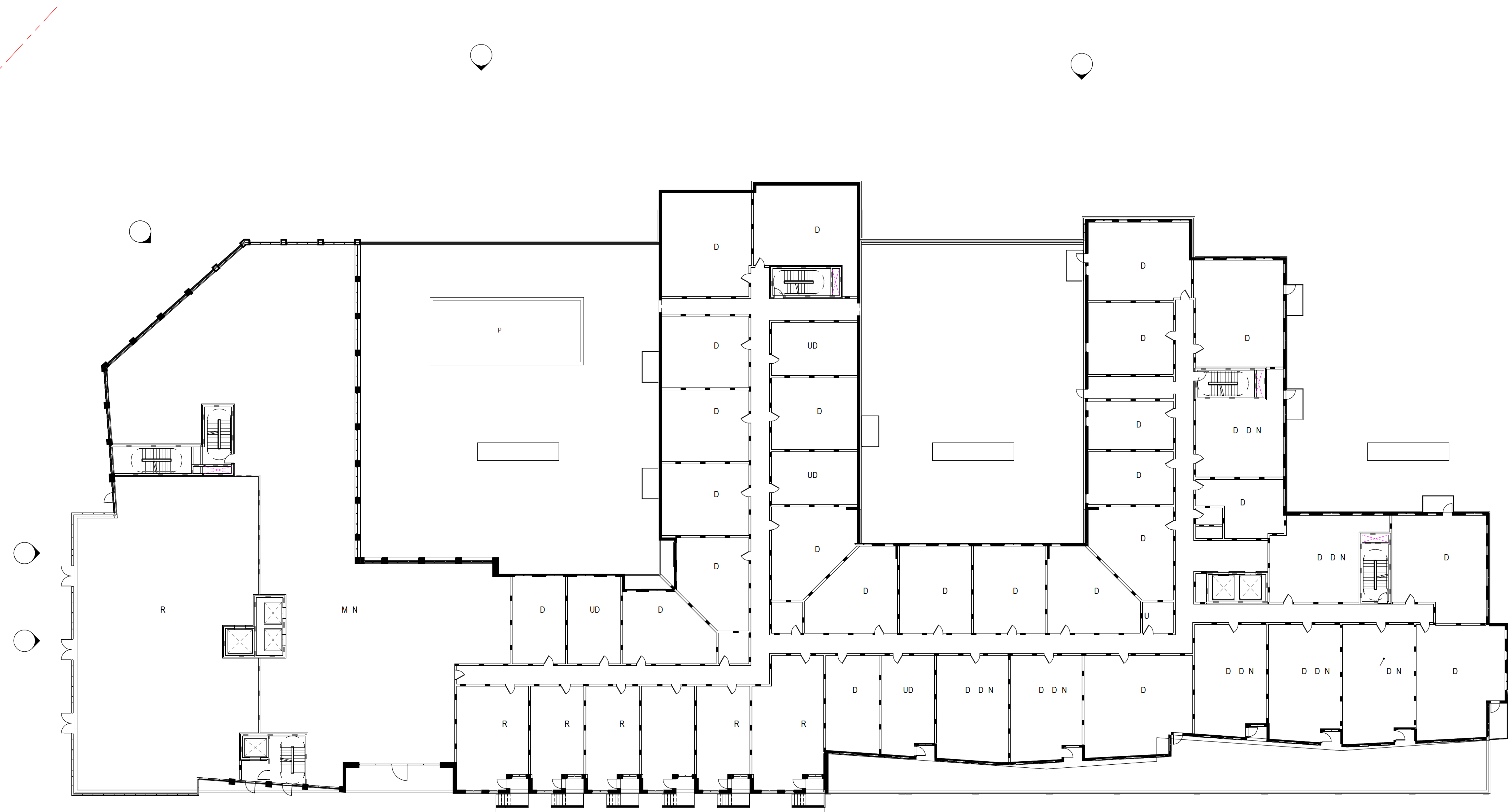
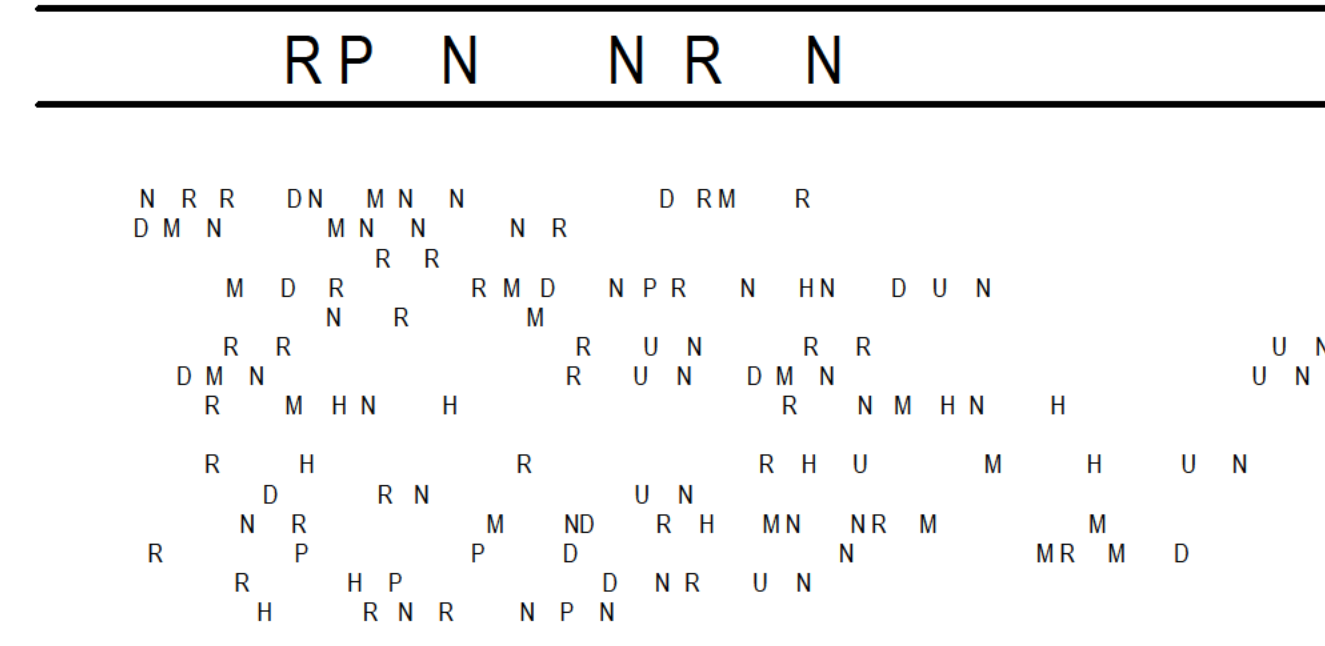
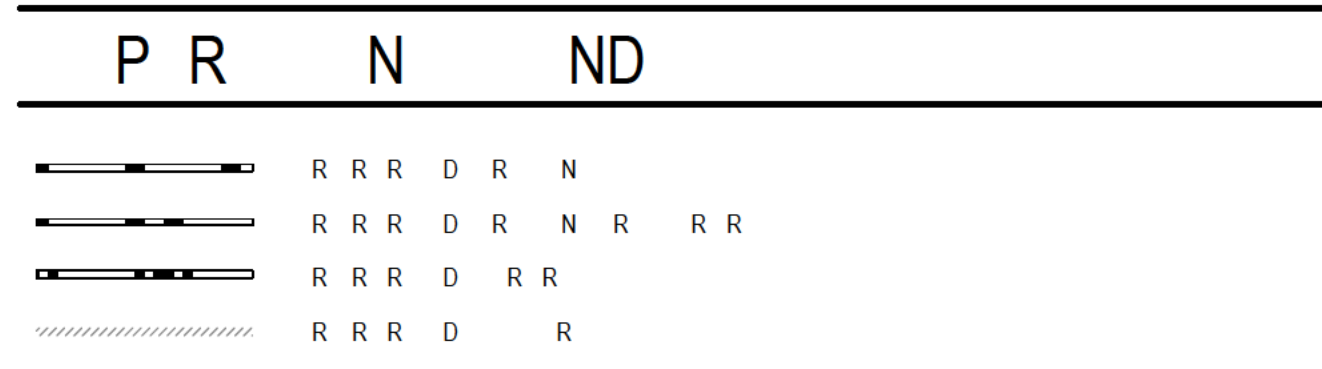
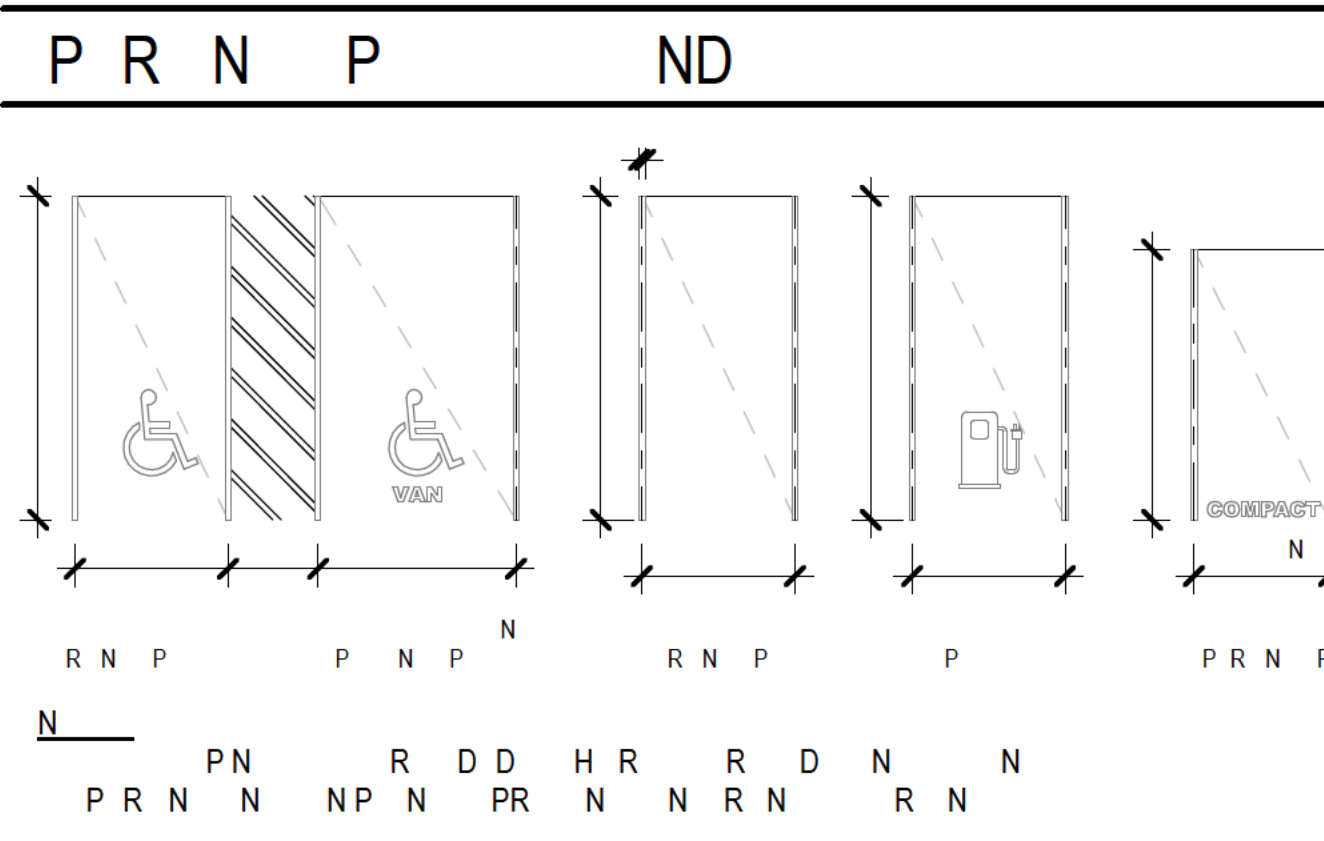
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A d d

V A  
P A V P



A099

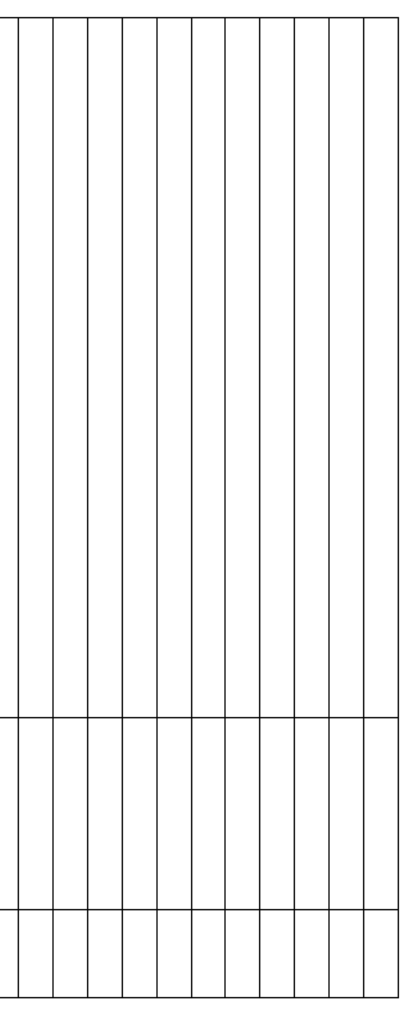


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A A Y

A B



u

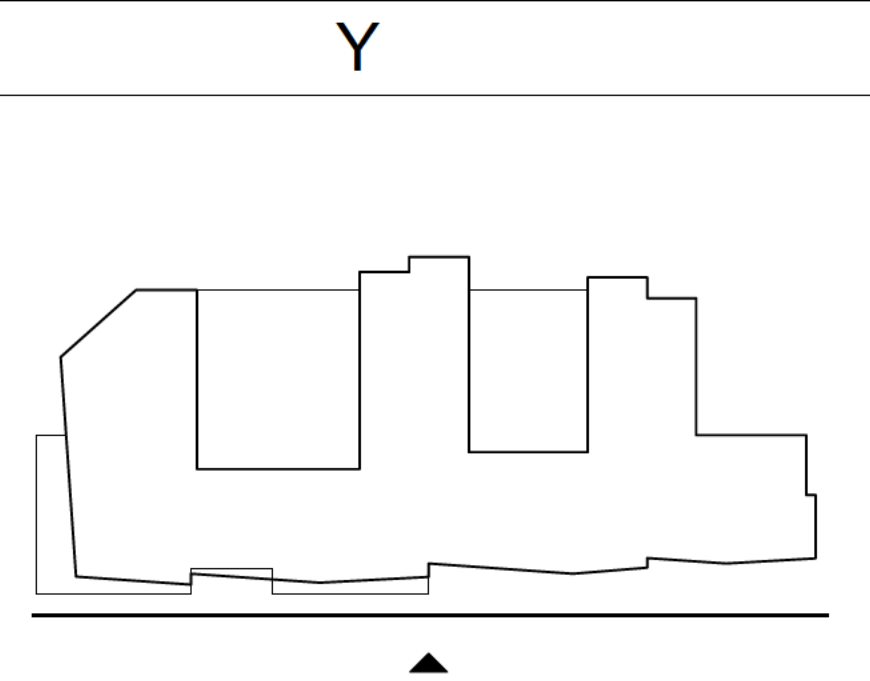
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V A  
P A V

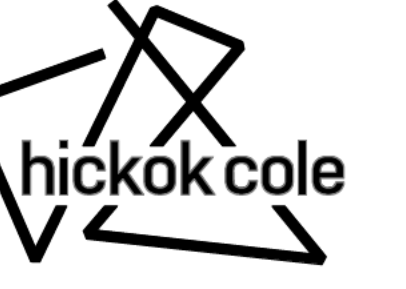


A101





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	R	
	R	
P	R	M N P N
P	R	M N P N
P	R	M N P N
P	R	M N P N
P	R	M N P N
M	P	N
P	P	N

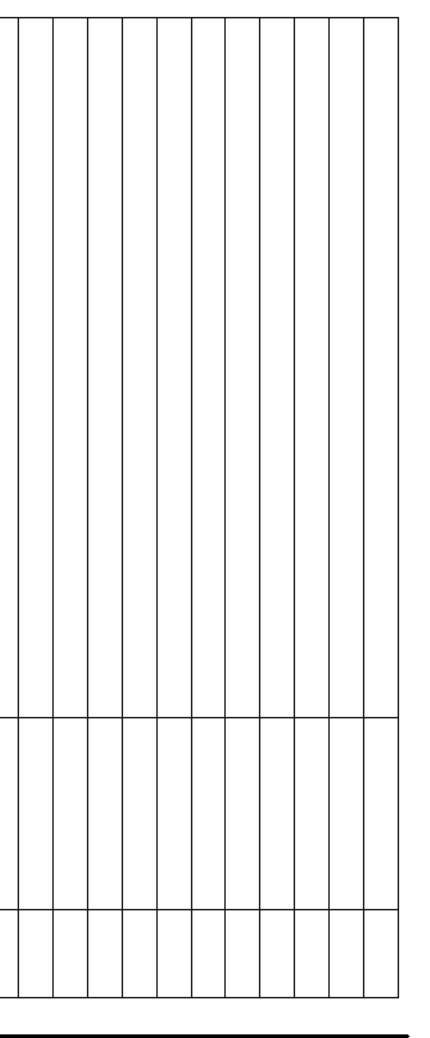
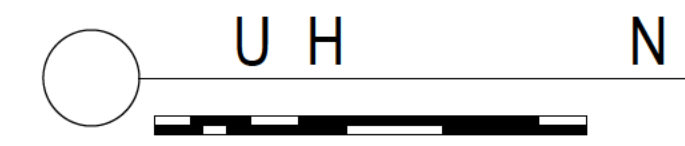


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A A Y

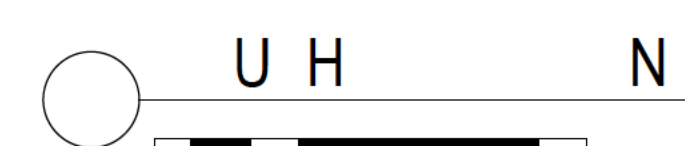
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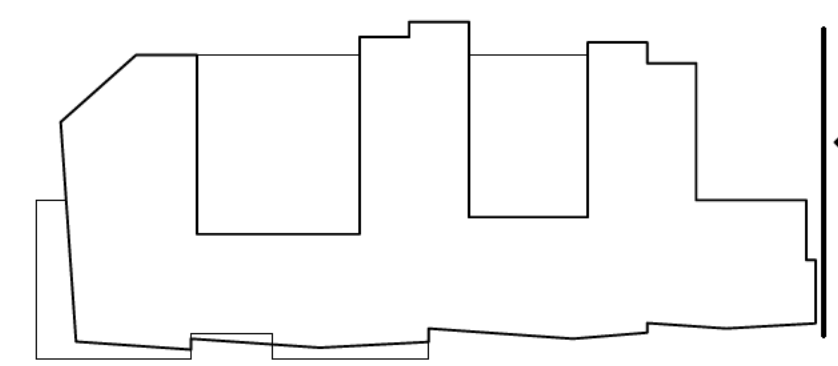
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A d d

U H A



A201



M	R	ND
	R	
	R	
	R	
P	R	M N P N
P	R	M N P N
P	R	M N P N
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P	R	M N P N
P	R	M N P N
M	M	P N
P	P	P N

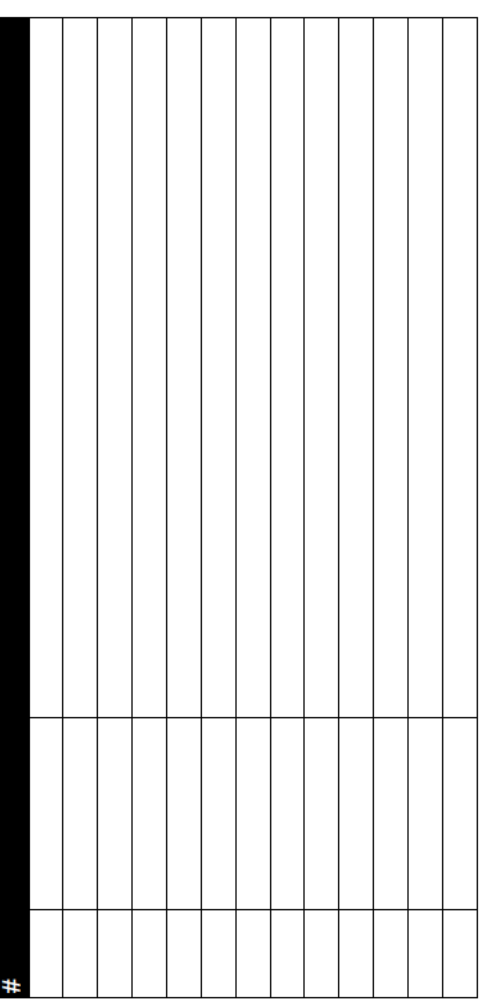


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U A Y

A A Y

A B



u

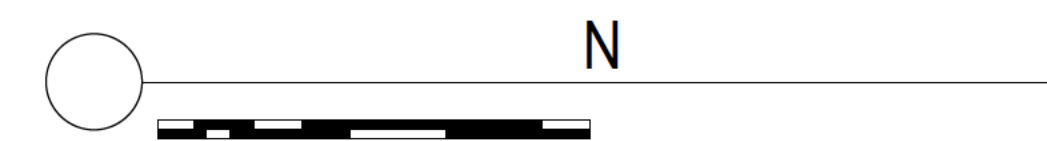
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A A

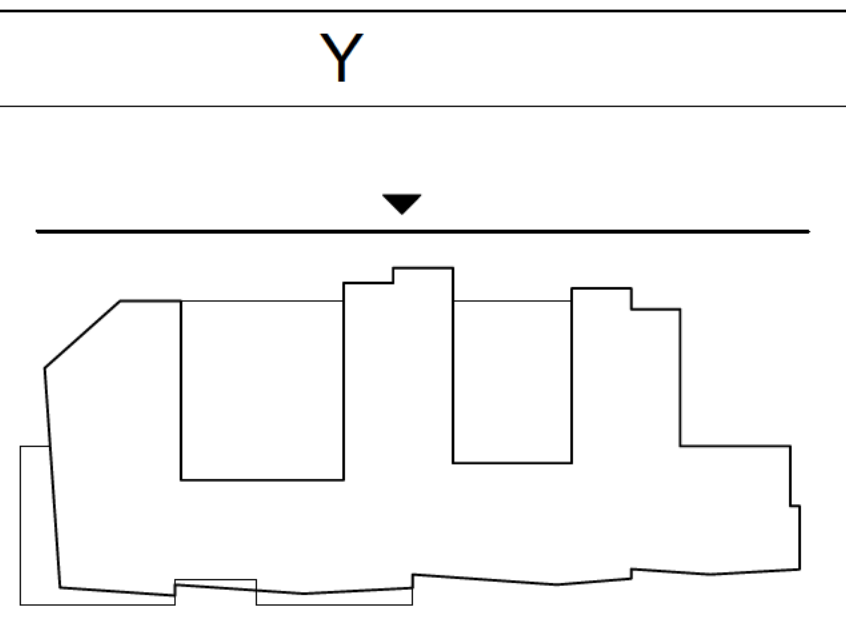
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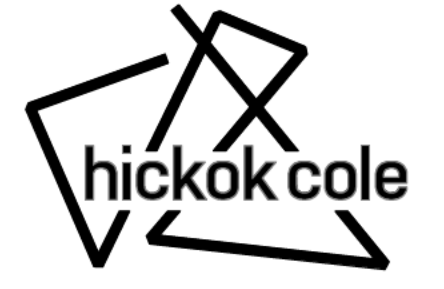
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A202



M	R	ND
	R	
	R	
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P	R	M N P N
P	R	M N P N
P	R	M N P N
P	R	M N P N
M	P	N
P	P	N

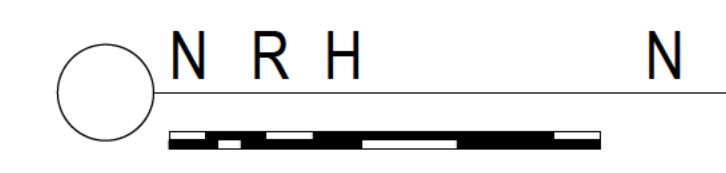


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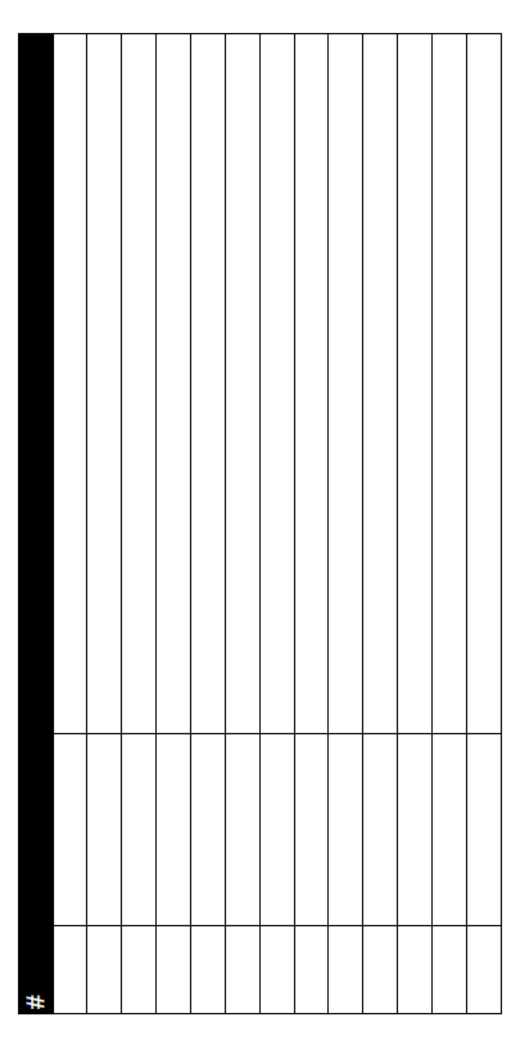
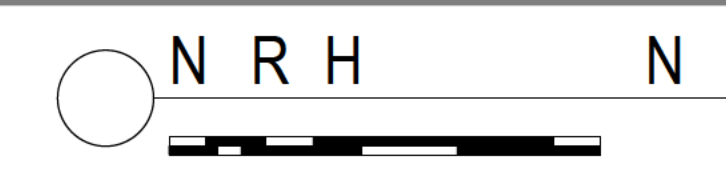
U A Y

A A Y

A B



N D D

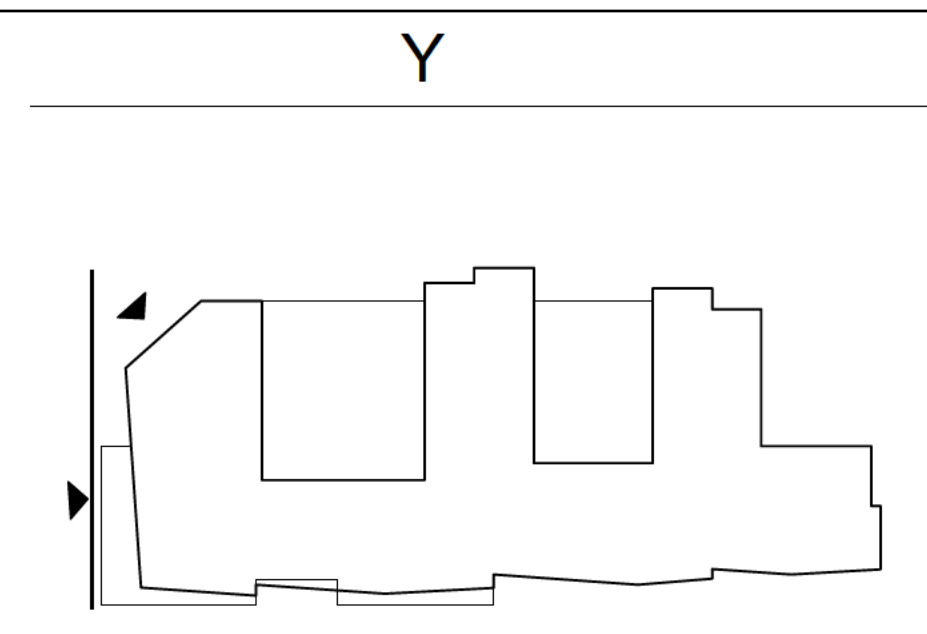


u

A d d

H A

A203



M	R	ND
	R	
	R	
	R	
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P	P	P N

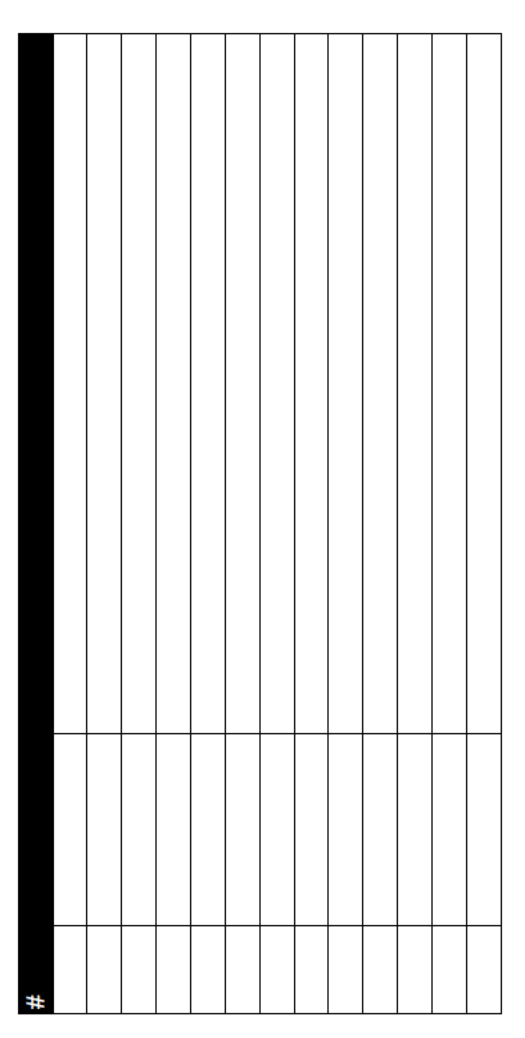


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U A Y

A A Y

A B

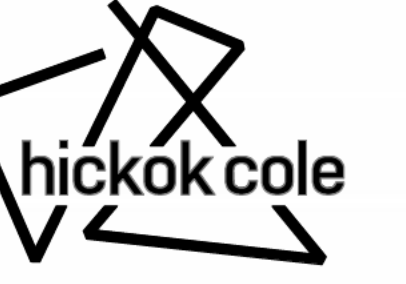
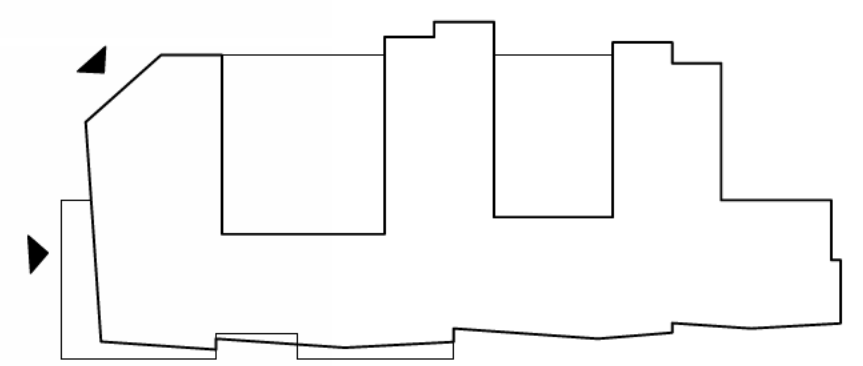
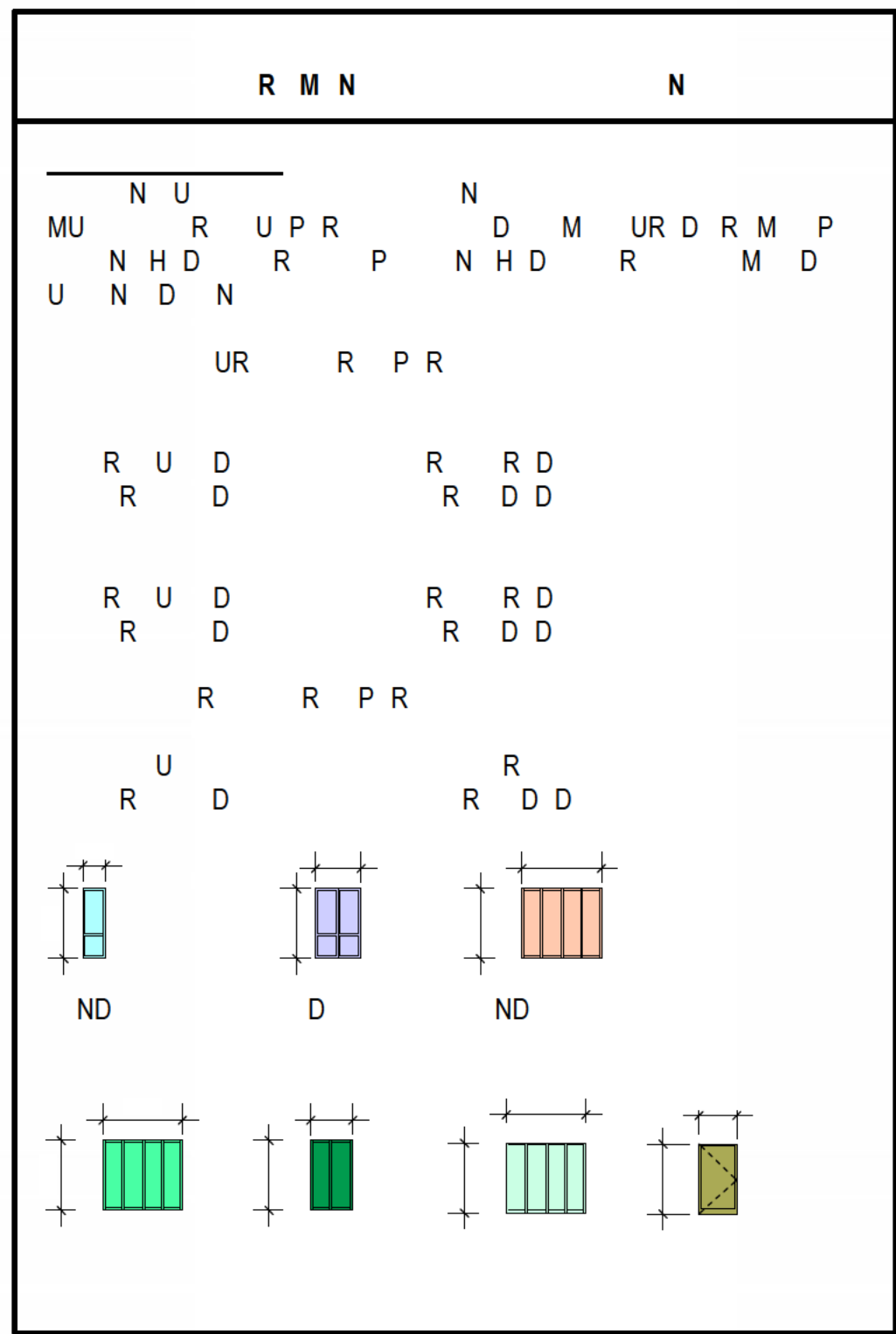
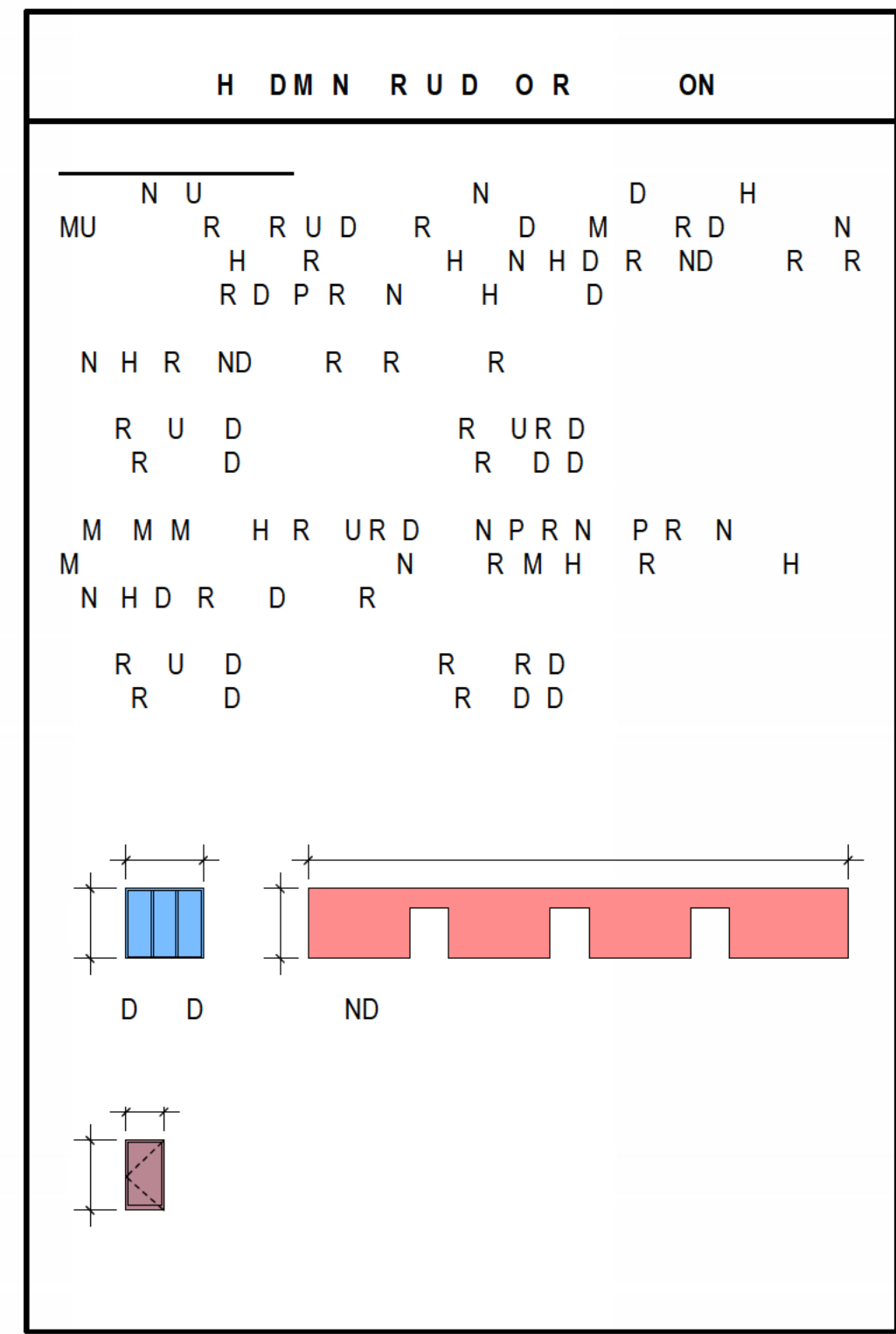


A d d

W VA

A204

Y

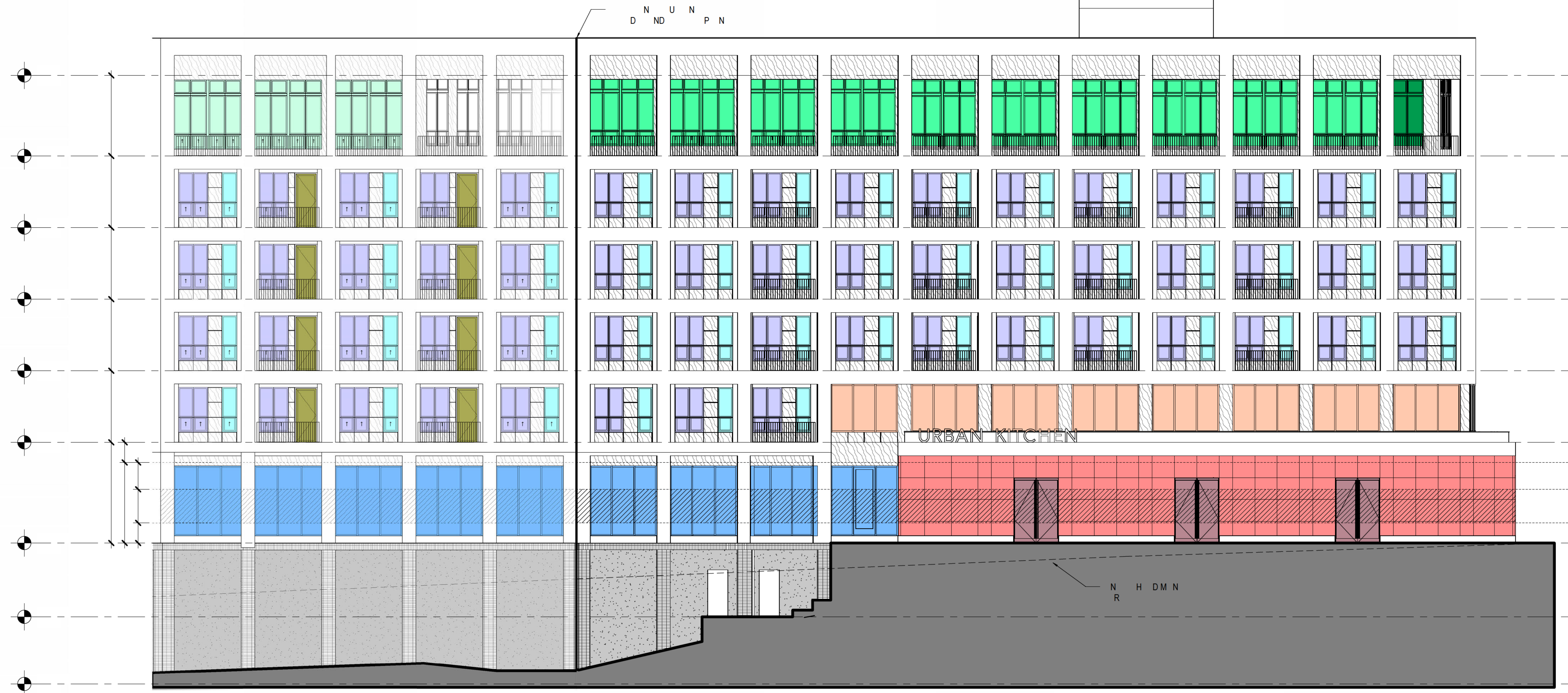
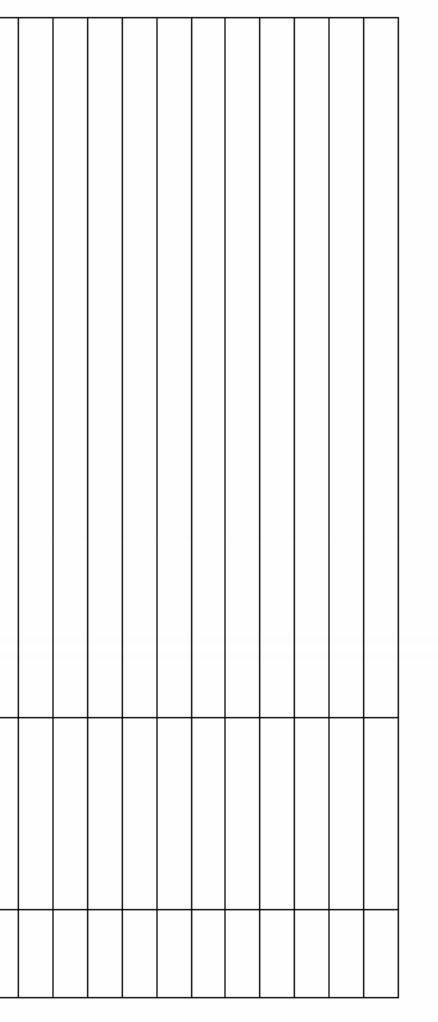


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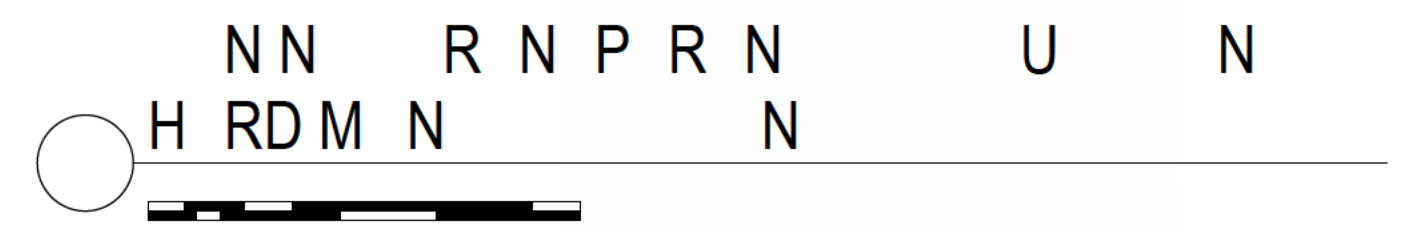
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A A Y

A B



B

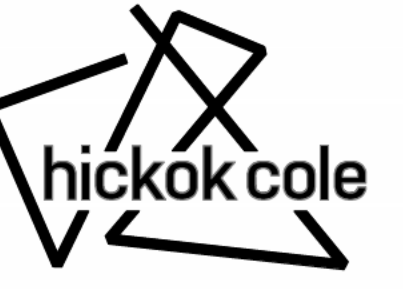
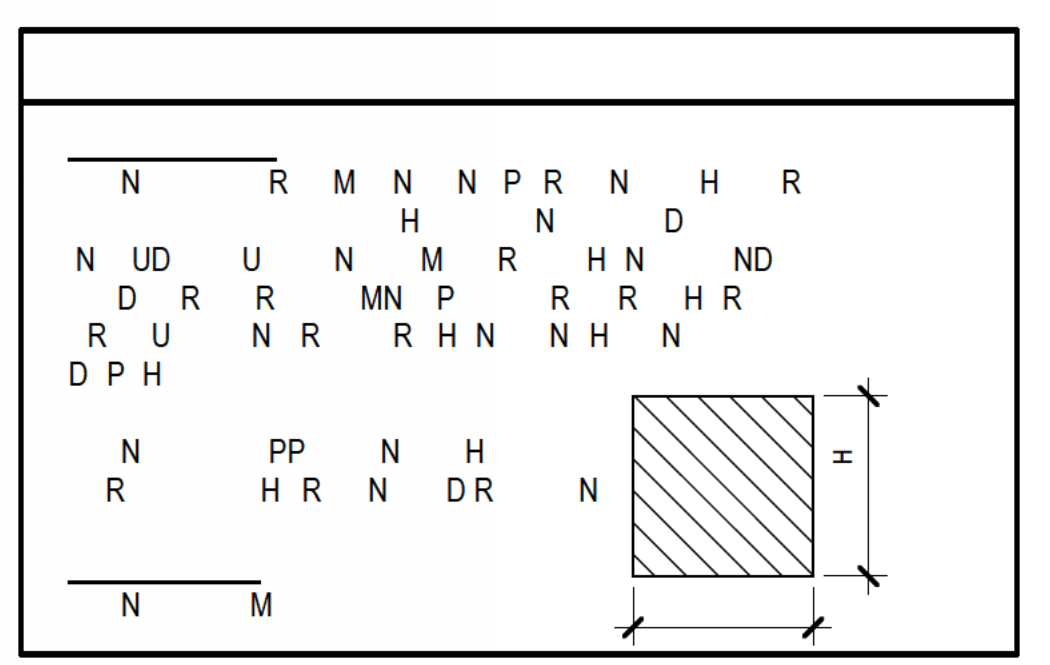
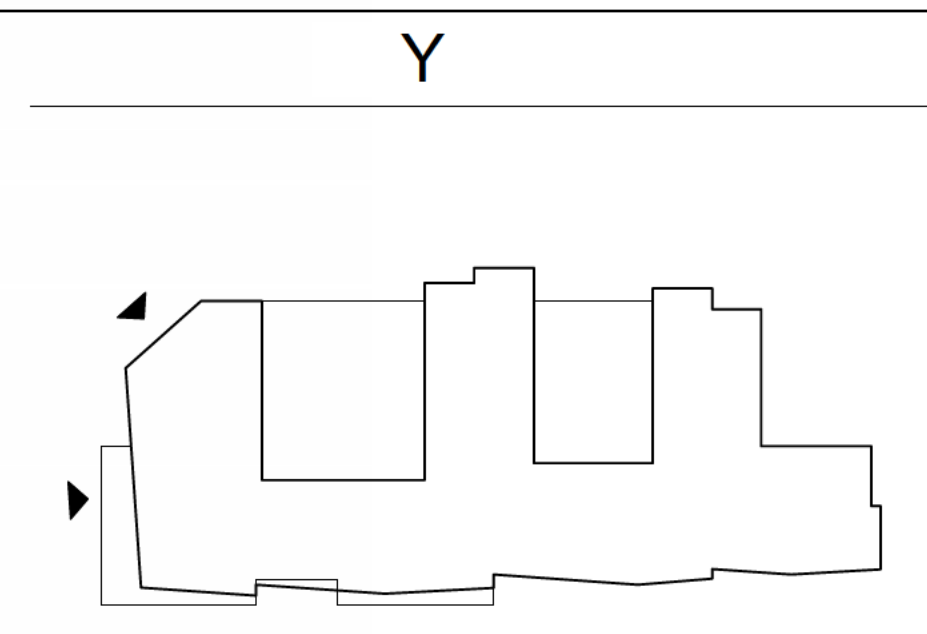


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A d d

A PA Y  
A U A

A211

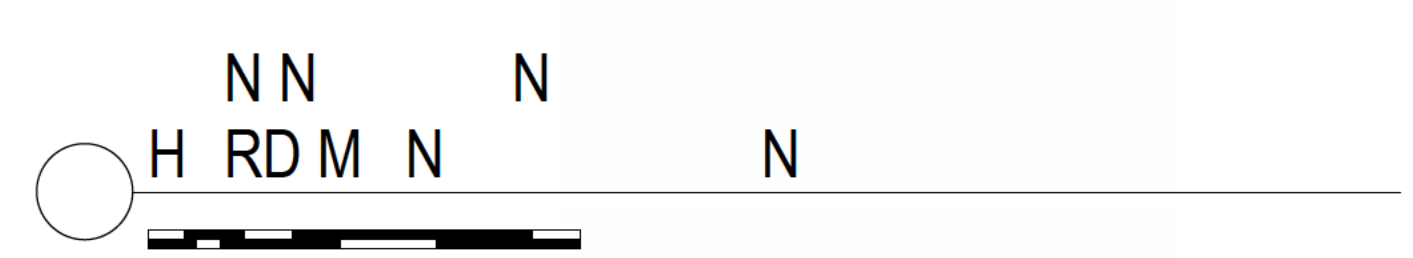
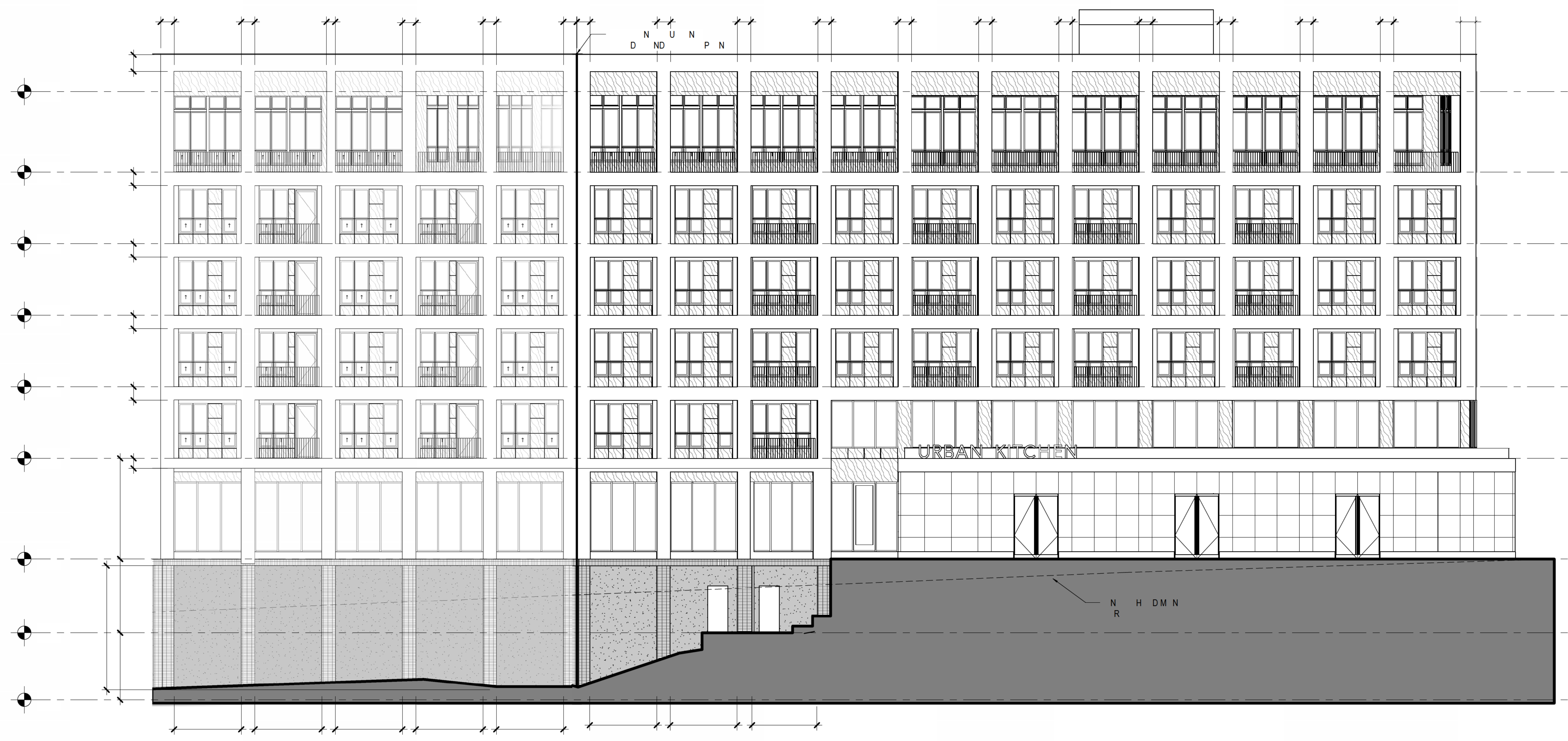
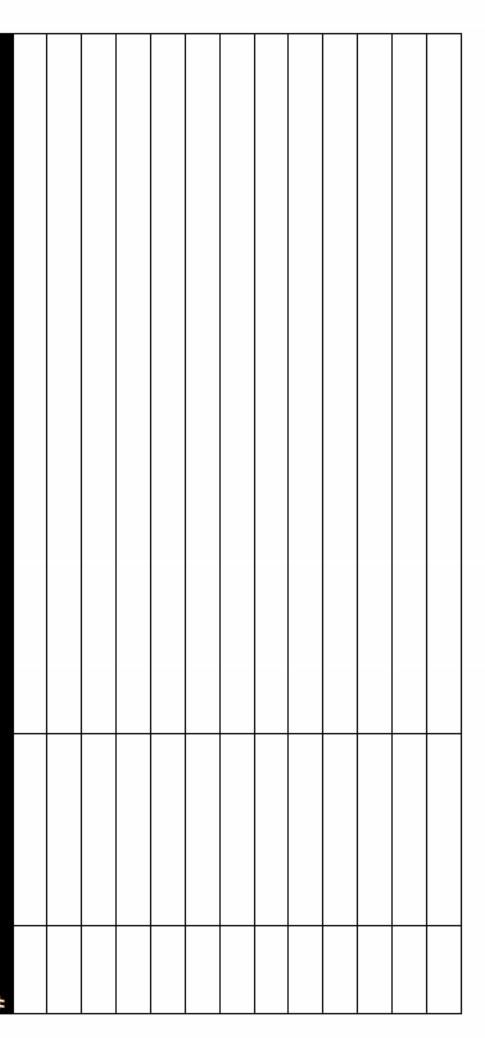


0 5 0 0  
0 9

U A Y

A A Y

A B



u  
A d d

WA B A  
A U A

A212