



# Administrative Approval Action

Case File / Name: ASR-0049-2024  
DSLCL- RED HAT AMPHITHEATER RELOCATION PROJECT

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The 2.05 acre project site is located on the southwest corner of West Lenoir St and South McDowell St. The development is bordered on the west by the rail road line running northwest to southeast. The site is a combination of parcels, specifically PIN 1703660333, 1703568384, and 1703569162. The properties are zoned DX-20-UG, DX-20-UG, and DX-20, respectively.

**REQUEST:** The application requests approval of a new 6,000+ seat outdoor amphitheater with one building of 24,517 gross square feet. This development will replace the existing amphitheater and move it from its current location approximately one block to the south. The new amphitheater will lie across the current area of West South Street where right-of-way will be permanently closed between South Dawson and South McDowell Streets.

The Design Review Commission approved 13 design alternates for this project with an additional four conditions of approval (case DA-13-2024).

The Board of Adjustment approved a Special Use Permit for the amphitheater to exceed 250 seats (case BOA-0057-2024).

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 21, 2025 by RATIO.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. An encroachment agreement will be required prior to SPR approval for any work being done on NC Railroad Company property (e.g., PIN 1703650860, 1703567322, and 1703567402).
2. Show transparency calculations on sheet 21 that are compliant with transparency that was approved by the Design Review Commission along McDowell St and W Lenoir Street, Design Alternates number 3 and 4.
3. Provide Board of Adjustment case number, Special Use Permit Requirements, and any conditions of approval on the cover sheet of the SPR related to the approved Special Use Permit (BOA-0057-2024).





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4. Provide details of gate and fence around the north and west loading area, per Design Alternates number 5 and 6.
5. Provide details of gate and fence around the north and west service area, per Design Alternates number 7 and 8.
6. Specifically call out the 8-foot fence along both property lines along S McDowell Street and W Lenoir Street per Design Alternates numbers 9 and 10.
7. Provide an irrigation and regulation maintenance plan to maintain the plantings per additional condition of approval number 3 of the approved Design Alternates.
8. Provide exhibits and details on the change in material type or color for the portions of sidewalk that abut the reverse movement driveways located off West Lenoir and South Streets per condition of approval number 1 of the approved Design Alternates.
9. Provide an exhibit demonstrating that sixty percent (60%) of the fence in the locations along McDowell and Lenoir Streets are covered with decorative support systems for climbing vines, providing visual depth and interest along the fence per condition of approval number 4 of the approved Design Alternates.
10. Provide full case numbers associated with this development and all conditions of approval related to the approved Design Alternates on the SPR Cover Sheet. The Design Review Commission approved four conditions of approval related to the Design Alternates which need to be shown on the plans.
11. Update the application and plan set to reflect selection of the civic building type.

### Engineering

12. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
13. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

### Stormwater

14. Updated nutrient calculations shall be submitted to demonstrate compliance with UDO Section 9.2.2.B.
15. The design of the bioretention cells in the right-of-way shall be submitted inclusive of sizing calculations and site specific practice details.
16. Updated peak flow calculations shall be submitted that account for all increases in impervious area including those in the right-of-way to demonstrate compliance with UDO Section 9.2.2.E.





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17. The sand filter details shall be updated to accurately show all design elevations and device components and shall be consistent with the hydraulic routing calculations.
18. Updated exhibits showing that the impervious area being removed from Tract 6 is greater than or equal to the impervious area being added in the South Street right-of-way shall be submitted.
19. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
20. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## **General**

1. Record the Street Closure of South Street right-of-way with the Wake County Register of Deeds after City Council approval.
2. Provide documentation of an approved Comprehensive Plan Amendment by Planning Commission and City Council.

## **Engineering**

3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **General**





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1. A recombination map shall be approved and recorded with the Wake County Register of Deeds prior to Building Permit issuance, recombining property lines and the street right-of-way to be closed as shown on the preliminary plan.

## Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees (Tree Pit) along S McDowell Street, 8 street trees (Tree Pit) along Lenoir Street and 2 street trees along South Street.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all newly planted right of way street trees, as well as existing street trees located within 15 ft of the proposed work by Urban Forestry Staff.
2. Dimension the distance between the driveway onto W Lenoir Street located at least 85 feet away from the intersection of W Lenoir Street and S Dawson street, per Design Alternate number 11.

## Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** May 16, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.





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(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

I hereby certify this administrative decision.

*Keegan McDonald*

Digitally signed by Keegan.McDonald@raleighnc.gov  
Reason: I am approving this document  
Date: 2025.05.16 14:53:48-04'00'

Signed: \_\_\_\_\_ Date: 05/16/2025  
Development Services Dir/Designee

Staff Coordinator: Jeff Caines



205 W LENOIR STREET  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
A DEVELOPMENT BY: CITY OF RALEIGH  
RALEIGH, NORTH CAROLINA 27601

205 W LENOIR STREET  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
A DEVELOPMENT BY: CITY OF RALEIGH  
RALEIGH, NORTH CAROLINA 27601

[illegible]

203-299-1904

C-001

FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION

VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT  
TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

[illegible]

Phone #: _____	Email: _____	
NOTE: please attach purchase agreement or contract, lease or assessment when submitting this form.		
<b>Developer Contact: Rodney Funk</b>		
Company: City of Raleigh		Title: General Manager
Address: 222 W Hargett St, Raleigh, NC 27601		
Phone #: 919-966-8531		Email: rodney.funk@raleighnc.gov
Applicant Name: Tim Carter, PE		
Company: Kinley-Horn and Associates		Address: 421 Fayetteville Street, Suite 600, Raleigh, NC
Phone #: 919-677-2197		Email: Tim.Carter@kinley-horn.com

DEVELOPMENT TYPE + SITE DATA TABLE	
(Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): 40X-0 (19.4c), 40X-20-U (1.56 ac)	Existing gross floor area (not to be demolished): _____
Gross site acreage: 2.95	Existing gross floor area to be demolished: _____
# of parking spaces proposed: N/A	New gross floor area: 24,517 SF
Max parking permitted (7.12 c): No Max	Total gross floor (to remain and new): 24,517 SF
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use UD0 (1.0 A), Vacant	Proposed # of stories for each 1
Proposed use (UDO 1.6 A), Outdoor Theater	Proposed # of basement levels (UDO 1.7 A, 6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s): 40X or 20U	Impervious Area for Compliance (includes ROW): 40X or 20U
Existing (sf) 37,228	Existing (sf) 37,228
Proposed total (sf) 87,445	Proposed total (sf) 87,445

RESIDENTIAL + OVERNIGHT LOGGING DEVELOPMENTS	
Total # of dwelling units: # of beds: 10r _____ 20r _____ 30r _____	Total # of hotel bedrooms: 40r or more _____
Do you have a project a college court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
A frequent transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Continue to Applicant Signature Block on Page 4.

Continue to Applicant Signature Block on Page 4.

Revision 03.01.24  
raleighnc.go

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raleighnc.gov

Digitally signed by  
jeff.caines@raleighnc.gov  
DN:  
E=jeff.caines@raleighnc.gov,  
CN=jeff.caines@raleighnc.gov  
Reason: I am approving this  
document  
Date: 2025.05.14  
12:06:45-04'00'

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON AN  
ALTANGSP TOPOGRAPHIC SURVEY OBTAINED ON 04/06/2002  
SURVEYING. 4555 FALLS OF NEUSE ROAD FLOOR 4 RALEIGH  
(919) 783-5214. CONTRACTOR SHALL BE RESPONSIBLE FOR  
VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT  
TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO  
OWNER AND ENGINEER.







[illegible]

CUMMANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED, FIRST PUBLIC RECORD OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF AND THE PROPOSED INSURED ACQUIRED FOR THE VALUE OF RECORD THE ESTATE OR EASE THEREON COVERED BY THIS COMMITMENT

SURVEY

ASSESSMENTS FOR THE YEAR 2003 DUE AND PAYABLE, BUT NOT YET DELINQUENT AND IDENT YEARS, NOT YET DUE AND PAYABLE

SURVEY

CONFLICTS, ACCESS SHORTAGES IN AREA OR BOUNDARY ENCROACHMENTS, EASEMENTS OR CLAIMS OF EASEMENTS, RIPARIAN RIGHTS, AND TITLE TO LAND, RAILROADS, WATERCOURSES, BURIAL GROUNDS, MARSHES, DREDGED OR FILLED AREAS, OR UNREGISTERED MARKS OR WITHIN THE BOUNDARY OF ANY ADJACENT BODY OR MATTERS WHICH MUST BE REVEALED BY A CURRENT INSPECTION AND OF THE LAND

SURVEY

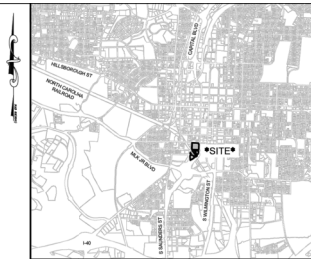
IN POSSESSION, AS TENANTS ONLY, UNDER UNRECORDED EASES.

SURVEY

1. TAXES FOR THE YEAR 2024 AND SUBSEQUENT YEARS, NOT YET DUE AND PAYABLE.  
-NOT A MATTER OF SURVEY
2. PARTY WALL AGREEMENTS IN BOOK 1027, PAGE 58, WAKE COUNTY REGISTRY.  
-PARTY WALL DESCRIBED NO LONGER EXISTS
3. RIGHT OF WAY OF S 8/2000 STREET  
-SHOWN HEREON
4. OVERLAP AREA AS CREATED AND DESCRIBED IN DEEDS RECORDED IN DEED BOOK 1273, PAGE 87 AND DEED BOOK 1052, PAGE 54, WAKE COUNTY REGISTRY.  
-EASEMENT SHOWN HEREON, PARTY WALL DESCRIBED NO LONGER EXISTS
5. TITLE TO THAT PORTION OF PROPERTY LYING WITHIN THE SUBDIV (7) BY FORTYONE (41) FOOT STREET BETWEEN OLD GARDEN STREET AND NEW GARDEN STREET.  
-CURRENT R/W SHOWN HEREON, STREET NOT SHOWN HEREON
6. RIGHTS OF TENANT(S) IF ANY IN POSSESSION, AS TENANTS ONLY, UNDER UNRECORDED LEASES  
-NOT A MATTER OF SURVEY

ALL RIGHTS RESERVED. RIGHTS OF WAY AND/OR ANY OTHER FACTS AS SHOWN ON THIS MAP OR MAPS. 1/21, 1/22, 1/23, 1/24, 1/25, 1/26, 1/27, 1/28, 1/29, 1/30, 1/31, 1/32, 1/33, 1/34, 1/35, 1/36, 1/37, 1/38, 1/39, 1/40, 1/41, 1/42, 1/43, 1/44, 1/45, 1/46, 1/47, 1/48, 1/49, 1/50, 1/51, 1/52, 1/53, 1/54, 1/55, 1/56, 1/57, 1/58, 1/59, 1/60, 1/61, 1/62, 1/63, 1/64, 1/65, 1/66, 1/67, 1/68, 1/69, 1/70, 1/71, 1/72, 1/73, 1/74, 1/75, 1/76, 1/77, 1/78, 1/79, 1/80, 1/81, 1/82, 1/83, 1/84, 1/85, 1/86, 1/87, 1/88, 1/89, 1/90, 1/91, 1/92, 1/93, 1/94, 1/95, 1/96, 1/97, 1/98, 1/99, 1/100, 1/101, 1/102, 1/103, 1/104, 1/105, 1/106, 1/107, 1/108, 1/109, 1/110, 1/111, 1/112, 1/113, 1/114, 1/115, 1/116, 1/117, 1/118, 1/119, 1/120, 1/121, 1/122, 1/123, 1/124, 1/125, 1/126, 1/127, 1/128, 1/129, 1/130, 1/131, 1/132, 1/133, 1/134, 1/135, 1/136, 1/137, 1/138, 1/139, 1/140, 1/141, 1/142, 1/143, 1/144, 1/145, 1/146, 1/147, 1/148, 1/149, 1/150, 1/151, 1/152, 1/153, 1/154, 1/155, 1/156, 1/157, 1/158, 1/159, 1/160, 1/161, 1/162, 1/163, 1/164, 1/165, 1/166, 1/167, 1/168, 1/169, 1/170, 1/171, 1/172, 1/173, 1/174, 1/175, 1/176, 1/177, 1/178, 1/179, 1/180, 1/181, 1/182, 1/183, 1/184, 1/185, 1/186, 1/187, 1/188, 1/189, 1/190, 1/191, 1/192, 1/193, 1/194, 1/195, 1/196, 1/197, 1/198, 1/199, 1/200, 1/201, 1/202, 1/203, 1/204, 1/205, 1/206, 1/207, 1/208, 1/209, 1/210, 1/211, 1/212, 1/213, 1/214, 1/215, 1/216, 1/217, 1/218, 1/219, 1/220, 1/221, 1/222, 1/223, 1/224, 1/225, 1/226, 1/227, 1/228, 1/229, 1/230, 1/231, 1/232, 1/233, 1/234, 1/235, 1/236, 1/237, 1/238, 1/239, 1/240, 1/241, 1/242, 1/243, 1/244, 1/245, 1/246, 1/247, 1/248, 1/249, 1/250, 1/251, 1/252, 1/253, 1/254, 1/255, 1/256, 1/257, 1/258, 1/259, 1/260, 1/261, 1/262, 1/263, 1/264, 1/265, 1/266, 1/267, 1/268, 1/269, 1/270, 1/271, 1/272, 1/273, 1/274, 1/275, 1/276, 1/277, 1/278, 1/279, 1/280, 1/281, 1/282, 1/283, 1/284, 1/285, 1/286, 1/287, 1/288, 1/289, 1/290, 1/291, 1/292, 1/293, 1/294, 1/295, 1/296, 1/297, 1/298, 1/299, 1/300, 1/301, 1/302, 1/303, 1/304, 1/305, 1/306, 1/307, 1/308, 1/309, 1/310, 1/311, 1/312, 1/313, 1/314, 1/315, 1/316, 1/317, 1/318, 1/319, 1/320, 1/321, 1/322, 1/323, 1/324, 1/325, 1/326, 1/327, 1/328, 1/329, 1/330, 1/331, 1/332, 1/333, 1/334, 1/335, 1/336, 1/337, 1/338, 1/339, 1/340, 1/341, 1/342, 1/343, 1/344, 1/345, 1/346, 1/347, 1/348, 1/349, 1/350, 1/351, 1/352, 1/353, 1/354, 1/355, 1/356, 1/357, 1/358, 1/359, 1/360, 1/361, 1/362, 1/363, 1/364, 1/365, 1/366, 1/367, 1/368, 1/369, 1/370, 1/371, 1/372, 1/373, 1/374, 1/375, 1/376, 1/377, 1/378, 1/379, 1/380, 1/381, 1/382, 1/383, 1/384, 1/385, 1/386, 1/387, 1/388, 1/389, 1/390, 1/391, 1/392, 1/393, 1/394, 1/395, 1/396, 1/397, 1/398, 1/399, 1/400, 1/401, 1/402, 1/403, 1/404, 1/405, 1/406, 1/407, 1/408, 1/409, 1/410, 1/411, 1/412, 1/413, 1/414, 1/415, 1/416, 1/417, 1/418, 1/419, 1/420, 1/421, 1/422, 1/423, 1/424, 1/425, 1/426, 1/427, 1/428, 1/429, 1/430, 1/431, 1/432, 1/433, 1/434, 1/435, 1/436, 1/437, 1/438, 1/439, 1/440, 1/441, 1/442, 1/443, 1/444, 1/445, 1/446, 1/447, 1/448, 1/449, 1/450, 1/451, 1/452, 1/453, 1/454, 1/455, 1/456, 1/457, 1/458, 1/459, 1/460, 1/461, 1/462, 1/463, 1/464, 1/465, 1/466, 1/467, 1/468, 1/469, 1/470, 1/471, 1/472, 1/473, 1/474, 1/475, 1/476, 1/477, 1/478, 1/479, 1/480, 1/481, 1/482, 1/483, 1/484, 1/485, 1/486, 1/487, 1/488, 1/489, 1/490, 1/491, 1/492, 1/493, 1/494, 1/495, 1/496, 1/497, 1/498, 1/499, 1/500, 1/501, 1/502, 1/503, 1/504, 1/505, 1/506, 1/507, 1/508, 1/509, 1/510, 1/511, 1/512, 1/513, 1/514, 1/515, 1/516, 1/517, 1/518, 1/519, 1/520, 1/521, 1/522, 1/523, 1/524, 1/525, 1/526, 1/527, 1/528, 1/529, 1/530, 1/531, 1/532, 1/533, 1/534, 1/535, 1/536, 1/537, 1/538, 1/539, 1/540, 1/541, 1/542, 1/543, 1/544, 1/545, 1/546, 1/547, 1/548, 1/549, 1/550, 1/551, 1/552, 1/553, 1/554, 1/555, 1/556, 1/557, 1/558, 1/559, 1/560, 1/561, 1/562, 1/563, 1/564, 1/565, 1/566, 1/567, 1/568, 1/569, 1/570, 1/571, 1/572, 1/573, 1/574, 1/575, 1/576, 1/577, 1/578, 1/579, 1/580, 1/581, 1/582, 1/583, 1/584, 1/585, 1/586, 1/587, 1/588, 1/589, 1/590, 1/591, 1/592, 1/593, 1/594, 1/595, 1/596, 1/597, 1/598, 1/599, 1/600, 1/601, 1/602, 1/603, 1/604, 1/605, 1/606, 1/607, 1/608, 1/609, 1/610, 1/611, 1/612, 1/613

1. TAXES FOR THE YEAR 2004 AND SUBSEQUENT YEARS, NOT YET DUE AND PAYABLE, NOT A MATTER OF SURVEY.
2. RIGHT OF WAY OF S DAWSON STREET SHOWN SITE
3. EASEMENT TO CAROLINA POWER AND LIGHT COMPANY, RECORDED IN BOOK 3885, COUNTY REGISTRY. -BLANKET TYPE EASEMENT
4. DECLARATION OF CROSS EASEMENT RECORDED IN 4013, PAGE 885, WAKES COUNTY DOCUMENT ESTABLISHED CROSS ACCESS EASEMENT OF PARCELS WITH ACCESS TO SHOWN CROSS STREET. THIS PARCEL MENTIONED IS SHOWN ON SHOWN SITE, AND NOT SUBSEQUENTLY RECOMBINED UNDER ONE OWNERSHIP, UNLESS IF EASEMENT BE
5. RIGHTS OF TENANTS (IF ANY) IN POSSESSION, AS TENANTS ONLY, UNDER UNRECORDED -NOT A MATTER OF SURVEY
6. SUCH STATE OF FACTS AS MIGHT BE DISCLOSED BY A CURRENT AND ACCURATE INSPECTION OF THE LAND SHOWN HEREON IF FOUND DURING COURSE OF SURVEY



TRACTS 2 AND 3  
SCHEDULE B PART II

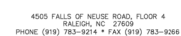
- [illegible]

[illegible]

I, JAMES M. GELLEINTIN, CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DEED REQUIREMENT FOR ALTA SURVEYS AND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSP, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B, 7C, 8, 9, 11, 12, 14, 16, 17, AND 20 OF TABLE A THEREOF.

JAMES M. GELLETHIN, NC FLS No. 1-3860

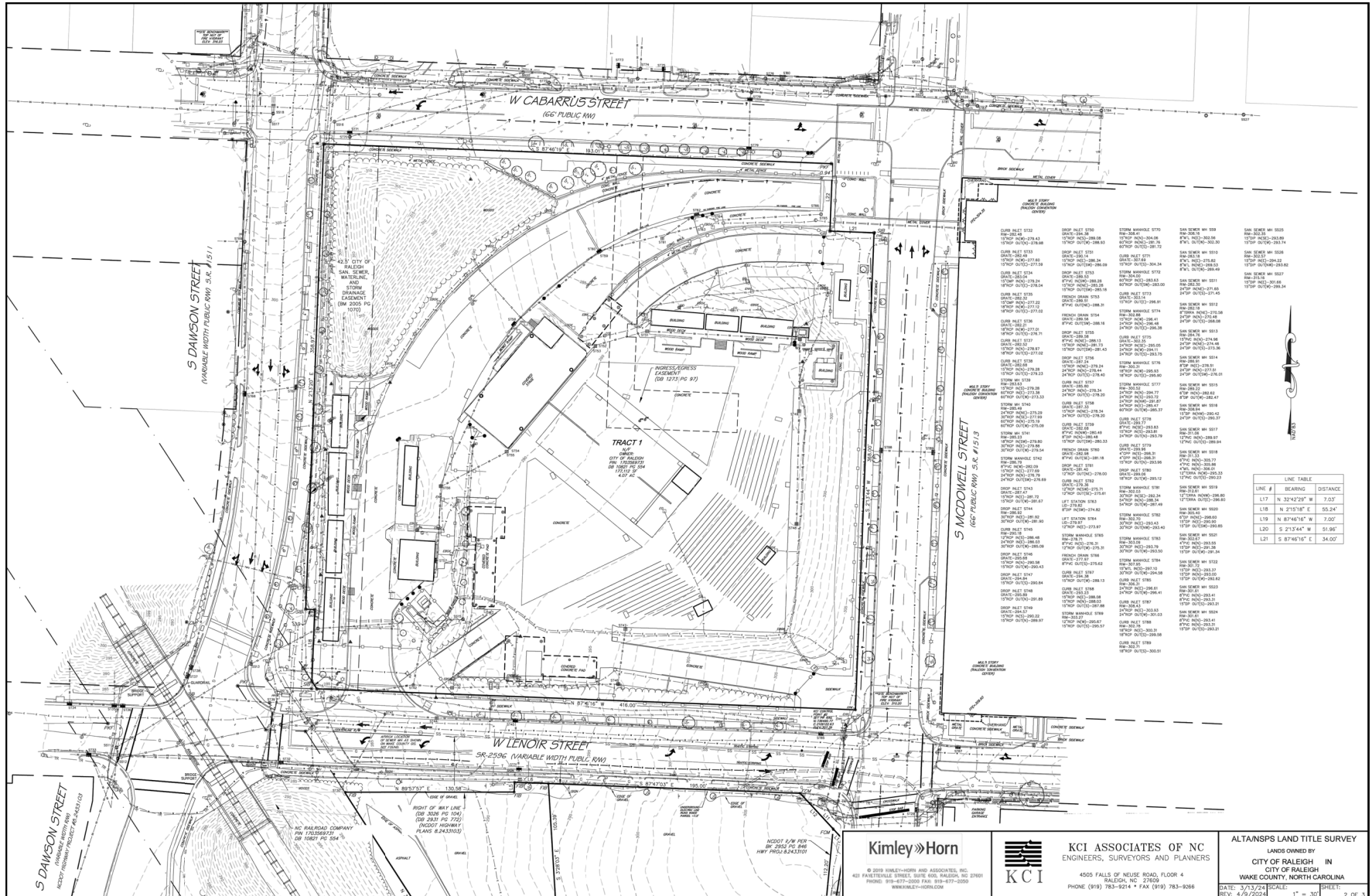
© 2019 KINLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KINLEY-HORN.COM



LANDS OWNED BY  
CITY OF RALEIGH IN  
CITY OF RALEIGH  
WAKE COUNTY, NORTH CAROLINA

DATE: 3/13/24	SCALE:	SHEET:
REV: 4/9/2024	NTS	1 OF 3





LINE TABLE		
LINE #	BEARING	DISTANCE
1.17	N 32°42'29" W	7.33'
1.18	N 27°18'18" E	55.24'
1.19	N 87°48'18" W	7.00'
1.20	S 21°32'44" E	51.96'
1.21	S 87°48'18" E	34.00'

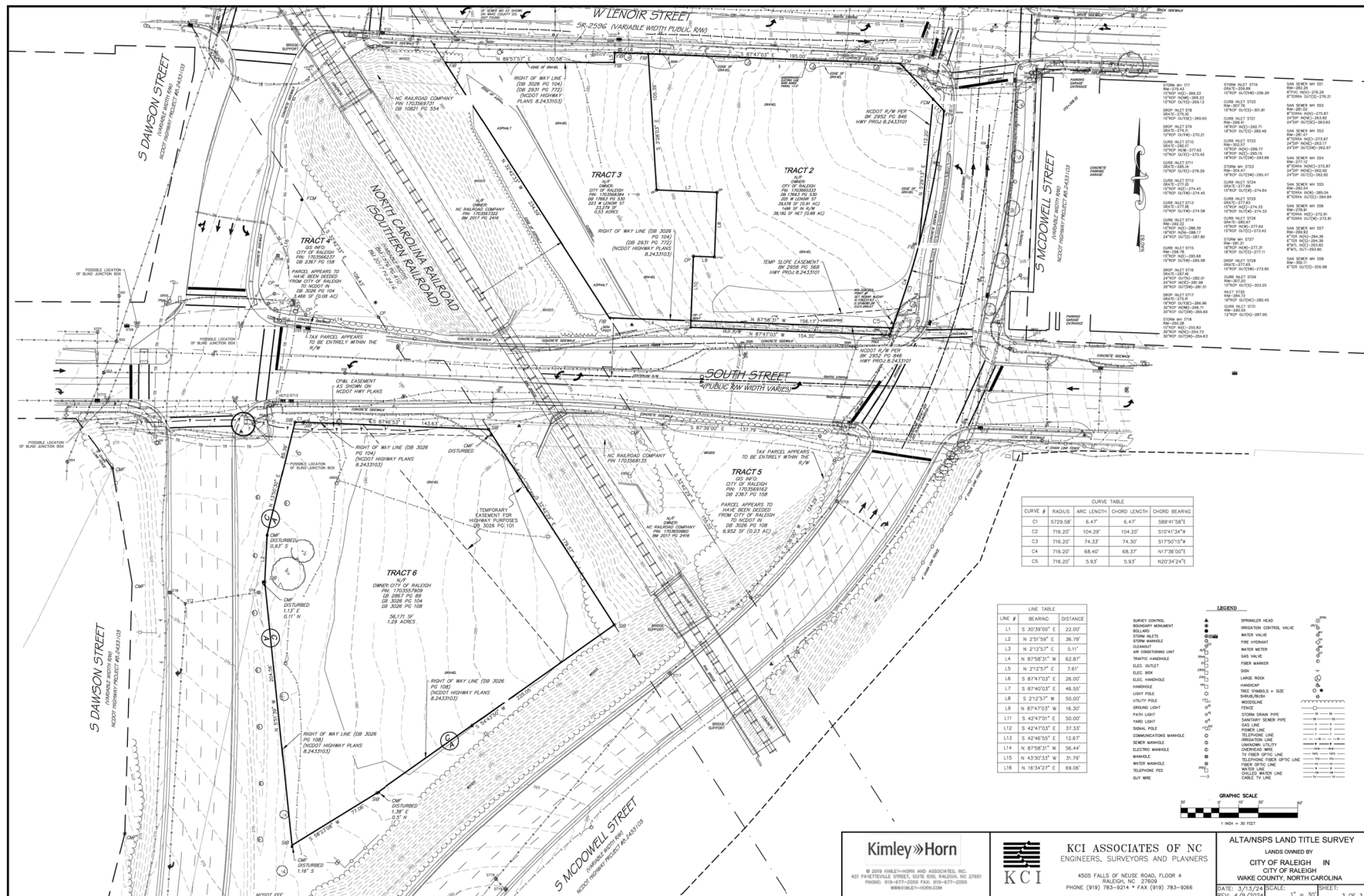
**KimleyHorn**  
© 2018 KIMLEY-HORN AND ASSOCIATES, INC.  
401 FAIRVIEW STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-877-2000 FAX: 919-877-2009  
WWW.KIMLEY-HORN.COM



**KCI ASSOCIATES OF NC**  
ENGINEERS, SURVEYORS AND PLANNERS  
4505 FALLS OF NEUSE ROAD, FLOOR 4  
RALEIGH, NC 27609  
PHONE: (919) 783-9214 • FAX: (919) 783-9266

**ALTANSAPS LAND TITLE SURVEY**  
LANDS OWNED BY  
**CITY OF RALEIGH IN**  
WAKE COUNTY, NORTH CAROLINA  
DATE: 3/13/24 SCALE: 1" = 50'  
REV: 6/9/2024 SHEET: 2 OF 3





Kimley»Horn



**KCI ASSOCIATES OF NC**  
ENGINEERS, SURVEYORS AND PLANNERS

4505 FALLS OF NEUSE ROAD, FLOOR 4  
RALEIGH, NC 27609  
PHONE (919) 783-9214 • FAX (919) 783-9266

ALTA/NSPS LAND TITLE SURVEY		
LANDS OWNED BY		
CITY OF RALEIGH IN		
CITY OF RALEIGH		
WAKE COUNTY, NORTH CAROLINA		
DATE: 3/13/24	SCALE: 1" = 30'	SHEET: 3 OF 3



RED HAT  
AMPHITHEATER  
RELOCATION  
Lenoir Street  
Raleigh, NC 27601

Owner  
City of Raleigh  
215 Fayetteville Street, Suite 801  
Raleigh, NC 27601  
919-998-5875

Architect of Record / Landscape Architect  
Lynch Mylne  
227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-821-1800

Design Architect / Interior Designer  
TVS  
1200 Praetorio Street NE, Suite 200  
Atlanta, GA 30309  
404-588-6500

Civil Engineer  
Kimley Horn  
421 Fayetteville Street, Suite 600  
Raleigh, NC 27601  
919-677-2000

Structural Engineer  
Lynch Mylne  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

MKA  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

Mechanical / Electrical Engineer  
Engineered Design, Inc.  
1101 SE City Parkway, Suite 200  
Cary, NC 27518  
919-881-8481

Fire Protection Engineer  
Howe Engineers  
141 Longview Dr., Suite 110  
Newport, MA 02041  
781-878-3500

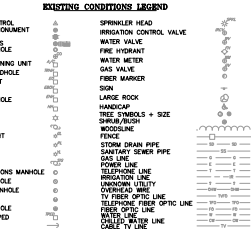
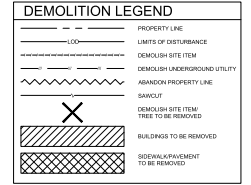
IT/Security  
Shen Milson & Wilke, LLC  
1220 North Elm Street, Suite 360  
Arlington, VA 22201  
703-243-6301

Vertical Circulation  
Lerch Bates  
505 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30309  
770-646-2480

Food Service Design  
Culinary Advisors  
2004 Stockton Road  
Providence, RI 02911  
512-481-4155

Lighting Design  
HLB  
3485 Ringway Court Side 148  
Darien, CT 06216  
303-317-5006

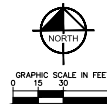
Acoustical Engineering  
Akustics  
101 Morris 7, Ste 300  
Norwalk, CT  
203-298-1904



**DEMOLITION NOTES**

- CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
- SAV CUT AND REMOVE CONCRETE CURB TO LIMITS REQUIRED FOR NEW WORK.
- REMOVE EXISTING CURB AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
- SAV CUT AND REMOVE ALL ASPHALT PAVEMENT TO LIMITS INDICATED ON PLAN.
- DEMOLITION MATERIALS SHALL BE PROPERLY DEPOSED OF OFF SITE PER STATE REGULATIONS.
- ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNDESIRABLE OR ADVERSE CONDITIONS, INCLUDING UNIDENTIFIED UTILITIES, DISCOVERED DURING DEMOLITION OPERATIONS.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION; CONTRACTOR IS RESPONSIBLE FOR ADEQUATE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATION AND DEPTH.
- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY OWNERS TO DETERMINE RELOCATION AND ABANDONMENT OF ALL FRANCHISE UTILITIES.
- EXISTING STORM DRAINAGE CONNECTION CANNOT BE DISCONNECTED UNTIL NEW STORM DRAINAGE IS IN PLACE.
- EXISTING SANITARY SEWER CONNECTION CANNOT BE DISCONNECTED UNTIL NEW SANITARY SEWER IS IN PLACE.

- ALL WORK ON NORTH CORRIDOR TO BE PERFORMED IN ACCORDANCE WITH NORTH CAROLINA RAILROAD SPECIFICATIONS FOR 100 SPECIFICATIONS FOR UTILITY OCCUPANCY OF NORTH CAROLINA RAILROAD SOUTHERN RAILWAY - SPECIAL PROVISIONS FOR PROTECTION OF RAILWAY INTERESTS CURRENT VERSION.
- ALL WORK TO BE PERFORMED ON OTHER LINES OR ADJACENT TO THE RAILROAD OPERATED TRACKS SHALL COMPLY WITH THE NORTH CAROLINA RAILROAD COMPANY PUBLIC PROJECTS MANUAL, APPROXIMATE SPECIAL PROVISIONS FOR THE PROTECTION OF RAILWAY INTERESTS AND APPROXIMATE OWNERS GRADE DEVIATION DESIGN CRITERIA. WORK IN CLOSE PROXIMITY TO THE RAILROAD OPERATED TRACKS SHALL COMPLY WITH THE MOST STRINGENT ONE SHALL APPLY.
- THE CONTRACTOR SHALL NOT COMMENCE ANY WORK ON OR ADJACENT TO RAILROAD OPERATED TRACKS UNTIL HE HAS COMPLIED WITH THE CONDITIONS PRESENT IN THE PUBLIC PROJECTS MANUAL. THE CONTRACTOR SHALL SO ARRANGE AND CONDUCT THE WORK THAT THERE SHALL BE NO INTERFERENCE WITH THE RAILROADS OPERATIONS OR SAFETY OF TRAINS. THE METHOD OF WORKING SHALL BE FIRST SUBMITTED TO THE RAILROAD ENGINEER FOR APPROVAL. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE RAILROADS OPERATIONS AND SAFETY OF TRAINS. THE CONTRACTOR SHALL NOT LOCATE BURIED RAILROAD SIGNAL AND COMMUNICATIONS LINES. THE CONTRACTOR SHALL CONTACT THE RAILROADS REPRESENTATIVE IN ADVANCE OF WORK AT THE RAILROADS OPERATIONS. THE CONTRACTOR OR HEAVY LOADS MAY DAMAGE THE RAILROADS UNDERGROUND FACILITIES.
- DO NOT ALTER THE EXISTING RAILROAD STRUCTURES WITHOUT FIRST APPROVAL FROM RAILROAD SOUTHERN AND NORTH CAROLINA RAILROAD COMPANY.
- IF ANY PORTION OF THE RAILROAD STRUCTURES ARE DAMAGED BY THE CONTRACTOR OPERATIONS DURING CONSTRUCTION, THE CONTRACTOR SHALL CEASE WORK, NOTIFY ALL AND REPAIRS TO THE SATISFACTION OF ALL AT THE CONTRACTOR'S SOLE EXPENSE.



**Kimley Horn**

© 2024 KIMLEY HORN AND ASSOCIATES, INC.  
#F-002 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2000  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

**ASR-0049-2024**

**FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION**

**NOTES**  
1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.  
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

SHEET ISSUE	
1	REVISED PER CITY COMMENTS
2	REVISED PER CITY COMMENTS
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20	REVISED PER CITY COMMENTS

**RATIO TVS**

CONTRACT NO. 014634001  
PROJECT NO. 014634001

SHEET TITLE  
**DEMOLITION PLAN**

SHEET NUMBER  
**C-006**







RED HAT  
AMPHITHEATER  
RELOCATION  
Lenoir Street  
Raleigh, NC 27601

Owner  
City of Raleigh  
215 Fayetteville Street, Suite 801  
Raleigh, NC 27601  
919-996-5575

Architect of Record / Landscape Architect  
RATIO  
227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-821-1800

Design Architect / Interior Designer  
TVS  
1200 Peachtree Street NE, Suite 200  
Atlanta, GA 30309  
404-888-6600

Civil Engineer  
Kimley Horn  
421 Fayetteville Street, Suite 600  
Raleigh, NC 27601  
919-677-2000

Structural Engineer  
Lynch Wilkins  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

MKA  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

Mechanical / Electrical Engineer  
Engineered Design, Inc.  
1151 SE Clay Parkway, Suite 200  
Cary, NC 27518  
919-851-8481

Fire Protection Engineer  
Howe Engineers  
141 Longwater Dr., Suite 110  
Norwell, MA 02061  
781-878-3500

IT/Security  
Shen Milson & Wilke, LLC  
1220 North Elm Street, Suite 360  
Arlington, VA 22201  
703-243-6301

Vertical Circulation  
Lerch Bates  
550 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30339  
770-648-2480

Food Service Design  
Culinary Advisors  
2004 Stockton Road  
Phoenix, AZ 85111  
512-481-4155

Lighting Design  
HLB  
3455 Ringier Court Side 148  
Denver, CO 80216  
303-317-5006

Acoustical Engineering  
Akustics  
101 Morris 7, Ste 300  
Norwalk, CT  
203-298-1904

SHEET ISSUE	
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RATIO | TVS

PROJECT NO. 014834001

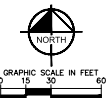
SHEET TITLE  
BUILD-TO TRUCK  
TURN EXHIBIT

SHEET NUMBER  
C-101

BUILD TO:  
W. LENOIR STREET  
PRIMARY STREET BUILD-TO (MIN/MAX): 0'-20'  
REQUIRED: 70%  
PROPOSED: 51.2' PRIMARY/366.4' = 14%  
S. MCDOWELL STREET  
PRIMARY STREET BUILD-TO (MIN/MAX): 0'-20'  
REQUIRED: 70%  
PROPOSED: 0' PRIMARY/240.6' = 0%  
NOTE: DESIGN ALTERNATE WILL BE SUBMITTED FOR BUILD-TO

1. ALL DISTANCES SHOWN ARE HORIZONTAL. GROUND DISTANCES IN U.S. SURVEY FEET (UNLESS OTHERWISE STATED).  
2. ALL BEYONDS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83/2011).  
3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

ALL WORK ON NORTH CORRIDOR TO BE PERFORMED IN ACCORDANCE WITH NORTH CAROLINA RAILROAD SPECIFICATIONS FOR 100 SPECIFICATIONS FOR SPECIAL OCCUPANCY OF NORTH CAROLINA RAILROAD PROPERTY AND NORTH CAROLINA RAILROAD SOUTHERN RAILWAY. SPECIAL PROVISIONS FOR PROTECTION OF RAILWAY INTERESTS CURRENT VERSION.  
ALL WORK TO BE PERFORMED ON OR ADJACENT TO THE RAILROAD OPERATED TRACKS SHALL COMPLY WITH THE NORTH CAROLINA RAILROAD COMPANY PUBLIC PROJECTS MANUAL, APPENDIX E, SPECIAL PROVISIONS FOR THE PROTECTION OF RAILWAY INTERESTS AND APPENDIX F, OVERHEAD GRADE SEPARATION DESIGN CRITERIA. WORK IN CONFLICT WITH OTHER PUBLIC PROJECTS, THE MOST STRINGENT ONE SHALL APPLY.  
THE CONTRACTOR SHALL NOT COMMENCE ANY WORK ON OR ADJACENT TO RAILROAD OPERATED TRACKS UNTIL HE HAS COMPLIED WITH THE CONDITIONS PRESENT IN THE PUBLIC PROJECTS MANUAL. THE CONTRACTOR SHALL SO ARRANGE AND CONDUCT HIS WORK THAT THERE SHALL BE NO INTERFERENCE WITH THE RAILROADS OPERATIONS OR SAFETY OF TRAINS. THE METHOD OF CONSTRUCTION SHALL FIRST BE SUBMITTED TO THE RAILROAD ENGINEER FOR APPROVAL. BUT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM ANY LIABILITY, RIGHT OF WAY AND/OR SECURITY FENCING SHALL BE PROVIDED AS DIRECTED BY THE PUBLIC PROJECTS ENGINEER. "ONE-CALL" SERVICES DO NOT LOCATE BURIED RAILROAD SIGNAL AND COMMUNICATIONS LINES. THE CONTRACTOR SHALL CONTACT THE RAILROADS REPRESENTATIVE IN ADVANCE OF WORK AT THESE PLACES WHERE SIGNPOSTS, PILE DRIVING, OR HEAVY LOADS MAY DAMAGE THE RAILROADS UNDERGROUND FACILITIES.  
A. DO NOT ALTER THE EXISTING RAILROAD STRUCTURES WITHOUT PRIOR APPROVAL FROM RAILROAD SOUTHERN AND NORFOLK.  
B. IF ANY PORTION OF THE RAILROAD STRUCTURES ARE DAMAGED BY THE CONTRACTOR OPERATIONS DURING CONSTRUCTION, THE CONTRACTOR SHALL CEASE WORK, NOTIFY NR, AND REPAIR DAMAGE TO THE SATISFACTION OF NR AT THE CONTRACTOR'S SOLE EXPENSE.

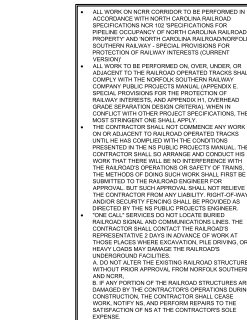


Kimley Horn  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2055  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
ASR-0049-2024  
FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION

DESIGN NOTE  
CONSTRUCTION INFORMATION IS BASED ON AN EXISTING TOPOGRAPHICAL SURVEY DATED ON 04/05/2024 BY KIMLEY-HORN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORTING POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.





**Owner**  
**City of Raleigh**  
219 Fayetteville Street, Suite 801  
Raleigh, NC 27601  
919.996.5575

**Owner**  
**City of Raleigh**  
219 Fayetteville Street, Suite 801  
Raleigh, NC 27601  
919.996.5575

Architect of Record / Landscape Architect

**RATIO**  
227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-821-0805

Design Architect / Interior Designer

**TVS**  
1200 Peachtree Street NE, Suite 200  
Atlanta, GA 30309  
404-888-6600

Civil Engineer

**Kimley Horn**  
421 Fayetteville Street, Suite 600  
Raleigh, NC 27601  
919-677-2000

Structural Engineer

**Lynch Mykins**  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919.793.1000

MKA

301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

Mechanical / Electrical Engineer

**Engineered Design, Inc.**  
1151 SE Cary Parkway, Suite 200  
Cary, NC 27518  
919-851-8481

**Fire Protection Engineer**

**Howe Engineers**  
141 Longwater Dr., Suite 110  
Norwell, MA 02061  
781-878-3500

IT/Security

**Shen Milsom & Wilke, LLC**  
1220 North Filmore Street, Suite 360  
Arlington, VA 22201  
703-243-6301

### Vertical Circulation

**Lerch Bates**  
900 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30339  
770.448.2400

Food Service Design

**Culinary Advisors**  
2004 Stockton Road  
Phoenix, MD 21131  
612.461.4166

### Lighting Design

**HLB**  
3455 Ringsby Court Side 148  
Denver, CO 80216  
303.317-5008

Acoustical Engineering

**Akustics**  
101 Merritt 7, Ste 300  
Norwalk, CT  
203.269.1904

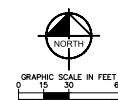
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**RATIO** | **TVS**

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PROJECT NO.	01483400
SHEET TITLE	PLAT EXHIBIT

SHEET NUMBER  
C-102



**Kimley»Horn**

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 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-877-2000 FAX: 919-877-2050  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

**ASR-0049-2024**

FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION

**SURVEY NOTE**

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS



RED HAT  
AMPHITHEATER  
RELOCATION  
Lenoir Street  
Raleigh, NC 27601

Owner  
City of Raleigh  
215 Fayetteville Street, Suite 801  
Raleigh, NC 27601  
919-996-5575

Architect of Record / Landscape Architect  
RATIO  
227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-821-1800

Design Architect / Interior Designer  
TVS  
1200 Peachtree Street NE, Suite 200  
Atlanta, GA 30309  
404-888-6600

Civil Engineer  
Kimley Horn  
421 Fayetteville Street, Suite 600  
Raleigh, NC 27601  
919-677-2000

Structural Engineer  
Lynch McKim  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

MKA  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

Mechanical / Electrical Engineer  
Engineered Design, Inc.  
1151 SE Cary Parkway, Suite 200  
Cary, NC 27518  
919-851-8481

Fire Protection Engineer  
Howe Engineers  
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Newport, VA 22091  
781-878-3500

IT/Security  
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1220 North Elmwood Street, Suite 360  
Arlington, VA 22201  
703-243-6311

Vertical Circulation  
Lerch Bates  
500 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30339  
770-648-2480

Food Service Design  
Culinary Advisors  
2004 Rockwood Road  
Pawcatuck, CT 06257  
912-481-4155

Lighting Design  
HLB  
3455 Ringway Court Side 148  
Denver, CO 80216  
303-317-5006

Acoustical Engineering  
Akustics  
101 Meritt 7, Ste 300  
Norwalk, CT 06851  
203-298-1904

PROJECT NO. 014534001

SHEET TITLE

FUTURE PAVEMENT MARKING PLAN

SHEET NUMBER

C-103

SITE LEGEND

- PROPERTY LINE
- EASEMENT LINE
- FENCE
- CURB AND GUTTER
- PARKING SPACE COUNT
- SON (SEE PLAN)
- LEFT POLE
- WHEEL STOP
- ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
- DIRECTIONAL PARKING ARROWS
- ACCESSIBLE RAMP
- DEPRESSED CURB RAMP
- STANDARD DUTY CONCRETE
- HEAVY DUTY CONCRETE

NOTE:  
1. ALL DISTANCES SHOWN ARE HORIZONTAL. GROUND DISTANCES IN U.S. SURVEY FEET (UNLESS OTHERWISE STATED).  
2. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83/2011).  
3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.  
NOTE: McCOLL STREET STRIPING PER DOT PAVEMENT MARKING (DIMENSIONS DATED 1/1/2024)

- ALL WORK ON NORTH CORRIDOR TO BE PERFORMED IN ACCORDANCE WITH NORTH CAROLINA RAILROAD SPECIFICATIONS FOR 100' SPECIFICATIONS FOR UTILITY OCCUPANCY OF NORTH CAROLINA RAILROAD PROPERTY AND NORTH CAROLINA RAILROAD SOUTHERN RAILWAY - SPECIAL PROVISIONS FOR PROTECTION OF RAILWAY INTERESTS (CURRENT VERSION).
- ALL WORK TO BE PERFORMED ON OR ADJACENT TO THE RAILROAD OPERATED TRACKS SHALL COMPLY WITH THE NORTH CAROLINA RAILROAD COMPANY PUBLIC PROJECTS MANUAL, APPROXIMATE SPECIAL PROVISIONS FOR THE PROTECTION OF RAILWAY INTERESTS, AND APPROXIMATE STANDARD GRADE DEVIATION DESIGN CRITERIA, WHICH IS LOCATED WITHIN THE PROJECT SPECIFICATION. THE MOST STRINGENT ONE SHALL APPLY.
- THE CONTRACTOR SHALL NOT COMMENCE ANY WORK ON OR ADJACENT TO RAILROAD OPERATED TRACKS UNTIL HE HAS COMPLIED WITH THE CONDITIONS PRESENTED BY THE PUBLIC PROJECTS MANUAL. THE CONTRACTOR SHALL SO ARRANGE AND CONDUCT THE WORK THAT THERE SHALL BE NO INTERFERENCE WITH THE RAILROAD'S OPERATIONS OR SAFETY OF TRAINS. THE METHOD OF DOING SUCH WORK SHALL FIRST BE SUBMITTED TO THE RAILROAD ENGINEER FOR APPROVAL. BUT SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM ANY LIABILITY, RIGHT OF WAY, AND/OR SECURITY FENCING SHALL BE PROVIDED AS DIRECTED BY THE PUBLIC PROJECTS ENGINEER.
- ON-CALL SERVICES DO NOT LOCATE BURIED RAILROAD SIGNAL AND COMMUNICATIONS LINES. THE CONTRACTOR SHALL CONTACT THE RAILROADS REPRESENTATIVE IN ADVANCE OF WORK AT THESE PLACES WHERE BURIED, PILE DRIVING, OR HEAVY LOADS MAY DAMAGE THE RAILROADS UNDERGROUND FACILITIES.
- A. DO NOT ALTER THE EXISTING RAILROAD STRUCTURES WITHOUT PRIOR APPROVAL FROM RAILROAD SOUTHERN AND NORTH.
- B. IF ANY PORTION OF THE RAILROAD STRUCTURES ARE DAMAGED BY THE CONTRACTOR OPERATIONS DURING CONSTRUCTION, THE CONTRACTOR SHALL CEASE WORK, NOTIFY NR, AND REPAIR DAMAGE TO THE SATISFACTION OF NR AT THE CONTRACTOR'S SOLE EXPENSE.



Kimley Horn

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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2055  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

ASR-0049-2024

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DESIGNER'S NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.  
ALL EXISTING UTILITIES SHOWN ARE BASED ON AN EXISTING TOPOGRAPHICAL SURVEY DATED ON RECORD BY SUTHERLAND, HEDGECOCK & ASSOCIATES, INC. IN 1998. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITIES, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORTING POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



**Owner**  
**City of Raleigh**  
 219 Fayetteville Street, Suite 801  
 Raleigh, NC 24601  
 919-996-5575

227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-821-0805

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512-461-4155

3455 Ringsby Court Side 148  
Denver, CO 80216  
303-317-5006

101 Merritt 7, Ste 300  
Norwalk, CT  
203-299-1904

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**RATIO** | **TVS**

COMPONENT MAY BE USED IN ANY MANNER AND FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF ARIAC. ALL COMMON LAW RIGHTS OF COMPENSATION AND OTHER RIGHTS ARE HEREBY SPECIFICALLY RESERVED.

PROJECT NO.	014834001
SHEET TITLE	

PRELIMINARY

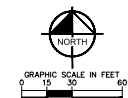
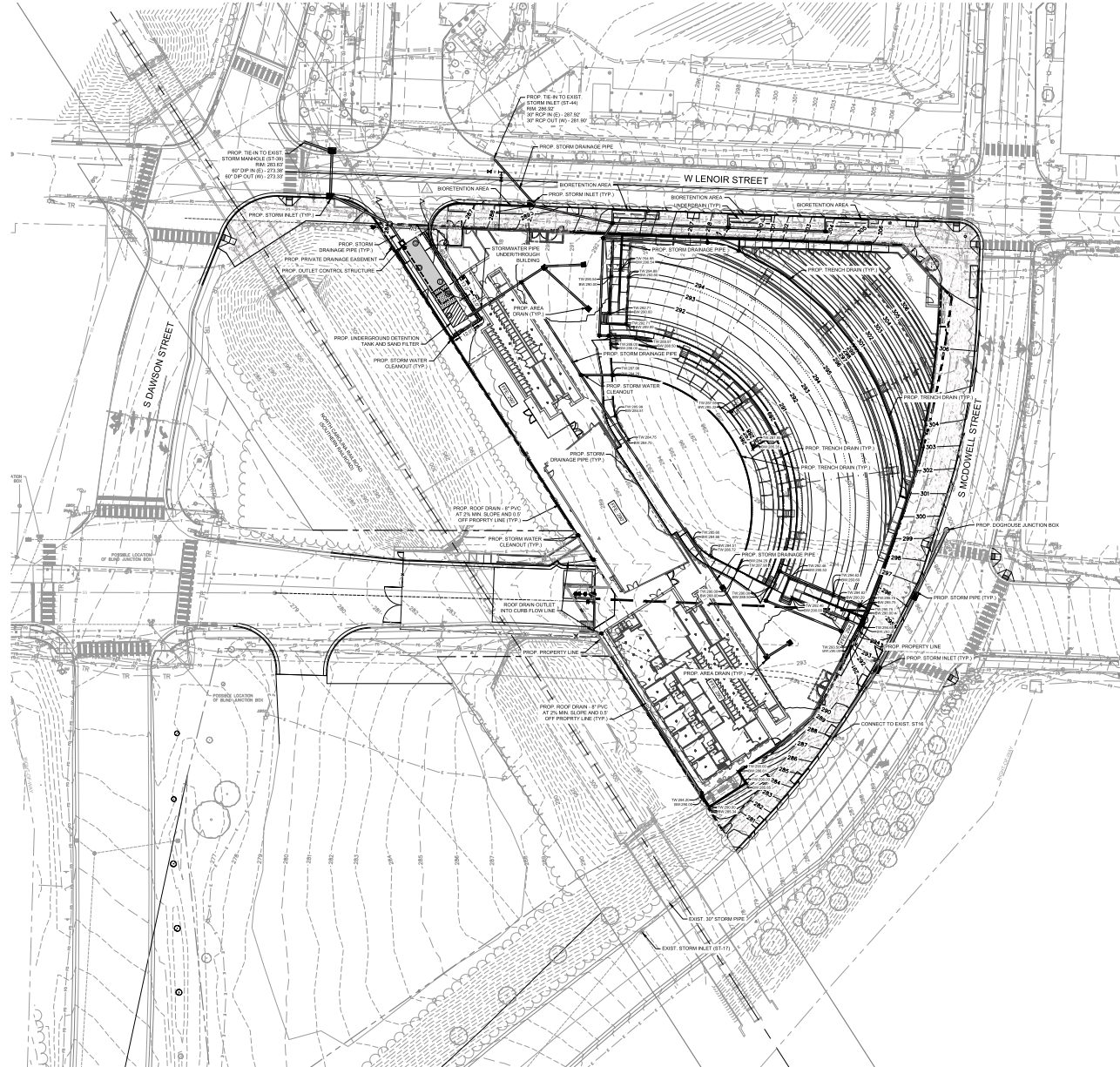
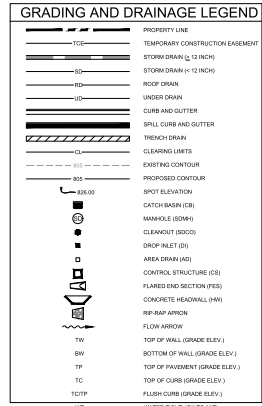
## GRADING AND

## DRAINAGE PLAN

SHEET NUMBER

C 300

C-200

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**Kimley»Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-877-2000 FAX: 919-877-2050  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

ASR-0049-2024

FOR REFERENCE ONLY

**NOT FOR CONSTRUCTION**

**SURVEY NOTE:**  
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON AN  
ALTANSPE TOPOGRAPHIC SURVEY OBTAINED ON 04/09/2024 BY KCI  
SURVEYING, 4555 FALLS OF NEUSE ROAD FLOOR 4 RALEIGH NC,  
(919) 783-5214. CONTRACTOR SHALL BE RESPONSIBLE FOR  
VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR  
TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO  
OWNER AND ENGINEER.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



203-299-1904

---



# RED HAT AMPHITHEATER RELOCATION Lenoir Street Raleigh, NC 27601

**Owner**  
City of Raleigh  
215 Fayetteville Street, Suite 801  
Raleigh, NC 27601  
919-996-5875

**Architect of Record / Landscape Architect**  
**RATIO**  
227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-821-1800

**Design Architect / Interior Designer**  
**TVS**  
1200 Peachtree Street NE, Suite 200  
Atlanta, GA 30309  
404-888-6600

**Civil Engineer**  
**Kimley Horn**  
421 Fayetteville Street, Suite 600  
Raleigh, NC 27601  
919-677-2000

**Structural Engineer**  
**Lynch Wilkins**  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

**MKA**  
301 N. West Street, Suite 105  
Raleigh, NC 27603  
919-782-1833

**Mechanical / Electrical Engineer**  
**Engineered Design, Inc.**  
1151 SE Cary Parkway, Suite 200  
Cary, NC 27518  
919-851-8481

**Fire Protection Engineer**  
**Howe Engineers**  
141 Longview Dr., Suite 110  
Norwalk, MA 02061  
781-878-3500

**IT/Security**  
**Shen Milson & Wilke, LLC**  
1220 North Elm Street, Suite 360  
Arlington, VA 22201  
703-243-6301

**Vertical Circulation**  
**Lerch Bates**  
550 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30339  
770-648-2480

**Food Service Design**  
**Culinary Advisors**  
2004 Stockton Road  
Pawnee, MD 21131  
512-481-4155

**Lighting Design**  
**HLB**  
3455 Ringley Court Side 148  
Darien, CO 80116  
303-317-5006

**Acoustical Engineering**  
**Akustics**  
101 Morris Dr. Ste 300  
Norwalk, CT  
203-298-1904

**ALL WORK ON NORTH CORRIDOR TO BE PERFORMED IN ACCORDANCE WITH NORTH CAROLINA RAILROAD SPECIFICATIONS FOR 100 SPECIFICATIONS FOR RAILROADS AND 100 SPECIFICATIONS FOR RAILROADS AND 100 SPECIFICATIONS FOR RAILROADS.**

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**RATIO** | **TVS**

**PROJECT NO.** 014534001

**SHEET TITLE**  
STORM WATER  
DETAILS

**SHEET NUMBER**  
C-203

**Kimley Horn**

© 2024 KIMLEY HORN AND ASSOCIATES, INC.  
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2055  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

**ASR-0049-2024**

**FOR REFERENCE ONLY**

**NOT FOR CONSTRUCTION**

- NOTES:**
1. SELECTION OF BUMP-OUT BIORETENTION TYPE AND LOCATION DEPENDS ON ROADWAY DESIGN CONDITIONS AND ARE ASSUMED TO BE INSTALLED IN CONJUNCTION WITH RETROFIT/STREET IMPROVEMENT PROJECTS.
  2. IN ALL CASES, BUMP-OUTS MUST MAINTAIN REQUIRED GUTTER SPREAD TO SAFELY PASS OVERFLOW FROM THE 2-YR STORM (I.E., PONDING WATER LESS THAN 10" LANE WIDTH FROM EDGE OF CURB).
  3. WHERE NECESSARY, RISEN STRUCTURES SIZED FOR THE 2-YR STORM SHALL BE LOCATED WITHIN BUMP-OUT BIORETENTION. ALL BIORETENTION BUMP-OUTS SHALL BE DESIGNED TO BYPASS STORMS LARGER THAN THE 2-YR EVENT.
  4. ALL BIORETENTION AND PERMEABLE PAVEMENT UNDERDRAINS, IF REQUIRED, SHALL CONNECT TO STORM DRAIN OR OTHER DRAINAGE FEATURE ACCEPTABLE TO THE CITY ENGINEER.
  5. ALL FEATURES, INCLUDING VEGETATION, INTEGRATED INTO BUMP-OUT BIORETENTION SHALL MEET SIGHT DISTANCE REQUIREMENTS PER STREET DESIGN MANUAL, AND RECOMMENDED PLANT SPECIES IN THE NC DEQ STORMWATER MANUAL, AND CITY OF RALEIGH STORMWATER DESIGN MANUAL, FOR CITY PROJECTS. SEE SPECIFICATION 33.46.70 FOR VEGETATION.
  6. ROADWAY FEATURES AND PAVEMENT MARKINGS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND MARKINGS SHALL CONFORM TO THE CITY OF RALEIGH STREET DESIGN MANUAL.
  7. CURB AREA SHOULD BE PROVIDED TO ALLOW FOR PLACEMENT OF WASTE COLLECTION BINS (I.E., ALLOW SOME CURB THAT IS NOT TAKEN UP BY BIORETENTION AND DRIVEWAYS).

**CITY OF RALEIGH  
STANDARD DETAIL**

REVISION DATE BY CHKD

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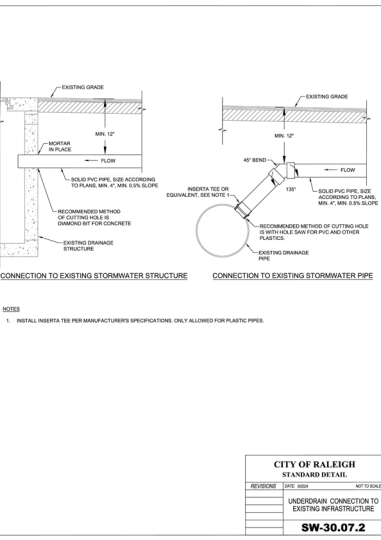
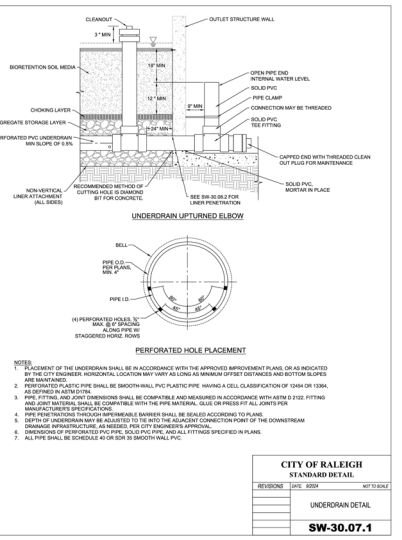
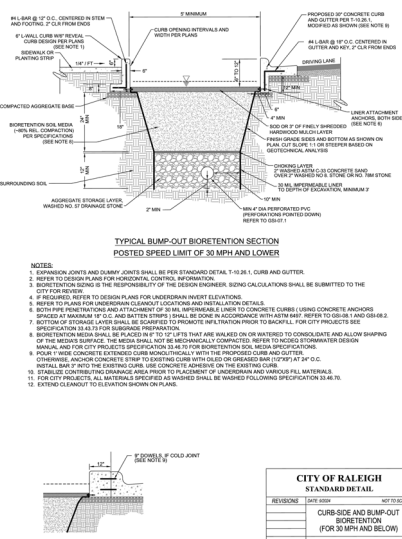
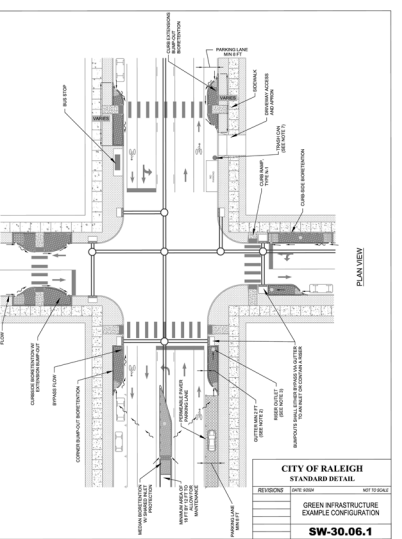
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- NOTES:**
1. INSTALL INSERTA TIE PER MANUFACTURER'S SPECIFICATIONS. ONLY ALLOWED FOR PLASTIC PIPES.

- NOTES:**
1. PLACEMENT OF THE UNDERDRAIN SHALL BE IN ACCORDANCE WITH THE APPROVED ARRANGEMENT PLANS, OR AS INDICATED BY THE CITY ENGINEER. UNDERDRAIN LOCATION MAY VARY AS LONG AS MINIMUM STREET CLOSURE AND BOTTOM BURELS ARE MAINTAINED.
  2. PERFORATED PLASTIC PIPE SHALL BE SMOOTH WALL PLASTIC PIPE, HAVING A SLL CLASSIFICATION OF 1004R OR 1004R, AS PERMITTED BY THE CITY ENGINEER.
  3. PIPE FITTING AND JOINT CONNECTIONS SHALL BE COMPATIBLE AND BE MAINTAINED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS.
  4. PIPE FITTING AND JOINT CONNECTIONS SHALL BE COMPATIBLE WITH THE PIPE MATERIAL, GLUE OR PRIMER FOR ALL JOINTS PER MANUFACTURER'S SPECIFICATIONS.
  5. PIPE FITTING AND JOINT CONNECTIONS SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY ENGINEER'S SPECIFICATIONS.
  6. DEPTH OF UNDERDRAIN SHALL BE ADJUSTED TO BE INTO THE ALLUUVIAL CONNECTION POINT OF THE UNDERDRAIN.
  7. DIMENSIONS OF PERFORATED PLASTIC PIPE, SOLID PVC PIPE, AND ALL FITTINGS SPECIFIED IN PLANS.
  8. ALL PIPE SHALL BE SCHEDULE 40 FOR 10" TO 12" SMOOTH WALL PVC.

**CITY OF RALEIGH  
STANDARD DETAIL**

REVISION DATE BY CHKD

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**CITY OF RALEIGH  
STANDARD DETAIL**

REVISION DATE BY CHKD

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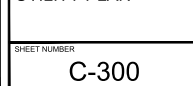
**NOTES:**

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.

**NOTES:**

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.







**Owner**  
**City of Raleigh**  
 219 Fayetteville Street, Suite 801  
 Raleigh, NC 27601  
 919-996-5575

Architect of Record / Landscape Architect

**RATIO**  
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919-821-0805

**Design Architect / Interior Designer**  
TVS  
1200 Peachtree Street NE, Suite 200  
Atlanta, GA 30309  
404-888-6600

**Civil Engineer**  
**Kimley Horn**  
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Raleigh, NC 27601  
919-677-2000

**Structural Engineer**  
**Lynch Mykins**  
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Raleigh, NC 27603  
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**MKA**  
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Raleigh, NC 27603  
919-782-1833

**Mechanical / Electrical Engineer**  
**Engineered Design, Inc.**  
1151 SE Cary Parkway, Suite 200  
Cary, NC 27518  
919-851-8481

**Fire Protection Engineer**  
**Howe Engineers**  
141 Longwater Dr., Suite 110  
Norwell, MA 02061  
781-878-3500

**IT/Security**  
**Shen Milsom & Wilke, LLC**  
 1220 North Filmore Street, Suite 360  
 Arlington, VA 22201  
 703.640.0000

**Vertical Circulation**  
**Lerch Bates**  
900 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30339  
PH: 404.525.1100

**Food Service Design  
Culinary Advisors**  
20 South Steel Street  
Indianapolis, Indiana 46204  
800.441.1234

**Acoustical Engineering**  
**Akustics**  
101 Merritt 7, Ste 300  
Norwalk, CT

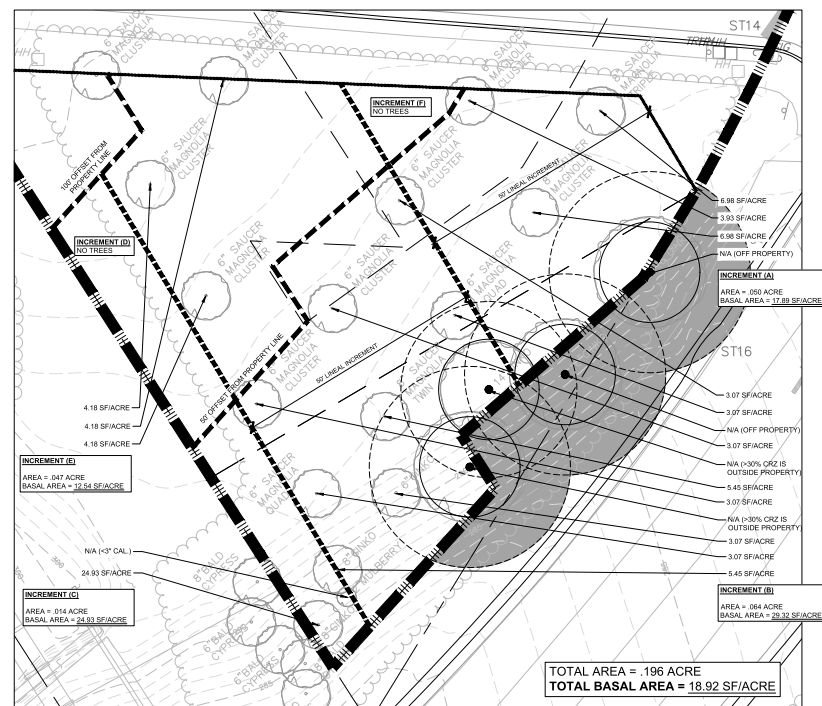
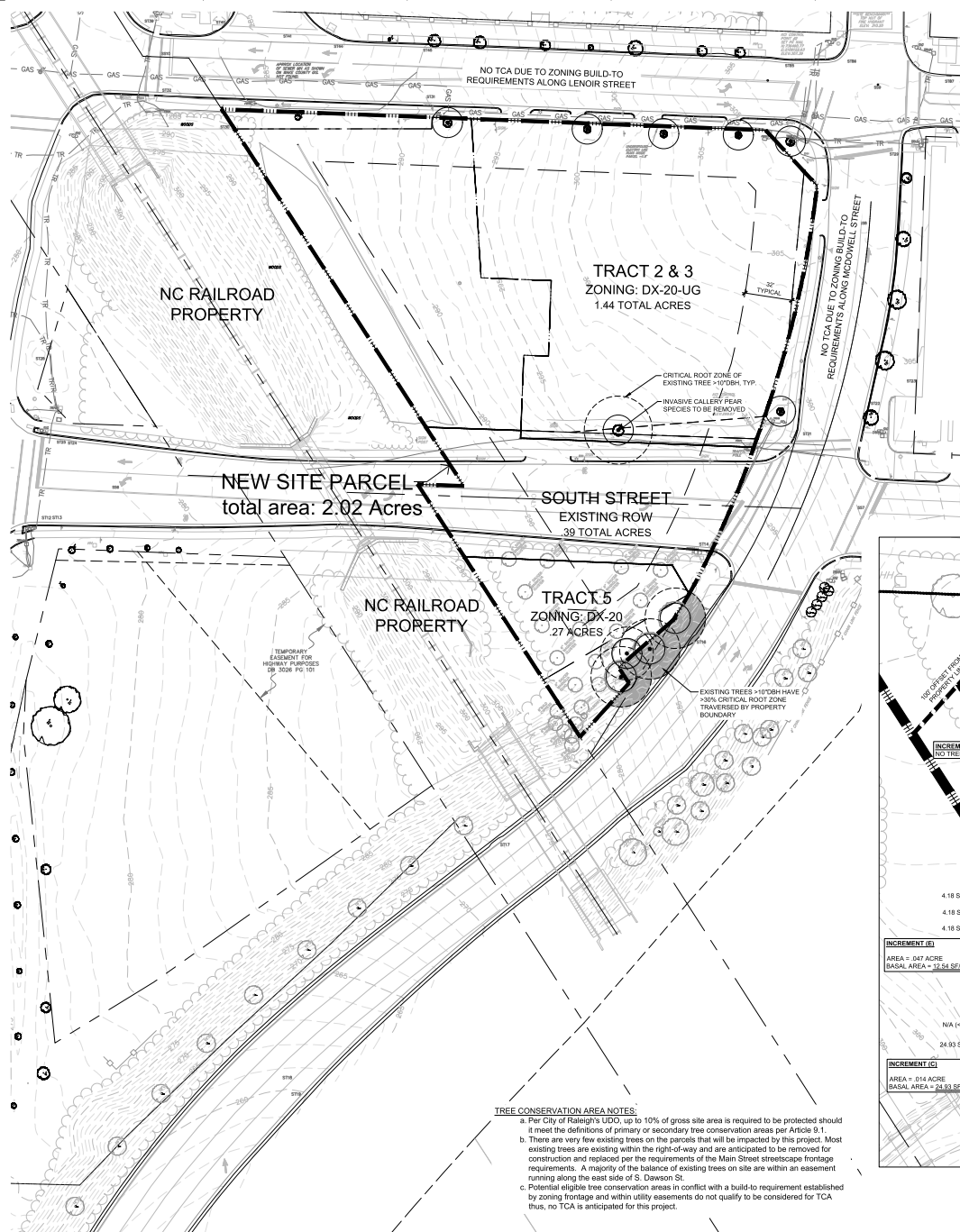
SEAL DATE

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**RATIO** | **TVS**

PROJECT NO.	23251.00
SHEET TITLE	
TREE CONSERVATION AREAS	

SHEET NUMBER  
L-101



02 PLAN ENLARGEMENT - BASAL AREA

SCALE 0 5' 10' 20'

ASR-0049-2024

FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION





L-501

FOR REFERENCE ONLY  
NOT FOR CONSTRUCTION



**Owner**  
**City of Raleigh**  
 213 Fayetteville Street, Suite 801  
 Raleigh, NC 27601  
 919-596-5275

**Architect of Record / Landscape Architect**  
**RATT**  
 227 Fayetteville Street, Suite 301  
 North Carolina 27601  
 919-421-0805

**Design Architect / Interior Designer**  
**TVS**  
 100 Peachtree Street NE, Suite 200  
 Atlanta, GA 30309  
 404-588-6600

**Civil Engineer**  
**Kimley Horn**  
 421 Fayetteville Street, Suite 600  
 Raleigh, NC 27601  
 919-677-0200

**Structural Engineer**  
**Lyons Mykins**  
 301 N. West Street, Suite 106  
 Raleigh, NC 27603  
 919-782-1833

**MKA**  
 301 N. West Street, Suite 106  
 Raleigh, NC 27603  
 919-782-1833

**Mechanical / Electrical Engineer**  
**Engineered Design, Inc.**  
 1151 SE Cary Parkway, Suite 200  
 Cary, NC 27518  
 919-851-5441

**Fire Protection Engineer**  
**Howe Engineers**  
 141 Longstreet Dr., Suite 110  
 Norwell, MA 02061  
 781-878-3500

**IT/Security**  
**IT/Security Solutions, LLC**  
 1200 Fern Street, Suite 360  
 Arlington, VA 22201  
 703-543-8301

**Vertical Circulation**  
**Lerch Bates**  
 800 Circle 75 Parkway, Suite 1300  
 Atlanta, GA 30339  
 770-648-2480

**Food Service Design**  
**Culinary Advisors**  
 203 South Street  
 Indianapolis, Indiana 46204  
 512-481-1155

**Acoustical Engineering**  
**Akustics**  
 101 Meritt 7, Ste 300  
 Norwalk, CT  
 203-299-1084

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**RATIO**

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PROJECT NO. 23251.000  
SHEET TITLE  
**PLANTING DETAILS**

SHEET NUMBER

L-711



**Acoustical Engineering**  
**Akustics**  
101 Merritt 7, Ste 300  
Norwalk, CT  
203-296-1904



SHEET NUMBER  
I P-001

06-1500 A2



SCALES AS STATED HEREON ARE PLotted ON THE ORIGINAL DRAWING. THE DIMENSIONS OF WHICH ARE KEPT IN FEET.  
 THESE SCALES ARE NOT TO BE USED IN ANY CASE WHERE THE SCALE OF THE ORIGINAL DRAWING IS NOT THE SAME AS THE  
 SCALE OF THE CORRESPONDING DRAWING OF THE ORIGINAL DRAWING.  
 THESE DIMENSIONS REPRESENT A DESIGN PROGRESS DRAWING. AS SUCH THE INFORMATION HEREON IS  
 PRELIMINARY AND REPRESENTS THE STATE OF ECONOMY ON AND SPECIAL DESIGN OF THE SOURCE DATE.

**ASR-0049-2024**  
**NOT FOR CONSTRUCTION**



**Owner**  
City of Raleigh  
215 Fayetteville Street, Suite 301  
Raleigh, NC 27601  
919-996-2572

**Architect of Record / Landscape Architect**  
**RATTO**  
277 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-996-2572

**Design Architect / Interior Designer**  
**TVS NORTH CAROLINA, P.C. [INC]**  
10000 North Hills Road, Suite 205  
Raleigh, NC 27603  
919-846-6600

**Civil Engineer**  
**Kinley Hunt**  
215 Fayetteville Street, Suite 300  
Raleigh, NC 27601  
919-977-2700

**Structural Engineers**  
**Lynch Mykims (Engineer of Record)**  
10000 North Hills Road, Suite 105  
Raleigh, NC 27603  
919-846-6600

**Magnusson Klemencic Associates, Inc.**  
**Design Engineer**  
3115 Falls Avenue, Suite 300  
St. Louis, MO 63103  
314-361-1100

**Mechanical / Electrical / Plumbing Engineer**  
**Engineering Designs, Inc.**  
10000 North Hills Road, Suite 105  
Raleigh, NC 27603  
919-846-6600

**Fire Protection Engineer**  
**Howe Engineers**  
441 Longwood Dr., Suite 110  
Norfolk, VA 23502  
757-681-3500

**IT / Security**  
**Inc. When Maum & Wiene, LLC**  
1220 North Filmore Street, Suite 300  
Raleigh, NC 27601  
919-734-0351

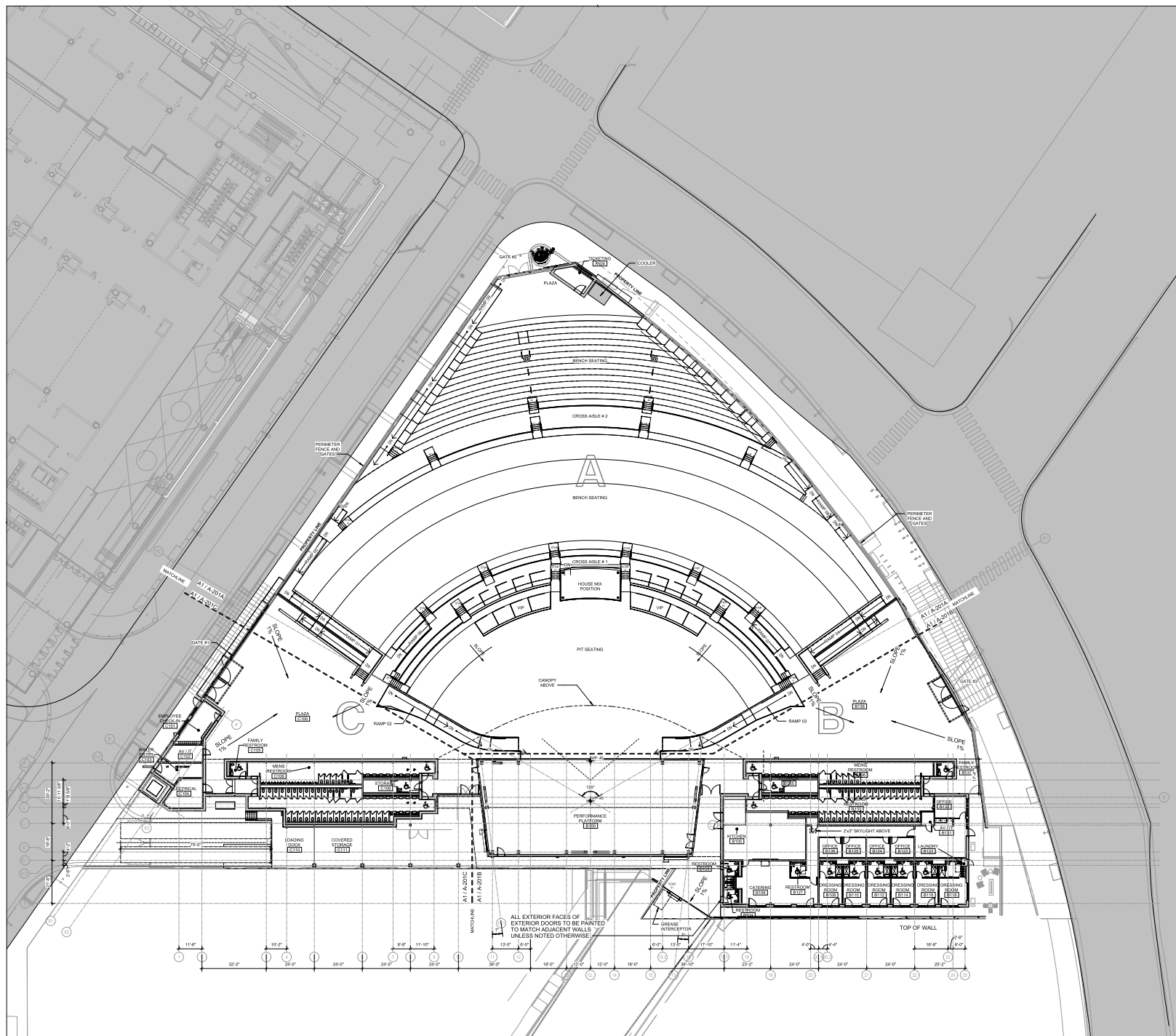
**Lead**  
**Leach Bates**  
900 Cross 7 Parkway, Suite 200  
Raleigh, NC 27603  
770-649-2480

**Food Service Design**  
**Culinary Architects**  
4000 Blount Road  
Pleasant Hill, TN 37131  
615-441-1815

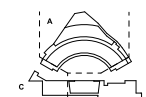
**Theatrical**  
**THEATRE PROJECTS**  
47 West Street  
South Norwalk, CT 06854  
906-866-7772

**Surveyor**  
**NCI Associates**  
4605 Forest Hill Road, Suite 200  
Raleigh, NC 27609  
919-792-7076

(b) (5) ACP



**LEVEL 1 - REFERENCE PLAN**

 KEY PLAN

SEAL | DATE 04/21/2

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RATIO	TVS
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PROJECT NO. 23251.000

SHEET TITLE  
**OVERALL PLAN -  
LEVEL 1**

SHEET NUMBER

.A-101

**NOT FOR CONSTRUCTION**



RED HAT  
AMPHITHEATER  
RELOCATION  
Lenoir Street  
Raleigh, NC 27601

Owner  
City of Raleigh  
235 Fayetteville Street, Suite 501  
Raleigh, NC 27601  
919-996-5275

Architect of Record / Landscape Architect  
RATIO  
227 Fayetteville Street, Suite 301  
Raleigh, North Carolina 27601  
919-621-0000

Design Architect / Interior Designer  
TVS NORTH CAROLINA, P.C. (NC)  
1200 Piedmont Street NE, Suite 200  
Atlanta, GA 30309  
404-888-9900

Civil Engineer  
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421 Fayetteville Street, Suite 500  
Raleigh, NC 27601  
919-677-2000

Structural Engineers  
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Raleigh, NC 27603  
919-782-1833

Magnusson Klemencic Associates, Inc.  
(Design Engineer)  
1301 Fifth Avenue, Suite 3200  
Santa, WA 98105  
206-292-1200

Mechanical / Electrical / Plumbing Engineer  
Engineered Designs, Inc.  
115 US Corp Parkway, Suite 200  
Cary, NC 27518  
919-851-8841

Fire Protection Engineer  
Howe Engineers  
141 Longwater Dr., Suite 110  
Norwell, MA 02061  
781-675-5500

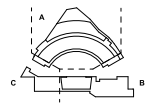
IT / Security  
Shen Milson & Wilke, LLC  
1220 North Filmore Street, Suite 300  
Arlington, VA 22201  
703-243-6301

Facade Maintenance  
Lynch Bates  
900 Circle 75 Parkway, Suite 1300  
Atlanta, GA 30309  
770-648-2400

Food Service Design  
Culinary Advisors  
2004 Blount Road  
Plymouth, MD 21131  
512-4614-155

Theatrical  
THEATRE PROJECTS  
47 Notre Street  
South Norwalk, CT 06854  
800-966-7770

Surveyor  
KCI Associates  
4001 Park of the River Road, Suite 200  
Raleigh, NC 27609  
919-880-7844



KEY PLAN

SEAL / DATE 04/21/25

SHEET ISSUE	DATE	REVISIONS PER CITY COMMENTS
1	04/21/25	ASB-REVIEWED PER CITY COMMENTS
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RATIO | TVS

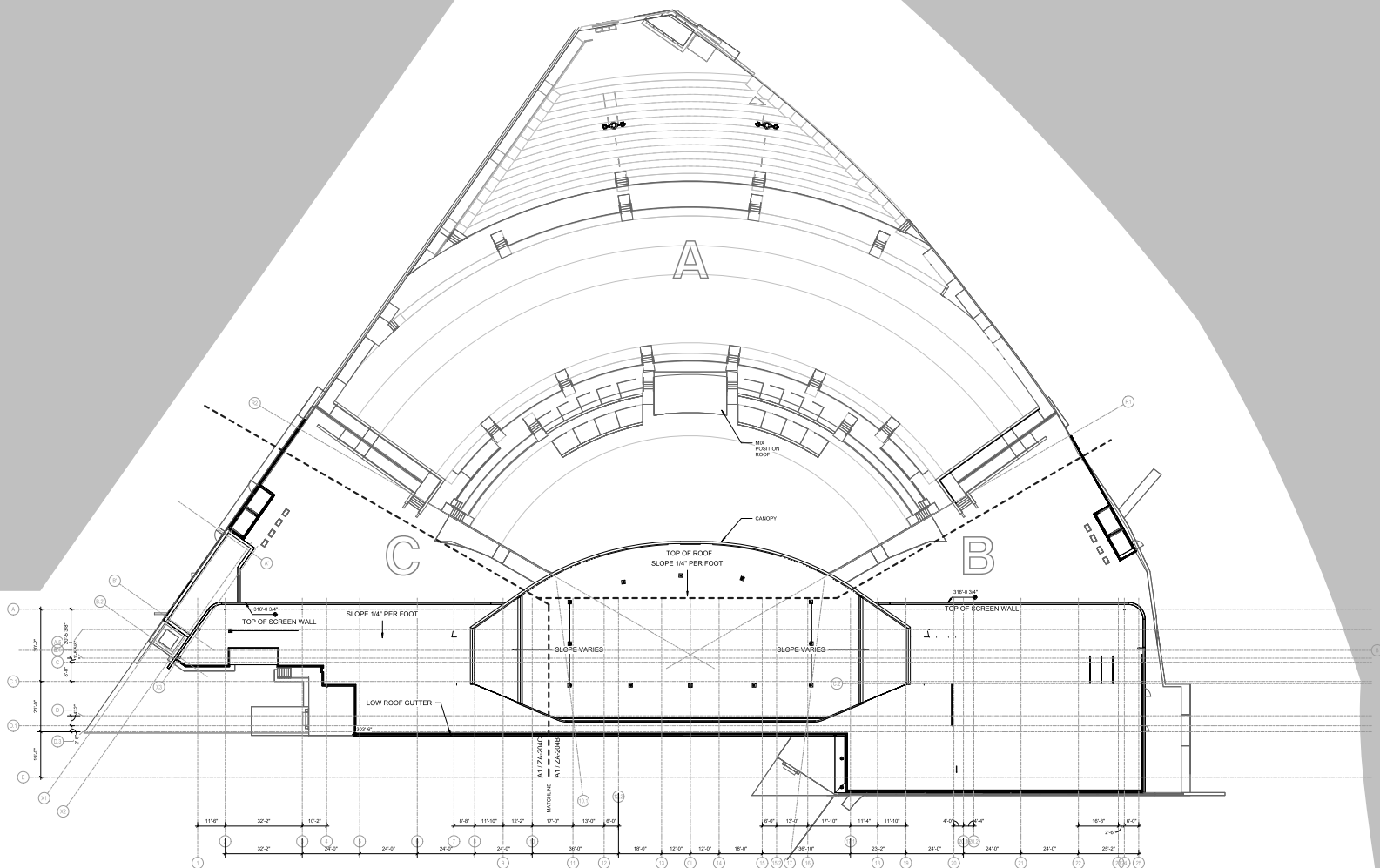
PROJECT NO. 23251.000

SHEET TITLE  
OVERALL PLAN - ROOF

SHEET NUMBER  
A-104

GENERAL ROOFING NOTES

- THESE GENERAL NOTES APPLY TO ROOF DRAWINGS.
- VERIFY SIZE, LOCATION AND NUMBER OF ROOF PENETRATIONS INCLUDING VENTS, PIPES, CURBS, ROOF DRAINS, CONCRETE, ETC. PROVIDE NEW FLASHING AND SEAL PENETRATIONS WHETHER OR NOT INDICATED ON THE DRAWINGS.
- COMPLETE WORK ABOVE ROOF, SUCH AS MASONRY, WELDING, MASONRY REPAIRS, ETC. PRIOR TO STARTING ROOFING WORK.
- VERIFY AND MAINTAIN ROOF SLOPES AND DRAINAGE PATTERNS. TEST FOR AND CORRECT ANY POONDING CONDITIONS.
- DAMAGES BY REPAIRS TO ROOFING SYSTEM OR STRUCTURE REPAIRS BY REPAIRS TO ROOFING SYSTEM OR STRUCTURE ACTIVITIES, OR LACK OF ADEQUATE TEMPORARY PROTECTION, THE ALSO INCLUDES REPAIRS TO FINISHES, EQUIPMENT, FURNISHINGS, ETC. RESULTING FROM LEAKS.
- NEW FLASHING SHALL BE PRESERVATIVE-TREATED WOOD.
- PAINT EXTERNAL JOISTS, BRACKETS, ETC. UNLESS NOTED OTHERWISE.
- USE FASTENERS THAT PENETRATE ROOF DECK IN AREAS MEANS ACCEPTABLE TO ARCHITECT UNLESS OTHERWISE INDICATED. AREAS SUCH AS JANITOR CLOSETS, STORAGE ROOMS, MECHANICAL AND ELECTRICAL EQUIPMENT ROOMS, ETC. ARE EXEMPT FROM THIS REQUIREMENT UNLESS OTHERWISE INDICATED.
- REFER TO WALL SECTIONS NOTED ON ROOF PLANS FOR INFORMATION.
- REFER TO MECHANICAL DRAWINGS TO COORDINATE ROOF CONDUCTOR LOCATIONS.



ROOF LEVEL PLAN  
1/8\"/>

NOT FOR CONSTRUCTION





.A-120

