

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

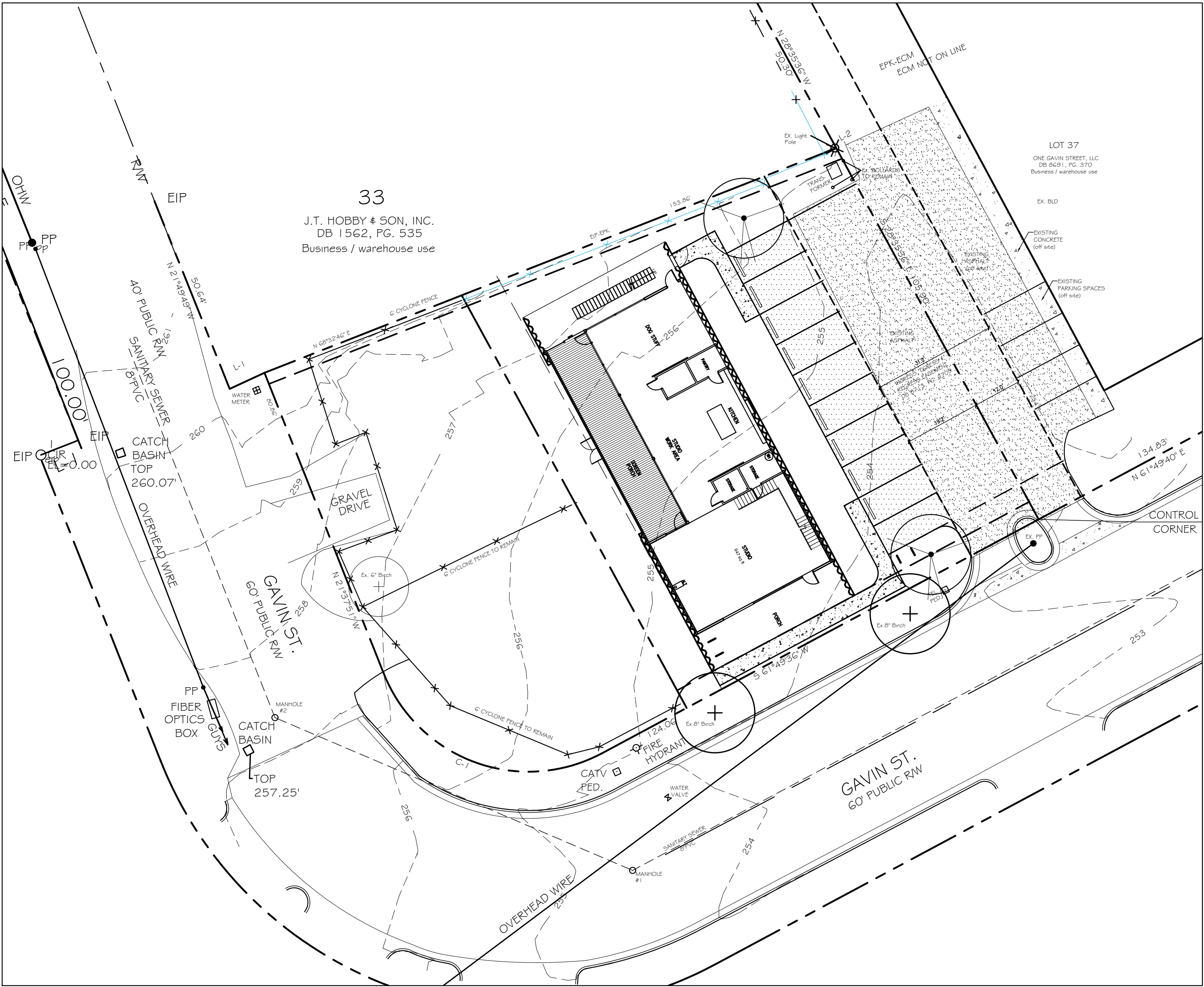
Office Use Only: Transaction #: <u>ASR-0049-2019</u> Planning Coordinator: <u>PW I Foy</u>			
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Oliveto-Stifelman</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>1428 Gavin Street</u>			
Site P.I.N.(s): <u>1704877525</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Proposed mixed use building with associated site requirements - parking, landscape, sidewalk, and amenity area. Building use will be an indoor only pet service business with 3 residential units on the second floor.</u>			
Current Property Owner/Developer Contact Name: <u>Jerry Stifelman & Tracy Oliveto</u> NOTE: please attach purchase agreement when submitting this form.			
Company: <u>Lot 1428 LLC</u>		Title: _____	
Address: <u>1507 Gavin Street</u>			
Phone #: <u>919-259-0405</u>		Email: <u>jerrystifelman@fuckbullshitcreatetruth.com</u>	
Applicant Name: <u>Kimberly J Wicker, PLA</u>			
Company: <u>Coaly Design, PC</u>		Address: <u>537 E. Martin Street Raleigh, NC 27601</u>	
Phone #: <u>919-539-0012</u>		Email: <u>kimberly@coalydesign.com</u>	

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: .25 acres	New gross floor area: 2,507 sf
# of parking spaces required: 9	Total sf gross (to remain and new): 2,507
# of parking spaces proposed: 9	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): vacant	
Proposed use (UDO 6.1.4): personal service animal care (Indoor)	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: .2470 Square Feet: 10,759.3	Proposed Impervious Surface: Acres: .1788 Square Feet: 7,788.02
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 3	Total # of hotel units:
# of bedroom units: 1br: 3 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Kimberly J Wicker, RLA</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Larry E Larson Jr</u>	Date: <u>7/17/19</u>
Printed Name: Larry E Larson Jr	



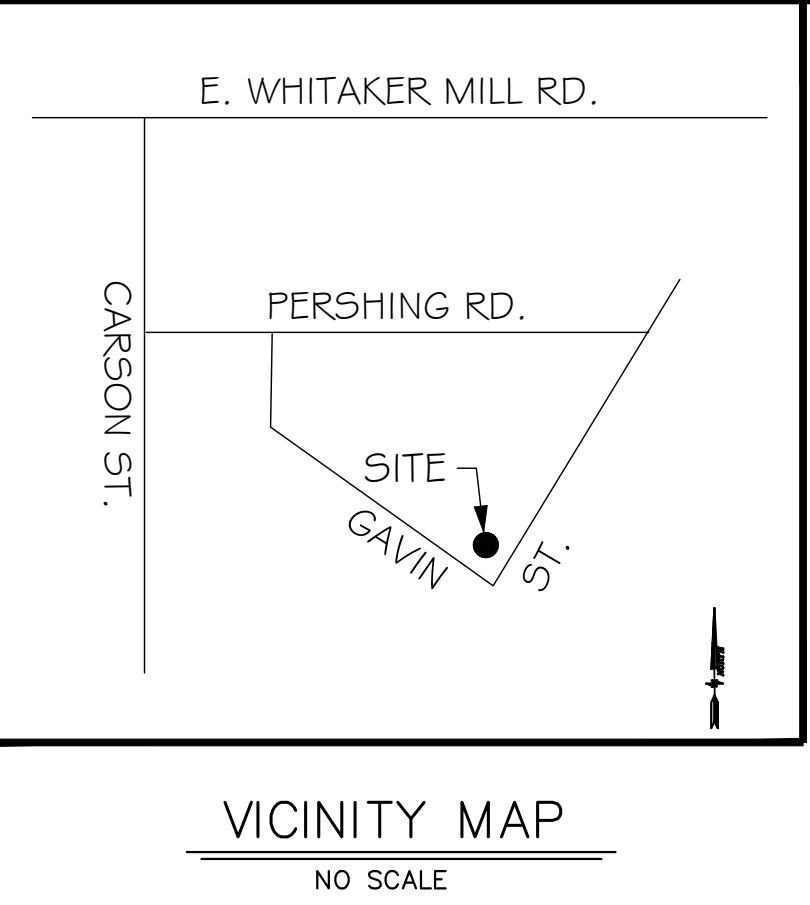
Owner/Developer:
Name(s): Oliveto Stifelman
Address: 1428 Gavin Street
Raleigh, NC 27608

PIN: 1704877525

Contact Person:
Name: Kimberly Wicker, RLA Coaly Design
Address: 300/200 Parham Street Suite G
Raleigh, NC 27601
Telephone: (919) 539-0012
E-mail address: kimberly@coalydesign.com

Off-Street Parking
Required: Personal Service Business - Animal Care (indoor)
1 space / 400 sf - Total sf = 2,402 sf
2,402 sf / 400 = 6 spaces required
3 Residential Units - 3 spaces required
Provided: 9 spaces
Bicycle Parking: Short Term required: Minimum of 4; provided
Long Term required: Minimum of 4; provided

General Notes:
1. Site is zoned IX-3. The current use is vacant.
2. The proposed use is a pet service business - indoor only, plus 3 residential units.
3. A proposed mixed use building (Quonset Hut) will be located on the lot totaling 3,528 sf



DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.2. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
Building Type	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Site Transaction History	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic <input type="checkbox"/> Administrative Alternate #:

GENERAL INFORMATION

Development name: Oliveto-Stifelman
Inside City limits? ☒ Yes ☐ No
Property address(es): 1428 Gavin Street
Site P.I.N. (s): 1704877525
Please describe the scope of work. Include any additions, expansions, and change of use.
Proposed mixed use building with associated site requirements - parking, landscape, sidewalk, and amenity area. Building use will be an indoor only pet service business with 3 residential units on the second floor.
NOTE: please attach purchase agreement when submitting this form.
Current Property Owner/Developer Contact Name: Jerry Stifelman & Tracy Oliveto
Company: Lot 1428 LLC
Address: 1507 Gavin Street
Phone #: 919-259-0405
Email: jerrystifelman@fucksbullshitcreatethetruth.com
Applicant Name: Kimberly J Wicker, PLA
Company: Coaly Design, PC
Address: 537 E. Martin Street Raleigh, NC 27601
Phone #: 919-539-0012
Email: kimberly@coalydesign.com

Page 1 of 2

REVISION 05.05.19
raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 0
Gross site acreage: .26 acres	Existing gross floor area to be demolished: 0
# of parking spaces required: 9	New gross floor area 2,507 sf
# of parking spaces proposed: 9	Total sf gross (to remain and new): 2,507
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): personal service animal care (indoor)	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: .2470 Square Feet: 10,713
Proposed Impervious Surface: Acres: .1788 Square Feet: 7,788.02
Is this a flood hazard area? ☐ Yes ☒ No
If yes, please provide: Annual soils:
Flood sta:
FEMA Map Panel #:
Neuse River Buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 3
Total # of hotel units:
of bedroom units: 1br: 3 2br: 4br or more:
of lots: Is your project a cottage court? ☐ Yes ☒ No

SIGNATURE BLOCK

I, the undersigned, as the property owner(s), do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Kimberly J Wicker, RLA to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Date: 7/17/19
Printed Name: Larry E Larson Jr

Page 2 of 2

REVISION 05.05.19
raleighnc.gov

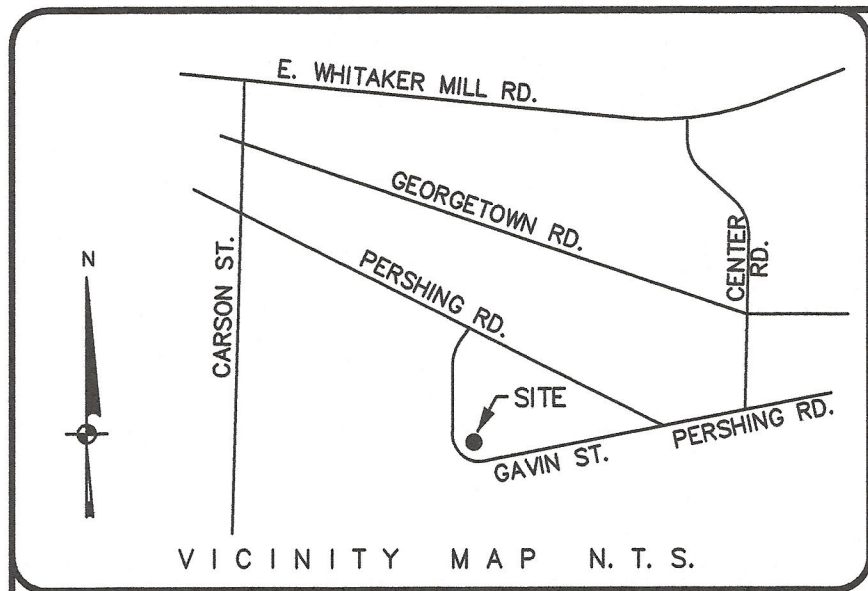
SHEET INDEX
COVER SHEET
RECOMBINATION PLAT
LA-1 EXISTING CONDITIONS PLAN
LA-2 SITE PLAN
LA-3 LANDSCAPE PLAN
LA-4 GRADING PLAN
LA-5 DETAIL SHEET
C-1 UTILITY PLAN
C-2 UTILITY DETAILS
ARCHITECTURAL ELEVATIONS
ARCHITECTURAL ELEVATIONS

OLIVETO -STIFELMAN
1428 GAVIN STREET

ADMINISTRATIVE
SITE REVIEW
RALEIGH, NC

Transaction #
July 16, 2019

COALY DESIGN
LANDSCAPE ARCHITECTURE
300 / 200 Parham Street
Suite G
Raleigh, NC 27601
919.539.0012



CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.02 U.S. SURVEY FEET
TYPE OF GPS FIELD PROCEDURE: RTK
DATES OF SURVEY: 6-20-19
DATUM/EPOCH: NAD 83/2011
PUBLISHED/FIELD-CONTROL USE: NC CORRS "NCJL2"
GEOID MODEL: 2012
COMBINED GRID FACTOR(S): 0.99991274
UNITS: U.S. SURVEY FEET

OWNER
LOT 1428 LLC
1507 GAVIN ST.
RALEIGH, N.C. 27608

CURVE DATA					
NUMBER	RADIUS	ARC DIST.	CHORD BEARING	DIST.	DELTA
C-1	39.00	66.00	N 69°57'57" W	58.40	96°57'34"

LINE DATA		
NUMBER	BEARING	DIST.
L-1	S 62°28'06" W	2.70'
L-2	S 66°14'49" W	9.50'

RECOMBINATION CERTIFICATE

This plat or map is not a subdivision but a recombination of previously platted property, and meets all statutory requirements for recording.

Planning and Development Officer / Wake County Review Officer"

THIS PLAT NOT TO BE RECORDED

AFTER _____ DAY OF _____
1 COPY TO BE RETAINED FOR THE
CITY.
THIS PLAT IS X IN _____ OUT OF
THE CITY LIMITS.

NORTH N.C. GRID NAD 83/2011

COMBINED FACTOR
0.99991274

LEGEND

- LINES SURVEYED
- LINES NOT SURVEYED
- E.I.P. --- EXISTING IRON PIPE
- I.P.S. --- IRON PIPE SET
- C.M.S. --- CONCRETE MONUMENT SET
- E.C.M. --- EXISTING CONCRETE MONUMENT
- P.K.S. --- P.K. NAIL SET
- E.P.K. --- EXISTING P.K. NAIL
- R/W --- RIGHT OF WAY
- D.B. --- DEED BOOK
- P.P. --- POWER POLE
- O.H.W. --- OVER HEAD WIRE
- R.R.S. --- RAILROAD SPIKE
- (1234) --- ADDRESSES

SURVEYOR HAS MADE NO INVESTIGATION
OR INDEPENDENT SEARCH FOR EASEMENTS
OF RECORD, ENCUMBRANCES, RESTRICTIVE
COVENANTS, OWNERSHIP TITLE EVIDENCE OR
ANY OTHER FACTS THAT AN ACCURATE AND
CURRENT TITLE SEARCH MAY DISCLOSE

- O a. This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
O b. This survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.
O c. Any one of the following:
1. That the survey is of an existing parcel or parcels of land and does not create a new street or change an existing street;
2. That the survey is of an existing building or other structure, or natural feature, such as a watercourse; or
3. That the survey is a control survey.
O d. This survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exception to the definition of subdivision.
O e. The information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

This parcel is located in the RALEIGH Planning jurisdiction.

NORTH CAROLINA
WAKE COUNTY

I, Barry L. Scott, certify that this plat was drawn under my supervision from (an actual survey made under my supervision)(deed description recorded in Book 16072, page 267 etc.)(other), that the boundaries not surveyed are clearly indicated as drawn from information found in Book SEE page REF; that the ratio of position or positional accuracy as calculated is 1:10,000+; that this plat was prepared in accordance with NCGS 47-30 amended. Witness my original signature, registration number and seal this 12th day of July A.D. 2019

Professional Land Surveyor

Registration Number

PRELIMINARY PLAT
NOT FOR RECORDATION,
SALES, OR CONVEYANCES

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, certify that the following person(s) personally appeared before me this day, each acknowledge to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated:

Date: _____, 2018

printed name: _____ Notary Public

My commission expires: _____

CERTIFICATE OF OWNERSHIP

"This certifies and warrants that the undersigned is (are) the sole owner(s) of the property shown on this map or plat and any accompanying sheets having acquired this property in fee simple by deed(s) recorded in the county registry of deeds office where the property is located and as such has (have) the right to convey the property in fee simple.

16070 Book No.

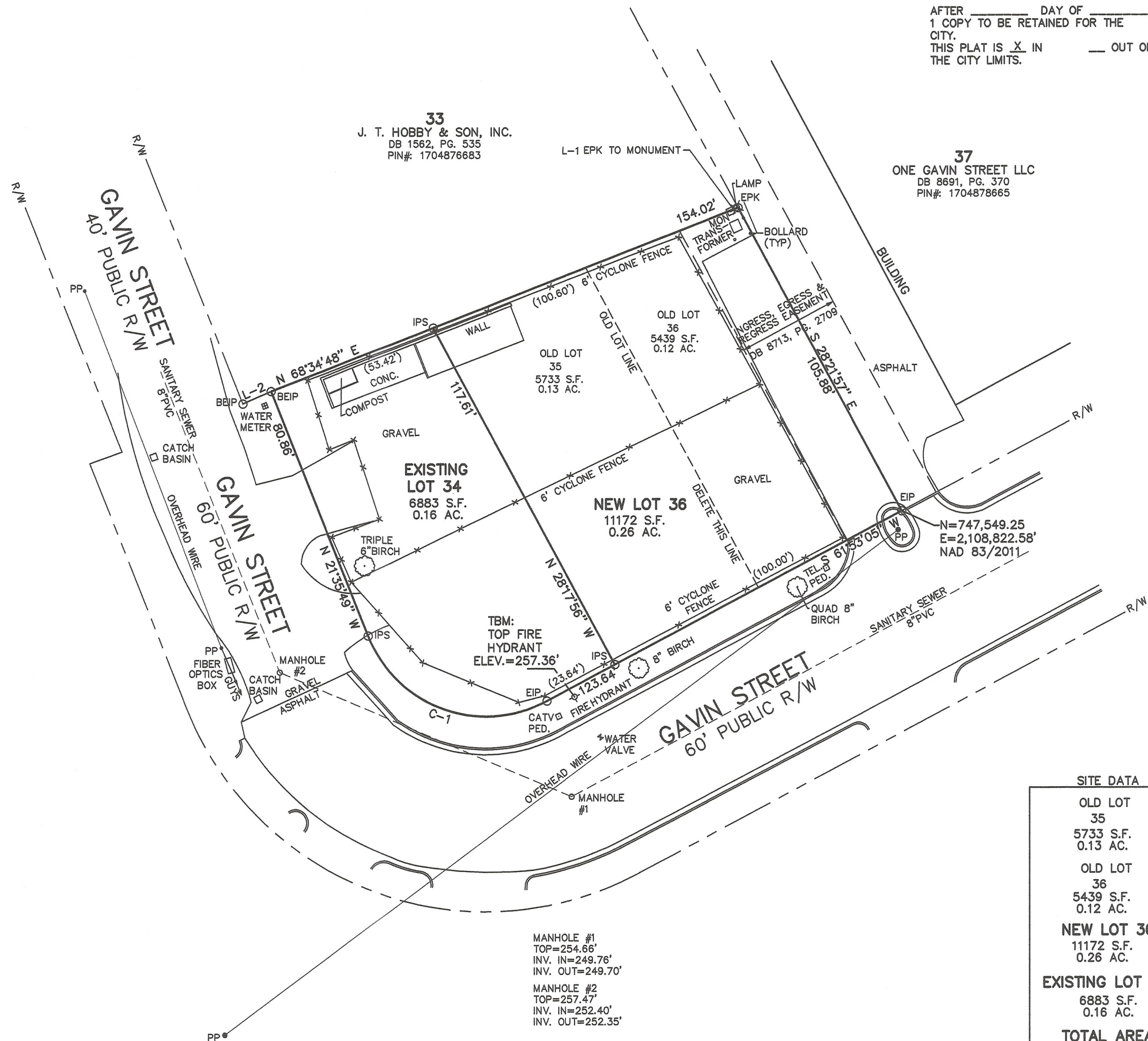
267 Page No.

Signature(s) of property owner(s)

OWNER LOTS 34-36

LOTS 34, 35 & 36, GEORGETOWN AS RECORDED IN B.O.M. 1920, PG. 186 W.C.R.

THIS PLAT RECORDED IN B.O.M. / P.B. / P.C. _____, PG. _____, WAKE COUNTY REGISTRY

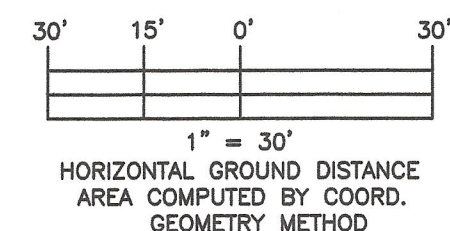


SITE DATA

OLD LOT 35
5733 S.F.
0.13 AC.
OLD LOT 36
5439 S.F.
0.12 AC.
NEW LOT 36
11172 S.F.
0.26 AC.
EXISTING LOT 34
6883 S.F.
0.16 AC.
TOTAL AREA
18055 S.F.
0.41 AC.

PLAT REFERENCE

BOM 1920, PG. 186 W.C.R.



B. L. SCOTT
LAND SURVEYING
PROFESSIONAL LAND SURVEYORS
P. O. BOX 12493
RALEIGH, NORTH CAROLINA 27605
TEL 919/859-0464
JOB NO : 19-08-09

1428 GAVIN ST. - RALEIGH, N. C.
PIN(S): 1704877525
STATE OF NORTH CAROLINA, U.S.A.

LOT 1428 LLC

PARCEL(S):

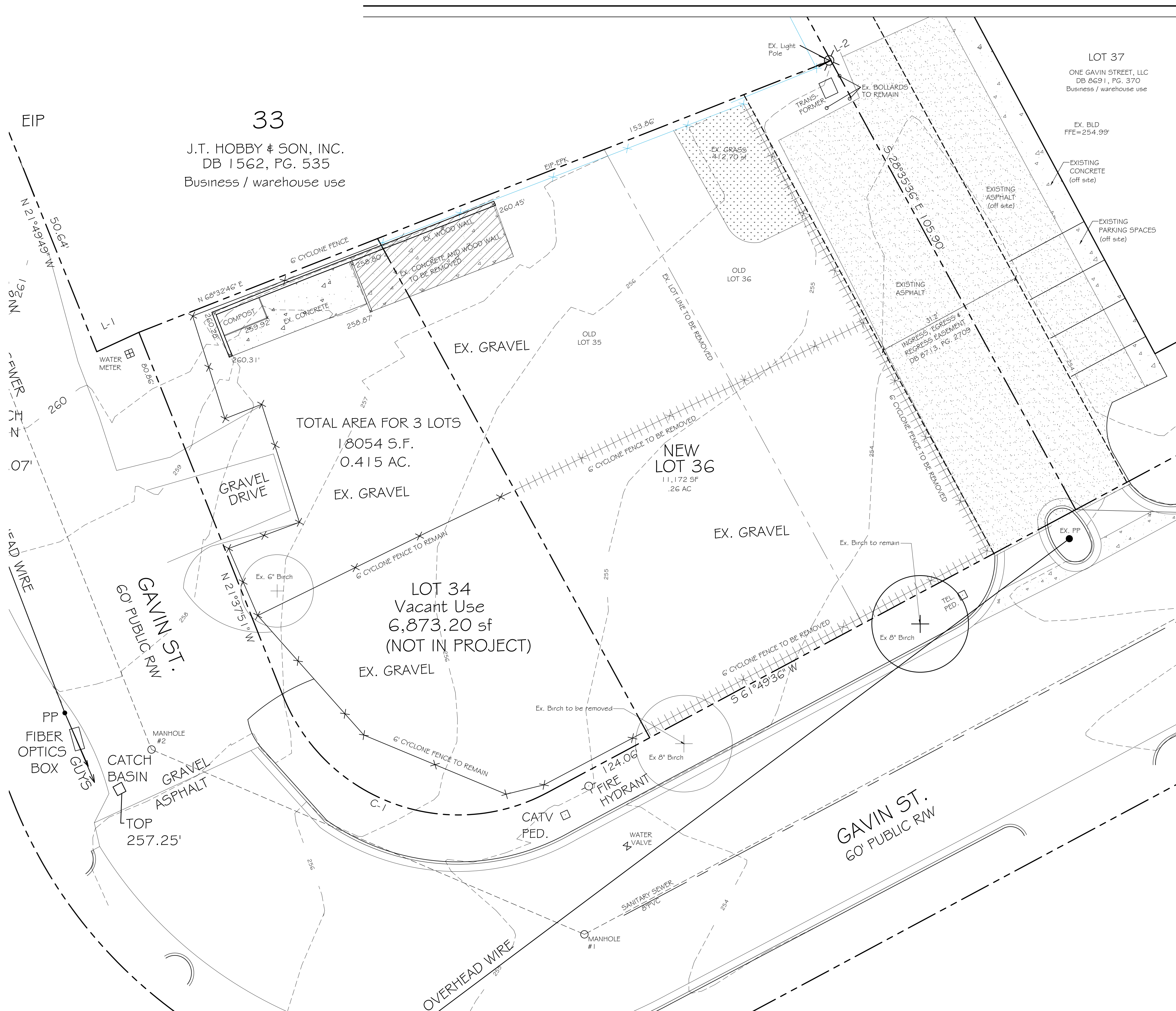
COUNTY: WAKE

TAX MAP:

RALEIGH

ZONED: IX-3

DATE: 07-12-19
FIELD BK: M670/15
SURVEYED BY: CP
REVISED
DATE: _____

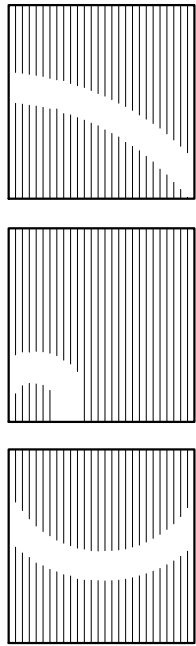


Existing Conditions Notes:
1. Existing site is impervious (gravel) with the exception of a small grass area in the northeast corner.
Ex. Lot Area - 111,172 sf
Ex. Grass Area - 412.70 sf
Ex. impervious surface - 10,759.3 sf

2. See DB 8713, Page 2709 for deed reference of access easement.
3. Contractor shall be responsible to immediately fix any active utilities damaged during construction at contractor's expense. The owner will pay to move or repair any utilities encountered during construction which are not identified on construction documents or site survey.
4. All material generated by the demolition will be hauled from the site and disposed of per local ordinances.
5. Saw-cut concrete and asphalt pavement, sidewalk or curb and gutter before excavation where construction plans show tie-ins.
6. Gavin Street shall remain open and unobstructed to traffic at all times. Contractor is responsible for traffic control during construction, as needed. Repair or replace any adjacent concrete curbing and/or sidewalk damaged as part of demolition process.
7. Base survey provided by Barry Scott, PLLC, dated June 2019.
8. Site is less than 2 acres, no tree conservation is required.

- To Be Removed
- Existing Asphalt
- Existing Concrete Paving
- Ex. Fence to be removed

EXISTING CONDITIONS PLAN



COALY DESIGN
LANDSCAPE ARCHITECTURE
300/200 Parham Street Suite G
Raleigh, NC 27601
919.539.0012

OLIVETO-STIFELMAN
1428 GAVIN STREET
RALEIGH, NC

Consultants

Professional Seals

Date Issued:	7.16.19
Scale	1"=10'
Drawn by:	RBS
Checked by:	KJW

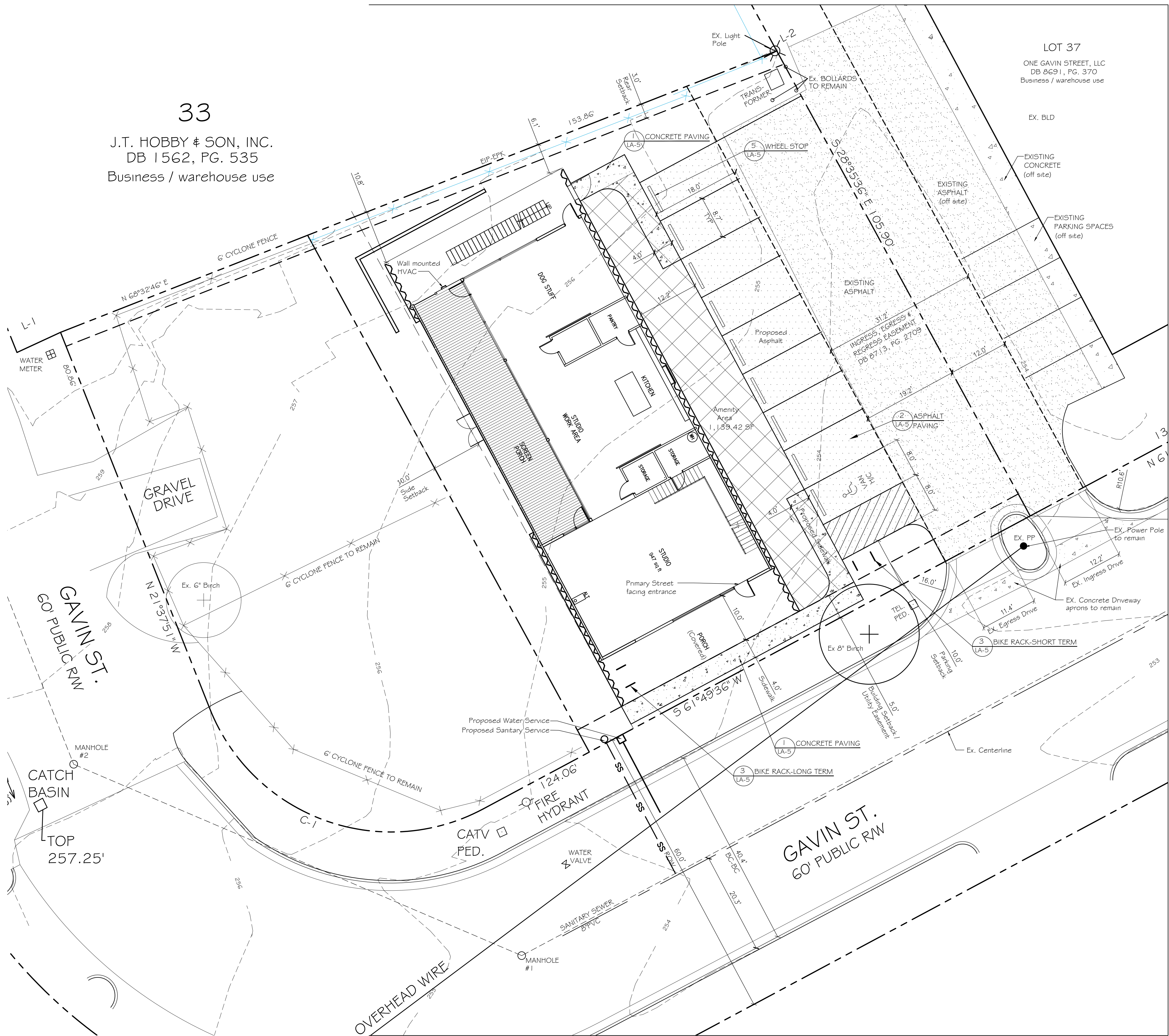
Revisions

No.	Description	Date

LA-1

33

J.T. HOBBY & SON, INC.
DB 1562, PG. 535
Business / warehouse use

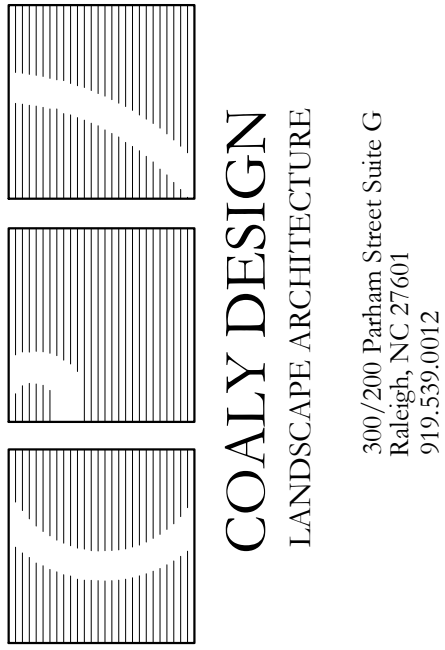
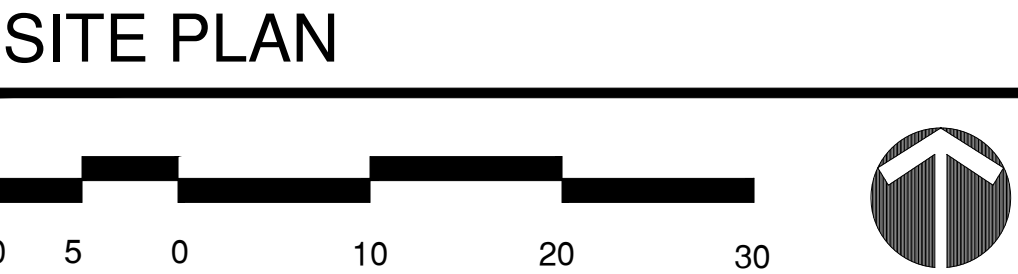


- Site Plan Notes
1. Site plan reflects a proposed mixed use building at 1428 Gavin Street. Lots 35 and 36 are currently submitted for a recombination plat. Existing Lot 34 not in project.
 2. All dimensions are at 90° unless otherwise noted.
 3. Base survey provided by Barry Scott, PLLC, dated June 2019.
 4. All dimensions are to back of curb, face of building, or centerline unless otherwise noted.
 5. Gavin Street is classified as a Neighborhood Local Street - 59' ROW with a 31' BC-BC. Existing ROW to remain - no dedication. Gavin Street provides a Mixed Use Streetscape section. Centerline of street is noted on site plan.
 6. Proposed Lot area - 11,172 sf, .26 acres
 7. Amenity Area - 11,172 sf x 10% = 1,117.2 sf required. Amenity area indicated on the site plan; 1,139.42 sf provided.
 8. Project exempt from storm water controls per UDO Sec.9.2.2.A.2. Any plot plan or site plan of 1/2 acre or less in aggregate size that contains less than 12,000 square feet of impervious surface, including impervious surfaces of related on-site or off-site facilities.
 9. Bike racks: Min of 4 short term and 4 long term spaces provided. Long term spaces provided under proposed front porch.
 10. Solid waste removal will be provided by roll out cans for refuse and recycling.
 11. No Tree Conservation Plan required - site is less than 2 acres.
 12. HVAC unit to be placed on rear of building - not visible from the public ROW.

Ex. Lot Area - 11,172 sf
Ex. Grass Area - 412.70 sf
Ex. impervious surface - 10,759.3 sf
Proposed impervious surface (building, concrete, and asphalt parking) = 7,788.02 sf

- Proposed Asphalt Paving
- Existing Asphalt Paving
- Proposed sidewalk
- Proposed Amenity Area
1,139.42 sf provided

Off-Street Parking
Required: 1 / 400 sf of personal service - animal care (indoor)
1 space for each residence, total of 3
9 spaces required
Provided: 9 spaces
Bicycle Parking: Short Term required: Minimum of 4; provided
Long Term required: Minimum of 4; provided



OLIVETO-STIFELMAN
1428 GAVIN STREET
RALEIGH, NC

Consultants

Professional Seals

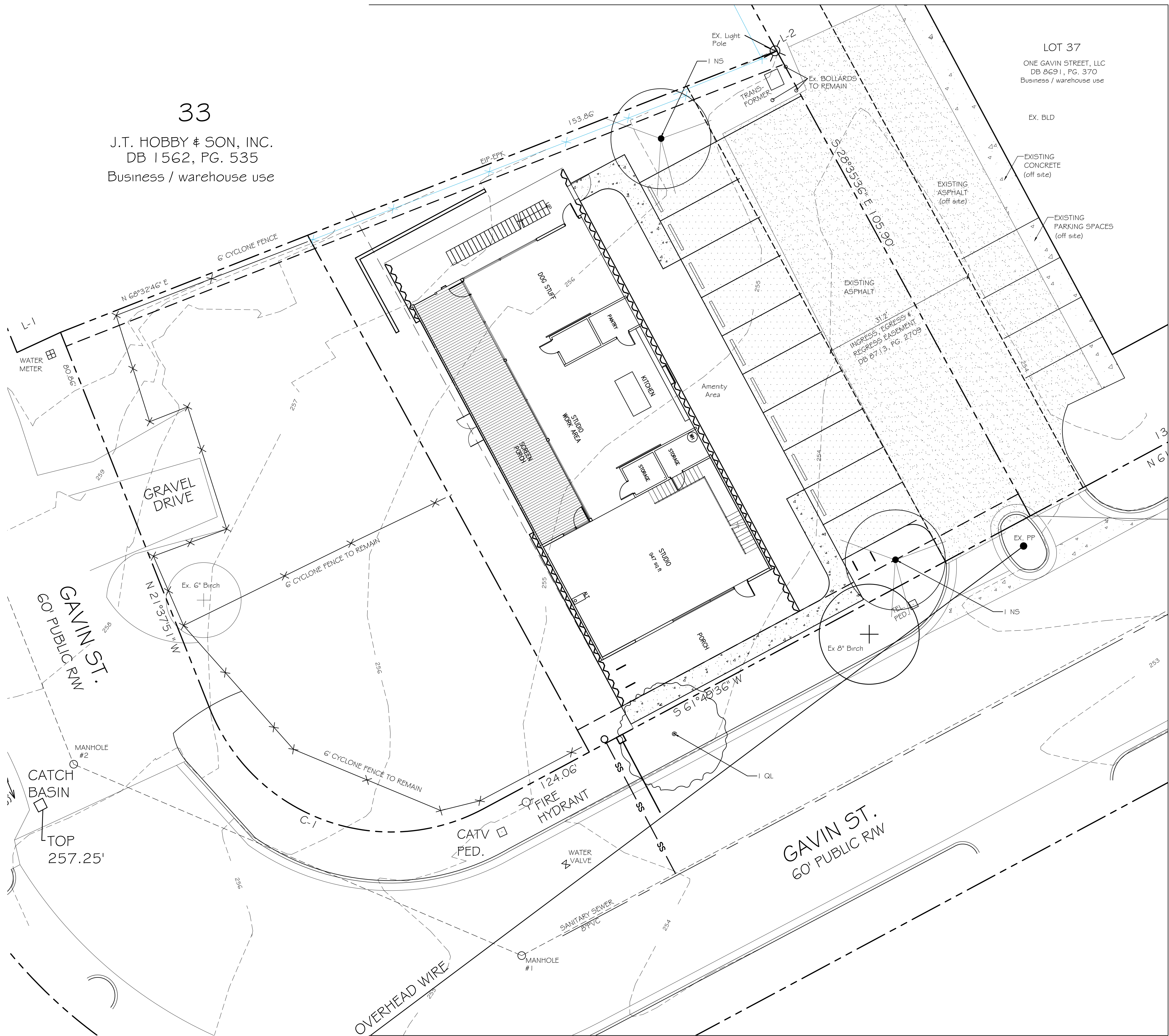
Date Issued:	7.16.19
Scale	1"=10'
Drawn by:	RBS
Checked by:	KJW

Revisions	No.	Description	Date	By

LA-2

33

J.T. HOBBY & SON, INC.
DB 1562, PG. 535
Business / warehouse use



City of Raleigh Planting Requirements:

- 1) STREET TREES: Gavin Street
Street trees provided at 1/40 lf of frontage
100 lf of frontage = 2 trees required. 1, Existing 8" Birch to remain
1 proposed Oak
- 2) VEHICULAR SURFACE AREA:
Trees provided per 7.1.7
1 tree / island - No perimeter drive exists for this site.
- 3) TRANSITIONAL PROTECTIVE YARD:
None required - pet service use is indoor only

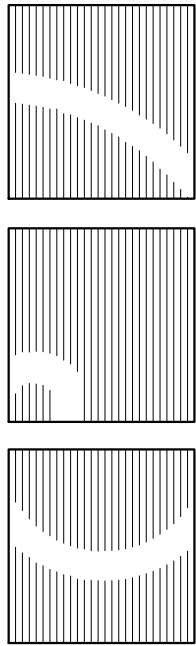
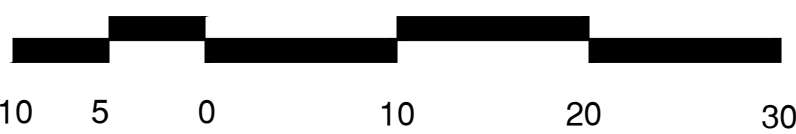
PLANT SCHEDULE

QTY	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	SPACING
2	NS	NYSSA SYLVATICA / BLACK GUM	3" Cal. / 10' HT.	25 GAL	N/A
1	QL	QUERCUS LYRATA 'HIGHBEAM' / OVERCLIP OAK	3" Cal. / 10' HT.	25 GAL	N/A

Planting Notes:

1. All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
2. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
3. Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications
4. All plant material shown is minimum required by the City Code.

LANDSCAPE PLAN



COALY DESIGN
LANDSCAPE ARCHITECTURE
300/200 Parham Street Suite G
Raleigh, NC 27601
919.539.0012

OLIVETO-STIFELMAN
1428 GAVIN STREET
RALEIGH, NC

Consultants

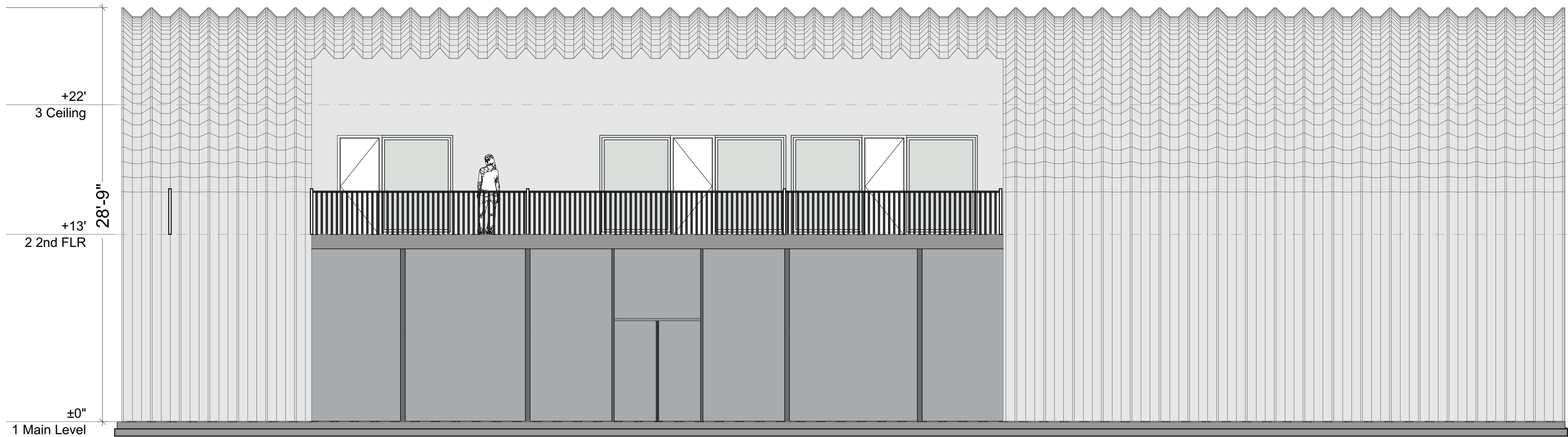
Professional Seals

Date Issued:	7.16.19
Scale	1"=10'
By	RBS
Drawn by:	KJW
Checked by:	

Revisions

No.	Description	Date

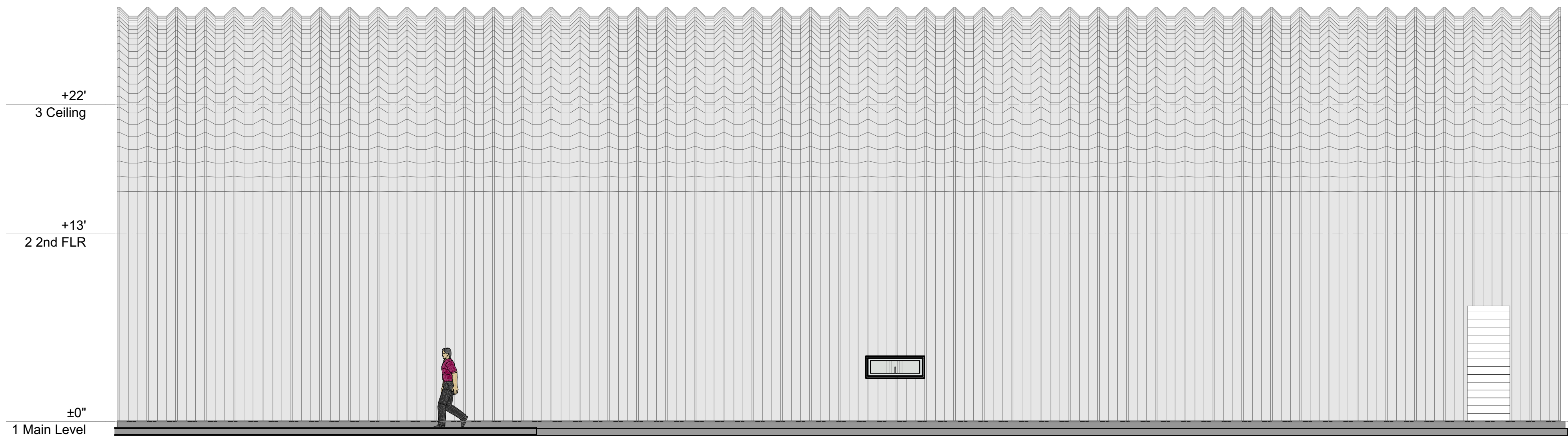
LA-4



1
A201

WEST

SCALE: 3/16" = 1'-0"



2
A201

EAST

SCALE: 3/16" = 1'-0"



REdesign.build

po box 10330
raleigh nc 27605

phone 919.829.0109
fax 919.829.3579

Not FOR
CONSTRUCTION
Unless Signed

Approved:

- ☐ Final Design
- ☐ Permits
- ☐ Foundation
- ☐ Framing
- ☐ Roofing
- ☐ Electrical Plan
- ☐ Plumbing Fixtures
- ☐ Doors
- ☐ Windows
- ☐ Electrical Fixtures
- ☐ Cabinets
- ☐ Countertops
- ☐ Appliances

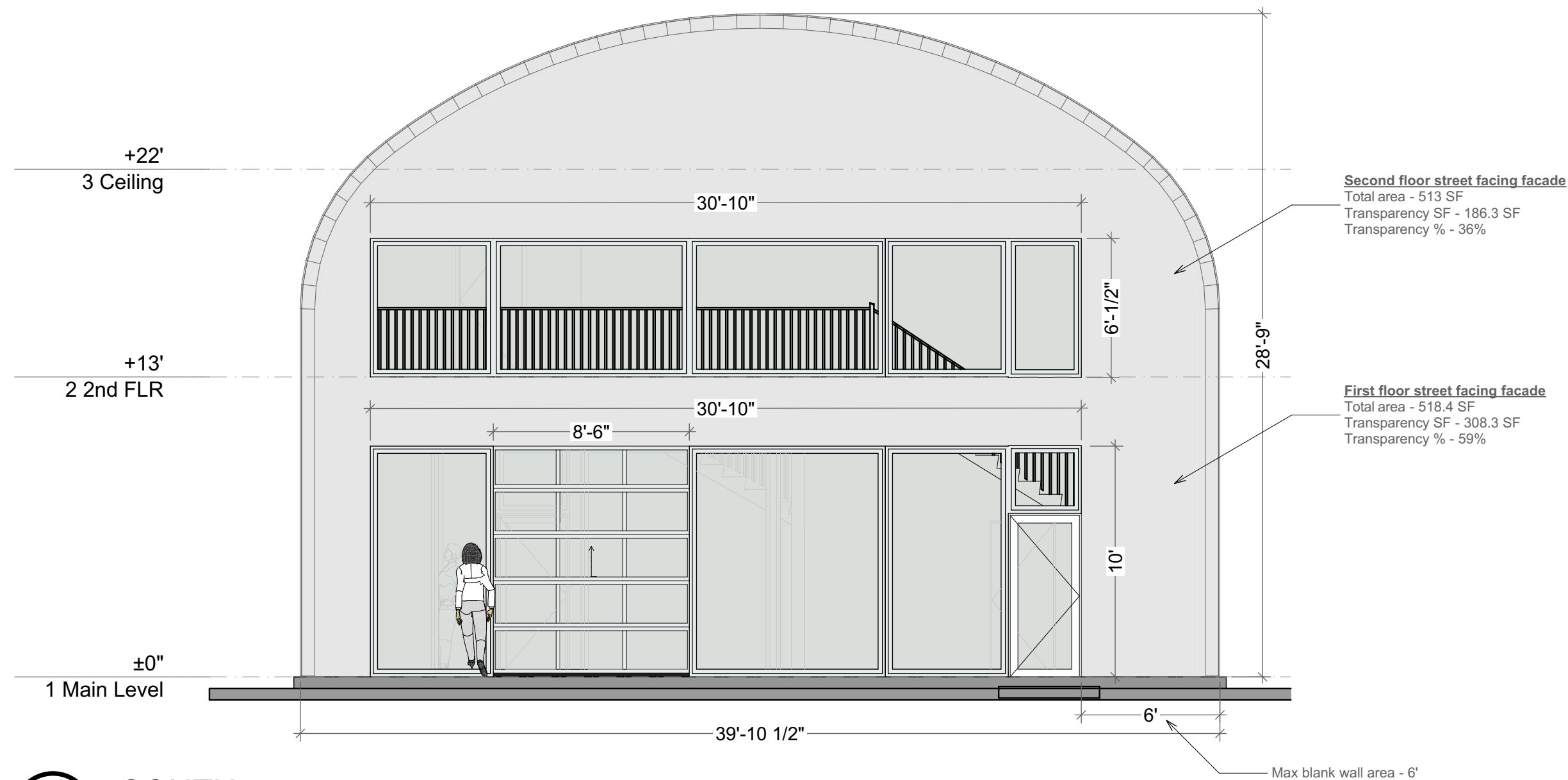
Printed
7/16/2019

Oliveto-Stifelman
Studio

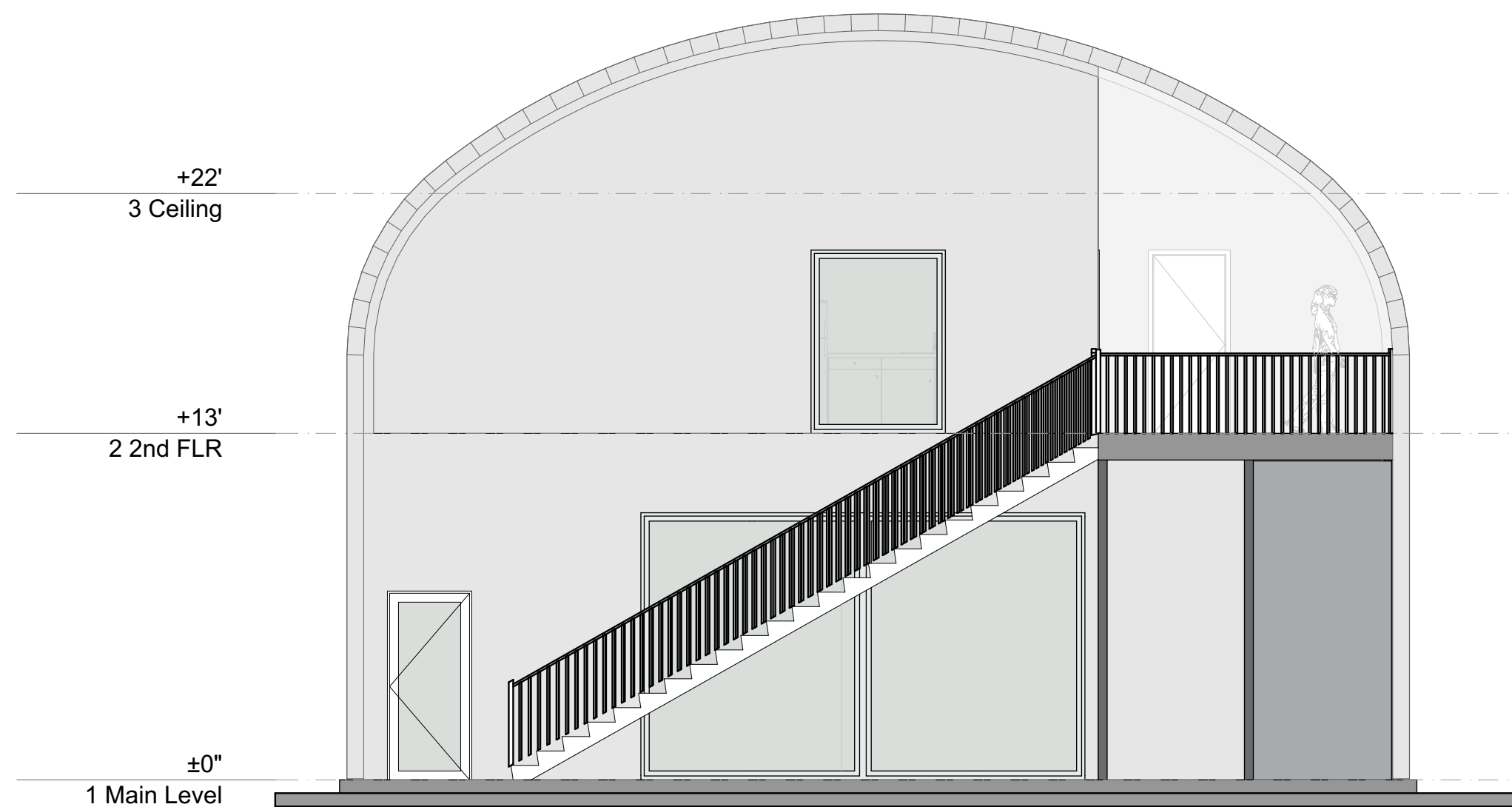
1428 Gavin St.
Raleigh, NC 27608

ELEVATIONS

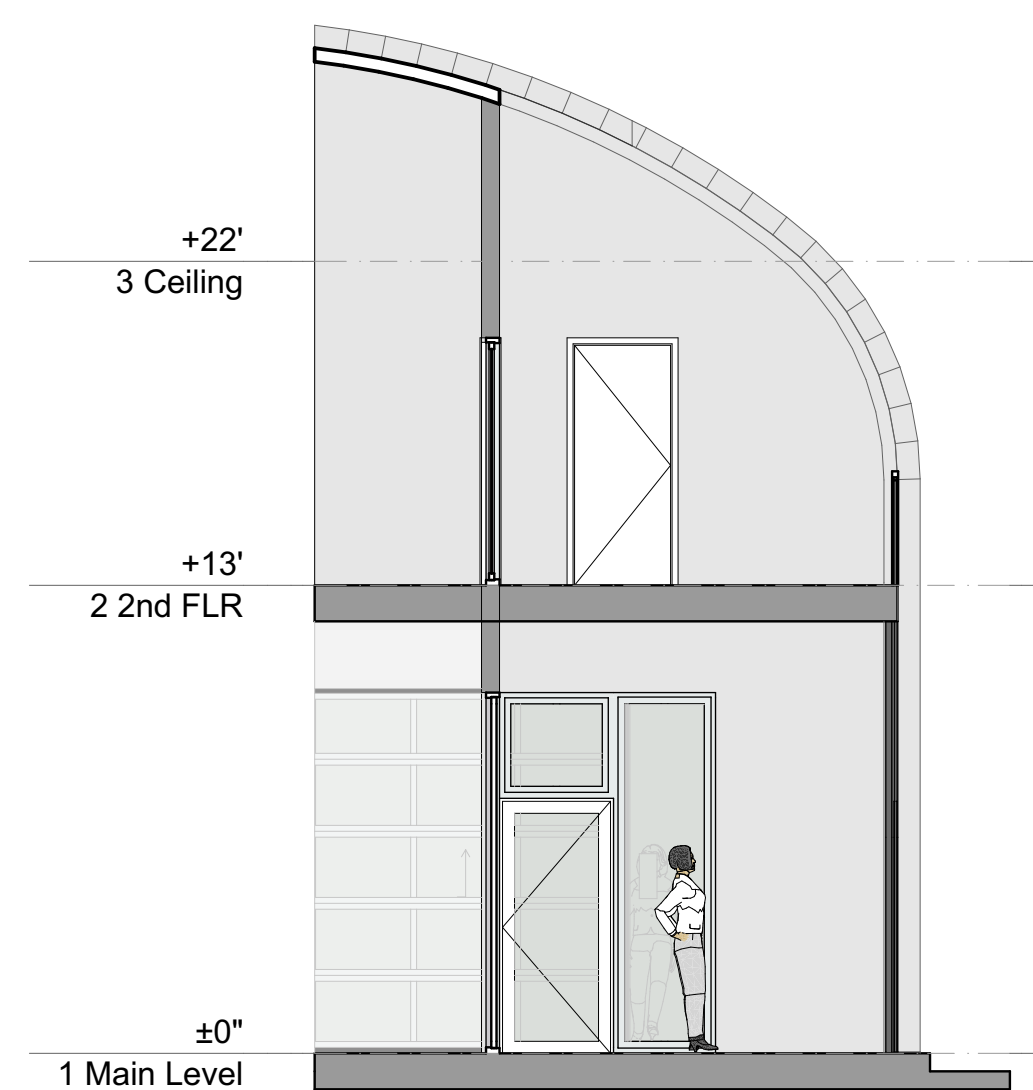
A201



1 SOUTH
A202 SCALE: 3/16" = 1'-0"



2 NORTH
A202 SCALE: 3/16" = 1'-0"



3 PORCH
A202 SCALE: 3/16" = 1'-0"



REdesign.build
po box 10330
raleigh nc 27605
phone 919.829.0109
fax 919.829.3579

Not FOR
CONSTRUCTION
Unless Signed

Approved:

- ☐ Final Design
- ☐ Permits
- ☐ Foundation
- ☐ Framing
- ☐ Roofing
- ☐ Electrical Plan
- ☐ Plumbing Fixtures
- ☐ Doors
- ☐ Windows
- ☐ Electrical Fixtures
- ☐ Cabinets
- ☐ Countertops
- ☐ Appliances

Printed
7/16/2019

**Oliveto-Stifelman
Studio**

1428 Gavin St.
Raleigh, NC 27608

ELEVATIONS

A202