



Administrative Approval Action

Case File / Name: ASR-0049-2019
1428 Gavin st

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located south of E. Whitaker Mill Road, on the north side of Gavin Street at 1428 Gavin Street.

REQUEST: Development of a vacant 0.25 acre/11,172 sf tract zoned IX-3 (Industrial Mixed-Use) into a proposed 3,312 square foot mixed-use building structure with three 1-bedroom apartments for multi-unit living. The site development also includes 434 sf of right-of-way dedication or .01 acres with a net site area .25 acres/10,737.9 sf after right-of-way dedication. The proposed mixed-use structure will include a 2,148 sf gross area indoor animal care and pet service business on the ground level and 1,164 sf of gross floor area for the proposed apartments above on the second floor.

A-178-19: Board of Adjustment - Cross-Access

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 13, 2020 by Coaly Design, PC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of A-178-19.

Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.



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4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Urban Forestry

6. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 16, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

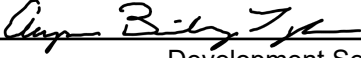


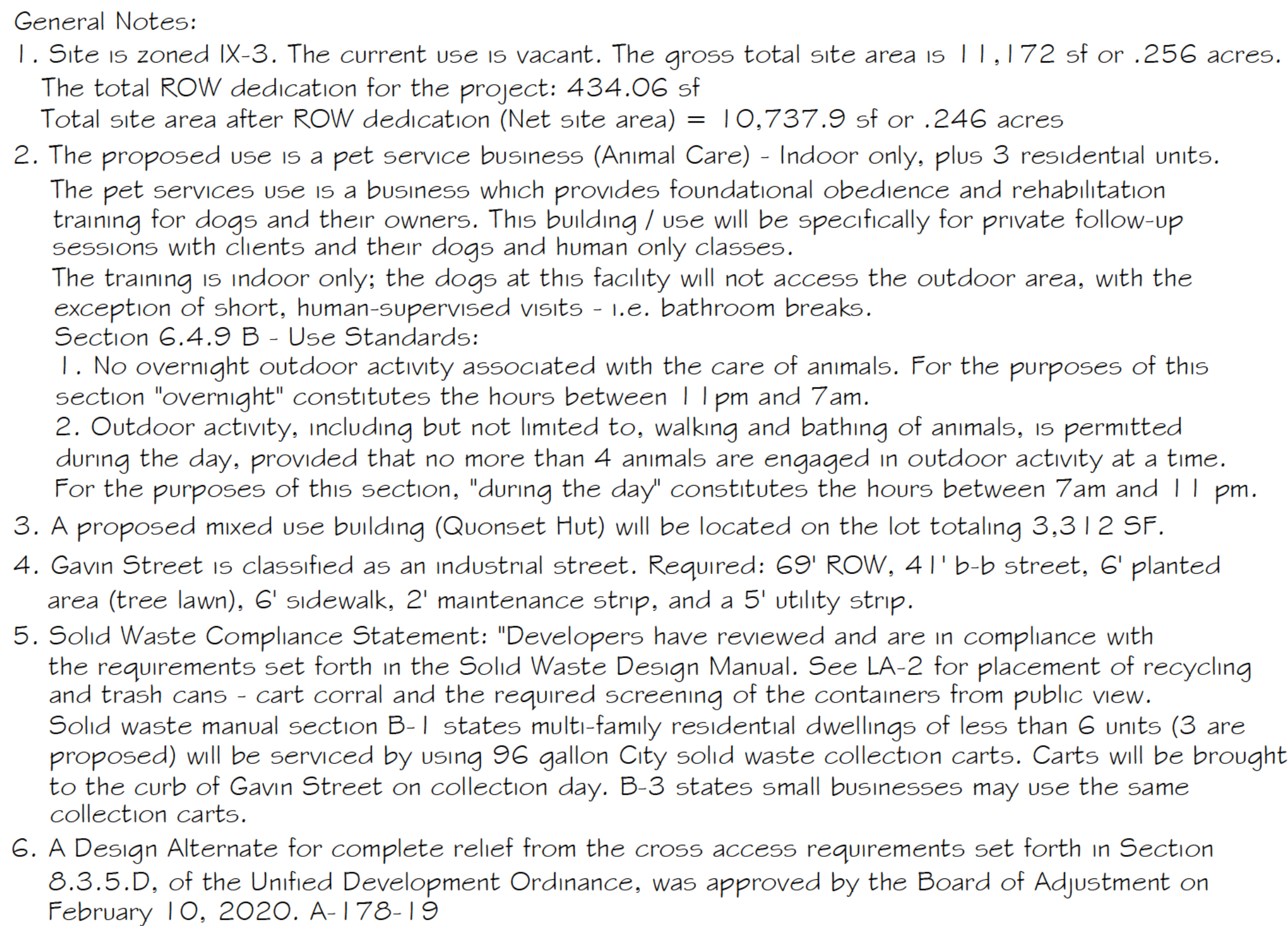
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I hereby certify this administrative decision.


Signed:  Date: 04/16/2020
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy



DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



Raleigh

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____		Planning Coordinator: _____	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision transaction #: _____ Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: <u>A-178-19</u>	
GENERAL INFORMATION			
Development name: 1428 Gavin Street			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 1428 Gavin Street			
Site P.I.N.(s): 1704877525			
Please describe the scope of work. Include any additions, expansions, and change of use. Proposed mixed use building with associated site requirements - parking, landscape, sidewalk, and amenity area. Building use will be an indoor only pet services business; providing foundational obedience and rehabilitation training for dogs and owners, specifically for private follow up sessions with clients and/or human classes only. The building also will have 3 residential units on the second floor.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: Lot 1428 LLC - Jerry Stiefelman		Title: business owner and registered agent of Lot 1428 LLC	
Address: 1507 Gwin Street Raleigh, NC 27608		Email: jerry.stiefelman@fightsbulshitcreatetruth.com	
Phone #: 919-259-6405		Applicant Name: Kimberly J Wicker, RLA	
Company: Coaly Design, PC		Address: 537 E. Martin Street Raleigh, NC 27601	
Phone #: 919-539-0012		Email: kimberly@coalydesign.com	

Page 1 of 2

REVISION 05.01.19

raleighnc.gov

DEVELOPMENT TYPE - SITE DATE TABLE (Applicable to all developments)			
SITE DATA		BUILDING DATA	
Zoning district (if more than one, please provide the acreage of each): IX-3		Existing gross floor area (not to be demolished): 0	
		Existing gross floor area to be demolished: 0	
Gross site acreage: .25		New gross floor area: 3,312 SF	
# of parking spaces required: g		Total # gross (to remain and new): 3,312 SF	
# of parking spaces proposed: g		Proposed # of buildings: 1	
Overlay District (if applicable): N/A		Proposed # of stories for each: 2	
Existing use (UDO 6.1.4): vacant			
Proposed use (UDO 6.1.4): personal service animal care (Indoor)			
STORMWATER INFORMATION			
Existing Impervious Surface: Acres: .2470		Proposed Impervious Surface: Acres: .1292	
Square Feet: 10,769.3		Square Feet: 5,627.19	
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please provide: Alluvial soils: _____ Flood stu: _____			
FEMA Map Panel #: _____			
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units: 3		Total # of hotel units:	
# of bedroom units: 1br: 3 2br: 3br: 4br or more:			
# of lots:		Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
SIGNATURE BLOCK			
<p>In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.</p> <p>I hereby designate <u>Kimberly J Wicker, RLA</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p> <p>Signature: _____ Date: 2/10/20</p> <p>Printed Name: <u>Jerry Sufeian</u></p>			

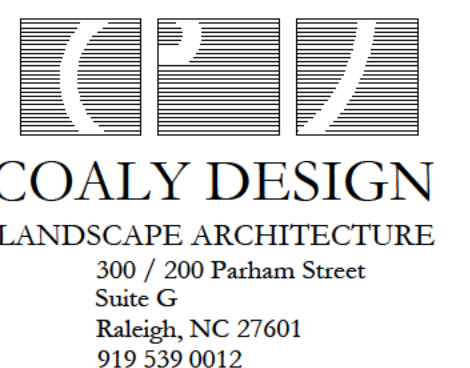
Page 2 of 2
REVISION 09.01.13

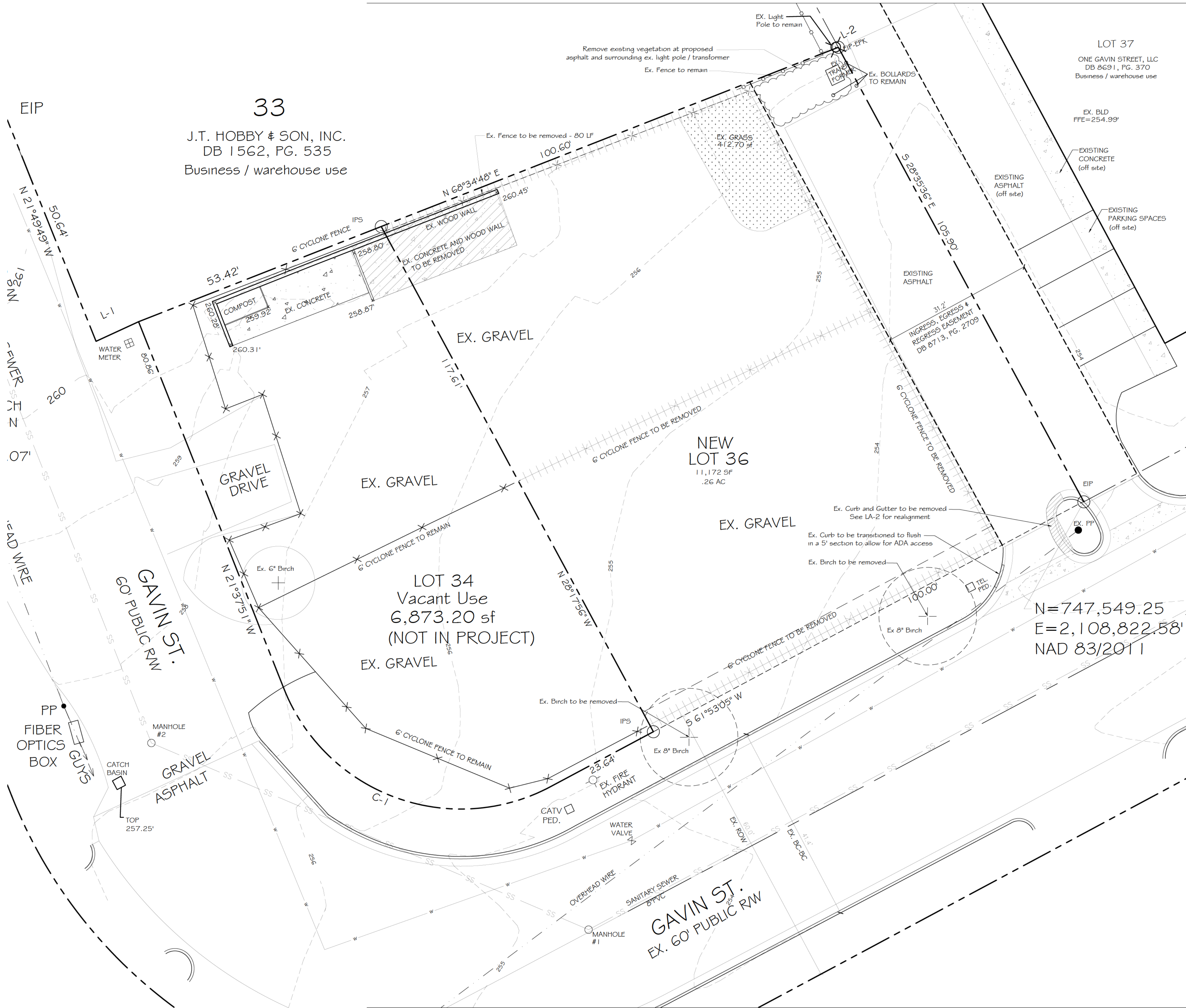
raleighnc.gov

1428 GAVIN STREET

Project #: ASR-0049-2019

July 16, 2019	February 13, 2020
October 10, 2019	March 13, 2020

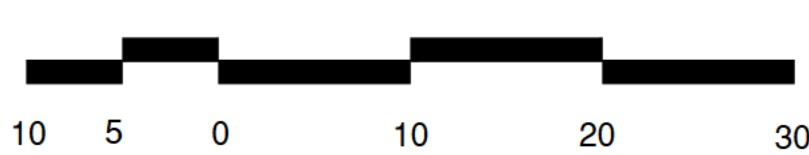




- Existing Conditions Notes:
- Existing site is impervious (gravel) with the exception of a small grass area in the northeast corner.
Ex. Lot Area - 111,172 sf
Ex. Grass Area - 412.70 sf
Ex. Impervious surface - 10,759.3 sf
 - See DB 8713, Page 2709 for deed reference of access easement.
 - Contractor shall be responsible to immediately fix any active utilities damaged during construction at contractor's expense. The owner will pay to move or repair any utilities encountered during construction which are not identified on construction documents or site survey.
 - All material generated by the demolition will be hauled from the site and disposed of per local ordinances.
 - Saw-cut concrete and asphalt pavement, sidewalk or curb and gutter before excavation where construction plans show tie-ins.
 - Gavin Street shall remain open and unobstructed to traffic at all times. Contractor is responsible for traffic control during construction, as needed. Repair or replace any adjacent concrete curbing and/or sidewalk damaged as part of demolition process.
 - Base survey provided by Barry Scott, PLLC, dated June 2019. A recorded map approved on September 16, 2019. BM 2019, PG 01571.
 - Site is less than 2 acres, no tree conservation is required.

- To Be Removed
- Existing Asphalt
- Existing Concrete Paving
- Ex. Fence to be removed

EXISTING CONDITIONS PLAN



Consultants

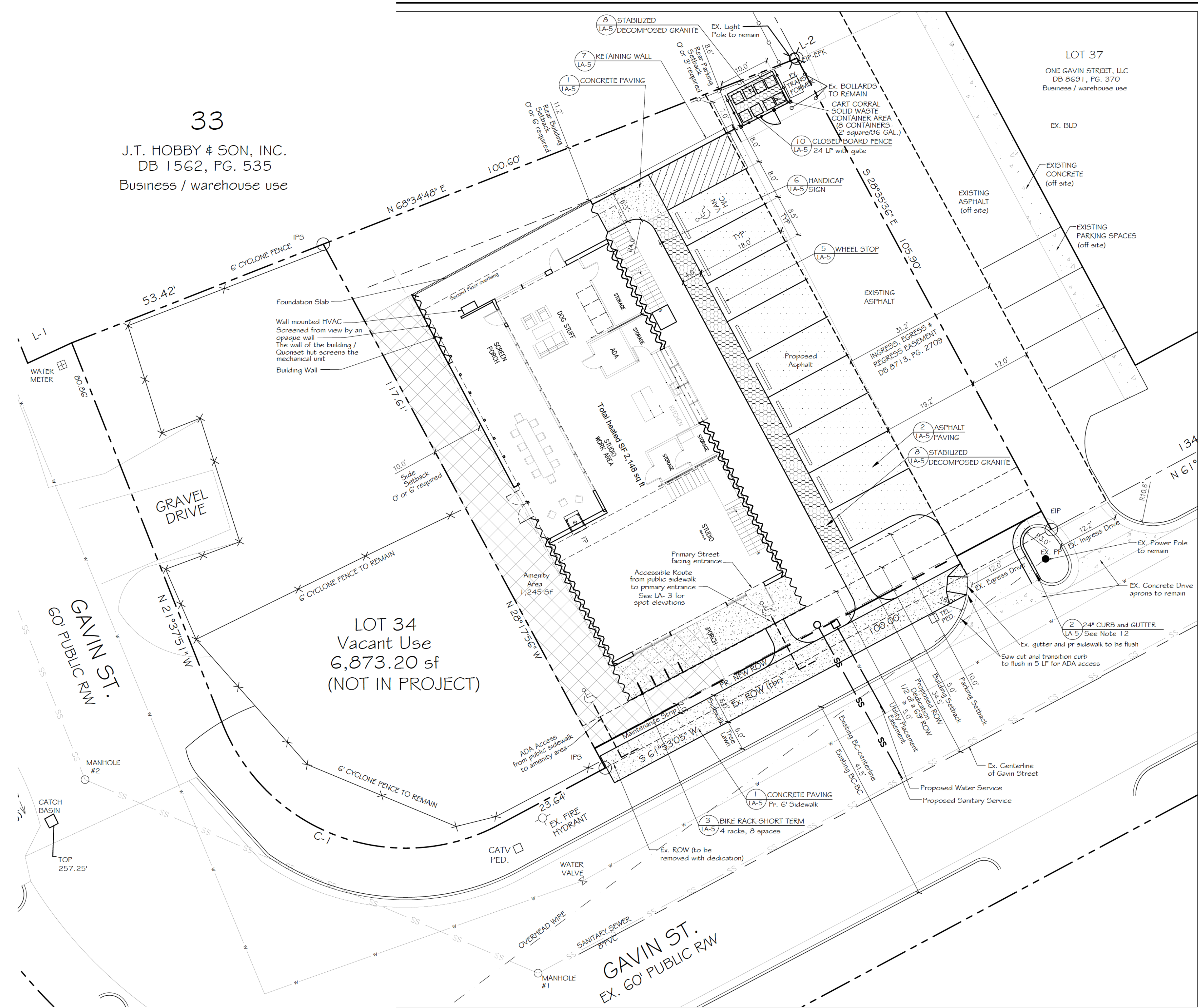
Professional Seals

Date Issued:		7.16.19	1"=10'	
Scale			RBS	
By		10.10.19 KJW	Drawn by:	
No. Description		1 Per Comments	2.13.20 KJW	
2 Per Comments		3.13.20 KJW	Checked by:	
3 Per Comments				

Revisions

33

J.T. HOBBY & SON, INC.
DB 1562, PG. 535
Business / warehouse use



Off-Street Parking:
Pet services 5F; 2,148 = 5.3 spaces
Residential; 3, 1 bedroom units = 3 spaces
Visitor; 1 space required
Required: 1 / 400 sf of personal service - animal care (indoor)
1 space for each residence, total of 3
9 spaces required
One visitor space required.
Provided: 9 spaces
Bicycle Parking: Short Term required: Minimum of 4 each use;
Provided: 8 spaces

Site Plan Notes

1. Site plan reflects a proposed mixed use building at 1428 Gavin Street. A recombination plat has been approved - September 2019. Existing Lot 34 not in project.
2. All dimensions are at 90° unless otherwise noted.
3. Base survey provided by Barry Scott, PLLC, dated June 2019.
4. All dimensions are to back of curb, face of building, or centerline unless otherwise noted.
5. Gavin Street is classified as an Industrial Street - 69' ROW with a 41' BC-BC. ROW dedication noted on site plan, (½ of a 69' ROW is now provided). No pavement width change- existing pavement width is 41.5'. Gavin Street provides a Mixed Use Streetscape section. Centerline of street is noted on site plan.
6. The centerline of Gavin street is measured as stated in Chapter 7 of RSDM. Landscape architect field verified the centerline.
7. Proposed Net Lot area - 10,737.9 sf, .24 acres. Amenity Area - 10,737.9 sf x 10% = 1,073.79 sf required. Amenity area indicated on the site plan; 1,245 sf provided. A 6' public sidewalk has been provided to access the amenity area and accessible routes are indicated with spot elevations on LA-5.
8. UDO Section 9.2.2.A.4, This lot is subject to a maximum impervious coverage based on zoning or the documented existing coverage, whichever is greater.
Ex. Lot Area - 11,172 sf (Gross area, excluding ROW dedication)
Ex. Grass Area - 412.70 sf
Ex. impervious surface - 10,759.3 sf
Proposed impervious surface (building, concrete, and asphalt parking) = 5,627.19 sf
9. Bike racks: Min of 4 short term for each use - total of 8 provided.
10. Solid Waste Compliance Statement: Developers have reviewed and are in compliance with the requirements set forth in the Solid Waste Design Manual, C7 (for cart corral)
11. No Tree Conservation Plan required - site is less than 2 acres.
12. Wall mounted HVAC unit to be placed on rear of building - not visible from the public ROW.
13. Existing curb and gutter at egress drive to be saw cut at points indicated on demolition plan, as needed to ensure egress drive is minimum 12' wide. Proposed curb and gutter to meet existing to remain, flush.
14. Transparency does not apply to residential uses.
15. The proposed use is a pet service business (Animal Care) - Indoor only, plus 3 residential units. The pet services use is a business which provides foundational obedience and rehabilitation training for dogs and their owners. This building / use will be specifically for private follow-up sessions with clients and their dogs and human only classes. The training is indoor only; the dogs at this facility will not access the outdoor area, with the exception of short, human-supervised visits. i.e. bathroom breaks
Section 6.4.9 B - Use Standards:
1. No overnight outdoor activity associated with the care of animals. For the purposes of this section "overnight" constitutes the hours between 11 pm and 7 am.
2. Outdoor activity, including but not limited to, walking and bathing of animals, is permitted during the day, provided that no more than 4 animals are engaged in outdoor activity at a time. For the purposes of this section, "during the day" constitutes the hours between 7 am and 11 pm.

LEGEND

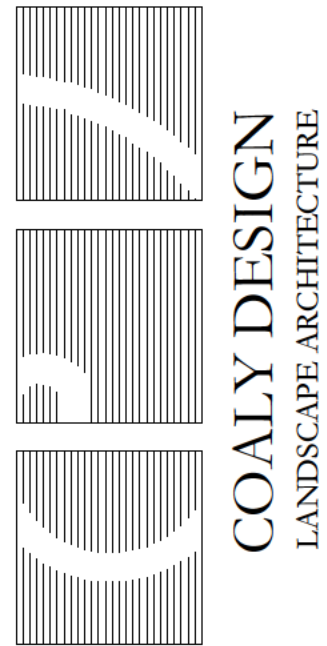
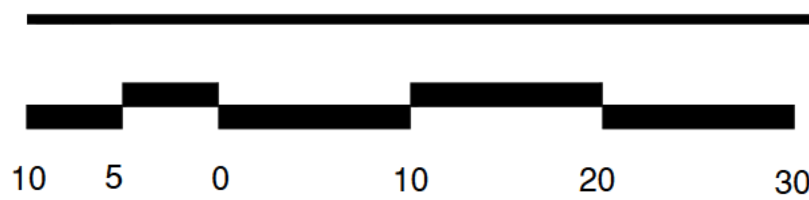
- | | | | |
|--|---|--|--|
| | Proposed Asphalt Paving / Curb and gutter | | Proposed Amenity Area
1,245 sf provided |
| | Existing Asphalt Paving | | Stabilized Decomposed Granite Sidewalk |
| | Proposed sidewalk | | Foundation Wall |
| | | | Retaining Wall |

Site Data Table: UDO section 3.2.6

Total Site Area Gross - 11,172 sf or .256 acres
Total ROW Dedication - 434.06 sf or .0100 acres
Total (Net) Site Area - 10,737.9 sf or .2465 acres

Mixed Use Building - IX-3 Zoning Required		Provided
Outdoor Amenity Area		
10% of site area (net)=1,073.79 SF		1,245 SF
Building Setbacks		
Primary Street - 5'		5'
Side Street - 5'		N/A
Side Lot Line - 0' or 6'		10'
Rear Lot Line - 0' or 6'		11.2'
Alley - 5'		N/A
Parking Setbacks		
Primary Street - 10'		10'
Side Street - 10'		N/A
Side Lot Line - 0' or 3'		N/A
Rear Lot Line - 0' or 3'		8.6'
Building Height		
Principal Building Height - 50/3 stories		30'1"
Floor Heights -		
Ground Floor Elevation		254.5
Ground Story Height (Floor to Floor) - 13'		13'
Upper Story Height (Floor to Floor) - 9'		17'3"
Transparency - only applies to ground floor, public ROW fronting side (South elevation)		
Ground Story - 50%		74%
Upper Story - 20%		74%
Blank Wall Max - 20'		20'
Parking		
Animal Service - 1/400 SF		2,148 SF (gross floor area ground floor) = 5.3 Spaces 3 units (1,164 sf gross floor area) 1 bedroom each unit
Residence - 1 / each unit		
# of bedrooms / unit		4
Bike parking - multi-unit living - min. of 4		4
- pet services - min. of 4		4
Visitor Parking - 1 space required		1 space provided
TOTAL PARKING REQUIRED		9 spaces (5 pet service, 3 residential, 1 visitor)
TOTAL BIKE PARKING REQUIRED - 8		8 Provided

SITE PLAN



300/200 Parham Street Suite G
Raleigh, NC 27601
919 539 0012

1428 GAVIN
1428 GAVIN STREET
RALEIGH, NC

Consultants

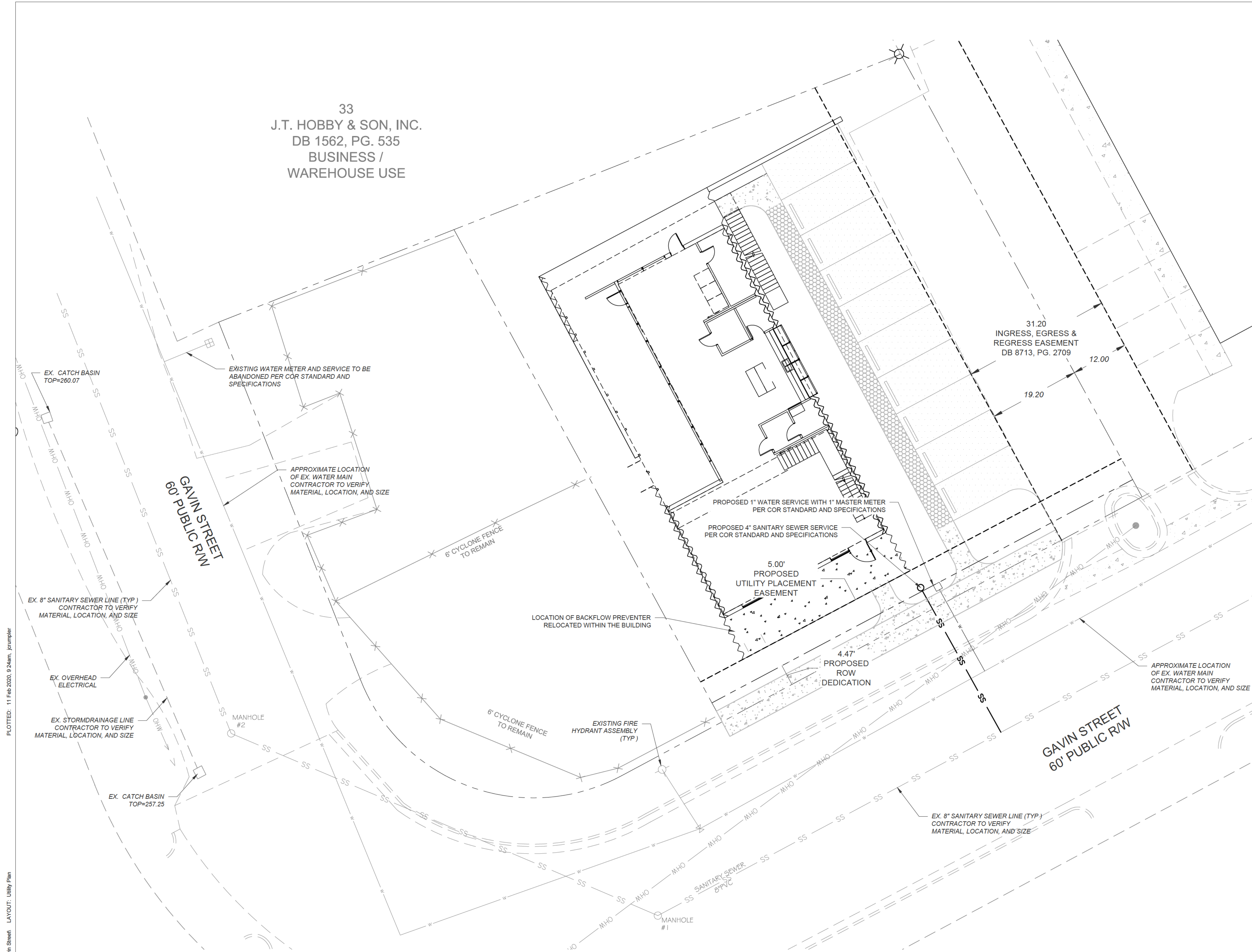
Professional Seals

Date Issued:		7.16.19		1"=10'	
Scale		By		RBS	
Drawn by:		Date		KJW	
10.10.19		2.13.20		3.13.20	
KJW		KJW		KJW	
Checked by:		Per Comments		Per Comments	
1		2		3	
No. Description		No. Description		No. Description	

Revisions

LA-2

CAD FILE: D:\C59\Projects\2019\19017-Coaly Gavin Street.dwg LAYOUT: Utility Plan PLOTTED: 11 Feb 2020, 9:24am, jrumpler



NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BARRY SCOTT, PLLC, DATED JUNE 2019.
- NO ONSITE STREAMS OR WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL AS SHOWN.
- THIS DRAWING IS NOT FOR RECORDATION.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING OVERHEAD POWER LINE
- EXISTING ABUTTING PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING PARKING SETBACK LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED WATER SERVICE

CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- ABANDON AND REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF SITE AS DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS. SEWER SERVICE LINES TO PASS BELOW WATER MAIN WITH A MINIMUM 18" VERTICAL CLEARANCE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.



10 5 0 10
SCALE: 1 INCH = 10 FEET

CRUMPLER
Consulting Services, PLLC

2308 Ridge Road
Raleigh, North Carolina 27612
Ph. 919-313-1704
F-1535

ISSUED FOR
PERMITTING

REV.	DATE	DESCRIPTION
1	10/08/19	CITY OF RALEIGH COMMENTS
2	02/11/20	CITY OF RALEIGH COMMENTS

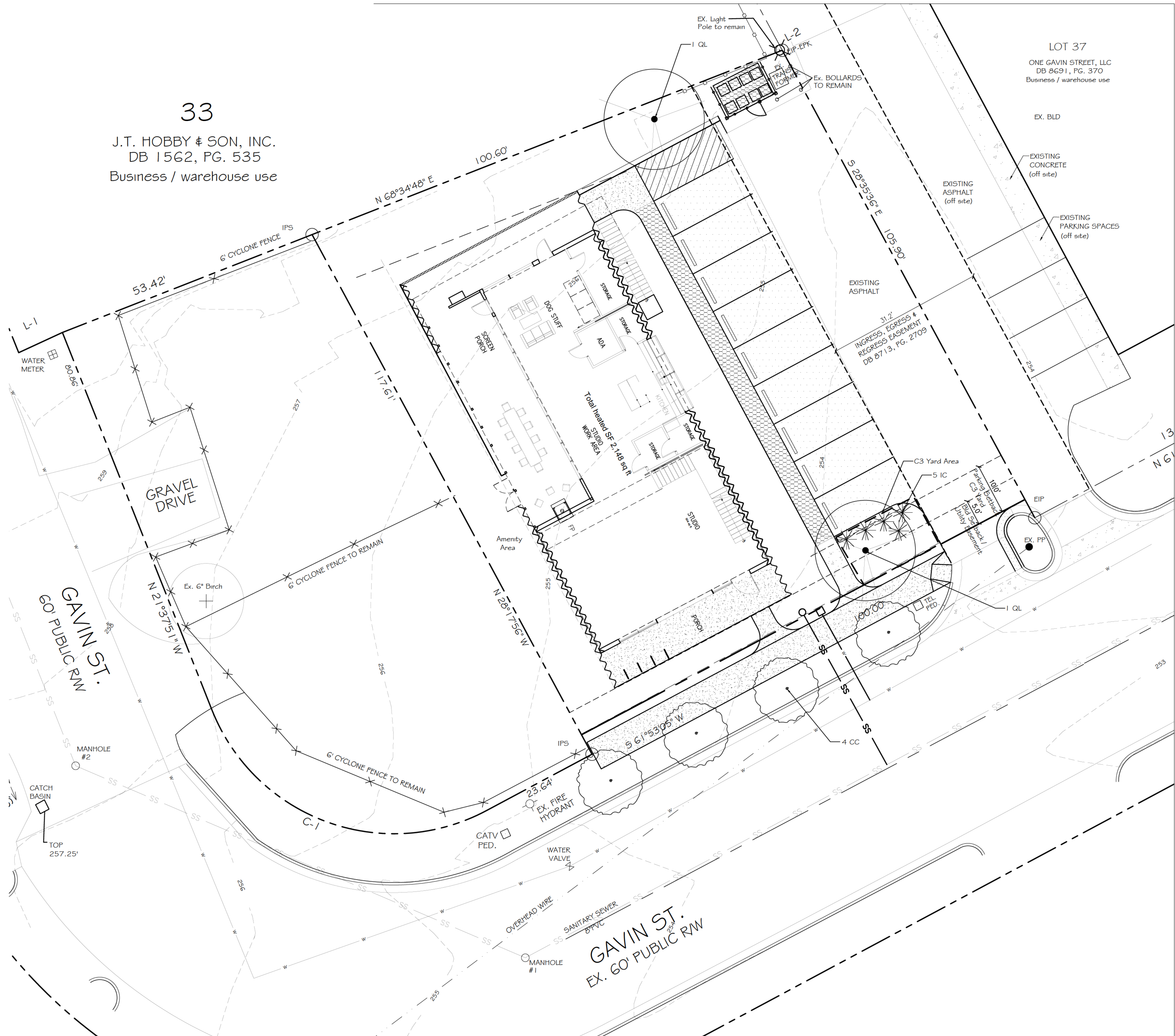
UTILITY PLAN

OLIVETO-STIFELMAN

1428 GAVIN STREET
RALEIGH, NORTH CAROLINA

PROJECT NO.:	19018
DRAWN BY:	JAC
CHECKED BY:	JAC
DATE:	07/15/19
SCALE:	1" = 10'

C-1



33
J.T. HOBBY & SON, INC.
DB 1562, PG. 535
Business / warehouse use

LOT 37
ONE GAVIN STREET, LLC
DB 8691, PG. 370
Business / warehouse use

City of Raleigh Planting Requirements:

- 1) STREET TREES: Gavin Street
Street trees provided at 1 / 20 lf of frontage
100 lf of frontage = 4 trees required.
4 Proposed Red Buds (for planting under power lines)
- 2) VEHICULAR SURFACE AREA:
Trees provided per 7.1.7
1 tree / island - No perimeter drive exists for this site.
- 3) TRANSITIONAL PROTECTIVE YARD:
None required - pet service use is indoor only
- 4) SCREENING
HVAC unit (wall mounted on rear) is screened from public view with the opaque walls of the building
Parking is screened from public view with a C3 yard.
C3 Yard average 10' width - 18 lf x 10 = 180 sf required and provided
18 lf / 100 = .18 x 30 = 5 shrubs required.

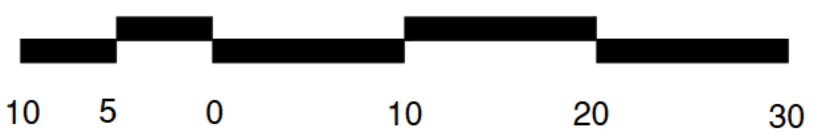
PLANT SCHEDULE

QTY	KEY	BOTANICAL / COMMON NAME	SIZE AT INSTALL	ROOT SPACING	MATURE HT/ SPREAD
2	QL	QUERCUS LYRATA 'HIGHBEAM' / OVERCUP OAK - Shade Tree	3" Cal. / 10' HT.	25 GAL.	N/A
4	CC	CERCIS CANADENSIS 'FOREST PANSY' / REDBUD - Small Maturing	1.5" Cal. / 8' HT.	25 GAL.	20' O.C.
5	IC	ILEX GRENATA 'HELLERI' / JAPANESE HOLLY - Evergreen Shrub	1.8"	5 GAL.	4' O.C.

Planting Notes:

- 1. All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
- 2. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- 3. Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications
- 4. All plant material shown is minimum required by the City Code.
- 5. Street trees @ 20' O.C. installed at least 10' from utility lines and in the center of the 6' tree lawn.
- 6. Contractor will obtain Tree Impact Permit.

LANDSCAPE PLAN



COALY DESIGN
LANDSCAPE ARCHITECTURE
300/200 Parham Street Suite G
Raleigh, NC 27601
919 539 0012

1428 GAVIN
1428 GAVIN STREET
RALEIGH, NC

Consultants

Professional Seals

Date Issued:	7.16.19
Scale	1"=10'
By	RBS
Drawn by:	KJW
Checked by:	KJW

Revisions	No.	Description	Date
1	Per Comments	10.10.19	KJW
2	Per Comments	2.13.20	KJW
3	Per Comments	3.13.20	KJW

LA-4



REdesign.build
po box 10330
raleigh nc 27605

ph 919.829.0109
fax 919.829.3579

Not FOR
CONSTRUCTION
Unless Signed

Approved:

☐ Final Design

☐ Permits

☐ Foundation

☐ Framing

☐ Roofing

☐ Electrical Plan

☐ Plumbing

☐ Fixtures

☐ Doors

☐ Windows

☐ Electrical

☐ Fixtures

☐ Cabinets

☐ Countertops

☐ Appliances

Printed

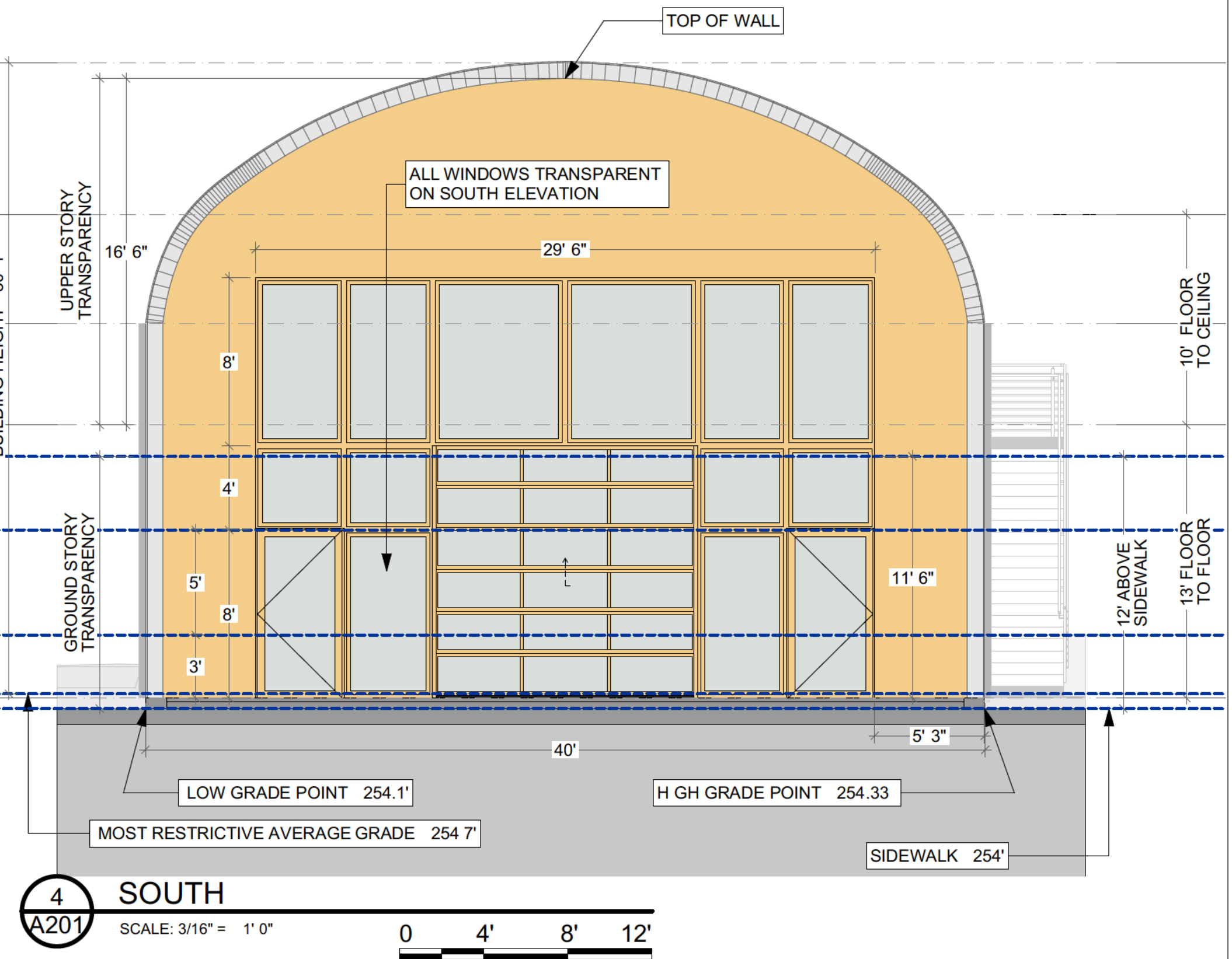
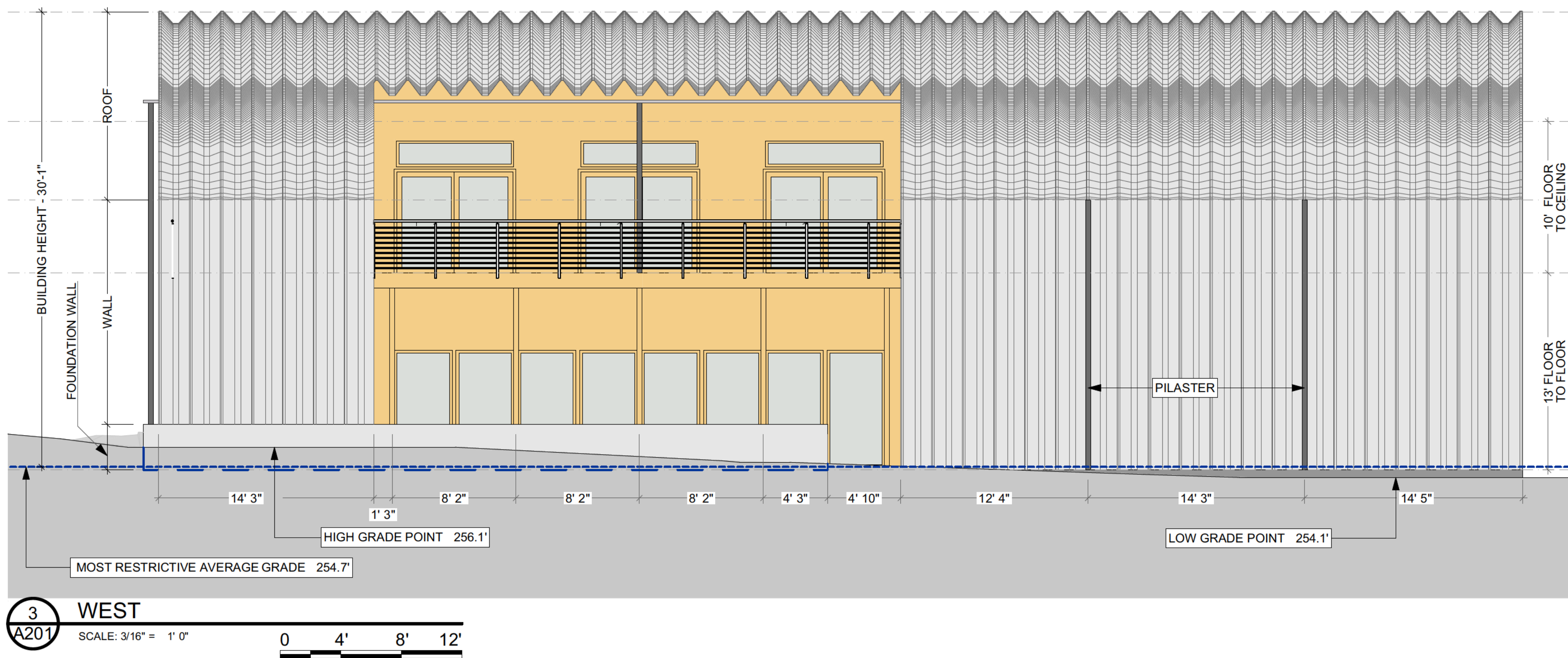
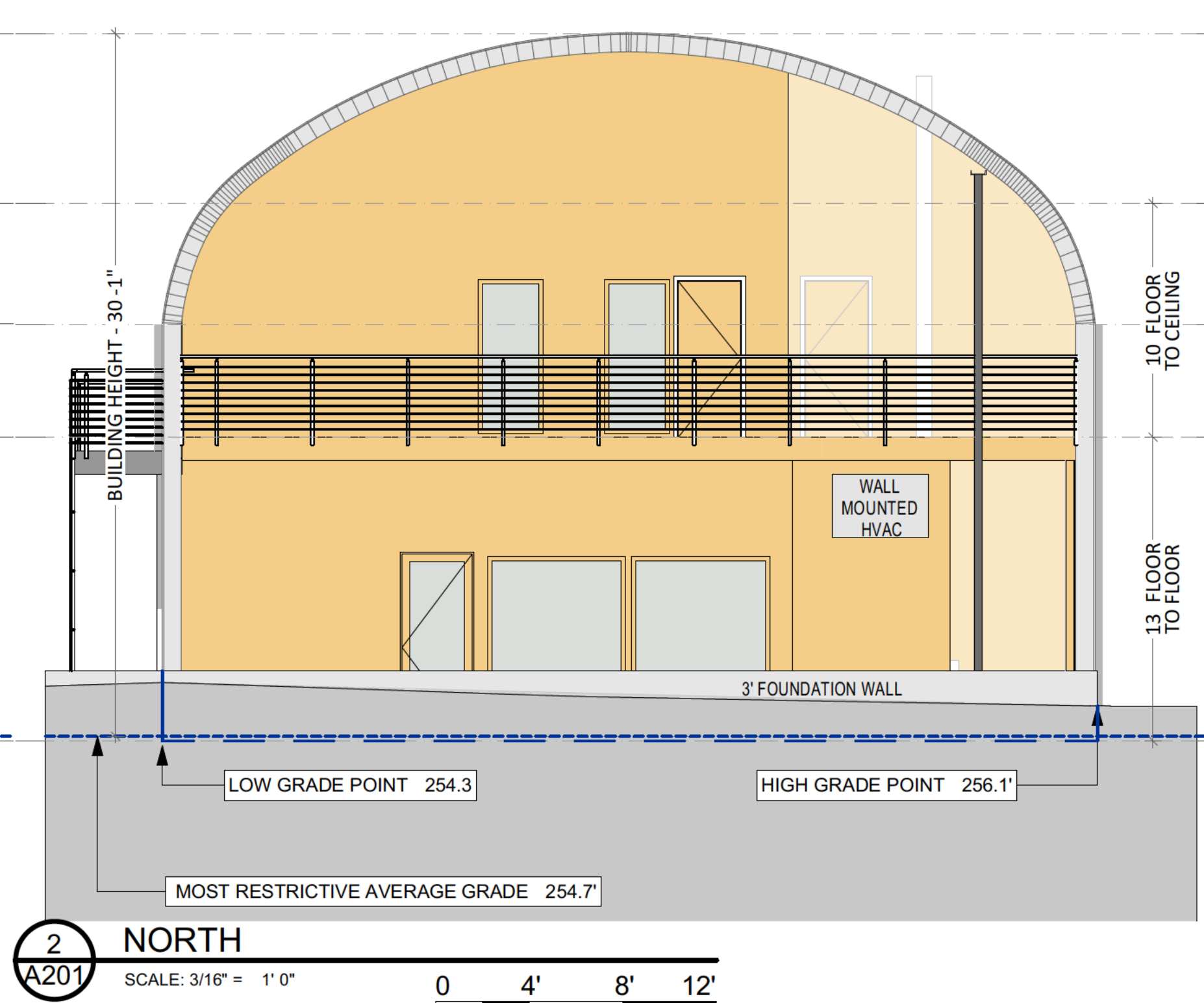
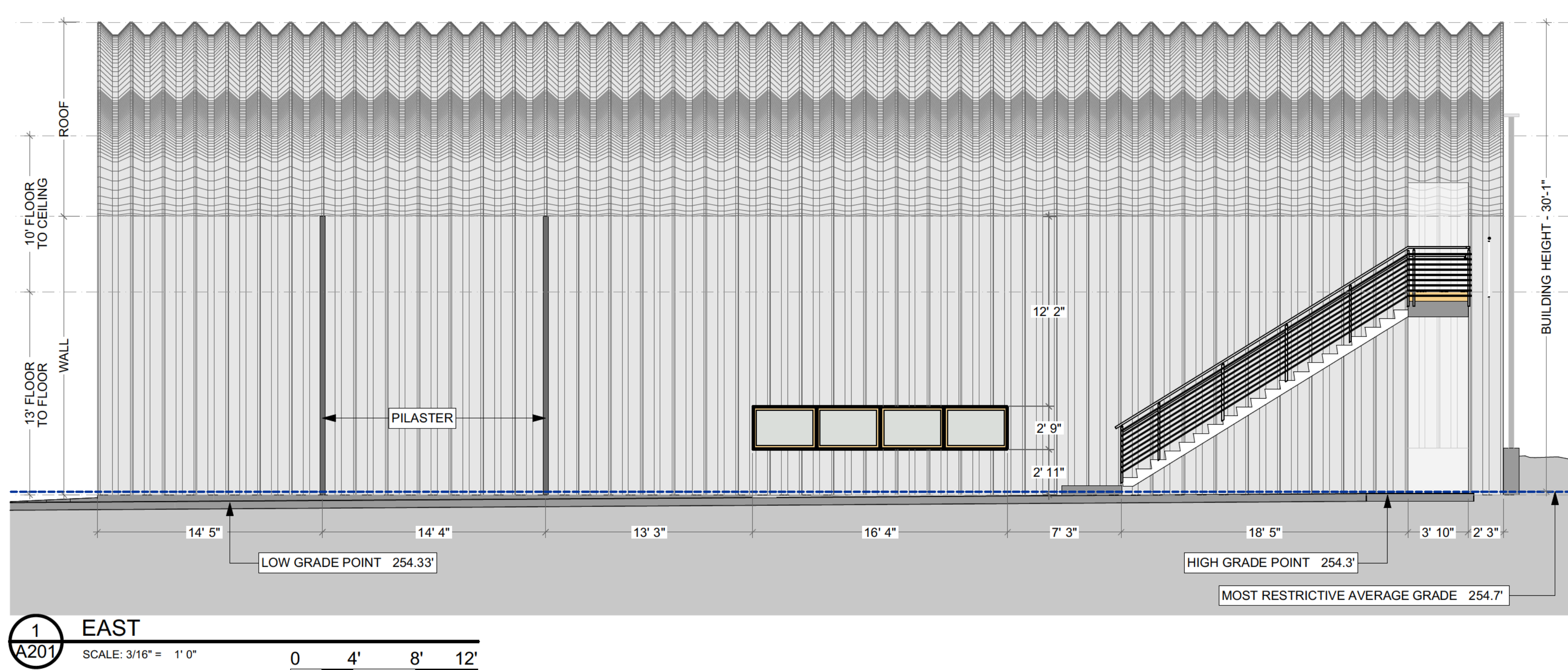
3/11/2020

Oliveto-Stifelman
Studio

1428 Gavin St.
Raleigh, NC 27608

ELEVATIONS

A201



AVERAGE GRADE CALCULATIONS

Façade	Pre-development Grade			Improved Grade		
	Lowest Elevation (ft)	Highest Elevation (ft)	Average elevation (ft)	Lowest Elevation (ft)	Highest Elevation (ft)	Average elevation (ft)
North	256.2	257.25	256.725	254.3	256.1	255.2
South	254.1	254.5	254.3	254.1	254.33	254.22
East	254.1	256.2	255.15	254.3	254.33	254.32
West	254.5	257.25	255.88	254.1	256.1	255.1
Pre-development Grade Average Elevation =			255.51	Improved Grade Average Elevation = 254.71		
Most Restrictive Average Grade = 254.71'						

General Notes:

1. Per UDO Sec. 1.5.9.B.4 - Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

2. Grade levels are taken from the building structure (enclosed structure).

3. Allowable building height = 50'/3 stories
Proposed principal building height 29'-4" / 2 stories

Transparency

Ground story facade = 40'Wx12'H = 480' sq ft
Required transparency for ground floor 50% = 240' sq ft
Provided ground story transparency = 29.5'Wx12'H = 345' sq ft
Provided ground story transparency percentage = 345/480 = 72%

Upper story facade = 40'Wx16.5'H = 660' sq ft
Required transparency for upper story 20% = 32' sq ft
Provided upper story transparency = 29.5'Wx16.5'H = 486.75' sq ft
Provided upper story transparency percentage = 486.75/660 = 74%

50% of Required transparency between 3' and 8' = 120' sq ft
Provided transparency between 3' and 8' = 29.5'Wx5'H = 147.5' sq ft
Provided transparency between 3' and 8' percentage = 147.5/240 = 61%
Required area located between 3'-8' of the facade is shown on 4-A201.