



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: <u>PSUB-0023-2024</u>
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>N/A</u>
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: <u>N/A</u>
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: <u>N/A</u>
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit	Zoning Case #: <u>N/A</u>
<input type="checkbox"/> Open lot	<input type="checkbox"/> Development Option	Design Alternate #: <u>N/A</u>
GENERAL INFORMATION		
Development name: 5401 North - Lot 30		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): <u>7740 Midtown Market Avenue, Raleigh, NC 27616</u>		
Site P.I.N.(s): <u>1736593334</u>		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Site work for Muti-Family building with retail		
Current Property Owner(s): Hudson 5401 Commercial LV, LLC		
Company: Hudson 5401 Commercial LV, LLC		Title:
Address: 4350 Lassiter at North Hills Avenue, Suite 280, Raleigh, NC 27609		
Phone #: 919.838.7207		Email: <u>mlinden@hudsoncp.com</u>
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder		
Company: McAdams		Address: 621 Hillsborough Street, Suite 500, Raleigh, NC 27603

Phone #: 919. 361. 5000	Email: boyette@mcadamsco.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact: Mathias Linden	
Company: Hudson Capital Properties	Title:
Address: 4350 Lassiter at North Hills Avenue, Suite 280, Raleigh, NC 27609	
Phone #: 919. 838. 7207	Email: mlinden@hudsoncp.com
Applicant Name: David Boyette	
Company: McAdams	Address: 621 Hillsborough Street, Suite 500, Raleigh, NC 27603
Phone #: 919. 361. 5000	Email: boyette@mcadamsco.com

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0
Gross site acreage: 2.84 ac	Existing gross floor area to be demolished: 0
# of parking spaces proposed:	New gross floor area: 392,773 sf
Max # parking permitted (7.1.2.C): 286	Total sf gross (to remain and new): 392,773 sf
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 4
Proposed use (UDO 6.1.4): MixedUse	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) <u>0</u> Proposed total (sf) <u>111,349 sf</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>0</u> Proposed total (sf) <u>111,349 sf</u>
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 226	Total # of hotel bedrooms: 0
# of bedroom units: 1br <u>178</u> 2br <u>45</u> 3br <u>3</u> 4br or more _____	
# of lots: <u>1</u>	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

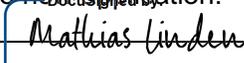
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 7/1/24
Printed Name: Mathias Linden	
Signature:	Date:
Printed Name:	

Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building type and include the plan sheet(s) document when submitting.

Official Title Case #: _____

Please review UDO Section 10.2.8 to determine the site plan tier. For assistance determining a Site Plan Tier, visit [www.raleighnc.gov](#) and click on the "Verification" link on the sidebar under the "Permitting" section. There is a fee for the verification service.

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply):

<input type="checkbox"/> Detached	<input type="checkbox"/> Townhome	Subdivision case #:	2106-003-2024
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/Amend plan case #:	N/A
<input type="checkbox"/> Commercial	<input type="checkbox"/> Care	Certificate of Amendment #:	N/A
<input type="checkbox"/> Apartment	<input type="checkbox"/> College Court	Board of Adjustment #:	N/A
<input type="checkbox"/> Tiny House	<input type="checkbox"/> Town	Zoning Case #:	N/A
<input type="checkbox"/> Other	<input type="checkbox"/> Development Option	Design Alternate #:	N/A

GENERAL INFORMATION

Development name: 5401 North Lot 30

Site ID: 173659334

Property address(es): 7740 Midtown Market Avenue, Raleigh, NC 27616

Site P.L.N. (s): 173659334

Please describe the scope of work. Include any additions, expansions, and uses (UDO 1.1.4):

Site work for Multi-Family building with retail

Current Property Owner(s): Hudson 5401 Commercial LV, LLC

Company: Hudson 5401 Commercial LV, LLC | Title: _____

Address: 4350 Lassiter at North Hills Avenue, Suite 280, Raleigh, NC 27609

Phone #: 919.361.7207 | Email: mlinde@hudsonco.com

Applicant Name (if different from owner): See "who to apply" for instructions.

Relationship to owner: owner or control person owner authorized agent claimant holder

Company: McAdams | Address: 621 Hillsborough Street, Suite 500, Raleigh, NC 27603

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Development Type = Site Data Table

Development Type	Site Data
Single-Family Detached	Lot Area: 123,722 sq ft
Single-Family Attached	Lot Area: 123,722 sq ft
Multi-Family Detached	Lot Area: 123,722 sq ft
Multi-Family Attached	Lot Area: 123,722 sq ft
Commercial	Lot Area: 123,722 sq ft
Industrial	Lot Area: 123,722 sq ft
Public Use	Lot Area: 123,722 sq ft
Other	Lot Area: 123,722 sq ft

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5401 NORTH - LOT 30

7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616

ADMINISTRATIVE SITE PLAN CITY OF RALEIGH CASE #: ASR-XXXX-2024

REFERENCE CITY OF RALEIGH CASE #: PSUB-0023-2024

PROJECT NUMBER: KAN23003

DATE: JULY 02, 2024

SHEET INDEX

C0.01	PROJECT NOTES
C1.00	CURRENT CONDITIONS & DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING & STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	WATER DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	SANITARY SEWER DETAILS
C10.00	TREE CONSERVATION MASTER PLAN
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
L6.00	LIGHTING PLAN

ARCHITECTURAL SHEET INDEX

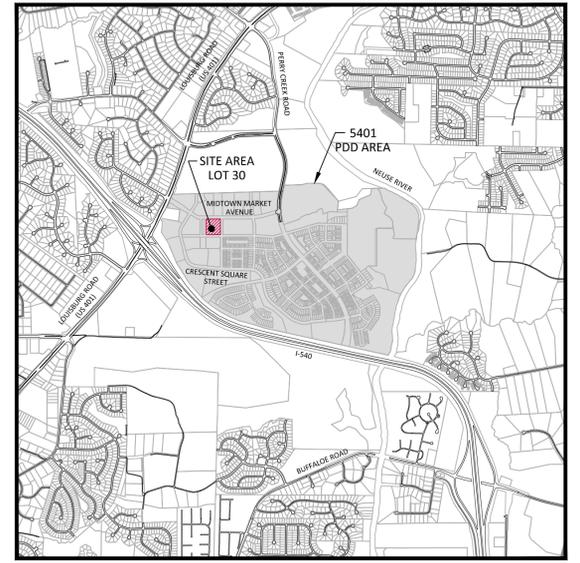
A-100.0	FLOOR PLAN - LEVEL P1
A-100.1	FLOOR PLAN - LEVEL U1
A-101	FLOOR PLAN - LEVEL 1
A-102	FLOOR PLAN - LEVEL 2
A-103	FLOOR PLAN - LEVEL 3
A-104	FLOOR PLAN - LEVEL 4
A-105	OVERALL ROOF PLAN
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATIONS
A-203	BUILDING COURTYARD ELEVATIONS

SITE DATA

OWNER:	LOT 30 HUDSON 5401 COMMERCIAL LV, LLC 4350 LASSITER AT NORTH HILLS AVENUE SUITE 280 RALEIGH, NORTH CAROLINA 27609		
PARCEL PIN NUMBER:	173659334		
TOTAL PDD AREA:	404.44 AC.		
ZONING:	PD		
CURRENT USE:	VACANT		
WATERSHED:	NEUSE RIVER		
FLOODPLAIN/FIRM PANEL:	N/A		
SITE AREA:	2.84 ACRES/123,722 SF		
OPEN SPACE (OVERALL DEVELOPMENT):	REQUIRED: 60.67 ACRES (15% OF 404.44 AC. DEVELOPMENT AREA) PROVIDED: 0 ACRES (REQUIRED OPEN SPACE HAS BEEN PROVIDED BY MASTER DEVELOPMENT UNDER SEPARATE COVER)		
TREE CONSERVATION (OVERALL DEVELOPMENT):	REQUIRED: 40.44 ACRES (10% OF 404.44 AC. DEVELOPMENT AREA) PROVIDED: 0 ACRES (REQUIRED OPEN SPACE HAS BEEN PROVIDED BY MASTER DEVELOPMENT UNDER SEPARATE COVER)		
OUTDOOR AMENITY AREA:	REQUIRED: 12,372 SF/0.28 AC (10% OF 2.84 AC/123,722 SF) PROVIDED: 17,439 SF/0.40 AC		
VEHICLE PARKING DATA			
BUILDING 1 - MAXIMUM VEHICLE PARKING CALCULATIONS			
MULTI-UNIT-STUDIO/1 BDR	178	1.5 sp/unit	267
MULTI-UNIT-2 BDR	45	2.25 sp/unit	101
MULTI-UNIT-3 BDR	8	3 sp/unit	24
MULTI-UNIT-4 BDR	0	4 sp/unit	0
MULTI-UNIT-5+ BDR	0	5 sp/unit	0
OFFICE	1,000 SF	1 sp/200 sf	5
RESTAURANT/BAR	10,306 SF	1 sp/200 sf	52
RETAIL	0 SF	1 sp/200 sf	0
TOTAL ALLOWED:	485		
BICYCLE PARKING DATA			
SHORT TERM REQUIRED:	MULTI-UNIT LIVING: 235 UNITS @ (1 SP/20 UNITS; 4 MIN.) = 11 SPACES OFFICE: 1,000 SF @ (1 SP/10,000 SF; 4 MIN.) = 4 SPACES RESTAURANT: 10,306 SF @ (1 SP/5,000 SF; 4 MIN.) = 4 SPACES RETAIL: N/A TOTAL REQUIRED = 19 SPACES		
LONG TERM REQUIRED:	MULTI-UNIT LIVING: 277 BDR @ (1 SP/7 BDR) = 39 SPACES OFFICE: 1,000 SF @ (1 SP/5,000 SF; 4 MIN.) = 4 SPACES RESTAURANT: 10,306 SF @ (1 SP/25,000 SF; 4 MIN.) = 4 SPACES RETAIL: N/A TOTAL REQUIRED = 47 SPACES		
PROVIDED:	20 SPACES (10 RACKS; 2 SPACES PER RACK)		
BUILDING/STRUCTURE SETBACKS:			
(POD ZONE 1-S)			
FROM PRIMARY STREET (MIN.)	0'		
FROM SIDE (MIN.)	0'		
FROM REAR (MIN.)	0'		
FROM SIDE STREET (MIN.)	0'		
FRONT MAXIMUM	22'		

Impervious Area Tracking Table

Lot #	Lot Area (SF)	Lot Area (Ac)	Max Imperv. (SF)	Max Imperv. (Ac)	% Imperv
Lot 30	123,722	2.84	117,536	2.70	95.0%



VICINITY MAP
1"=2000'

RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO rightofwayservices@raleighnc.gov AT www.raleighnc.gov KEYWORD "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

NOTES

- DEVELOPMENT AND DESIGN SHALL BE IN ACCORDANCE WITH THE CONDITIONS LISTED IN THE 5401 NORTH MASTER PLAN AND PLANNED DEVELOPMENT DISTRICT AMENDMENT (MP-2-16).
- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRoACH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.



Know what's below.
Call before you dig.

SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE COLLECTION. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection**, **Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CONTACT

DAVID BOYETTE
boyette@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

HUDSON CAPITAL PROPERTIES
43650 LASSITER AT NORTH HILLS AVE
SUITE 280 RALEIGH, NC, 27609
MATHIAS LINDEN
PHONE: 919. 838. 7207

PROJECT DIRECTORY

REVISIONS

NO.	DATE
1	----
2	
3	
4	
5	
6	

ADMINISTRATIVE SITE PLAN FOR:

5401 NORTH
LOT 30
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616
PROJECT NUMBER: KAN23003

SITE PLAN NOTES

- NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCRoACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS, THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THOROUGHFARES.
- WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDNANCED BY CITY COUNCIL APPROVAL.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2409, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
- ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 10'x20'x6" (3000 PSI) CONCRETE PAD.

ADDITIONAL UTILITY NOTES

- ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).
- ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'x5x5' CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
- ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
- IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2" MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.

RETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCRoACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCRoACHMENT AGREEMENT. ENCRoACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.
- ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE W THE GEOTECHNICAL REPORT.

PAVEMENT MARKING NOTES

- ALL PAVEMENT MARKINGS SHOWN IN THESE PLANS FOR CITY OF RALEIGH MAINTAINED STREETS ARE SUBJECT TO FINAL APPROVAL FROM PUBLIC WORKS TRANSPORTATION OPERATIONS DIVISION. CONTRACTOR SHALL CONTACT TRANSPORTATION OPERATIONS AT 919-996-3030 FOR COORDINATION AND FINAL APPROVAL PRIOR TO PLACEMENT OF ANY PAVEMENT MARKINGS. MARKINGS WITHIN NCDOT RIGHT-OF-WAYS SHALL BE IN COMPLIANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- ALL SIGNS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE ORDINANCED FOR ENFORCEMENT.
- ALL PAVEMENT MARKINGS SHALL BE PLACED PER THE NCDOT DIVISION 12 STANDARD DETAILS. BICYCLE LANE MARKINGS SHALL BE PLACED PER CITY OF RALEIGH STANDARD BICYCLE FACILITIES DETAILS.

DEMOLITION NOTES:

- IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS. PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE, THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIBLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIBLE ASBESTOS CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUB HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUB DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUB HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI, WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKWATER VALVE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDQW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUB FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 296-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

GRADING NOTES

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE W THE GEOTECHNICAL REPORT.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL NOT COMPLETELY CLOSE BUFFALOEE ROAD AND FORESTVILLE ROAD TO TRAFFIC DURING CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM THE RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

STORM DRAINAGE NOTES

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
- "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF RALEIGH STORMWATER DEPARTMENT.

ROAD WIDENING DEMOLITION NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ENGINEER IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ENGINEER, TO THE OWNER'S SATISFACTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. NOT DESIGNATED TO BE REMOVED SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, BONDS AND APPROVED ENCRoACHMENT PRIOR TO SCHEDULING A PRE-CONSTRUCTION MEETING.
- CONTRACTOR SHALL COORDINATE ALL UTILITY RELOCATIONS WITH THE SUBJECT UTILITY OWNER.

TYPICAL SECTION NOTES:

- PAVEMENT SECTIONS SHOWN ARE CITY OF RALEIGH MINIMUM STANDARDS. CONTRACTOR TO VERIFY PAVEMENT SECTIONS WITH THE GEOTECHNICAL REPORT. IF PAVEMENT SECTIONS IN THE GEOTECHNICAL REPORT DIFFER FROM THE CITY OF RALEIGH STANDARDS, CONTRACTOR TO USE THE GREATER SECTION OF THE TWO.
- SIDEWALK SHOWN ON TYPICAL SECTIONS SHOULD REFER TO SIDEWALK DETAILS A, B & C FOR FINAL SIDEWALK CONFIGURATION WHICH IS BASED ON BUILDING TYPE AND LAND USE.
- STREETYARD TREES FINAL CONFIGURATION OF TREE GRATES/WELLS OR OPEN LAWN WILL BE DICTATED BY BUILDING TYPE AND LAND USE.
- DRIVEWAYS WILL BE DETERMINED AT SITE PLAN AS PER THE MASTER PLAN CIRCULATION AND PHASING PLAN (L5).



Know what's below.
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CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

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HUDSON CAPITAL PROPERTIES
43650 LASSITER AT NORTH HILLS AVE
SUITE 280 RALEIGH, NC, 27609
MATHIAS LINDEN
PHONE: 919. 838. 7207

5401 NORTH
ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616



REVISIONS

NO.	DATE
1	---
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3	
4	
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6	

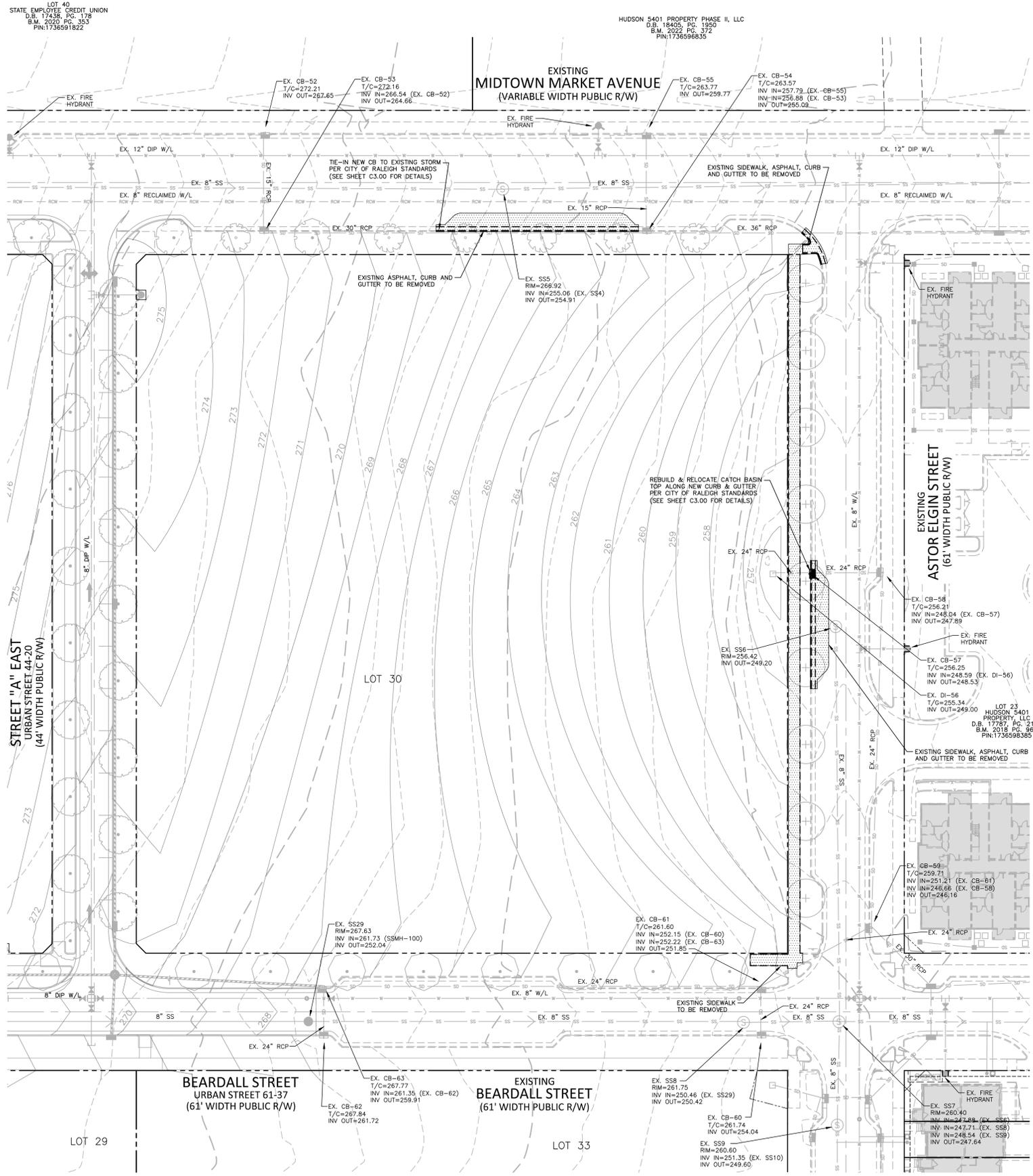
PLAN INFORMATION

PROJECT NO.	KAN23003
FILENAME	KAN23003-ASR-N1
CHECKED BY	DMB
DRAWN BY	CNS
SCALE	N/A
DATE	07.02.2024

SHEET

PROJECT NOTES

C0.01



DEMOLITION LEGEND

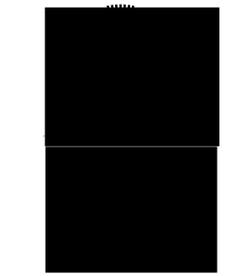
- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

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**5401 NORTH
ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616**



REVISIONS

NO.	DATE
1	
2	
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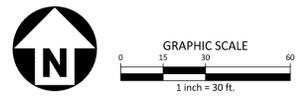
PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-DM1
CHECKED BY DMB
DRAWN BY CNS
SCALE 1" = 30'
DATE

SHEET
**CURRENT CONDITIONS
& DEMOLITION PLAN**
C1.00

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

I:\Projects\MAN\23003\04-Production\Engineering\Production Drawings\Current Drawings\23003-ASR-DM1.dwg, 7/27/2024 2:30:03 PM, Chris Schmidt

SITE LEGEND

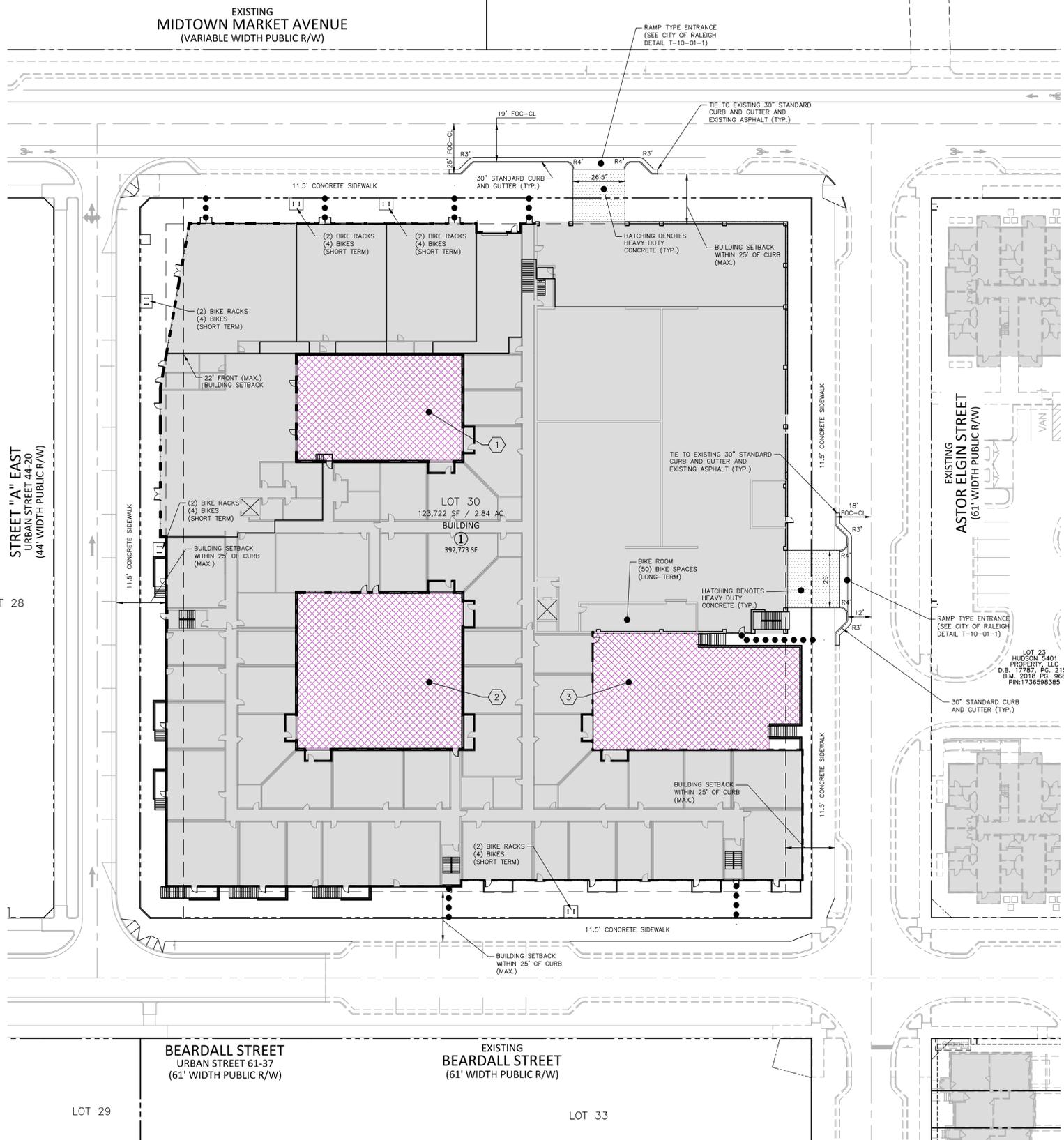
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY CONCRETE
- OUTDOOR AMENITY AREA

AMENITY AREA TABLE

AREA #	AREA (AC)	AREA (SF)
1	0.22	9,396
2	0.01	384
3	0.01	404

LOT 40
STATE EMPLOYEE CREDIT UNION
D.B. 17438 PG. 178
B.M. 2020 PG. 353
PIN:1736591822

HUDSON 5401 PROPERTY PHASE II, LLC
D.B. 18405 PG. 1950
B.M. 2022 PG. 372
PIN:1736596835



USES:

DEFAULT DISTRICT:	T1	T2	T3	T4-R	T4-O	T5	T5-I	T6
A. RESIDENTIAL	R1	R6	RX	RX	OX	CX	IX	CX
Single Unit Living and Two-Unit Living	P	P	P	P	P	P	P	P
College Court	P	P	P	P	P	P	P	P
Multi-Unit Living	P	P	P	P	P	P	P	P
Congregate Care, Life Care Community	S	S	S	L	L	L	L	L
B. COMMERCIAL								
All Commercial Uses (except as listed below):								
Overnight Lodging except Bed and Breakfast					S	P	P	P
Bed and Breakfast				L	L	P	P	P
Office				L	L	P	P	P
Automotive Service and Repair Facility						L	P	L
Commercial Parking Lot						P	P	P
Animal Care (Indoor)						L	L	L
Indoor and Outdoor Recreation						P	P	P
Daycare Center	S	S	S	S	L	L	L	L
C. PUBLIC AND INSTITUTIONAL								
CIAC, except as listed below:	L	L	P	P	P	P	P	P
School, public or private (K-12)	L	L	L	L	L	L	L	L
Minor Utilities	P	P	P	P	P	P	P	P
Parks, Open Space and Greenway	P	P	P	P	P	P	P	P
Cemetery	L	L	L	L	L	L	L	L
D. OPEN USE								
Community Garden	L	S	L	L	L	L	L	L
Plant Nursery	S							
Urban Farm				S	S	S	S	S
Produce Stand	L	L	L	L	L	L	L	L
E. INDUSTRIAL								
Light Industrial								P
Light Manufacturing								P

DEVELOPMENT STANDARDS:

DEFAULT DISTRICT:	T1	T2	T3	T4-R	T4-O	T5	T5-I	T6
A. BUILDING SETBACKS								
Primary Street Min.	N/A	12'	12'	4'	0'	0'	0'	0'
Side Min.	N/A	10'	0'	0'	0'	0'	0'	0'
Rear Min.	N/A	10'	0'	0'	0'	0'	0'	0'
Side Street Min.	N/A	8'	6'	4'	0'	0'	0'	0'
Aggregate	N/A	20'	6'	6'	0'	0'	0'	0'
Front Maximum	N/A	10'	22'	22'	22'	22'	22'	22'
Accessory/Garage	N/A	6'	6'	6'	6'	6'	6'	6'
B. MAX. BUILDING HEIGHTS								
All Buildings	N/A	40'	50'	60'	80'	118'	118'	118'
Stories	N/A	2-3	3-4	3-4	3-5	8	9	8-10
C. MINIMUM LOT AREA								
Detached House	N/A	N/A	2,000 sf	2,500 sf	1,500 sf	N/A	N/A	N/A
Townhouse/Attached House	N/A	N/A	2,000 sf	1,600 sf	1,200 sf	1,200 sf	1,200 sf	1,200 sf
Apartment	N/A	N/A	10,000 sf	9,000 sf	7,000 sf	5,000 sf	5,000 sf	5,000 sf
Mixed Use Building	N/A	N/A	N/A	5,000 sf	1,000 sf	5,000 sf	1,000 sf	1,000 sf
General Building	N/A	N/A	3,000 sf	2,000 sf	2,000 sf	2,000 sf	2,000 sf	2,000 sf
Open Lot/CIAC	No Min.	No Min.	No Min.	No Min.	No Min.	No Min.	No Min.	No Min.
D. MINIMUM LOT WIDTH								
Single Family Detached	N/A	100'	35'	25'	25'	N/A	N/A	N/A
Townhouse/Attached House	N/A	N/A	20'	16'	16'	16'	16'	16'
Multi-Family Apartment	N/A	N/A	65'	55'	55'	55'	55'	55'
Office/Mixed Use	N/A	N/A	N/A	55'	35'	20'	20'	20'
Commercial/Retail	N/A	N/A	N/A	55'	35'	20'	20'	20'
CIAC	No Min.	No Min.	No Min.	No Min.	No Min.	No Min.	No Min.	No Min.
E. SPECIAL BUILDING SETBACKS								
Neuse River	N/A	150'	150'	150'	150'	150'	150'	150'
I-540/Lockwood Road	N/A	50'	50'	50'	50'	50'	50'	50'
Anderson Property	N/A	50'	50'	50'	50'	50'	50'	50'
Wable Tech	N/A	25'	25'	25'	25'	25'	25'	25'
F. ALLOWED BUILDING ELEMENTS								
Port	n	n	n	n	n	n	n	n
Signage	n	n	n	n	n	n	n	n
Campuses, Awnings	n	n	n	n	n	n	n	n
Towers, Canopies, Lantinas	n	n	n	n	n	n	n	n
Arcades/Galleries	n	n	n	n	n	n	n	n
Forecourt	n	n	n	n	n	n	n	n

- Non residential uses in T4-R shall be limited to 10,000 sqft maximum single use building square footage and shall be located on a block corner facing the primary street.
- Surface parking shall be located to the rear or side of principle structures except TB blocks. Surface parking located in transects other than TB that front on Street "A" shall be limited to no more than 50% of the parcel width along Street "A". In any event, all surface parking within 50' of a public street shall be screened from view of the street by a continuous 3' evergreen hedge, 3' fence or wall.
- Surface parking as a principle use on a lot shall be screened from view of the street in the same manner.
- Special considerations shall be given to CIAC uses relationship to the street with structures such as: Canoe Rental, Horse Stables, Agrarian Buildings, Park Structures, Etc.
- There shall be 0' setback to private streets.
- Fences shall be governed by the Developer's Restrictive Covenant level and meet or exceed OOR regulations.
- No front max. setback can only be used for 1 of the TB transects. The remaining 2-TB transects shall have a maximum setback of 100'.

SITE DATA

OWNER:	LOT 30 HUDSON 5401 COMMERCIAL LV, LLC 4350 LASSITER AT NORTH HILLS AVENUE SUITE 280 RALEIGH, NORTH CAROLINA 27609																																										
PARCEL PIN NUMBER:	1736593334																																										
TOTAL PDD AREA:	404.44 AC																																										
ZONING:	PD																																										
CURRENT USE:	VACANT																																										
WATERSHED:	NEUSE RIVER																																										
FLOODPLAIN/FIRM PANEL:	N/A																																										
SITE AREA:	2.84 ACRES/123,722 SF	REQUIRED:	60.67 ACRES (15% OF 404.44 AC. DEVELOPMENT AREA)																																								
OPEN SPACE (OVERALL DEVELOPMENT):	PROVIDED: 0 ACRES	REQUIRED:	0 ACRES (REQUIRED OPEN SPACE HAS BEEN PROVIDED BY MASTER DEVELOPMENT UNDER SEPARATE COVER)																																								
TREE CONSERVATION (OVERALL DEVELOPMENT):	REQUIRED: 40.44 ACRES (10% OF 404.44 AC. DEVELOPMENT AREA)	PROVIDED:	0 ACRES (REQUIRED OPEN SPACE HAS BEEN PROVIDED BY MASTER DEVELOPMENT UNDER SEPARATE COVER)																																								
OUTDOOR AMENITY AREA:	REQUIRED: 12,372 SF/0.28 AC	PROVIDED:	17,439 SF/0.40 AC (10% OF 2.84 AC/123,722 SF)																																								
VEHICLE PARKING DATA:	<table border="1"> <thead> <tr> <th>BUILDING 1 - MAXIMUM VEHICLE PARKING CALCULATIONS</th> <th>QUANTITY</th> <th>MAX ALLOWED</th> <th>SPACES</th> </tr> </thead> <tbody> <tr> <td>MULTI-UNIT: 2 BDR</td> <td>176</td> <td>15 sp/unit</td> <td>187</td> </tr> <tr> <td>MULTI-UNIT: 3 BDR</td> <td>45</td> <td>2.25 sp/unit</td> <td>101</td> </tr> <tr> <td>MULTI-UNIT: 4 BDR</td> <td>3</td> <td>3 sp/unit</td> <td>9</td> </tr> <tr> <td>MULTI-UNIT: 5 BDR</td> <td>0</td> <td>4 sp/unit</td> <td>0</td> </tr> <tr> <td>MULTI-UNIT: 6 BDR</td> <td>0</td> <td>5 sp/unit</td> <td>0</td> </tr> <tr> <td>OFFICE</td> <td>1,000 SF</td> <td>1 sp/200 SF</td> <td>5</td> </tr> <tr> <td>RESTAURANT/BAR</td> <td>10,306 SF</td> <td>1 sp/200 SF</td> <td>109</td> </tr> <tr> <td>DETAIL</td> <td>0 SF</td> <td>1 sp/200 SF</td> <td>0</td> </tr> <tr> <td>TOTAL ALLOWED:</td> <td></td> <td></td> <td>485</td> </tr> </tbody> </table>			BUILDING 1 - MAXIMUM VEHICLE PARKING CALCULATIONS	QUANTITY	MAX ALLOWED	SPACES	MULTI-UNIT: 2 BDR	176	15 sp/unit	187	MULTI-UNIT: 3 BDR	45	2.25 sp/unit	101	MULTI-UNIT: 4 BDR	3	3 sp/unit	9	MULTI-UNIT: 5 BDR	0	4 sp/unit	0	MULTI-UNIT: 6 BDR	0	5 sp/unit	0	OFFICE	1,000 SF	1 sp/200 SF	5	RESTAURANT/BAR	10,306 SF	1 sp/200 SF	109	DETAIL	0 SF	1 sp/200 SF	0	TOTAL ALLOWED:			485
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REVISIONS

NO.	DATE
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PLAN INFORMATION

PROJECT NO.	KAN23003
FILENAME	KAN23003-ASR-51
CHECKED BY	DMB
DRAWN BY	CNS
SCALE	1" = 30'
DATE	07.02.2024

SHEET

McADAMS
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**5401 NORTH
ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616
CITY OF RALEIGH CASE # ASR-XXXX-2024**



REVISIONS

PLAN INFORMATION

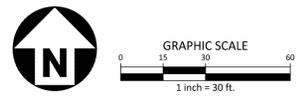
SHEET

SITE PLAN

C2.00

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

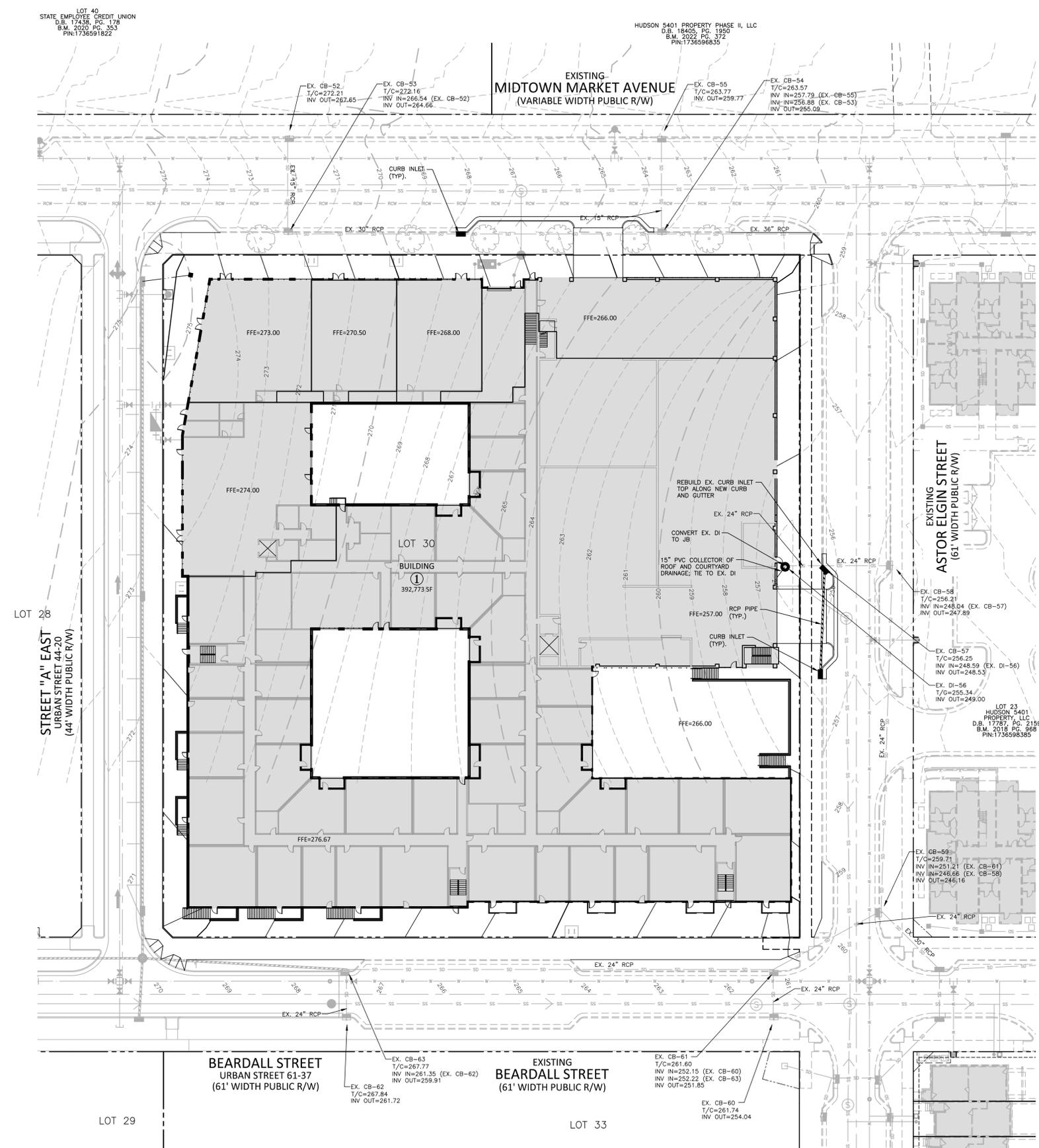


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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LOT 40
STATE EMPLOYEE CREDIT UNION
D.B. 17438 PG. 178
B.M. 2020 PG. 353
PIN:1736591822

HUDSON 5401 PROPERTY PHASE II, LLC
D.B. 18405 PG. 1950
B.M. 2022 PG. 372
PIN:1736596835



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)



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**5401 NORTH
ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616
CITY OF RALEIGH CASE # ASR-XXXX-2024**

REVISIONS

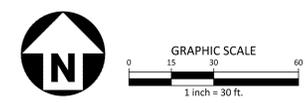
NO.	DATE
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PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-G1
CHECKED BY DMB
DRAWN BY CNS
SCALE 1" = 30'
DATE 07.02.2024

SHEET

**GRADING & STORM
DRAINAGE PLAN
C3.00**



SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING,
STORM DRAINAGE AND UTILITY NOTES

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NCDOT (WHERE APPLICABLE) ENGINEERING
DESIGN AND CONSTRUCTION STANDARDS

M:\Projects\MAN\KAN23003\04-Production\Engineering\Production Drawings\Current Drawings\02-Administrative Site Review\KAN23003-ASR-G1.dwg, 7/2/2024 2:30:39 PM, Chris Schmidt



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REVISIONS

NO.	DATE
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PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-U1
CHECKED BY DMB
DRAWN BY CNS
SCALE 1" = 30'
DATE 07.02.2024

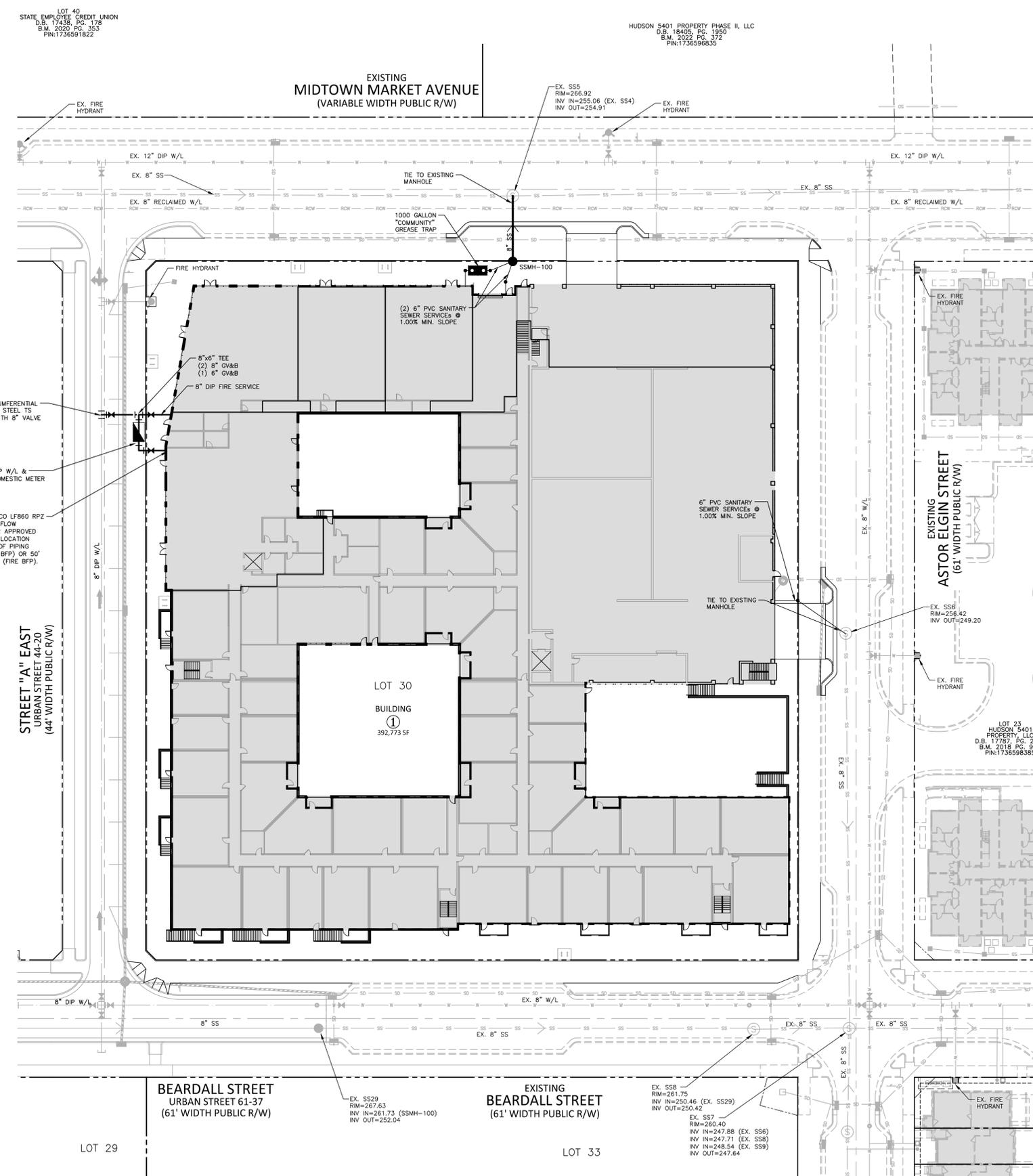
SHEET

UTILITY PLAN

C4.00

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



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I:\Projects\MAN\KAN23003\04-Production\Engineering\Production Drawings\02-Administrative Site Review\KAN23003-ASR-U1.dwg, 7/2/2024 2:35:58 PM, Chris Schmidt



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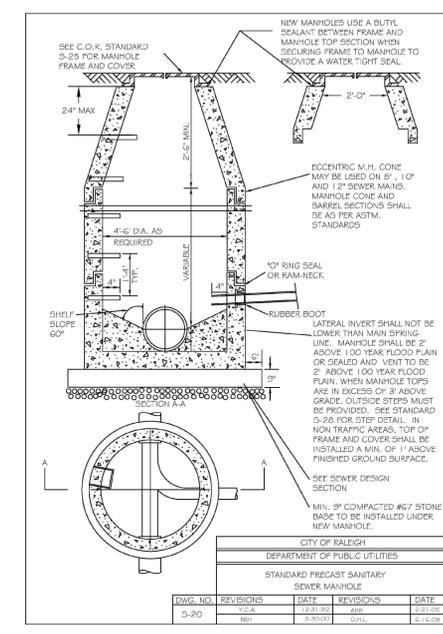
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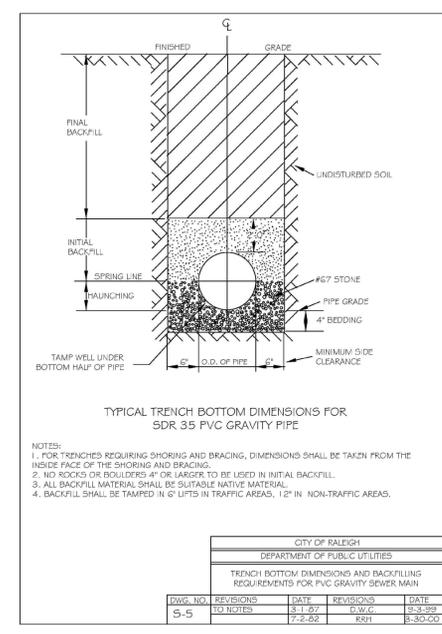
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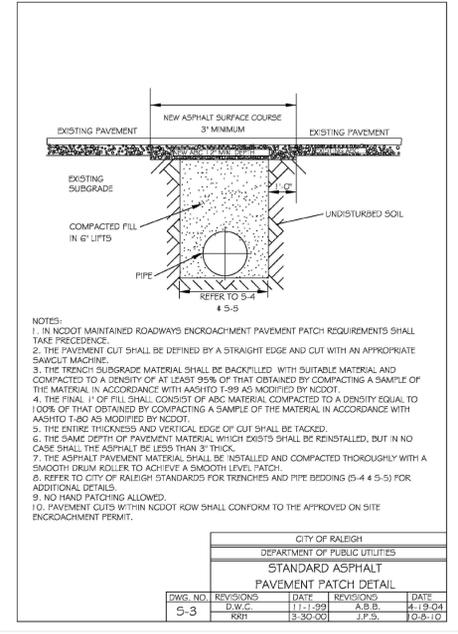
5401 NORTH
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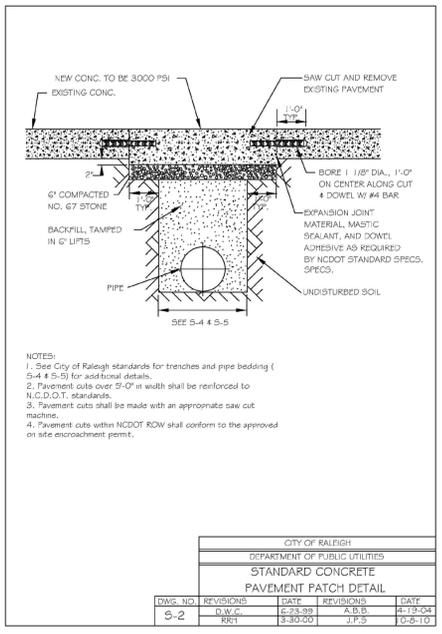
STANDARD PRECAST SANITARY SEWER MANHOLE



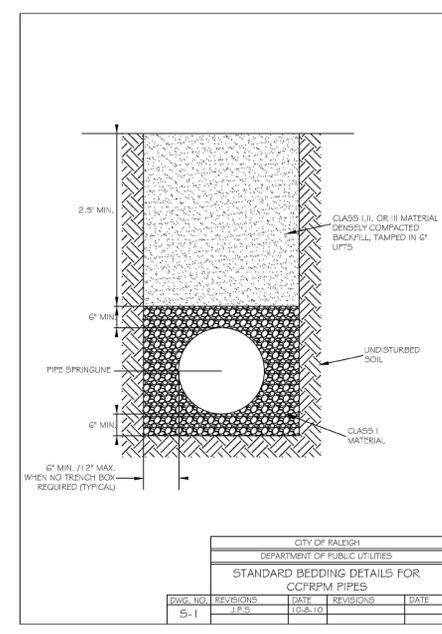
TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE



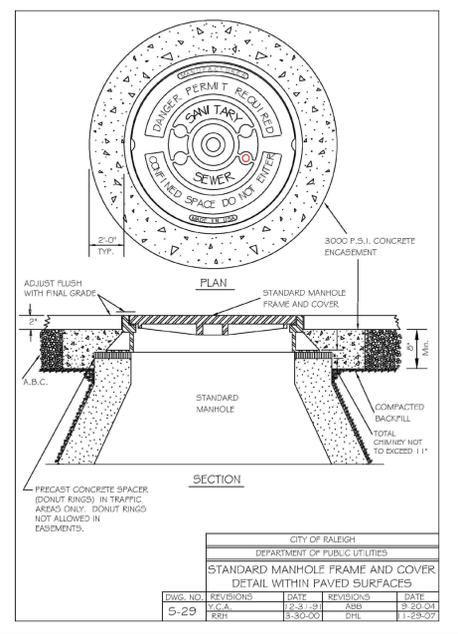
STANDARD ASPHALT PAVEMENT PATCH DETAIL



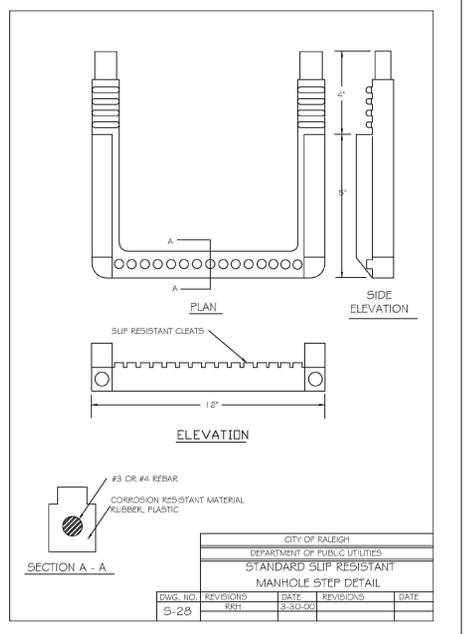
STANDARD CONCRETE PAVEMENT PATCH DETAIL



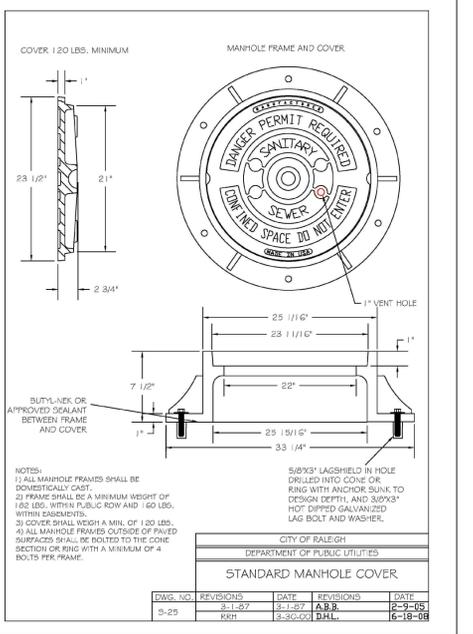
STANDARD BEDDING DETAILS FOR CCRPM PIPES



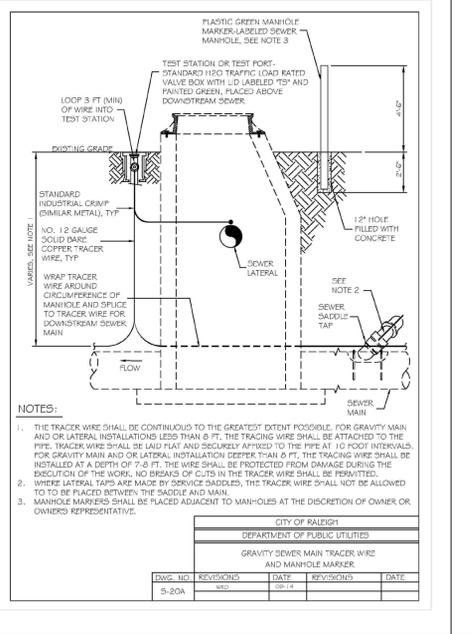
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES



STANDARD SLIP RESISTANT MANHOLE STEP DETAIL



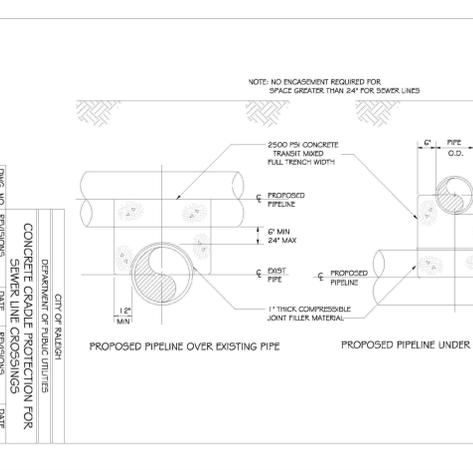
STANDARD MANHOLE COVER



STANDARD SEWER MAIN TRACER WIRE AND MANHOLE MARKER



THRUST BLOCKING



CONCRETE GRADE PROJECTION FOR PROPOSED PIPELINE OVER/UNDER EXISTING PIPE

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

Table with columns: NO., DATE. Contains revision entries 1 through 6.

PLAN INFORMATION

Table with columns: PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE. Contains project details.

SITE DETAILS

C8.00

\\Projects\MAN\MAN23003\04-Production\Engineering\Production\Drawings\02-Administrative Site Review\MAN23003-ASR-01.dwg, 7/27/2024 2:31:10 PM, Chris Schmidt



McADAMS

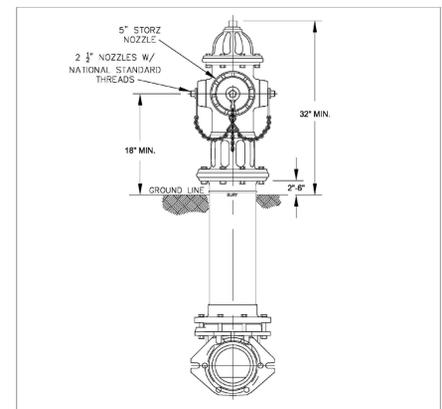
The John R. McAdams Company, Inc.
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Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

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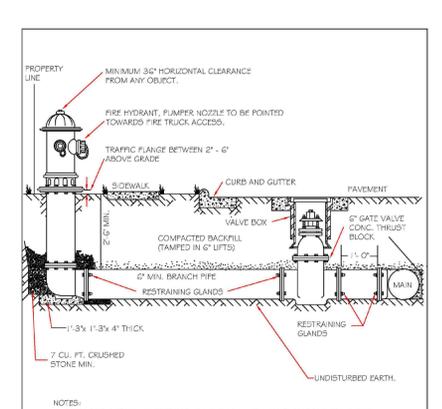
HUDSON CAPITAL PROPERTIES
43650 LASSITER AT NORTH HILLS AVE
SUITE 280 RALEIGH, NC, 27609
MATHIAS LINDEN
PHONE: 919. 838. 7207

5401 NORTH ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616



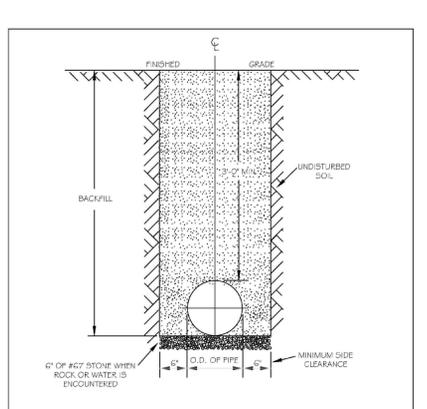
- NOTES:
1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-3.



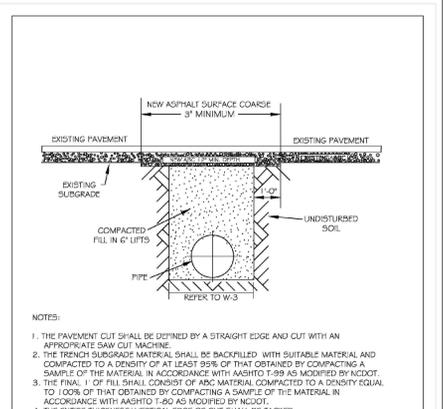
- NOTES:
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MPH, WATKINS, GLOW, EAST JORDAN IRON WORKS, OR US PIPE.
2. BRANCH PIPE SHALL BE DUCTILE IRON PER ANSI A15.2.
3. 6" GATE VALVE SHALL BE PER ANSI C100-06 OPEN TOP.
4. STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIP GALVANIZED.
5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION.
6. HYDRANT SHALL NOT BE COVERED BY CURB OR GRADE. IF THE FINISH FROM THE VALVE TO THE HYDRANT EXCEEDS 20" THEN A MECHANICAL RESTRAINING GUARD WITH A REAR CASE SHALL BE INSTALLED NO MORE THAN 10" FROM HYDRANT AND FURRED IN CONCRETE.
7. FIRE HYDRANTS TO BE LOCATED IN ROW OR 6' FOOT EASEMENT ADJACENT TO ROW.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-4.



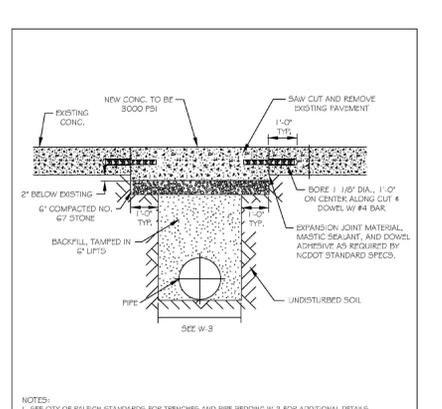
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOLLERS 4" OR LARGER TO BE USED IN BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
5. ACHIEVE 95% COMPACTION IN LIFTS.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-3.



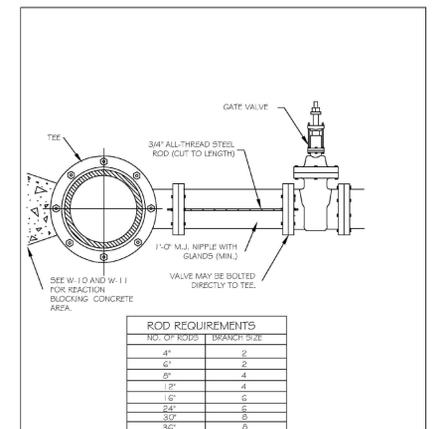
- NOTES:
1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NC DOT.
3. THE FINAL 1" OF FILL SHALL CONSIST OF ADO MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NC DOT.
4. THE ENTIRE THICKNESS VERTICAL EDGE OF CUT SHALL BE TACKED.
5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
7. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
8. NO HAND PATCHING ALLOWED.
9. PAVEMENT CUTS WITHIN NC DOT ROW SHALL CONFORM TO THE APPROVED ON SITE INDICATOR MARK.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-2.



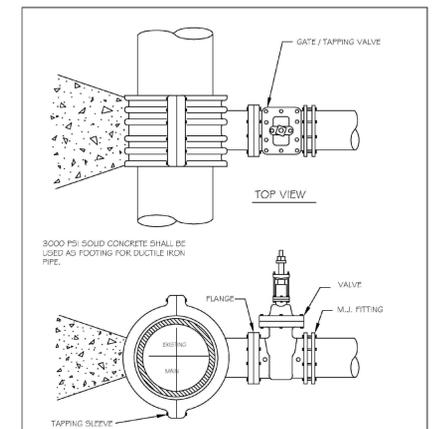
- NOTES:
1. SEE CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING W-3 FOR ADDITIONAL DETAILS.
2. PAVEMENT CUTS WITHIN NC DOT ROW SHALL CONFORM TO THE APPROVED ON SITE INDICATOR MARK.
3. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROVED SAW CUT MACHINE.
4. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NC DOT.
5. THE FINAL 1" OF FILL SHALL CONSIST OF ADO MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NC DOT.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-1.



- NOTES:
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-14.



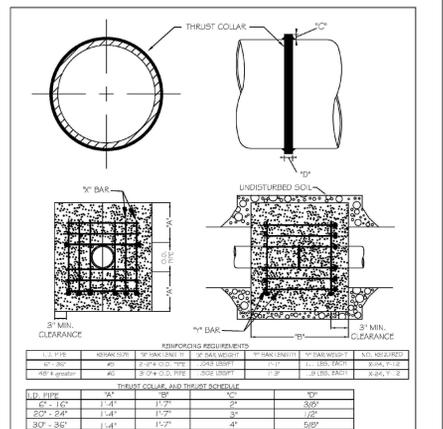
- NOTES:
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-14.

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.
Table with columns: SIZE AND THROUST OF BEND, STATIC THROUST IN POUNDS, NO. OF RODS REQUIRED.

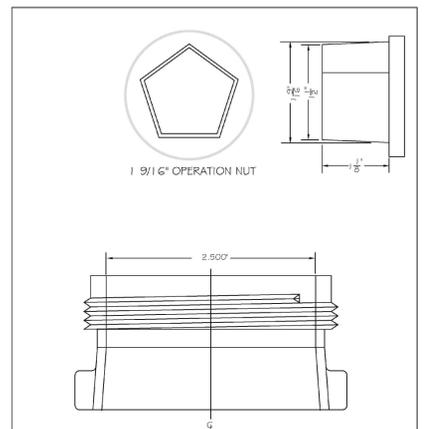
- NOTES:
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-10.



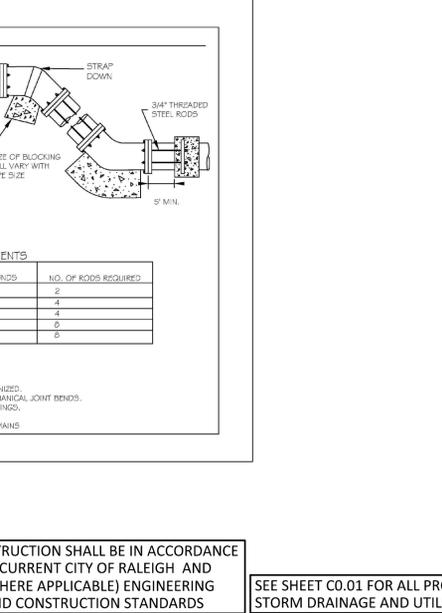
- NOTES:
1. SEE STANDARD DETAIL W-9 FOR THRUST BLOCK LOCATIONS.
2. CONCRETE SHALL BE 3000 PSI AND TRANSLATED.
3. REINFORCING BARS SHALL BE DEFORMED AND TIED TOGETHER.
4. TRENCH BOTTOM WIDTH IN VICINITY OF THRUST BLOCK INSTALLATION SHALL BE THE MINIMUM WIDTH AS SHOWN ON STANDARD DETAIL W-3.
5. BACKFILL TAMPED IN 6" LIFTS PER STANDARD DETAIL W-3.
6. THRUST COLLAR MUST BE FACTORY WELDED ON BOTH SIDES ALONG BOTH EDGES OF COLLAR AROUND CIRCUMFERENCE.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-7.



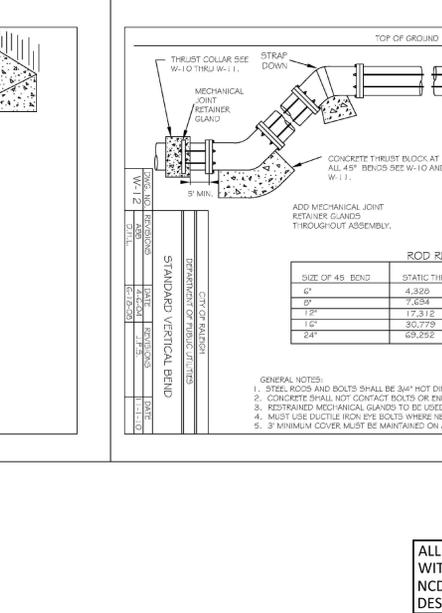
- NOTES:
1. SEE STANDARD DETAIL W-9 FOR THRUST BLOCK LOCATIONS.
2. CONCRETE SHALL BE 3000 PSI AND TRANSLATED.
3. REINFORCING BARS SHALL BE DEFORMED AND TIED TOGETHER.
4. TRENCH BOTTOM WIDTH IN VICINITY OF THRUST BLOCK INSTALLATION SHALL BE THE MINIMUM WIDTH AS SHOWN ON STANDARD DETAIL W-3.
5. BACKFILL TAMPED IN 6" LIFTS PER STANDARD DETAIL W-3.
6. THRUST COLLAR MUST BE FACTORY WELDED ON BOTH SIDES ALONG BOTH EDGES OF COLLAR AROUND CIRCUMFERENCE.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-6.



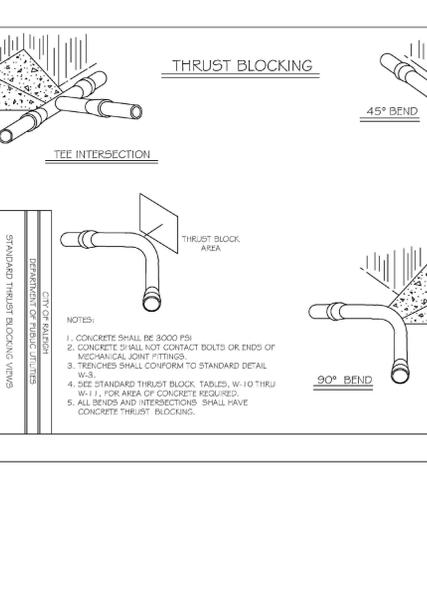
- NOTES:
1. VALVE BOX COVER SHALL BE 1" RAISED (RECESSED FLUSH)
2. VALVE COVER SHALL BE DOMESTICALLY CAST.
3. COVER MUST HAVE A MINIMUM WEIGHT OF 25 POUNDS.
4. COVER MUST BE CLASS 35 OR GREATER.
5. COVER MUST MEET OR EXCEED AASHTO H-20 LOAD REQUIREMENTS.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-17.



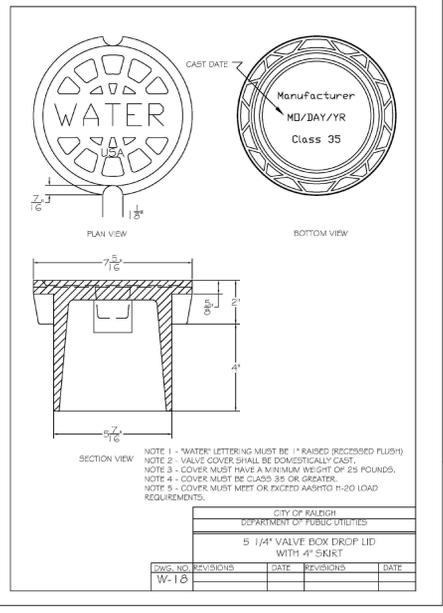
- NOTES:
1. CONCRETE SHALL BE 3000 PSI.
2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
3. TRENCHES SHALL CONFORM TO STANDARD DETAIL W-3.
4. SEE STANDARD THRUST BLOCK TABLES, W-10 THRU W-11 FOR AREA OF CONCRETE REQUIRED.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-10.



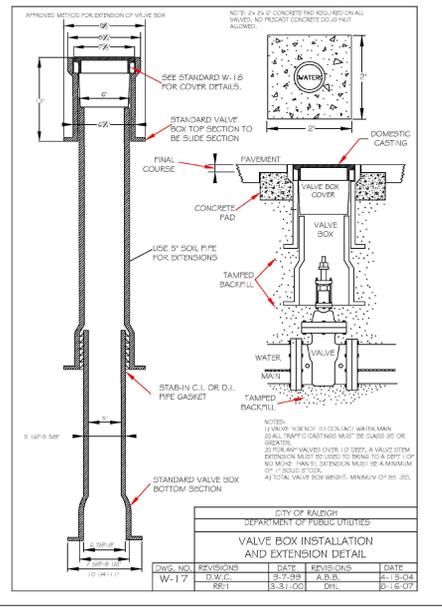
- NOTES:
1. CONCRETE SHALL BE 3000 PSI.
2. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
3. TRENCHES SHALL CONFORM TO STANDARD DETAIL W-3.
4. SEE STANDARD THRUST BLOCK TABLES, W-10 THRU W-11 FOR AREA OF CONCRETE REQUIRED.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-10.



- NOTES:
1. VALVE BOX COVER SHALL BE 1" RAISED (RECESSED FLUSH)
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Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-10.



- NOTES:
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3. COVER MUST HAVE A MINIMUM WEIGHT OF 25 POUNDS.
4. COVER MUST BE CLASS 35 OR GREATER.
5. COVER MUST MEET OR EXCEED AASHTO H-20 LOAD REQUIREMENTS.

Table with columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for W-17.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NC DOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

Table with columns: NO., DATE. Includes revision history for sheet C8.01.

PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-D1
CHECKED BY DMB
DRAWN BY CNS
SCALE NTS
DATE 07.02.2024

SHEET

WATER DETAILS

C8.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

\\projects\MAN\MAN\2303\04-Production\Drawings\Current\Drawings\02-Administrative Site Review\KAN23003-ASR-D1.dwg, 7/27/2024 2:31:21 PM, Chris Schmidt



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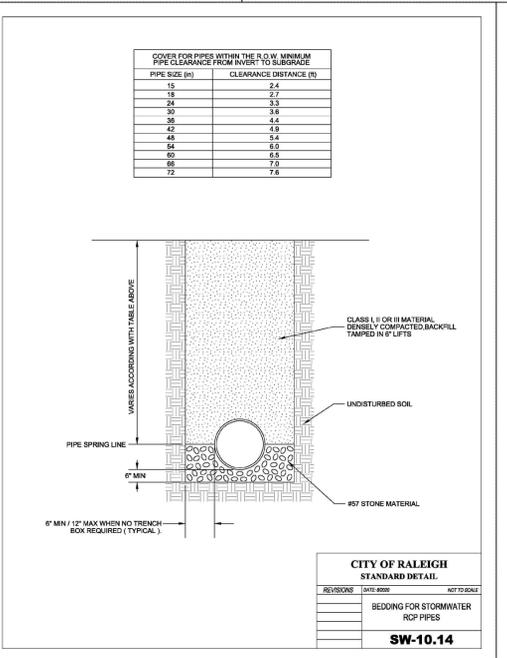
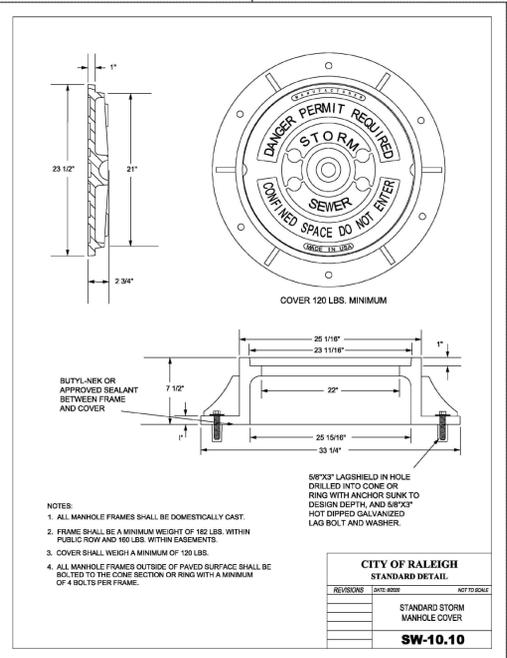
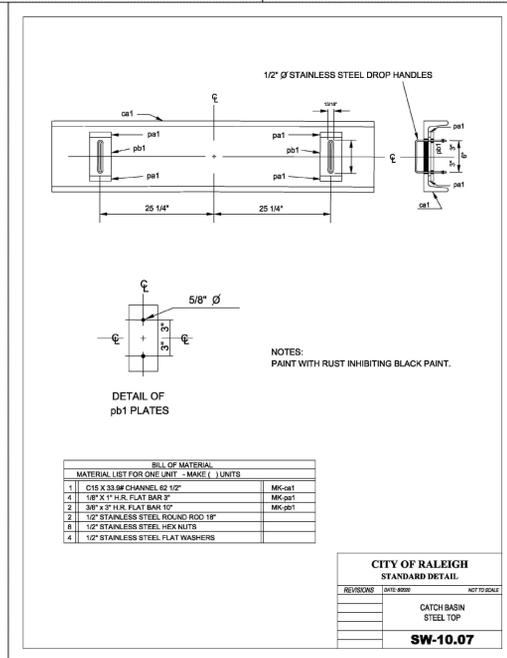
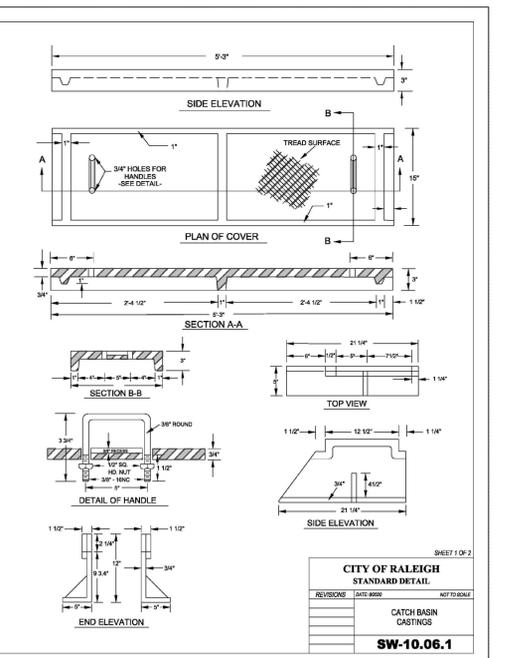
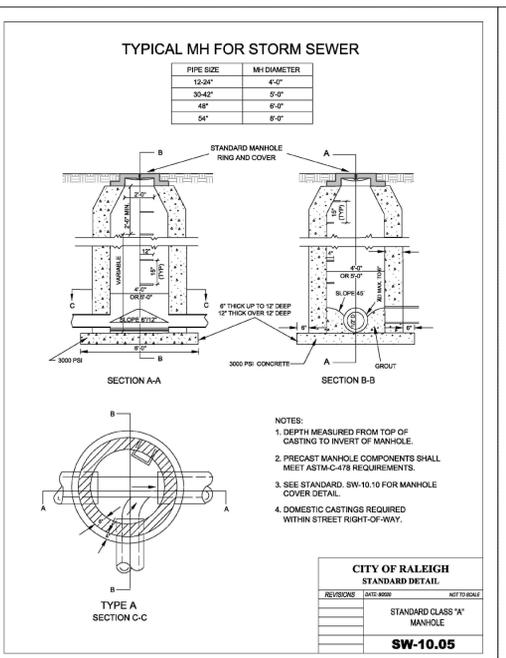
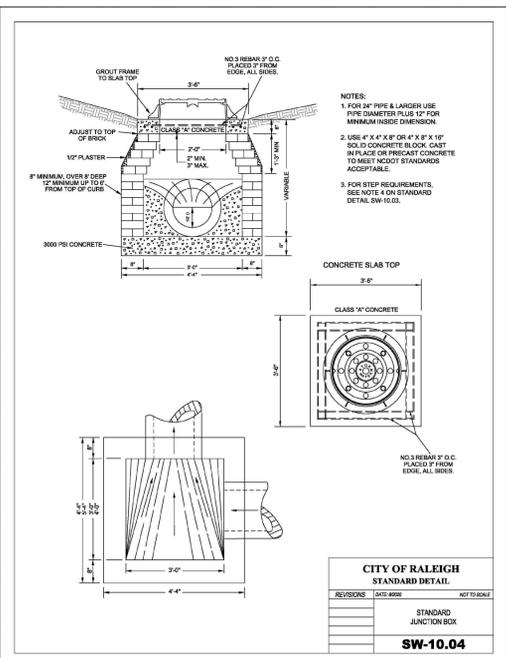
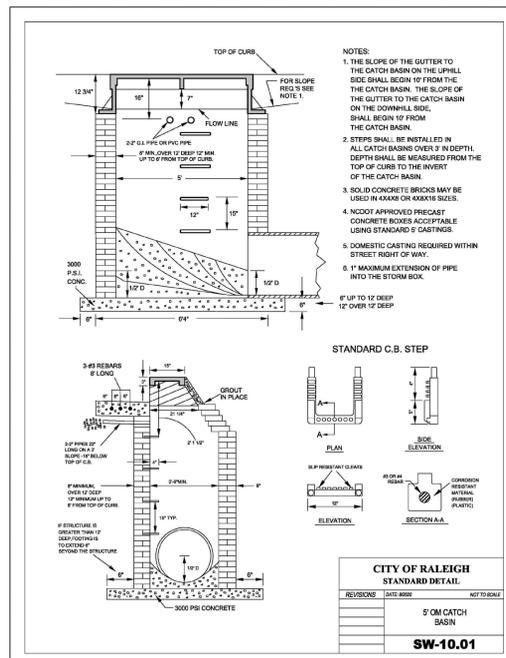
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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

REVISIONS

NO.	DATE
1	
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4	
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6	

PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-D1
CHECKED BY DMB
DRAWN BY CNS
SCALE NTS
DATE 07.02.2024

SHEET

STORM DRAINAGE DETAILS

C8.02



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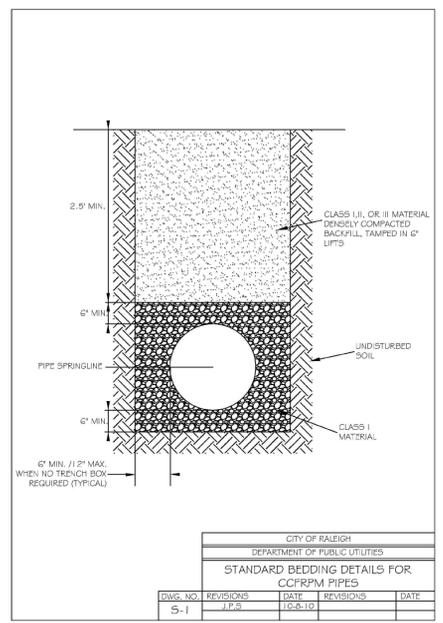


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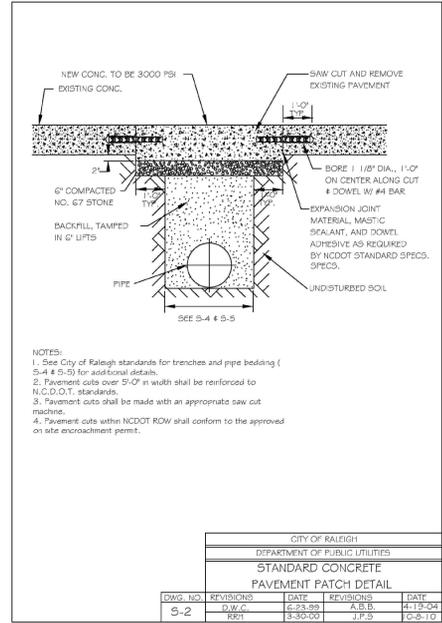


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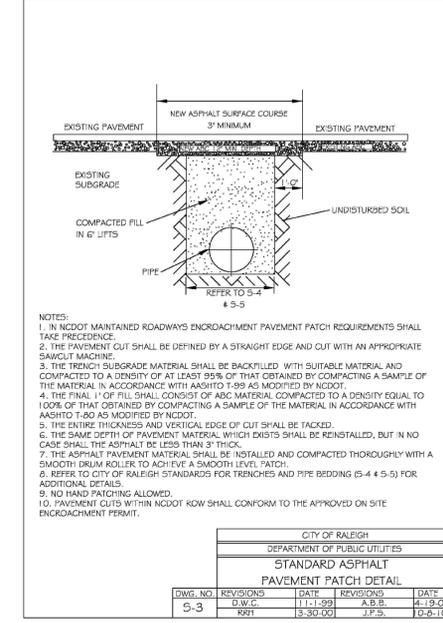


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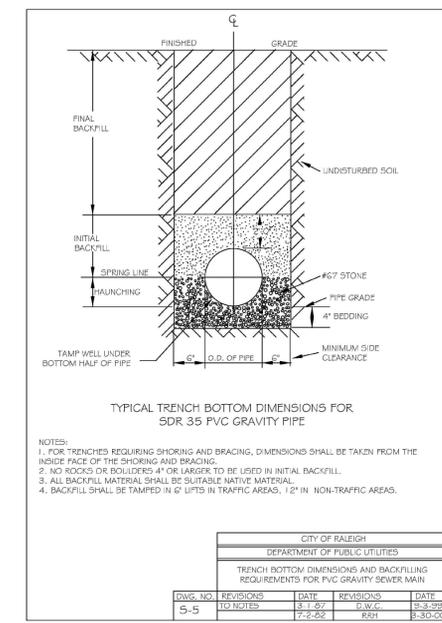


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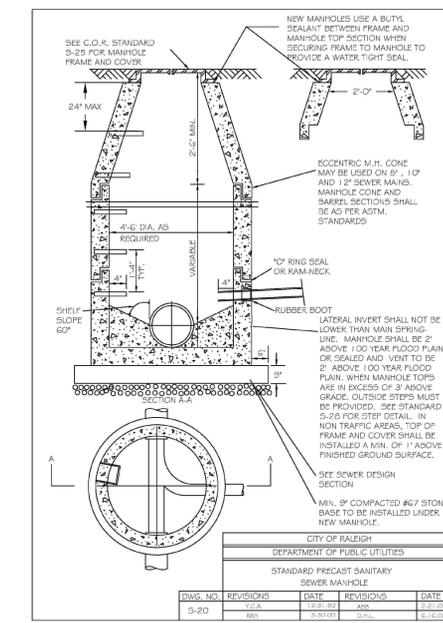


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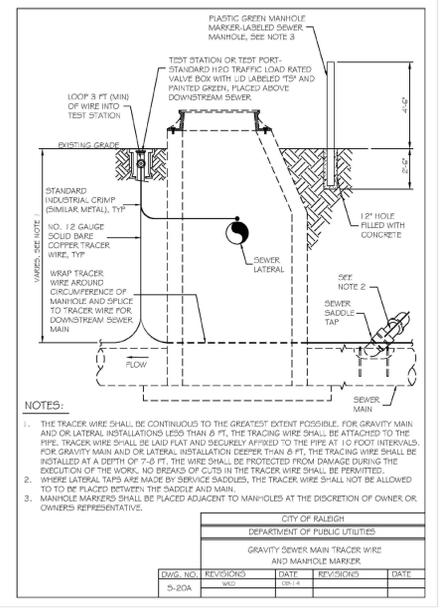


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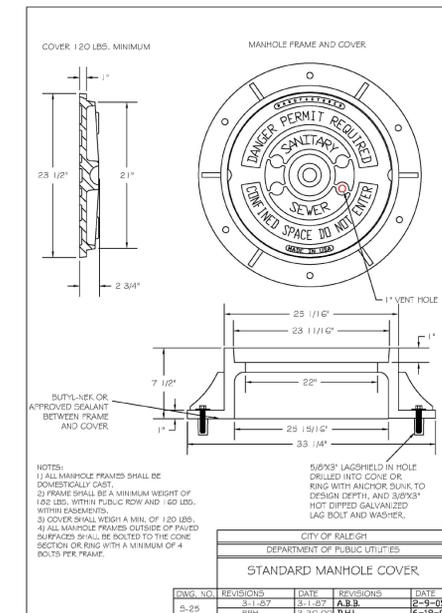


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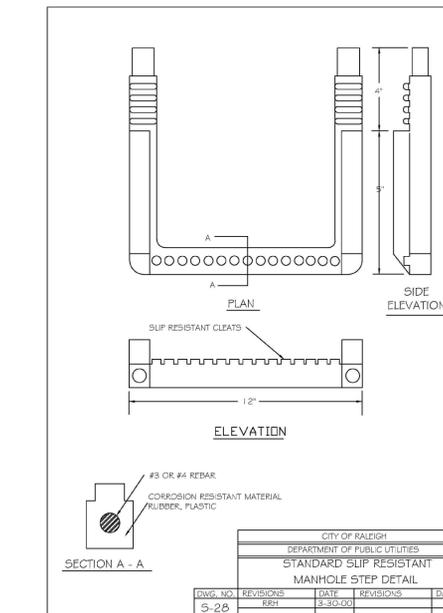


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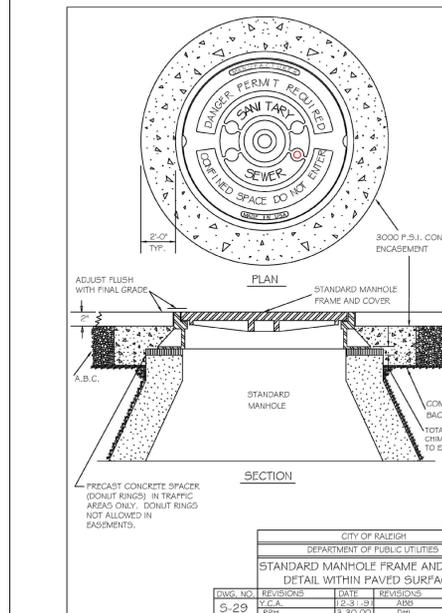


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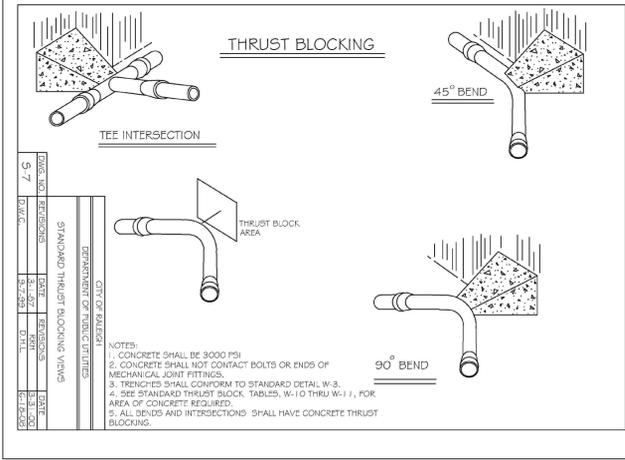


Table with 4 columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Row 1: S-7, R.H.T., 3-30-00, D.H.L., 6-18-08.

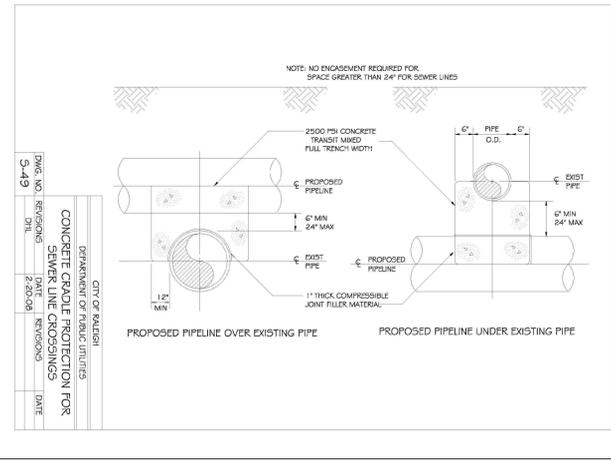


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SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT (WHERE APPLICABLE) ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

REVISIONS

Table with 2 columns: NO., DATE. Rows 1-6 are empty.

PLAN INFORMATION

Table with 2 columns: PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE. Values: KAN23003, KAN23003-ASR-D1, DMB, CNS, NTS, 07.02.2024

SANITARY SEWER DETAILS

C8.03



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5401 NORTH
ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616
CITY OF RALEIGH CASE # ASR-XXXX-2024

REVISIONS

NO.	DATE
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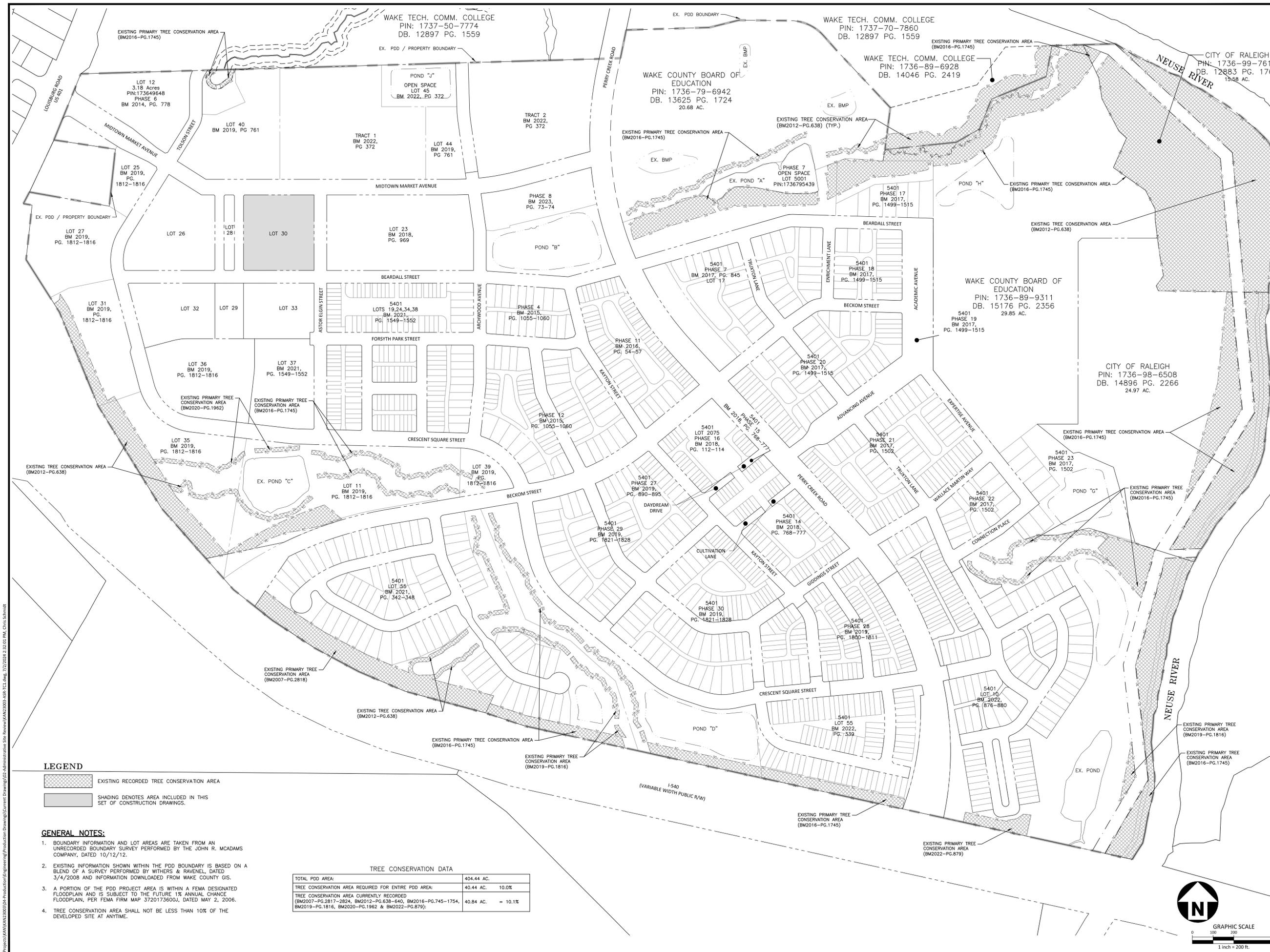
PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-TC1
CHECKED BY DMB
DRAWN BY CNS
SCALE 1" = 200'
DATE 07.02.2024

SHEET

TREE CONSERVATION
MASTER PLAN

C10.00



LEGEND

- EXISTING RECORDED TREE CONSERVATION AREA
- SHADING DENOTES AREA INCLUDED IN THIS SET OF CONSTRUCTION DRAWINGS.

GENERAL NOTES:

- BOUNDARY INFORMATION AND LOT AREAS ARE TAKEN FROM AN UNRECORDED BOUNDARY SURVEY PERFORMED BY THE JOHN R. MCADAMS COMPANY, DATED 10/12/12.
- EXISTING INFORMATION SHOWN WITHIN THE PDD BOUNDARY IS BASED ON A BLEND OF A SURVEY PERFORMED BY WITHERS & RAVENEL, DATED 3/4/2008 AND INFORMATION DOWNLOADED FROM WAKE COUNTY GIS.
- A PORTION OF THE PDD PROJECT AREA IS WITHIN A FEMA DESIGNATED FLOODPLAIN AND IS SUBJECT TO THE FUTURE 1% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM MAP 3720173600J, DATED MAY 2, 2006.
- TREE CONSERVATION AREA SHALL NOT BE LESS THAN 10% OF THE DEVELOPED SITE AT ANYTIME.

TREE CONSERVATION DATA

TOTAL PDD AREA:	404.44 AC.
TREE CONSERVATION AREA REQUIRED FOR ENTIRE PDD AREA:	40.44 AC. 10.0%
TREE CONSERVATION AREA CURRENTLY RECORDED (BM2007-PG.2817-2824, BM2012-PG.638-640, BM2016-PG.745-1754, BM2019-PG.1816, BM2020-PG.1962 & BM2022-PG.879):	40.84 AC. = 10.1%



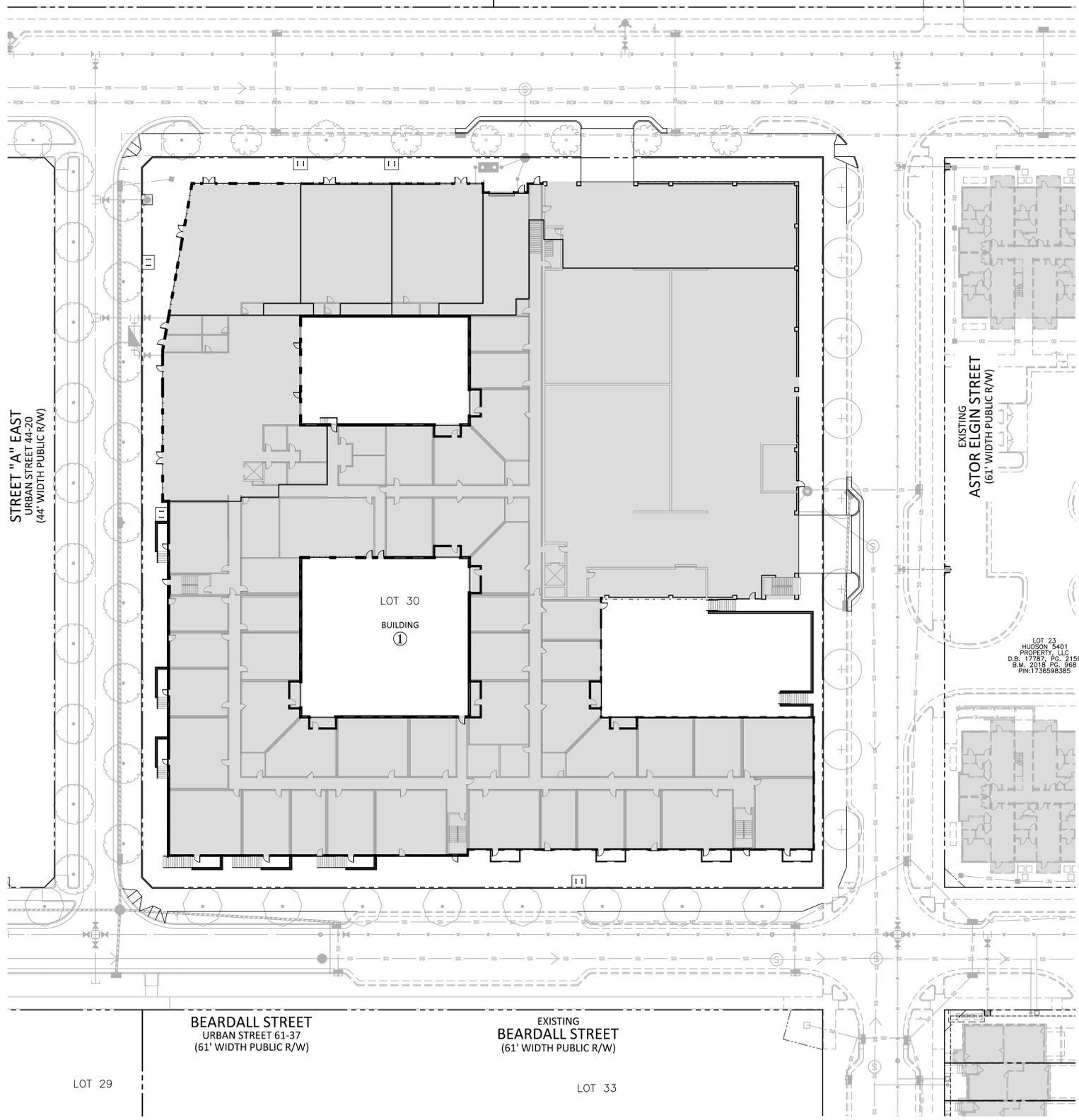
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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LOT 40
STATE EMPLOYEE CREDIT UNION
D.B. 17438 PG. 178
B.M. 2020 PG. 353
PIN:1736591822

HUDSON 5401 PROPERTY PHASE II, LLC
D.B. 18405 PG. 1950
B.M. 2022 PG. 372
PIN:1736596835

EXISTING
MIDTOWN MARKET AVENUE
(VARIABLE WIDTH PUBLIC R/W)



LOT 28

STREET "A" EAST
URBAN STREET 44-20
(44' WIDTH PUBLIC R/W)

LOT 30
BUILDING
①

EXISTING
ASTOR ELGIN STREET
(61' WIDTH PUBLIC R/W)

LOT 23
HUDSON 5401
PROPERTY, LLC
D.B. 17787 PG. 2159
B.M. 2018 PG. 968
PIN:1736598365

BEARDALL STREET
URBAN STREET 61-37
(61' WIDTH PUBLIC R/W)

EXISTING
BEARDALL STREET
(61' WIDTH PUBLIC R/W)

LOT 29

LOT 33



McADAMS

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**5401 NORTH
ADMINISTRATIVE SITE PLAN
7740 MIDTOWN MARKET AVENUE
RALEIGH, NORTH CAROLINA 27616**

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REVISIONS

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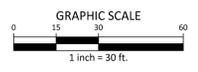
PLAN INFORMATION

PROJECT NO. KAN23003
FILENAME KAN23003-ASR-LS1
CHECKED BY -
DRAWN BY -
SCALE 1" = 30'
DATE 07.02.2024

SHEET

LANDSCAPE PLAN

L5.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

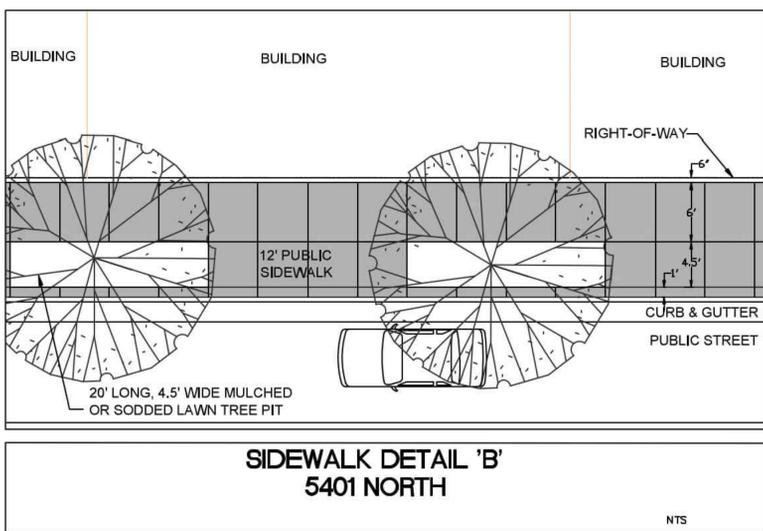
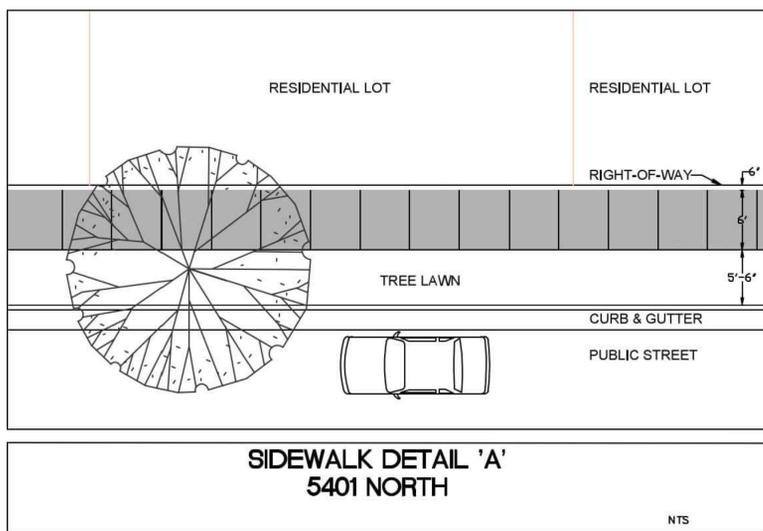
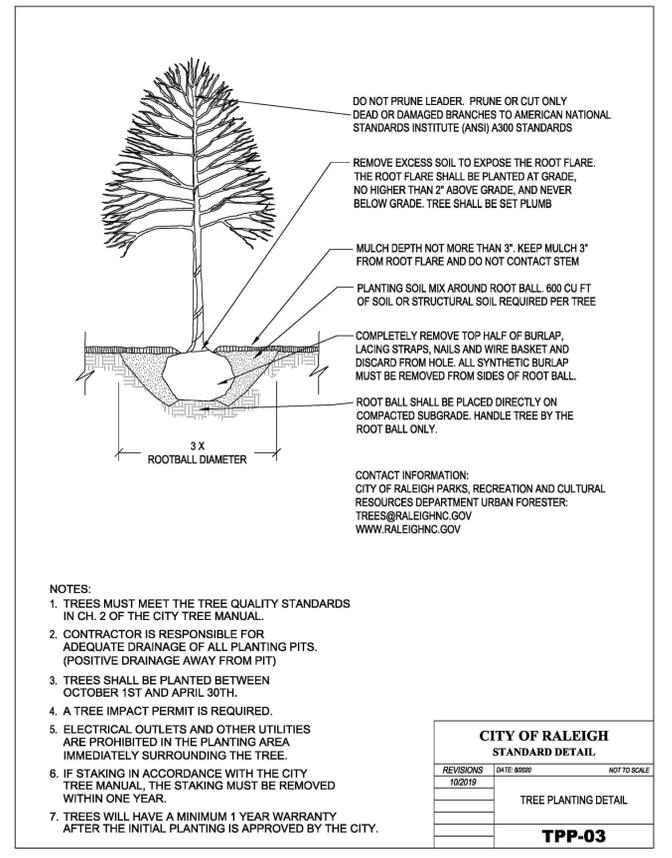
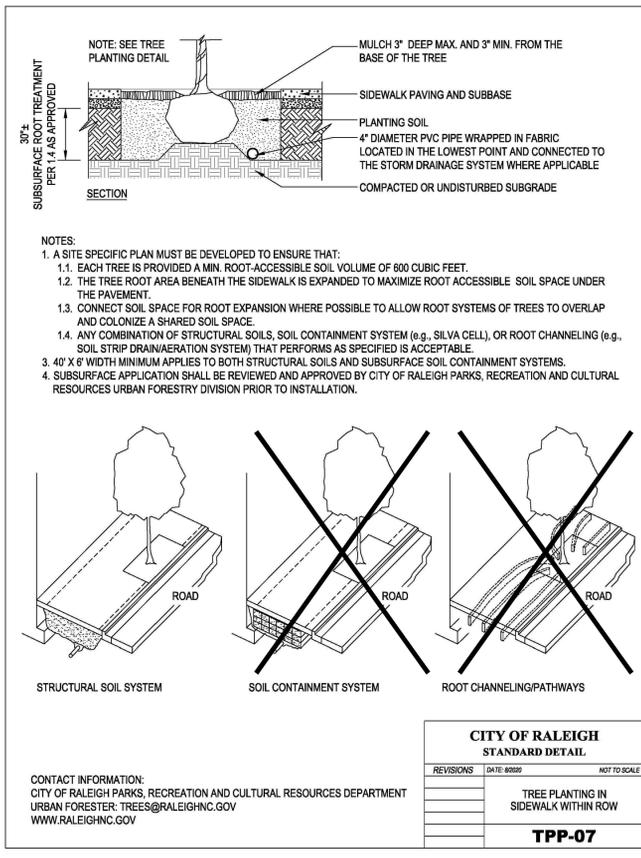
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GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLES BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF RADIUS FROM BASE OF TREE OR TO DRILLPIE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE

PLANT SCHEDULE STREET TREES

TREES	BOTANICAL / COMMON NAME	CAL	HEIGHT
	Nyssa sylvatica 'NSUHH' / Green Gable™ Tupelo	4" min	10' min
	Ulmus americana 'Jefferson' / Jefferson American Elm	4" min	10' min
	Quercus nuttallii / Nuttall Oak	4" min	14' - 16'
	Acer buergeranum/ Trident Maple	4" min	14' - 16'
	Corpus betulus 'Fastigiata' / European Hornbeam	4" min	10' min



McADAMS

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RALEIGH, NORTH CAROLINA 27616

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PLAN INFORMATION

PROJECT NO.	KAN23003
FILENAME	KAN23003-ASR-LS1
CHECKED BY	-
DRAWN BY	-
SCALE	N/A
DATE	07.02.2024

SHEET

LANDSCAPE NOTES AND DETAILS

L5.01

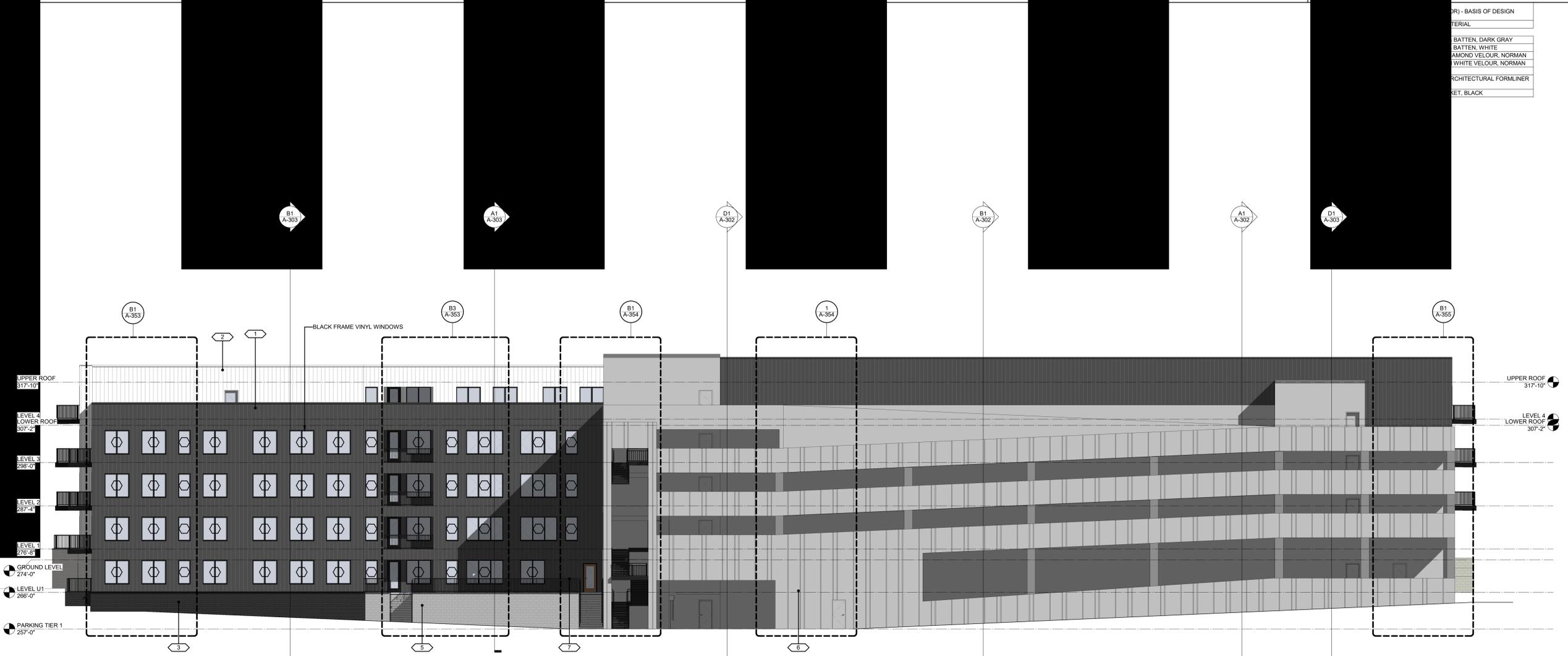
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WHITE VELOUR, NORMAN
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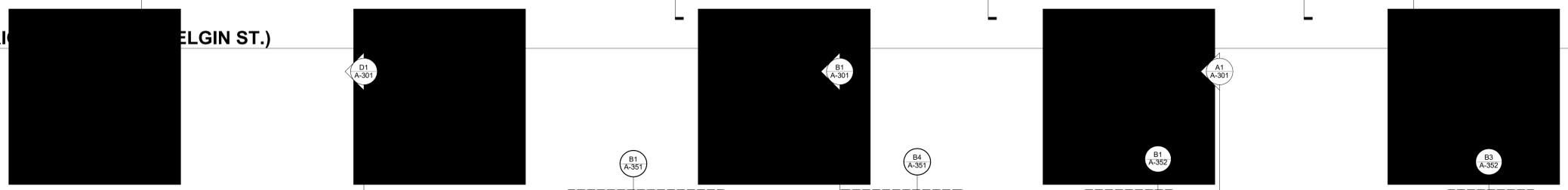
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DATE	DESCRIPTION
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ELEVATION - EXTERIOR (BELGIN ST.)

1/8" = 1'-0"



ELEVATION - EXTERIOR (Wn MARKET AVE.)

1/8" = 1'-0"

1 2 3 4 5

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WHITE VELOUR, NORMAN
ARCHITECTURAL FORMLINER
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ELEVATION- EXTERIOR (DALL STREET)

3/2" = 1'-0"



ELEVATION- EXTERIOR (DALL STREET)

3/2" = 1'-0"

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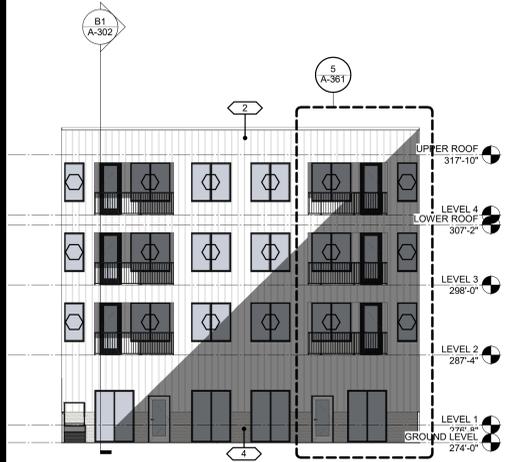
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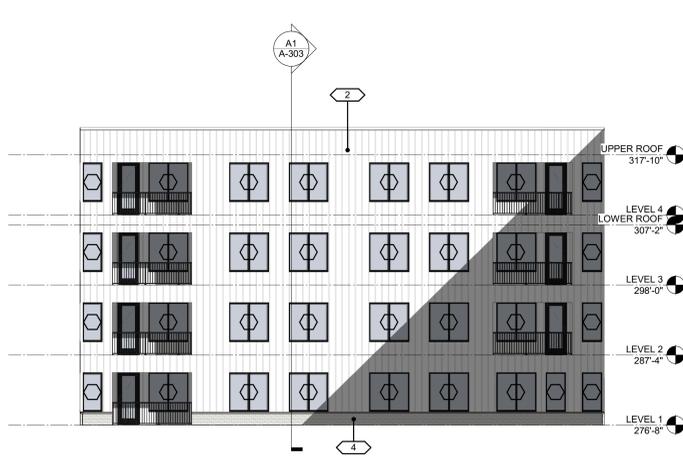
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3 BATTEN, WHITE
3 AMOND VELOUR, NORMAN
3 WHITE VELOUR, NORMAN
3 ARCHITECTURAL FORMLINER
3 KEY, BLACK

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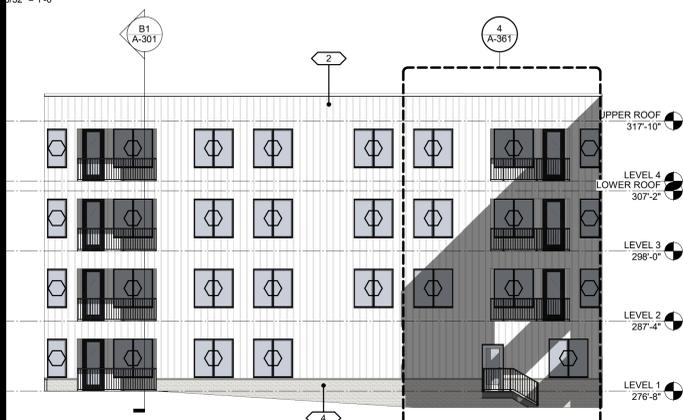
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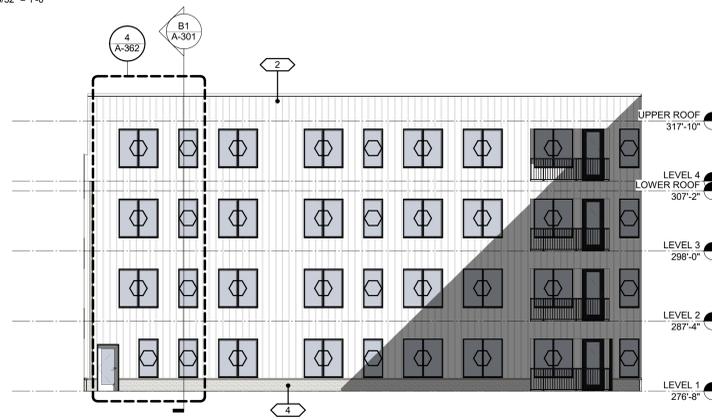
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3/32" = 1'-0"



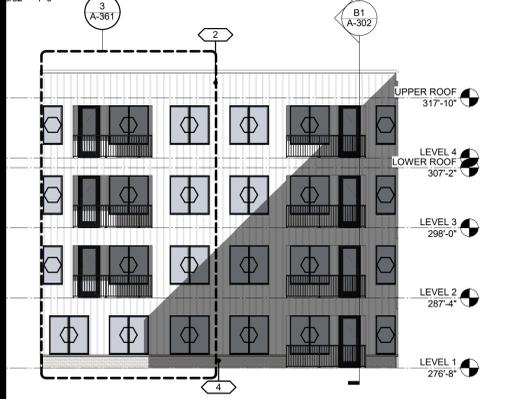
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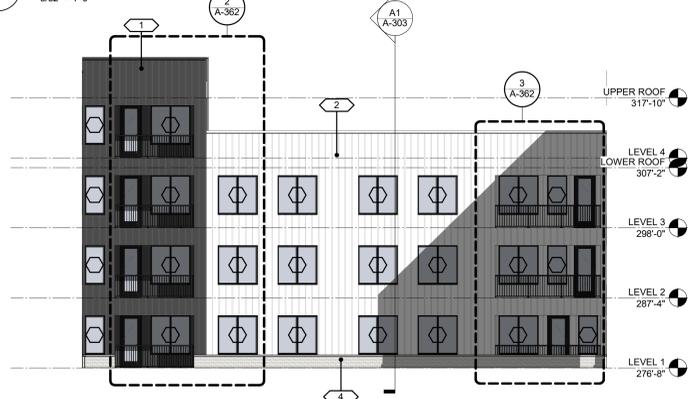
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3/32" = 1'-0"



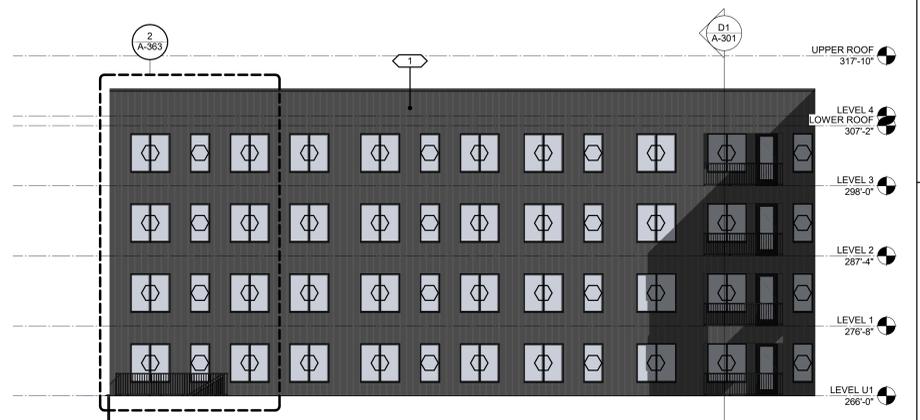
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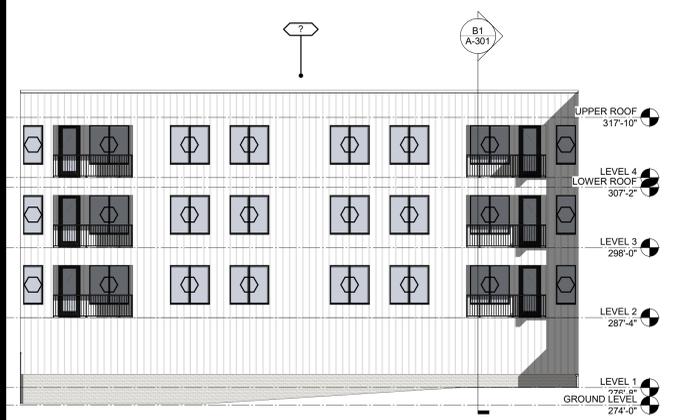
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3/32" = 1'-0"



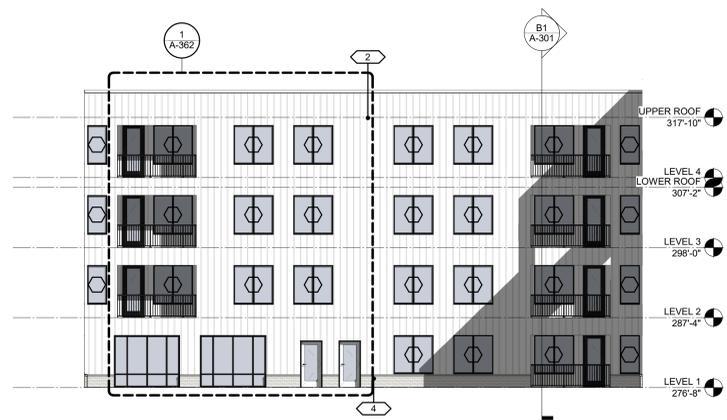
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3/32" = 1'-0"



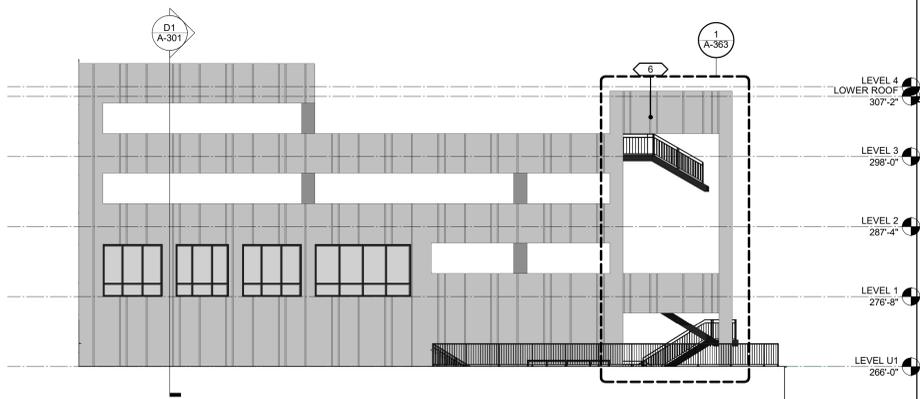
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3/32" = 1'-0"



ELEVATION - NORTH COURTYARD - NORTH
3/32" = 1'-0"



A3 ELEVATION - SOUTH COURTYARD - NORTH
3/32" = 1'-0"



A5 ELEVATION - EAST COURTYARD - NORTH
3/32" = 1'-0"

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