



Administrative Approval Action

Case File / Name: ASR-0049-2023
DSLCL - BUFFALOE BEND

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 1.30 acre site zoned CX-3 CU and within a SHOD-1 overlay is located on the southeast corner of the intersection of Buffaloe Road and Timberfield Way at 5190 Timberfield Way. The site is outside the city limits.
- REQUEST:** Construction of a new restaurant with a drive thru facility along with parking and associated infrastructure.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** SUB-0075-2021: DSLCL - Preliminary Subdivision/Preliminary Subdivision
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 10, 2024 by SAMBATEK.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Clarify location of the proposed/required long term bike parking on sheet C-3 (site plan). Must be out of the weather (7.1.7 K 3)

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

3. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. Comply with all conditions of Z-3(b)-92.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
3. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Timberfield Way.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 10, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building



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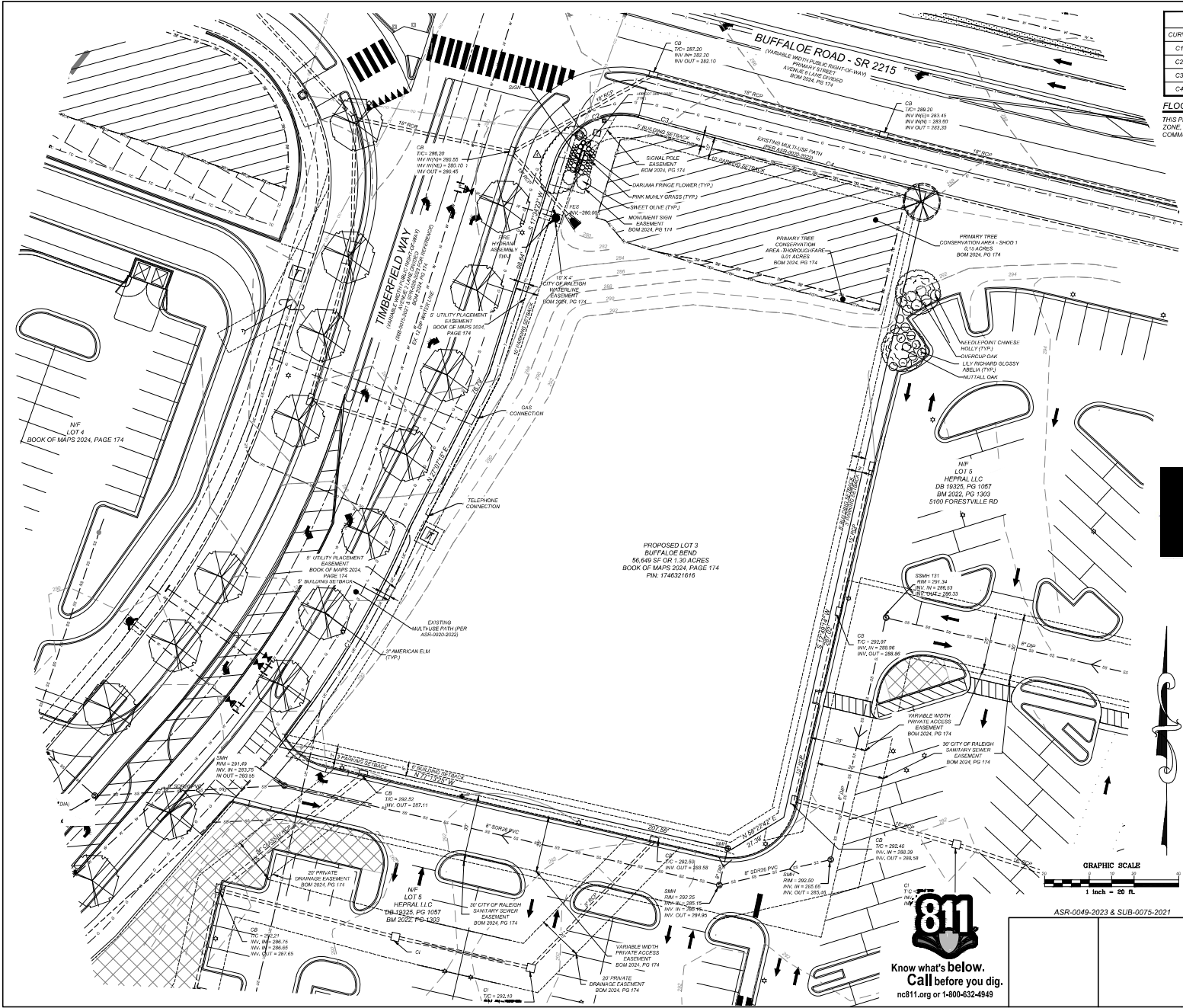
Case File / Name: ASR-0049-2023
DSL - BUFFALOE BEND

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permits have been issued.

I hereby certify this administrative decision.

Signed: _____ *Jermont Purifoy* _____ Date: 06/10/2024
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

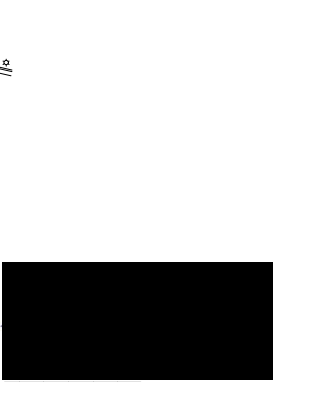


CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	415.00'	115.62'	N30°47'52"E	115.25'
C2	30.5'	46.47'	S61°13'12"E	42.10'
C3	4,313.00'	22.18'	S75°16'49"E	22.18'
C4	4,313.58'	130.81'	S75°31'52"E	110.81'

FLOOD NOTE:
 THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.1.R.M. COMMUNITY PANEL 9372014700J DATED MAY 02, 2006.

REC	DATE	DESCRIPTION	BY	ISSUE
1	7/29/22	ASR SUBMIT T.M. #1		
2	10/20/22	ASR REVIEW COMMENTS #1		
3	10/10/23	ADDITIONAL ASR REVIEW COMMENTS #1		
4	10/10/23	ASR REVIEW COMMENTS #2		

DATE	DESCRIPTION	BY	ISSUE



LEGEND	
▲	CALCULATED POINT
●	EXISTING IRON PIPE
○	SCORE MARK
○	IRON PIPE SET
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER CLEANOUT
○	WATER VALVE
○	WATER METER
○	FIRE HYDRANT
○	TELEPHONE PEDESTAL
○	TELEPHONE MANHOLE
○	LIGHT POLE
○	POWER POLE
○	CURB ALLEY
○	STORM DRAINAGE MANHOLE
○	YARD WALK
○	STORM DRAIN
○	OVERHEAD UTILITIES
○	UNDERGROUND ELECTRIC
○	UNDERGROUND TELEPHONE
○	WATER LINE
○	SANITARY SEWER LINE
○	GRASS LINE
○	FENCE LINE
○	AD - ADMS
○	ACOR - AMERICAN ADDRESS ON SCHEDULED AND MARKING
○	ALTA - AREA INDIVIDUAL TITLE ASSOCIATION
○	BLM - BOOK OF MAPS
○	EM - EXISTING IRON PIPES
○	DELEV - DELEVATION
○	FIRM - FLOOD INSURANCE RATE MAP
○	GPS - GLOBAL POSITIONING SYSTEM
○	HUB - HOUSING URBAN DEVELOPMENT
○	HYD - FIRE HYDRANT
○	IN - INCHES
○	IRP - IRON PIPE SET
○	LLC - LIMITED LIABILITY COMPANY
○	MPI - MILES PER HOUR
○	MS - MEAN SEA LEVEL
○	NP - NOW OR FORMERLY
○	NSP - NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
○	NOT TO SCALE
○	RC - REINFORCED CONCRETE PIPE
○	RY - RIGHT-OF-WAY
○	SF - SQUARE FOOT
○	SR - STATE ROAD
○	TSM - TEMPORARY BENCH MARK
○	TWP - TOWNSHIP
○	TYP - TYPICAL

EXISTING CONDITIONS / SURVEY INFORMATION	
PREPARED BY:	MCDONALD'S ONE GLENNWOOD AVENUE, SUITE 201 RALEIGH, NORTH CAROLINA 27603 PHONE: (919) 823-4700
FROM ASR PLANS:	7-14-2022
PLAN SCALE: 1" = 20'	
STREET ADDRESS 5190 TIMBERFIELD WAY	
CITY	STATE
RALEIGH	NORTH CAROLINA
COUNTY	WAKE
TAX PARCEL NUMBER	LOCATION CODE NUMBER
CSD FILENAME: MCD2101-EC	32-1719

PLAN APPROVAL		STATUS	DATE	BY
SUBMITTER (REQUIRED)		FINAL	-	-
DESIGNER		PLAN CHECKED	-	-
REGISTERED PROFESSIONAL ENGINEER		AS-BUILT	-	-
REGISTERED PROFESSIONAL SURVEYOR				
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CURVE TABLE				
CURVE	ARC/LEN	CHORD BEARING	CHORD LENGTH	
C11	415.00'	175.67'	N00°47'52"E	175.23'
C12	39.9'	46.47'	S61°13'12"E	46.10'
C13	4,313.00'	22.16'	S70°16'49"E	22.78'
C14	4,313.00'	110.81'	S70°13'52"E	110.81'

GENERAL NOTES
 1. SEE GENERAL NOTES ON SHEET C.
 2. SEE SHEET # FOR THE AS-BUILT TABLES.
 3. SEE SHEETS 1, AND 2 FOR STAKES.



McADAMS
 The McAdams Company, Inc.
 921 Hillsborough Street
 Raleigh, NC 27603
 919.334.3300
 Fax: 919.334.2068
 919.334.3300
 www.mcadams.com

CLIENT
 McADAM'S DEVELOPMENT CORP.
 1655 FEDERAL HIGHWAY
 SUITE 202
 BOCA RATON, FLORIDA 33432

BUFFALO BEND
 SUBDIVISION, RECOMBINATION, RIGHT OF WAY,
 EASEMENT, AND TREE CONSERVATION AREA PLAT
 5100 FORESTVILLE ROAD
 ST. MATTHEWS TOWNSHIP, WAKE COUNTY, NORTH CAROLINA



LEGEND

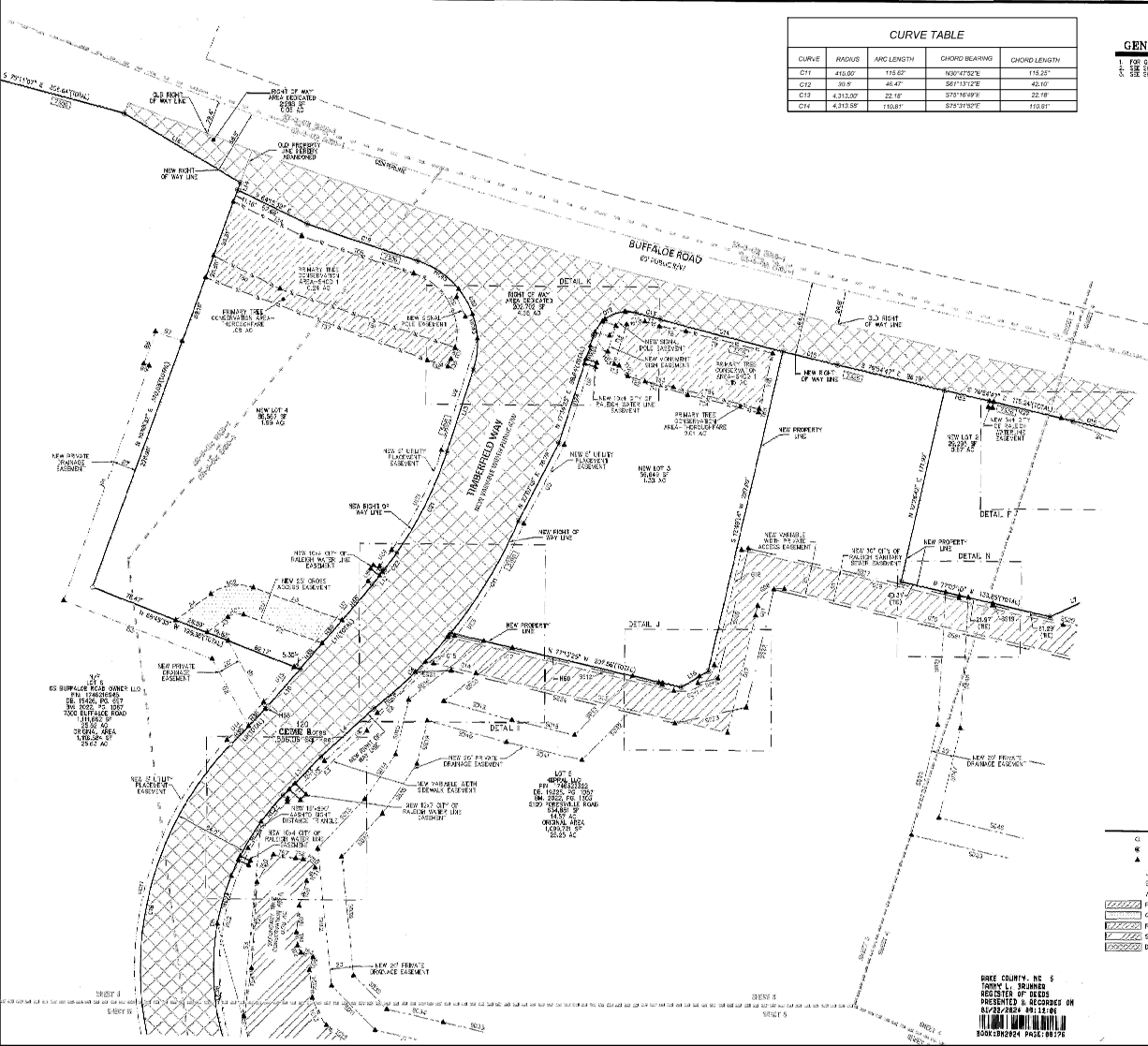
○	EXISTING TREE NOTE
▲	PROPOSED TREE
●	CALCULATED POINT
---	CITY EASEMENT
---	UTILITY EASEMENT
---	OWNER'S EASEMENT
---	PRIVATE RESIDENCE EASEMENT
---	ACCESS ACCESS EASEMENT
---	PRIMARY TREE CONC. AREA
---	EDGEWATER TREE CONC. AREA
---	DEVELOPED RIGHT OF WAY AREA

REV

1	NO
2	1. 2.2848' 1.046965%
3	1. 322.84' 2.969695%
4	1. 82.825' 2.969695%
5	1. 6.2422' 2.969695%

PLAN INFORMATION
 PROJECT NO.: 2023010379
 DRAWN BY: JES
 SCALE: 1"=40'
 DATE: 4/12/2023

SUBDIVISION AND DEDICATION PLAT
3-8



WAKE COUNTY, NC S
 TOWN & RANGE
 REGISTER OF DEEDS
 PRESENTED & RECORDED ON
 04/22/2023 AT 11:41 AM
 2023-0116-0012
 04/22/2023
 SP:CRS-0023

REV	DATE	DESCRIPTION	BY	ISSUE
1	7/29/22	AS-BUILT TABLE #1		
2	10/20/22	AS-BUILT COMMENTS #1		
3	10/10/23	ADDITIONAL AS-BUILT COMMENTS #1		
3	10/10/23	AS-BUILT COMMENTS #2		



Sambatek
 www.sambatek.com
 Engineering / Surveying / Planning / Environmental



McDonald's
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION.
 BALTIMORE REGION
 6802 ROCKLEDGE DRIVE, SUITE 1102, BETHESDA, MD 20817



Know what's below.
 Call before you dig.
 nc811.org or 1-800-632-4949

EXISTING CONDITIONS / SURVEY INFORMATION

PREPARED BY: McADAMS
 ONE GLENWOOD AVENUE, SUITE 201
 RALEIGH, NORTH CAROLINA 27603
 PHONE: 919.334.3300
 FROM AS-BUILT PLANS: 7/4/2021

PLAN SCALE: NOT SCALE

STREET ADDRESS
 5190 TIMBERFIELD WAY

CITY STATE

RALEIGH NORTH CAROLINA

COUNTY WAKE

TAX PARCEL NUMBER LOCATION CODE NUMBER

750 32-1719

CSD FILENAME: MCD2101-RP

PLAN APPROVAL

DATE	SUBMITTER	APPROVER	CO-SIGN SIGNATURES

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

C-2a
RECORD PLAT

ASR-0049-2023 & SUB-0075-2021

SITE KEY NOTES:

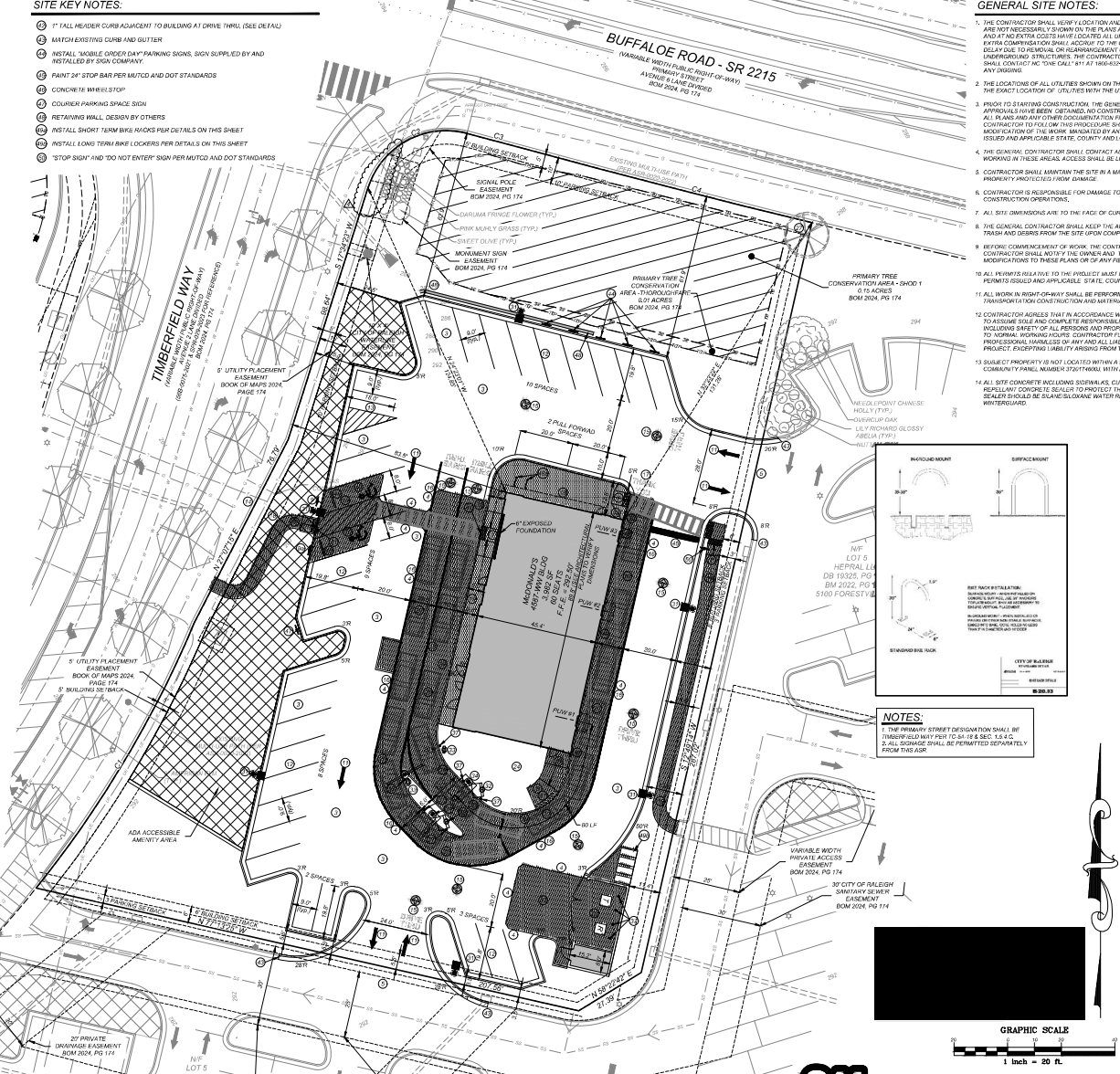
- 1 CONSTRUCT 2" SPALL CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2" CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 ASPHALT PAVEMENT PER SOils REPORT SPECIFICATIONS
- 4 TRANSITION FROM ASPHALT TO CONCRETE PAVEMENT PER DETAIL SHEET
- 5 MATCH EXISTING ASPHALT
- 6 CONSTRUCT STANDARD CONCRETE 11.5 CM RAMP PER DETAIL SHEET
- 7 CONSTRUCT FLUSH CONCRETE 11.5 CM RAMP PER DETAIL SHEET
- 8 DELIVERY RAMP
- 9 INSTALL HANDICAP SIGNAGE IN STEEL PIPE BOLLARD WITH IDEAL SHIELD COVER PER ADA ACCESSIBILITY PLAN AND DETAIL SHEET
- 10 INSTALL VAN ACCESSIBLE HANDICAP SIGNAGE IN STEEL PIPE BOLLARD WITH IDEAL SHIELD COVER PER ADA ACCESSIBILITY PLAN AND DETAIL SHEET
- 11 PAINT HANDCAP SYMBOL
- 12 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 13 PAINT 4" WIDE STRIPES, WHITE
- 14 PAINT 4" WIDE STRIPES, WHITE @ 2' @ 2" O.C.
- 15 MATCH EXISTING SIDEWALK
- 16 PAINTED DRIVE THRU DIRECTIONAL ARROW, YELLOW, COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 17 PAINTED DIRECTIONAL ARROW AT DRIVE THRU LANE AND MERGE POINT, YELLOW, MCDONALD'S COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 18 PAINT 4" WIDE YELLOW STRIVE ON ASPHALT FROM EDGE OF CONCRETE DRIVE THRU LANE
- 19 PAINT "THANK YOU" PER DETAIL SHEET
- 20 CONSTRUCT CONCRETE FINISH ACCORDING TO MCDONALD'S SPECIFICATIONS, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 21 CONSTRUCT BRDM FINISH ACCESS CONCRETE SIDEWALK PER DETAIL SHEET
- 22 CONCRETE PAD @ DRIVE THRU AND HANDICAP SPACES PER MCDONALD'S STANDARDS AND SPECIFICATIONS, GENERAL CONTRACTOR TO VERIFY WITH MCDONALD'S AREA CONSTRUCTION MANAGER PRIOR TO APPLYING BLACK COLORING (OPTIONAL)
- 23 CONCRETE AND FLOOR FINISHES: TWO" SEE ALUMINUM PLANK AND MCDONALD'S STANDARDS AND SPECIFICATIONS, GENERAL CONTRACTOR TO VERIFY WITH MCDONALD'S AREA CONSTRUCTION MANAGER PRIOR TO APPLYING BLACK COLORING (OPTIONAL)
- 24 CONSTRUCT CONCRETE DUMPSTER PAD PER SOils REPORT AND MCDONALD'S STANDARDS AND SPECIFICATIONS, GENERAL CONTRACTOR TO VERIFY WITH MCDONALD'S AREA CONSTRUCTION MANAGER PRIOR TO APPLYING BLACK COLORING (OPTIONAL)
- 25 CONTRACTOR TO INSTALL "WALL FORWARD" SIGNAGE PER MCDONALD'S SPECIFICATIONS
- 26 CONCRETE TRANSFORMER PAD, COORDINATE SIZE AND LOCATION WITH POWER COMPANY
- 27 CONSTRUCT DUMPSTER ENCLOSURE (TO MATCH BUILDING), PER DETAIL SHEET
- 28 STORAGE SHED (PER DETAIL SHEET), EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE
- 29 NOT USED
- 30 PLEASE HAVE MONEY - SIGN SUPPLIED BY AND INSTALLED BY SIGN CONTRACTOR
- 31 NOT USED
- 32 INSTALL "VAN LANE ANYTIME" SIGN, CONTRACTOR SHALL COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 33 POLE MOUNTED AREA LIGHTS SEE LIGHTING PLAN, GALVANIZED ANCHOR BOLTS, (IF ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, POLE INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 34 MENU BOARD (PER DETAIL SHEET); GALVANIZED ANCHOR BOLTS, (IF ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 35 VERTICAL "PRE-SIG" SIGNS (PER DETAIL SHEET); GALVANIZED ANCHOR BOLTS, (IF ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 36 CUSTOMER ORDER DISPLAY WITH DEFLECTOR (PER DETAIL SHEET); GALVANIZED ANCHOR BOLTS, (IF ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 37 DRIVE THRU CANOPY (PER DETAIL SHEET); GALVANIZED ANCHOR BOLTS, (IF ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 38 NOT USED
- 39 STEEL PIPE BOLLARD PER DETAIL SHEET
- 40 HORIZONTAL SEE ARCHITECTURAL PLANS
- 41 VERTICAL HENDER CURB PER DETAIL SHEET
- 42 GATHWAY SIGN (PER DETAIL SHEET); GALVANIZED ANCHOR BOLTS, (IF ABOVE GRADE), FOOTINGS AND ELECTRICITY BY GENERAL CONTRACTOR TO COORDINATE WITH MCDONALD'S CONSTRUCTION MANAGER
- 43 ADA COMPLANT DETECTABLE / TACTILE WARNING SURFACE

SITE KEY NOTES:

- 1 1" TALL HENDER CURB ADJACENT TO BUILDINGS AT DRIVE THRU, (SEE DETAIL)
- 2 MATCH EXISTING CURB AND GUTTER
- 3 INSTALL "VARIABLE ORDER DAY" PARKING SIGNS, SIGNS SUPPLIED BY AND INSTALLED BY SIGN COMPANY
- 4 PAINT 24" STOP BAR PER MUTCD AND DOT STANDARDS
- 5 CONCRETE WHEEL STOP
- 6 COURSE PARKING SPACE SIGN
- 7 RETURNING WALL, DESIGN BY OTHERS
- 8 INSTALL SIGNAGE FROM WIRE HOOKS PER DETAILS ON THIS SHEET
- 9 INSTALL LONG TERM WIRE LOCKERS PER DETAILS ON THIS SHEET
- 10 "STOP SIGN" AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS

GENERAL SITE NOTES:

- 1 THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES AND ANY EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY, NO CLAIM FOR DAMAGES OR EXTRA COSTS SHALL BE MADE BY THE CONTRACTOR FOR THE PRESENCE OF SUCH UTILITIES UNLESS THE CONTRACTOR HAS BEEN ADVISED IN WRITING BY THE OWNER OR ANOTHER AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES DUE TO REMOVAL OR REARRANGEMENT OF THE SAME.
- 2 THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3 PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND APPROVALS FROM ALL AGENCIES. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BE MADE UNTIL THE CONTRACTOR HAS RECEIVED ALL PERMITS AND APPROVALS FROM ALL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES.
- 4 THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND HIGHWAYWAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED TO NEIGHBORHOODS OF PUBLIC CONCERN.
- 5 CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL NOT BE OBSTRUCTED FROM ENJOYING AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- 6 CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONSTRUCTION LIMITS DUE TO CONSTRUCTION OPERATIONS.
- 7 ALL SITE DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 8 THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TREES AND SHRUBS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION.
- 9 BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL AS-BUILT SURVEYS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONTACTS.
- 10 ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- 11 ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MAINTENANCE SPECIFICATIONS.
- 12 CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO MAINTAIN THE SITE AND COMPLETE RECONSTRUCTION DURING THE PROJECT PERIOD. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL BUSINESS HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL BUSINESS HOURS.
- 13 SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY PAID F.U.M. COUNCIL MAP NUMBER 37007000 WITH AN EFFECTIVE DATE OF MAY 02, 2006.
- 14 ALL SITE CONCRETE INCLUDING SIDEWALKS, CURB & GUTTERS, DUMPSTER PADS, AND CONCRETE PAVEMENT IS TO BE TREATED WITH WATER REPLENISHING CONCRETE TO PROTECT THE SURFACES FROM SPALLING AND DAMAGE FROM CHEMICAL ATTACK OF CHLORIDE SALT SEALERS SHOULD BE SLAKE/SILICANE WATER REPLENISHING. RECOMMENDATIONS INCLUDE PROPOD-SAL TOUGH OR IDEAL 102 WATERPROOFER.



LEGEND

[Symbol]	SPILL CURB	[Symbol]	SIGN
[Symbol]	WATER	[Symbol]	BOLLARD
[Symbol]	HANDICAP RAMP	[Symbol]	EX-FIRE HYDRANT
[Symbol]	CONCRETE	[Symbol]	FENCE
[Symbol]	UTILITY LINE	[Symbol]	POLE MOUNTED AREA LIGHT
[Symbol]	HANDICAP STALL	[Symbol]	EXISTING IRON PIPE
[Symbol]	CONCRETE	[Symbol]	ADA ACCESSIBLE AMBULANCE AREA
[Symbol]	UTILITY LINE	[Symbol]	FINISH FLOOR ELEVATION

PAVING SPECIFICATIONS

CONTRACTOR TO REFER TO SOils REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS.

PARKING INFORMATION

TOTAL SPACES	28 SPACES	2 X 10' @ 90°	69
	2 SPACES <th>8' X 12' @ 90°</th> <td>24</td>	8' X 12' @ 90°	24
	2 SPACES <th>8' X 16' @ 90°</th> <td>32</td>	8' X 16' @ 90°	32
	2 PARALLEL SPACES <th>10' X 20' @ 0°</th> <td>4</td>	10' X 20' @ 0°	4
34			

UTILITY INFORMATION

SIZE	TYPE	LOCATION
12"	SANITARY SEWER	ADJACENT TO SOUTHERN PROPERTY LINE
12"	WATER	RUNS IN EASTERN SIDE OF STREET "A"
12"	STORM SEWER	STREET "A" - ACCESS ROAD
8"	ELECTRIC	TBD
6"	GAS	TBD

EXISTING CONDITIONS / SURVEY INFORMATION

FROM ASR PLANS BY: MCDONALD'S ONE GLENWOOD AVENUE, SUITE 201 HALLAND NORTH CAROLINA 27603 PHONE: 919.825.4300

DATE OF PLANS: 7-14-2020

PLAN SCALE: 1" = 20'

STREET ADDRESS: 5190 TIMBERFIELD WAY

valodome shelters

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	415.00'	115.62'	N30°47'52"E	115.25'
C2	90.9'	46.47'	S61°13'12"E	42.10'
C3	4,313.00'	22.18'	S75°16'49"E	22.16'
C4	4,313.58'	116.81'	S75°31'52"E	116.81'

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ASR-0049-2023 & SUB-0075-2021

GRAPHIC SCALE
1 inch = 20 ft

CITY	RALEIGH	STATE	NORTH CAROLINA
COUNTY	WAKE		
TAX PARCEL NUMBER	TSD	LOCATION CODE NUMBER	32-1719
CSD FILE NAME	MCD2101-SP		

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THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION.

6600 CALDWELL DRIVE, SUITE 1100, RENO, NV 89509
6600 CALDWELL DRIVE, SUITE 1100, RENO, NV 89509

DATE	DESCRIPTION	BY	ISSUED
10/02/2023	ASR REVIEW COMMENTS #1	DDH	
10/02/2023	ADDITIONAL ASR REVIEW COMMENTS #1	KL	
10/02/2023	ASR REVIEW COMMENTS #2	KL	

PLAN APPROVAL

DATE	DATE	DATE	DATE
DATE	DATE	DATE	DATE

STATUS DATE BY

FINAL - - -

PLAN CHECKED - - -

AS-BUILT - - -

C-3 SITE PLAN



March 1, 2022
 Kent T. Selzer
 Commercial Site Designer
 2333 Chatham Street
 Raleigh, NC 27604
 919.486.9999

This is a plan of a proposed residential development. It is not intended to be used for any other purpose. The plan is subject to the approval of the City of Raleigh. The plan is not intended to be used for any other purpose. The plan is subject to the approval of the City of Raleigh.

We warrant that the information contained herein is true and correct to the best of our knowledge and belief. We warrant that the information contained herein is true and correct to the best of our knowledge and belief.

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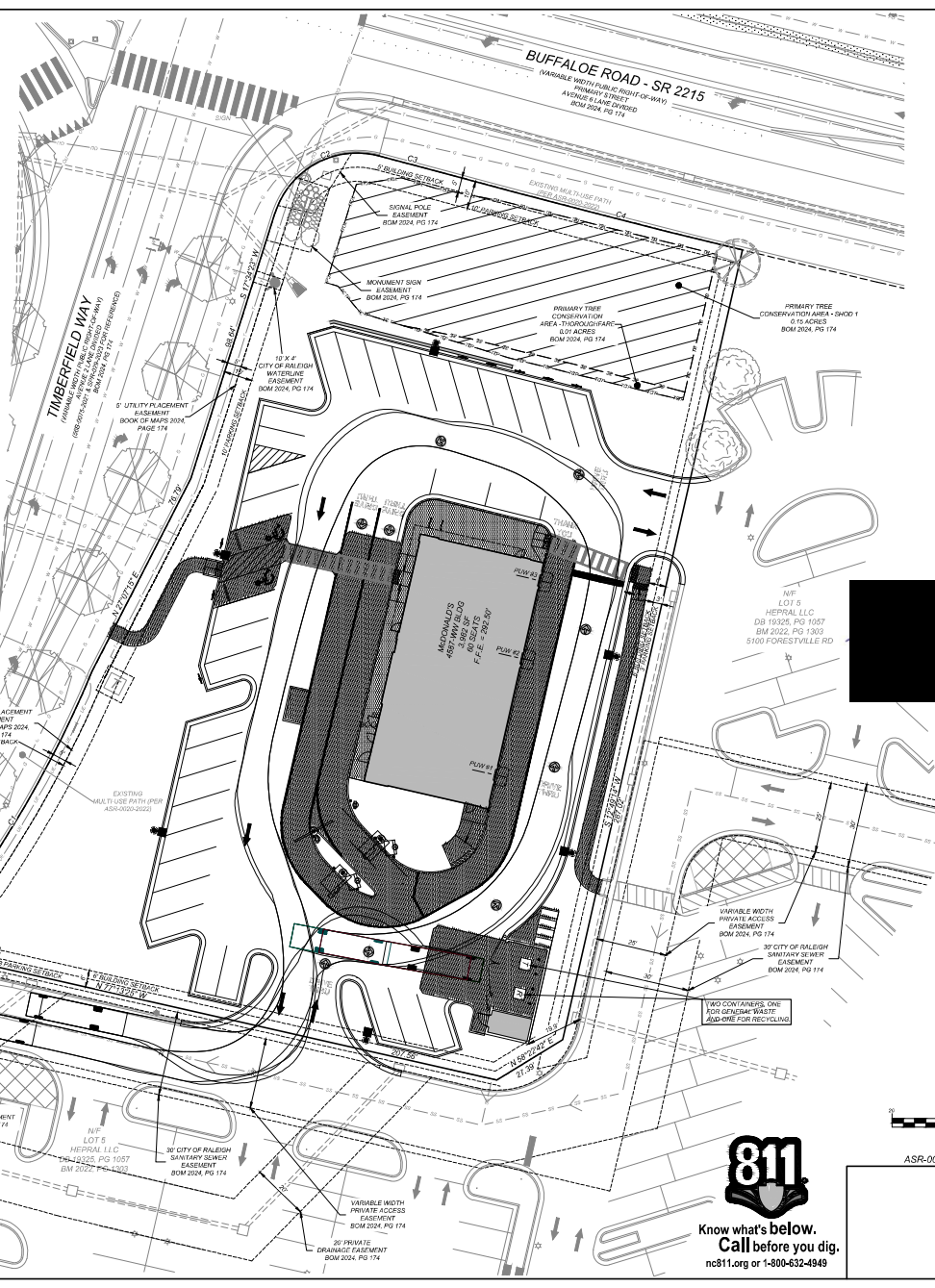
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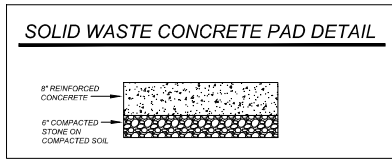
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- CITY OF RALEIGH SOLID WASTE NOTES:**
- THE PAVEMENT OVER THE TRASH TRUCK PATH MUST ALSO MEET THE RESIDENTIAL STREET STANDARD (6" SUB-BASE AND 2.5" ASPHALT SURFACE).
 - THE TRASH CORRAL PAD (6" DEEP) AND APPROACH AREA 30' IN FRONT OF CORRAL SHALL BE CONSTRUCTED OF 6" REINFORCED CONCRETE OVER A 6" COMPACTED STONE ON COMPACTED SOIL.
 - THE WALLS AND GATES OF THE TRASH CORRAL SHALL BE MINIMUM OF 6" HIGH CONSISTING OF COMPATIBLE MATERIAL AND COLORS AS THE PRINCIPAL STRUCTURE.
 - SOLID WASTE SERVICE WILL BE PROVIDED BY A PRIVATE CONTRACTOR / HAULER.
 - THE TRASH CORRAL SHOULD BE THREE WALLS AND ONE SIDE SHALL BE A GATE PER UDO SECTION 7.2.3.C.

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	415.00'	115.62'	N30°47'52"E	115.25'
C2	30.9'	46.47'	S61°13'12"E	42.10'
C3	4,313.00'	22.18'	S75°16'49"E	22.18'
C4	4,313.58'	110.81'	S75°31'52"E	110.81'



LEGEND

	SPILL CURB		SIGN
	BOLLARD		6x6 POLE SUPPORT
	HANDICAP RAMP		FENCE
	HANDICAP STALL		POLE MOUNTED AREA LIGHT
	CONCRETE		EXISTING IRON PIPE
	PROPERTY LINE		FINISH FLOOR ELEVATION

PAVING SPECIFICATIONS

CONTRACTOR TO REFER TO SDLS REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS.

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE, IF FEELS WORK CORRECT. REPAIRING SPECIFICATION TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

ALL DRIVEABLES SHALL BE HEAVY DUTY ASPHALT PAVEMENT CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS. MICHING AT LEAST 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (INDC 503.2.3).

PARKING INFORMATION

TOTAL SPACES	34
2' SPACES	28
2' SPACES	2
PARALLEL SPACES	4

UTILITY INFORMATION

SIZE	TYPE	LOCATION
12"	SANITARY SEWER	ADJACENT TO SOUTHERN PROPERTY LINE
12"	WATER	RUNS IN EASTERN SIDE OF STREET 'A'
12"	STORM SEWER	STREET 'A' - ACCESS ROAD
1"	ELECTRIC	TBD
1"	GAS	TBD

EXISTING CONDITIONS / SURVEY INFORMATION

FROM ASR PLANS 01: MCDONALD'S ONE GLENWOOD AVENUE, SUITE 201 HALLIUM, NORTH CAROLINA 27603 PHONE: 919.852.4300

DATE OF PLANS: 7-14-2020

PLAN SCALE: 1" = 20'

STREET ADDRESS
 5190 TIMBERFIELD WAY

CITY	STATE
RALEIGH	NORTH CAROLINA
COUNTY	WAKE
TAX PARCEL NUMBER	LOCATION CODE NUMBER
TSD	32-1719

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

C-4 FIRE & SOLID WASTE TRUCK TURN PLAN

DATE	DESCRIPTION	BY	ISSUES
7/29/22	ASR SUBMITTAL #1	TSO	
10/20/2023	ASR REVIEW COMMENTS #1	DDH	
10/10/2023	ADDITIONAL ASR REVIEW COMMENTS #1	KL	
1/10/2024	ASR REVIEW COMMENTS #2	KL	

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6803 RALPHAISE DRIVE, SUITE 1100, RENO, NV 89502

DATE: 03/01/2024

PROJECT: 5190 TIMBERFIELD WAY

OFFICE: RALEIGH

DESIGNER: KENT T. SELZER

CHECKER: KYLE L. KELLEY

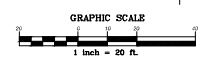
DATE: 03/01/2024

PROJECT: 5190 TIMBERFIELD WAY

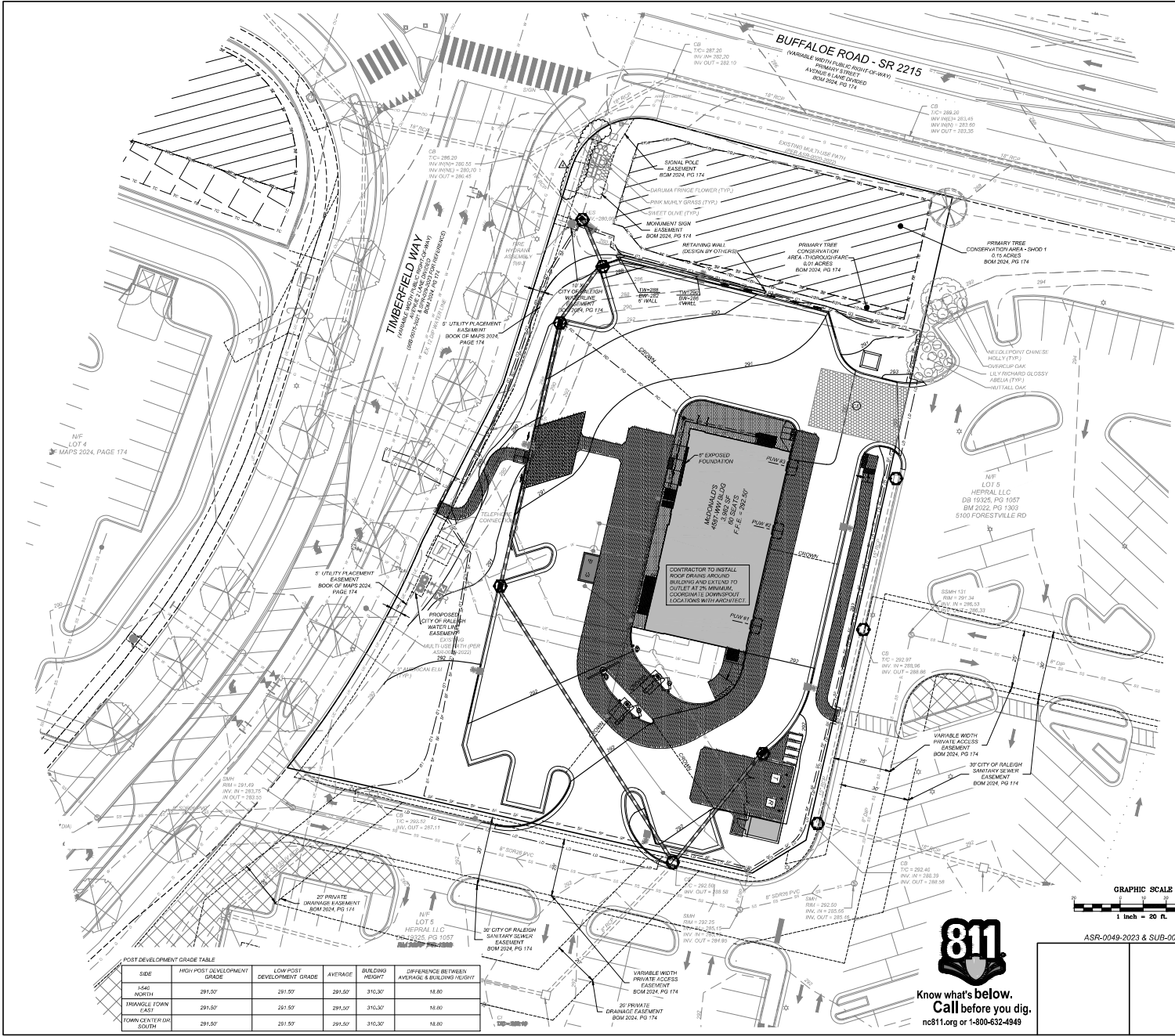
OFFICE: RALEIGH

DESIGNER: KENT T. SELZER

CHECKER: KYLE L. KELLEY



ASR-0049-2023 & SUB-0075-2021



LEGEND

●	STORM DRAIN MANHOLE (SMH)	○	SILT FENCE OUTLET
■	DROP INLET (DI)	▭	BUILDING DOWNSPOUT
■	CURB INLET (CI)	▭	SILT FENCE
—	STORM PIPE	—	TOP OF CURB
—	TOP OF CURB	—	BOYFOM OF CURB
—	SPILL CURB	—	1" TREE PROTECTION FENCE
—	WELVE DRAIN	—	2" DIVERSION DITCH
—	ROOF DRAIN	—	LIMITS OF DISTURBANCE
—	CONCRETE WALKWAY	—	FLARED END SECTION
—	CONCRETE DRIVEWAY	—	CONSTRUCTION ENTRANCE
—	CONCRETE DRIVEWAY	—	CONCRETE WASHOUT
—	CONCRETE DRIVEWAY	—	CONCRETE WASHOUT

PAVING SPECIFICATIONS

CONTRACTOR TO REFER TO SOILS REPORT FOR SITE SPECIFIC PAVEMENT SPECIFICATIONS.

NOTE: MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE, IF TESTS PROVE CORRECT. PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S. OTHERWISE, GENERAL CONTRACTOR WILL BE CHARGED.

ALL DRIVEABLES SHALL BE HEAVY DUTY ASPHALT PAVEMENT CAPABLE OF SUPPORTING THE LOAD OF FIVE APPROPRIATE WHEELS AT LEAST 30,000 LBS. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (MPC 583.2.3)

PARKING INFORMATION

TOTAL SPACES	34
2 SPACES	2' X 10' @ 69'
2 SPACES	8' X 19' @ 69'
2 SPACES	8' X 18' @ 90'
2 PARALLEL SPACES	10' X 20' @ 0'

UTILITY INFORMATION

SIZE	TYPE	LOCATION
8"	SANITARY SEWER	1" ADJACENT TO SOUTHERN PROPERTY LINE
12"	WATER	12" RUNS IN EASTERN SIDE OF STREET 'A'
12"	STORM SEWER	STREET 'A' - ACCESS ROAD
4"	ELECTRIC	TBD
4"	GAS	TBD

EXISTING CONDITIONS / SURVEY INFORMATION

FROM ASH PLANS BY: MCDONALD'S
ONE GLENWOOD AVENUE, SUITE 201
HALLIHL, NORTH CAROLINA 27603
PHONE: 919.852.4300

DATE OF PLANS: 7-14-2020

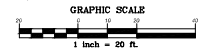
PLAN SCALE: 1" = 20'

STREET ADDRESS
5190 TIMBERFIELD WAY

CITY	STATE
RALEIGH	NORTH CAROLINA
COUNTY	WAKE
TAX PARCEL NUMBER	LOCATION CODE NUMBER
TSD	32-1719
CSD FILENAME	
MC02101-GP	

POST DEVELOPMENT GRADE TABLE

SIDE	HIGH POST DEVELOPMENT GRADE	LOW POST DEVELOPMENT GRADE	AVERAGE	BUILDING HEIGHT	DIFFERENCE BETWEEN AVERAGE & BUILDING HEIGHT
N45°	291.50'	291.50'	291.50'	316.30'	18.80'
SOUTH	291.50'	291.50'	291.50'	316.30'	18.80'
FRANKLE TOWN EAST	291.50'	291.50'	291.50'	316.30'	18.80'
TOWN CENTER DR SOUTH	291.50'	291.50'	291.50'	316.30'	18.80'



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REV	DATE	DESCRIPTION	BY	ISSUES
1	7/29/22	ASH SUBMITTAL #1	STH	
2	10/20/22	ASF REVIEW COMMENTS #1	CDH	
3	10/19/22	ADDITIONAL ASF REVIEW COMMENTS #1	KL	
4	10/20/22	ASF REVIEW COMMENTS #2	KL	

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690 ROCKDALE DRIVE, SUITE 1100, RALEIGH, NC 27617
OFFICE ADDRESS

PLAN APPROVAL

DATE	DATE	BY
SEWITING (REQUIRED)		
FINAL		
PLAN CHECKED		
AS-BUILT		

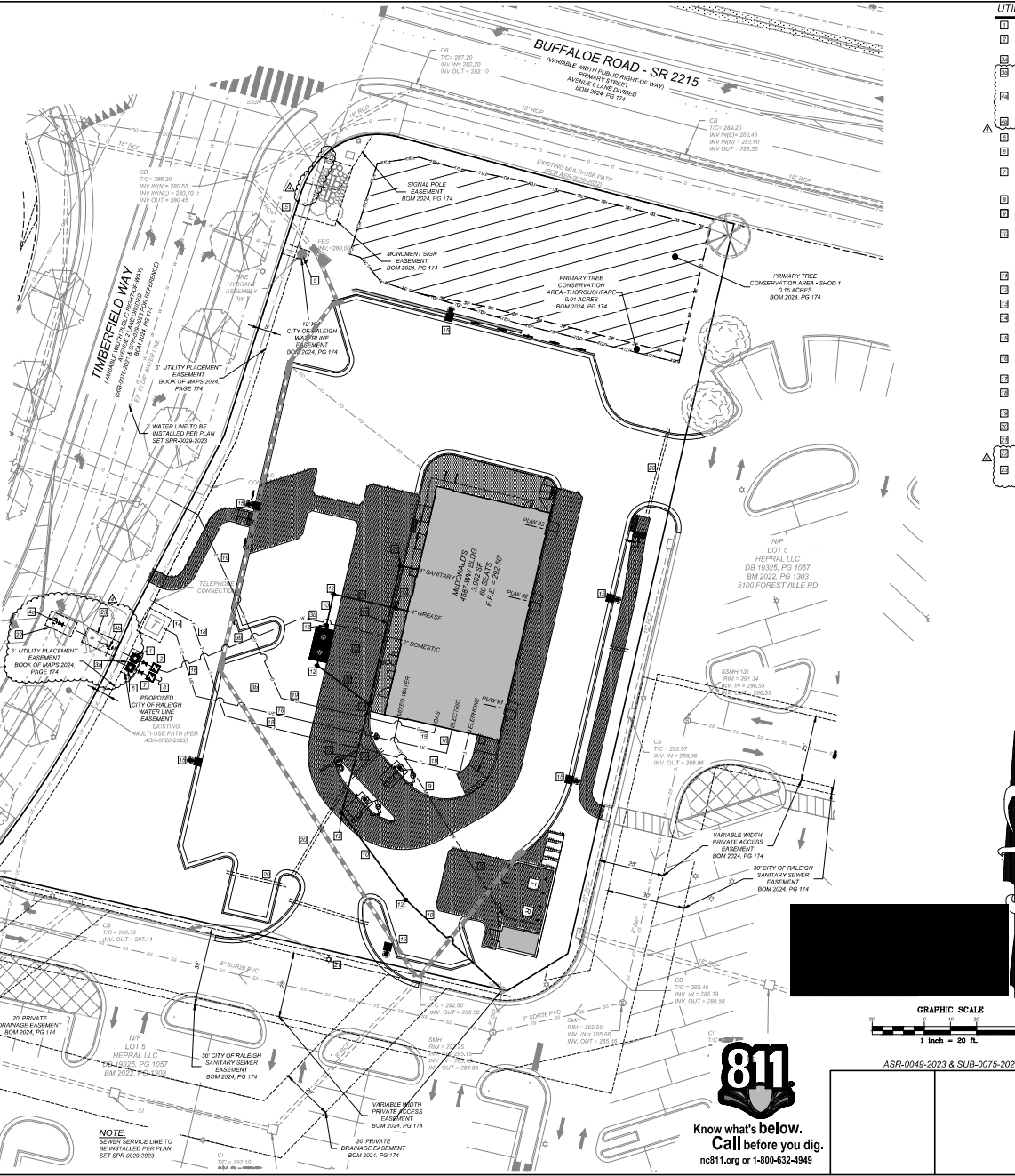
CONTRACTOR: C-5 GRADING/EROSION CONTROL PLAN

NOTE TO CONTRACTOR:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONDUIT HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:**
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER. THIS MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OF STEEL ENCLOSURE EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' 0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, STRENGTHY DIP MATERIALS & A CONCRETE CIRCLE HAVING 6" MIN. CLEARANCE (PER CONDUIT DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN BOOK PROVIDED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - SEWER BYPASS PUMPING - A BYPASS PLAN EQUIPPED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 - 3' 0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4' 0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN DEVELOPMENT ON A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONDUIT HANDBOOK PROCEDURE.
 - INSTALL 3" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1/8" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' 0" ABOVE THE NEXT UPSTREAM MANHOLE. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
 - NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RWF FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LC AND/OR BUILDING PERMIT. CONTACT (919) 998-4516 OR FOG@RALEIGH.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
 - THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
 - THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
 - THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
 - NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT: ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.



- UTILITY KEYNOTES:**
- 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH UTILITY.
 - 3" DOMESTIC REDUCE PRESSURE BACKFLOW PREVENTER (MODEL: WATTS 6040407 OR CITY APPROVED EQUIVALENT) IN ABOVE-GROUND REDUCER ENCLOSURE.
 - 2" TYPE "N" SOFT COPPER FROM WATER MAIN TO METER, MINIMUM 4' OF COVER.
 - 2" PVC DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY. ALL WATER LINES SHALL HAVE A FINAL MINIMUM COVER DEPTH OF 30" IN NON-TRAFFIC AREAS AND 42" IN TRAFFIC AREAS UNLESS OTHERWISE NOTED.
 - 12" x 4" FULL CIRCUMFERENCE STAINLESS STEEL TAPPING SLEEVE AND VALVE WITH 7" COVER SERVICE BETWEEN TAP AND BACKFLOW PREVENTER; CONTRACTOR SHALL COORDINATE WITH UTILITY.
 - DOUBLE STRAP BRONZE SADDLE, CONTRACTOR SHALL COORDINATE WITH UTILITY.
 - EXISTING FIRE HYDRANT.
 - 1" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR AND UTILITY.
 - 1" IRRIGATION REDUCE PRESSURE BACKFLOW PREVENTER (MODEL: WATTS 6040407 OR CITY APPROVED EQUIVALENT) IN ABOVE-GROUND REDUCER ENCLOSURE. CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR AND UTILITY.
 - COORDINATE IRRIGATION CONNECTION AND SLEEVE SIZE WITH IRRIGATION CONTRACTOR.
 - MIXED WATER TO HOSE BIB IN TRASH CORRAL, NOT TO BE USED FOR TRASH CONTAINER WASHING.
 - 4" PVC SANITARY SEWER LINE (SERVICES SHALL BE PVC 300 S5 WITHIN ROW, THEN PVC SCHEDULE 40 TO BUILDING) (BEDDING AND COVER PER SUPPLIER SPECIFICATIONS). NOTE: 1/8" MINIMUM SLOPE FOR 4" LINES AND 1/8" MINIMUM SLOPE FOR 6" LINES. ALL SEWER LINES SHALL HAVE A FINAL MINIMUM COVER DEPTH OF 42" IN NON-TRAFFIC AREAS AND 50" IN TRAFFIC AREAS UNLESS OTHERWISE NOTED.
 - SANITARY SEWER CLEANOUT PLACED AT 30" MINIMUMS, SEE DETAIL SHEET.
 - TRAFFIC RATES SANITARY SEWER CLEANOUT PLACE AT 30" INTERVALS, SEE DETAIL SHEET.
 - 3000 GALLON PROCEPTOR OR GREATER, PER DETAIL SHEET.
 - EXISTING TRENCH TO REMAIN; CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
 - POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN. ALL LOT LIGHT WIRING TO BE CONTINUOUS AND RATED PER CITY LIGHTS WITH UTILITY CONTRACTOR TO COORDINATE.
 - UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
 - INSTALL ONE (1) 1" PVC ELECTRICAL CONDUIT FOR ELECTRICAL SERVICE TO TRASH CORRAL.
 - UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
 - GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
 - IRRIGATION SERVICES PER UTILITY LEGEND.
 - EXISTING LIGHT POLE TO BE RELOCATED, COORDINATE WITH LOCAL UTILITY.
 - OPEN CUT, CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH PRIOR TO ANY CONSTRUCTION.
 - OPEN CUT MULTIPHASE PATH AND PATCH AND REPAIR AS NECESSARY, CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH PRIOR TO ANY CONSTRUCTION.

LEGEND

--- (u) ---	OVERHEAD UTILITIES	●	SEWER CLEAN OUT
---	SANITARY SEWER	●	FIRE HYDRANT ASSEMBLY
---	UNDERGROUND ELECTRIC	●	SANITARY SEWER MANHOLE (SSMH)
---	TELEPHONE LINE	●	POLE MOUNTED AREA LIGHT
---	GAS LINE	●	WATER METER
---	WATER LINE	●	BACKFLOW PREVENTER
---	WIRE LINE	●	SANITARY CONNECTION (POD)
---	PRIVATE WATER	●	WATER VALVE
---	ROOF DRAIN	●	GREASE TRAP
---	IRRIGATION SLEEVE	●	HOSE BIB
---	UTILITY POLE	●	

UTILITY INFORMATION

SIZE	TYPE	LOCATION
1"	SANITARY SEWER	ADJACENT TO SOUTHERN PROPERTY LINE
12"	WATER	RUNS IN EASTERN SIDE OF STREET "A"
18"	STORM SEWER	STREET "A" - ACCESS ROAD
780	ELECTRIC	TBD
780	GAS	TBD

EXISTING CONDITIONS / SURVEY INFORMATION

FROM ASR PLANS BY: MCDONALD'S ONE GLENWOOD AVENUE, SUITE 204 HALLMARK NORTH CAROLINA 27603 PHONE: 919.852.4300

DATE OF PLANS: 7-14-2020

PLAN SCALE: 1" = 20'

STREET ADDRESS: 5190 TIMBERFIELD WAY

PARKING INFORMATION

TOTAL SPACES	SPACES	SPACES	SPACES
34	2	2	2
	2	2	2
	2	2	2

UTILITY INFORMATION

SIZE	TYPE	LOCATION
1"	SANITARY SEWER	ADJACENT TO SOUTHERN PROPERTY LINE
12"	WATER	RUNS IN EASTERN SIDE OF STREET "A"
18"	STORM SEWER	STREET "A" - ACCESS ROAD
780	ELECTRIC	TBD
780	GAS	TBD

EXISTING CONDITIONS / SURVEY INFORMATION

FROM ASR PLANS BY: MCDONALD'S ONE GLENWOOD AVENUE, SUITE 204 HALLMARK NORTH CAROLINA 27603 PHONE: 919.852.4300

DATE OF PLANS: 7-14-2020

PLAN SCALE: 1" = 20'

STREET ADDRESS: 5190 TIMBERFIELD WAY

NO.	DATE	DESCRIPTION	BY	ISSUANCE
1	7/29/22	ASR SUBMITTAL #1	STH	STH
2	10/20/22	ASR REVIEW COMMENTS #1	CDH	CDH
3	10/20/22	ADDITIONAL ASR REVIEW COMMENTS #1	STH	STH
4	10/20/22	ASR REVIEW COMMENTS #2	STH	STH
5	10/20/22	ASR REVIEW COMMENTS #3	STH	STH

PLAN APPROVAL

DATE	DATE	DATE	DATE	DATE

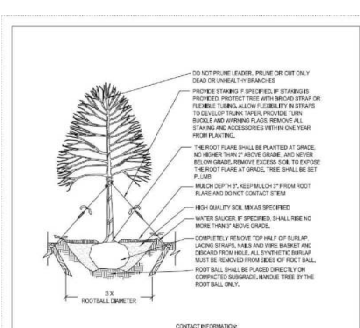
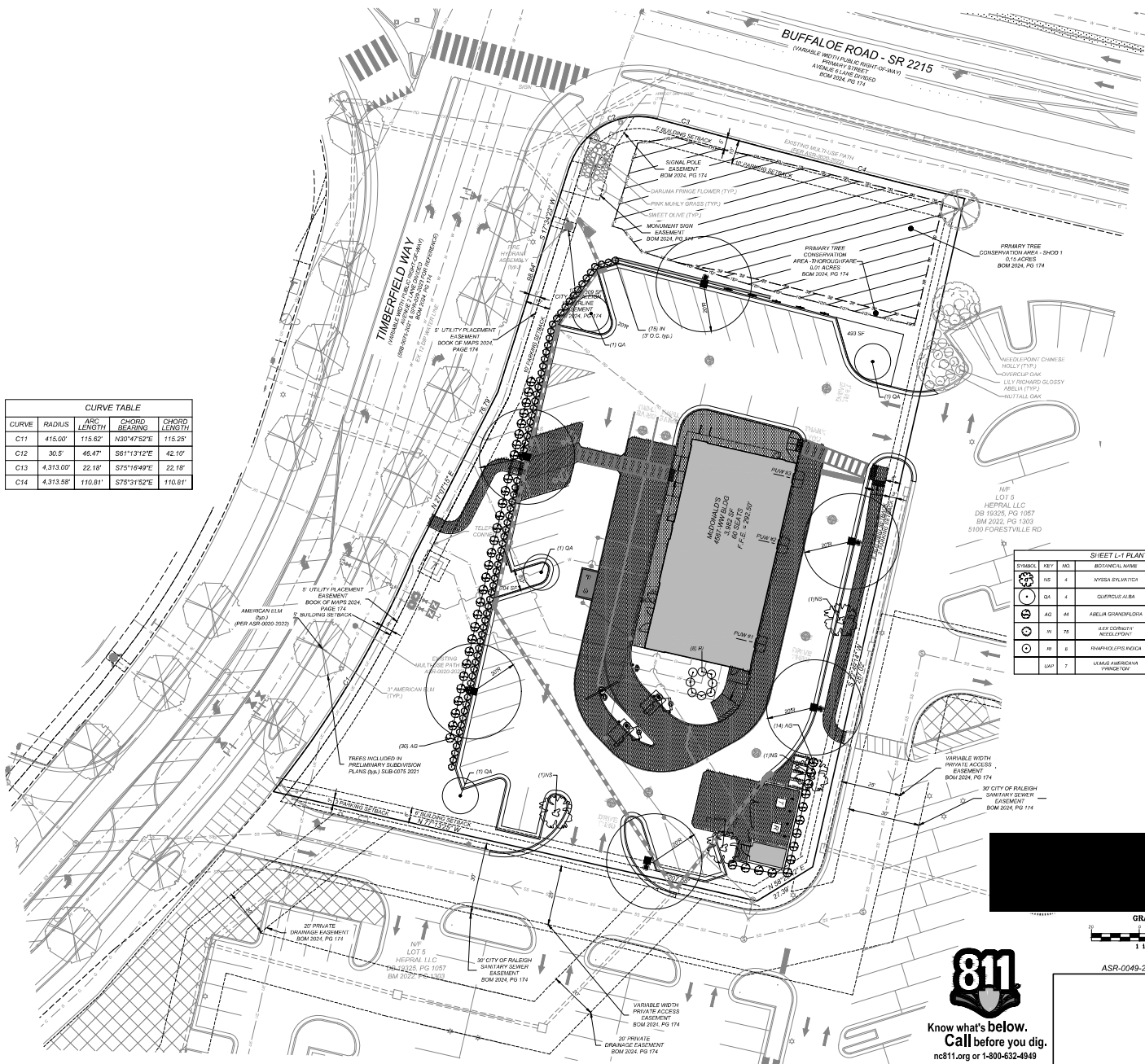
STATUS

STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

TAX PARCEL NUMBER: TSD
CSD FILE NAME: MCD2101-LJP
LOCATION CODE NUMBER: 32-1719

C-6 UTILITY PLAN

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C11	415.00'	115.62'	N35°47'52"E	115.29'
C12	30.5'	45.47'	S61°13'12"E	42.10'
C13	4,313.00'	22.18'	S75°16'49"E	22.18'
C14	4,313.58'	110.81'	S75°31'52"E	110.61'



NOTE: THE CONTRACTOR IS RESPONSIBLE FOR...
 CONTACT INFORMATION:
 CITY OF RALEIGH
 5190 TIMBERFIELD WAY

LANDSCAPING CALCULATIONS
 PARKING LOT - 24,037 SF
 1 SHADY TREE PER 4,000 SF
 24,037 / 4000 = 6 TREES REQUIRED

DRIVE THRU SCREENING SPEC. 2.2.2.4B
 REQUIRED - CONTIGUOUS COMPACT EVERGREEN HEDGE
 34' MINIMUM AND 48" WITHIN 3 YEARS
 PROVIDED - 30' x 6'

TYPE C3 STREET PROTECTIVE YARD SPEC. 2.2.4B
 REQUIRED - 30' SHRUBS PER 10' LF (200' X 30' = 60')
 PROVIDED - 75' x 6'

NOTES
 ETC/LIGHT FIXTURE MUST BE LOCATED 20 FEET AWAY FROM ANY TREE

SHEET L-1 PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)										
SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CULTURE	HEIGHT	SPREAD	SPREAD	ROOTS	COMMENTS
(Symbol)	AS	1	NYSSA SYLVATICA	SOFT MAPLE	7' MAX	10' MAX	60"	30"	8 & B	SHADY TREE
(Symbol)	AT	1	QUERCUS ALBA	WHITE OAK	7' MAX	10' MAX	60"	30"	8 & B	SHADY TREE
(Symbol)	AD	4X	AMELIA GRANDIFLORA	GLOSSY ANJELICA	30" MAX	48" MAX	N/A	60"	2 GAL, LANK	EVERGREEN / SHRUB
(Symbol)	AI	7X	ILEX CORNUTA	HOLLY	30" MAX	48" MAX	N/A	60"	2 GAL, LANK	EVERGREEN / SHRUB
(Symbol)	AI	7	PRUNUS SPINOSA	PINK AWYAN HAWTHORNE	30" MAX	48" MAX	N/A	60"	2 GAL, LANK	EVERGREEN / SHRUB
(Symbol)	LAH	2	LEONIA PARADOXA	SPRING OAK	AMERICAN OAK					SHRUB TREE PER ASP/400/00/0/0/0

PARKING INFORMATION		
TOTAL SPACES	34	
2 SPACES	5' x 10.0'	10
2 SPACES	5' x 10.0'	10
2 PARALLEL SPACES	10' x 20'	2

UTILITY INFORMATION		
TYPE	LOCATION	
SANITARY SEWER	1' ADJACENT TO SOUTHWEST PROPERTY LINE	
WATER	12" RUN IN EASTERN SIDE OF STREET 'A'	
STORM SEWER	STREET 'A' - ACCESS ROAD	
ELECTRIC	TBD	
GAS	TBD	

EXISTING CONDITIONS / SURVEY INFORMATION
 FROM ASR PLANS BY: MCDONALD'S
 ONE GLENWOOD AVENUE, SUITE 201
 RALEIGH, NORTH CAROLINA 27601
 PHONE: 919.852.4300
 DATE OF PLANS: 7-14-2020

PLAN SCALE: 1" = 20'
 STREET ADDRESS
 5190 TIMBERFIELD WAY

CITY	STATE
RALEIGH	NORTH CAROLINA
COUNTY	WAKE

TAX PARCEL NUMBER	LOCATION CODE NUMBER
TSD	32-1719
CSD FILENAME:	MCD21014-S



Know what's below.
 Call before you dig.
 nc811.org or 1-800-632-4949

REVISION	DATE	DESCRIPTION	BY
1	7/29/22	ASR SUBMITTAL #1	SK
2	10/20/22	ASR REVIEW COMMENTS #1	SK
3	10/10/23	ADDITIONAL ASR REVIEW COMMENTS #1	SK
4	10/10/23	ASR REVIEW COMMENTS #2	SK

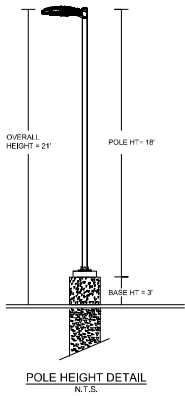
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McDonald's
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 BALTIMORE REGION
 6602 ROCKLEIGH DRIVE, SUITE 1100, JERESIDE, MD 20787

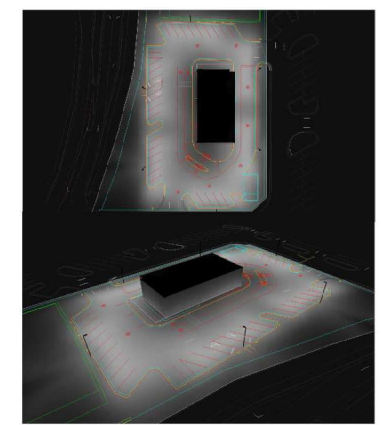
DATE	STATUS	DATE	BY
	FINAL	-	-
	PLAN CHECKED	-	-
	AS-BUILT	-	-

PLAN APPROVAL
 SUBMITTER (REQUIRED)
 DESIGNER
 CHECKER
 CDD SIGNATURE LINES
 DATE

C-7
 LANDSCAPE PLAN



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C1	22.18'	4313.00'	0.29°	S75°16'49"E	22.18'	11.00'
C2	110.81'	4313.58'	1.47°	S75°31'52"E	110.81'	55.41'
C3	115.62'	415.00'	15.98°	N30°47'54"E	115.25'	58.19'
C4	46.47'	30.50'	87.29°	S61°13'12"W	42.10'	29.09'



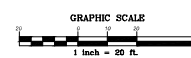
POLE FIXTURES ARE FULL CUTOFF.
TILT = 0.
CALCULATION GRID ARE AT GRADE
POLE LIGHT MOUNTING HEIGHT = 21 FEET (18' POLE + 3' BASE)

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PAVED SURFACE READINGS	Illuminance	Fc	4.56	7.0	1.2	3.80
PROPERTY LINE READINGS	Illuminance	Fc	0.57	2.5	0.0	N.A.

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg. Height	Pole Type
■	6	A	SINGLE	0.900	RAR-480L-240-SK7-4W	226.9	0.607	21	SES-18-40-1-TA-GL-xx (4')

RESIDENT WIND LOAD (TELECOM) BASED ON ASCE 7-16 WIND SPEEDS IN 180 DEGREE GUST WIND; 50 YEAR REPEAT EXPOSURE PERIOD; ALLOWED WIND SPEED: 110 MPH (100 MPH)

MODEL: RAR-480L-240-SK7-4W
 DIM: 1" x 2" x 0" @ 0"
 FINISH: BRUSHED ALUMINUM
 WEIGHT: 11.5 LB
 WATTAGE: 240W
 DATE: 7/11/2022



ASR-0049-2022 & SUP-0075-2022

PARKING INFORMATION			
TOTAL SPACES	SPACES	SPACES	SPACES
34	2 SPACES 8' x 18' @ 90°	2 SPACES 8' x 18' @ 90°	2 PARALLEL SPACES 10' x 20' @ 0°

UTILITY INFORMATION		
SIZE	TYPE	LOCATION
12"	WATER	ADJACENT TO SOUTHWEST PROPERTY LINE
12"	STORM SEWER	12' RUNS IN EASTERN SIDE OF STREET 'A'
4"	ELECTRIC	TBD
4"	GAS	TBD

EXISTING CONDITIONS / SURVEY INFORMATION
 FROM ASR PLANS BY: MCDONALD'S
 ONE GLENWOOD AVENUE, SUITE 201
 RALEIGH, NORTH CAROLINA 27603
 PHONE: 919.823.4300
 DATE OF PLANS: 7-14-2020

PLAN SCALE: 1" = 20'
 STREET ADDRESS: 5190 TIMBERFIELD WAY

CITY	STATE	STATUS	DATE	BY
RALEIGH	NORTH CAROLINA	FINAL	-	-
COUNTY	WAKE	PLAN CHECKED	-	-
TAX PARCEL NUMBER: TSD	LOCATION CODE NUMBER: 32-1719	AS-BUILT	-	-
CSD FILENAME: MCD2101-LI				

REV	DATE	DESCRIPTION	BY	ISSUED
1	7/29/22	ASR SUBMIT T.M. #1		
2	10/20/2022	ASR REVIEW COMMENTS #1		
3	10/10/2023	ADDITIONAL ASR REVIEW COMMENTS #1		
4	10/10/2023	ASR REVIEW COMMENTS #2		

PLAN APPROVAL

DATE	DATE	DATE	DATE

PERSONAL SEAL (PROVIDOR)
 PERSONAL SEAL (CONTRACTOR)
 PERSONAL SEAL (REGISTERED PROFESSIONAL)
 PERSONAL SEAL (REGISTERED PROFESSIONAL)
 PERSONAL SEAL (REGISTERED PROFESSIONAL)
 PERSONAL SEAL (REGISTERED PROFESSIONAL)

STATUS: AS-BUILT
 PLAN CHECKED: -
 AS-BUILT: -

C-8 LIGHTING PLAN

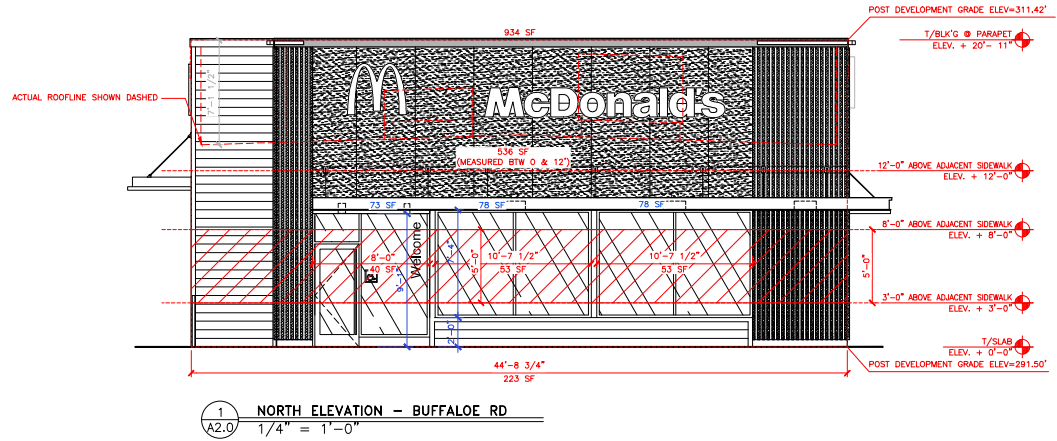
MCD2101 - Raleigh, NC @ Buffalo Rd 32-1719/CAD/ASR 7/14/2022/02:01-11.dwg 4/12/2023 8:06:38 AM ccd/ab

TRANSPARENCY TABLE (NORTH SIDE BUFFALO RD)

FLOOR LEVEL	SF OF WALL MEASURED BTW 0 & 12'	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQUIRED	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLOOR	536 SF	176 SF (33%)	229 SF (43%)	88 SF (50% OF THE 33% REQ'D)	146 SF (83% OF THE 33% REQ'D)

*SF MEASURED PER GENERAL REQUIREMENT BELOW
CITY OF RALEIGH UDO SECTION 1.5.9.B

- B. GENERAL REQUIREMENTS**
- THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE ADJACENT SIDEWALK. MORE THAN 50% OF THE REQUIRED LINE OF TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET OF THE BUILDING FACADE.
 - THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.

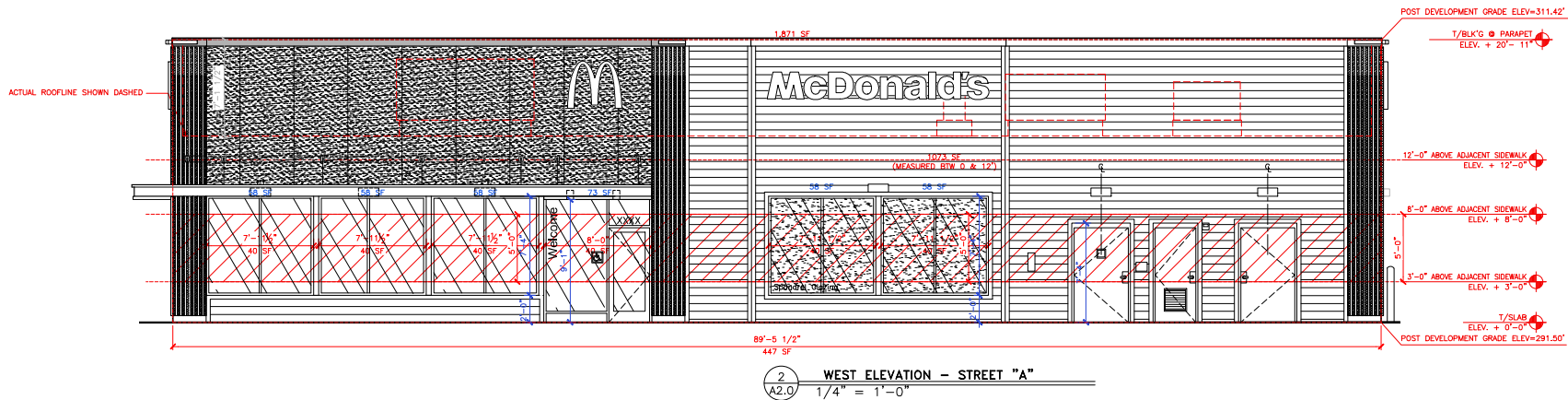


1 NORTH ELEVATION - BUFFALO RD
 1/4" = 1'-0"

TRANSPARENCY TABLE (WEST SIDE STREET A)

FLOOR LEVEL	SF OF WALL MEASURED BTW 0 & 12'	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQUIRED	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLOOR	1,073 SF	354 SF (33%)	363 SF (34%)	177 SF (50% OF THE 33% REQ'D)	240 SF (68% OF THE 33% REQ'D)

*SF MEASURED PER GENERAL REQUIREMENT BELOW



2 WEST ELEVATION - STREET "A"
 1/4" = 1'-0"

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of the City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval _____

NO.	DATE	REV	DESCRIPTION

DESIGNED BY: **McDonald's USA, LLC**
 DATE: 03/30/2022
 DRAWN BY: **ARCHITECTURE**
 DATE: 03/30/2022
 PROJECT NO: 2022 STANDARD BUILDING - BB20
 4587 WOOD/WOOD
 WOOD BEARING WALLS W/ HANGE BOARD SIDING & G
 WOOD ROOF TRUSS FRAMING
 ELEV./INTERIOR/EXTERIOR FINISHES/EXTERIOR/INTERIOR SIDING
 803-719-1372 BUNNICK RD
 RALEIGH, NC 27604

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SHEET NO. **A2.0**
 ELEVATIONS

