



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>ASR-0050-2019</u>		Planning Coordinator: <u>Boivin</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision transaction #: _____ Sketch transaction #: <u>583924</u> Certificate of Appropriateness #: _____ Board of Adjustment #: <u>A-76-19</u> Zoning Case #: _____ Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>West Millbrook Middle School</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>8115 Strickland Road, Raleigh, NC 27615</u>			
Site P.I.N.(s): <u>1708808370</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of a new middle school and associated site improvements on the west side of the site. The existing middle school on the east side of the site will remain occupied and operational during construction. Once new building has CO, the existing school building will be demolished and athletic fields and vehicular circulation/parking will be constructed.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: <u>The Wake County Board of Education</u>		Title: <u>c/o William Hartley, Director, FD&C</u>	
Address: <u>WCPSS FD&C, 1551 Rock Quarry Road, Raleigh, NC 27610</u>			
Phone #: <u>919-588-3577</u>		Email: <u>whartley@wcpss.net</u>	
Applicant Name: <u>Keith Downing, PLA</u>			
Company: <u>CLH Design, pa</u>		Address: <u>400 Regency Forest Drive, Suite 102, Cary, NC 27518</u>	
Phone #: <u>919-319-6716</u>		Email: <u>kdowning@clhdesignpa.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 0 SF (Demolish All)
	Existing gross floor area to be demolished: 133,265 SF
Gross site acreage: 38.22 Acres	New gross floor area: 227,529 SF
# of parking spaces required: 290	Total sf gross (to remain and new): 227,529 SF
# of parking spaces proposed: 290	Proposed # of buildings: 2
Overlay District (if applicable): N/A	Proposed # of stories for each: <small>School Facility Gross: 225,322SF Trans. Building Gross: 2,257 SF</small>
Existing use (UDO 6.1.4): Civic	
Proposed use (UDO 6.1.4): Civic	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: <u>12.04</u> Square Feet: <u>524,540</u>	Proposed Impervious Surface: Acres: <u>13.44</u> Square Feet: <u>609,507</u>
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: <u>N/A</u> Flood stu: <u>N/A</u>	
FEMA Map Panel #: <u>3720170700J & 3720170800J</u> May 2, 2006.	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS

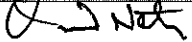
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Keith Downing, PLA / CLH Design, pa to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 7/10/2019
Printed Name: David Neter, Chief Operating Officer	



Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS
<p>Mailed notice is required for projects that:</p> <ol style="list-style-type: none"> 1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND; 2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10 <p>If your project requires mailed notice, click here to download the letter template and other helpful information.</p> <p>Please check one of the following:</p> <p><input checked="" type="checkbox"/> Yes, my project meets the mailed notification requirement and my letters are provided with this application. The mailed notification is not applicable for my project.</p>

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500" and no larger than 1"=1000'; and adopted zoning conditions (if any)</p>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<p>2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation</p>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<p>3. Demolition plan: Clearly indicate items to be removed</p>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
<p>4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>.) open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B)</i>)</p>	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

PROGRESS PRINT NOT FOR CONSTRUCTION

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL

WAKE COUNTY PUBLIC SCHOOL SYSTEM
8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO:	DATE:
582833	NOVEMBER 13, 2019
REVISIONS	
DATE	DESCRIPTION

OVERALL PLAN

C00.01

SITE DATA

CITY OF RALEIGH
ASR TRANSACTION NUMBER: #780

PROJECT: WEST MILLBROOK MIDDLE SCHOOL

OWNER CONTACT: WAKE COUNTY BOARD OF EDUCATION
STEVE ZETTS
WAKE CO. PUBLIC SCHOOL SYSTEM
1429 ROCK QUARRY ROAD SUITE 116
RALEIGH, NC 27610
PHONE: 919-858-3609
SZETTS@WCPS.NET

DESIGNER: CLH DESIGN, PA
DESIGNER CONTACT: KEITH DOWNING
REGENCY PARK
4502 REGENCY FOREST DR., SUITE 120
CARY, NC 27518
PHONE: 919-319-6716
FAX: 919-319-7514

PROJECT ADDRESS: 8115 STRICKLAND ROAD, RALEIGH, NC 27615
PIN: 1708808370

DEED BOOK AND PAGE: DB 013625 PG 01724 EXHIBIT "VVV" PAGE 121

CURRENT ZONING: R-4

EXISTING USE: PUBLIC MIDDLE SCHOOL

PROPOSED USE: PUBLIC MIDDLE SCHOOL

TRACT AREA: 38.23 ACRES

PROPOSED GROSS FLOOR AREA (SCHOOL FACILITY): 225,322 SF - TOTAL
130,094 SF - 2ND FLOOR
46,878 SF - 3RD FLOOR
48,350 SF - 3RD FLOOR

PROPOSED GROSS FLOOR AREA (TRANS. BLDG.): 2,257 SF - TOTAL

PROPOSED MAX. BUILDING HEIGHT: 54'-0" (5-STORY CLASSROOM WING)
APPROVED BY BOARD OF ADJUSTMENT CASE #A-76-19

UDO MAX. BUILDING HEIGHT: 40'-0" (3-STORY)

EXISTING IMPERVIOUS AREA: 12 ACRES

NEW ADDED IMPERVIOUS AREA: 2.48 ACRES
IMPERVIOUS AREA OF FUTURE MOBILES AND SIDEWALK INCLUDED WITH THIS APPROVAL

TOTAL BUILDOUT IMPERVIOUS AREA: 14.48 ACRES
DISTURBED AREA: 3,010.0 ACRES
FLOOR AREA RATIO: 0.002
BUILDING LOT COVERAGE: 0.002

CITY OF RALEIGH PUBLIC AND INSTITUTIONAL USES:

6.3.1.0.2b
A SCHOOL, PUBLIC OR PRIVATE (K-12) MUST BE LOCATED ON A LOT WITH TOTAL AREA OF 500 SQUARE FEET PER ENROLLED PUPIL.

MIDDLE SCHOOL TRACT AREA REQUIRED: 10.33 AC, 450,000 SF (900 STUDENTS X 500 SF)
MIDDLE SCHOOL TRACT AREA PROVIDED: 38.22 AC, OR 1,664,963 SF.

PARKING REQUIREMENTS:

EXISTING BUILDING: MIDDLE SCHOOL
PARKING CODE: 1 SP / 5 SEATS IN THE MAIN ASSEMBLY AREA.

MAIN AREA OF ASSEMBLY: 1,080 SEATS IN GYMNASIUM
1 SPACE/S SEATS: 216.00 SPACES
TOTAL SPACES REQ'D: 216.00 SPACES

PROPOSED BUILDING: MIDDLE SCHOOL
PARKING CODE: 1 SP / 5 SEATS IN THE MAIN ASSEMBLY AREA.

MAIN AREA OF ASSEMBLY: 1,450 SEATS IN GYMNASIUM
1 SPACE/S SEATS: 290.00 SPACES
TOTAL SPACES REQ'D: 290.00 SPACES

TOTAL H/V SPACES REQ'D (PER LOT):
WEST LOT PROVIDED: 1 VAC, 1 AC
NORTH LOT REQUIRED: 1 VAC, 2 AC
NORTH LOT PROVIDED: 1 VAC, 2 AC
EAST LOT REQUIRED: 1 VAC, 3 AC
EAST LOT PROVIDED: 1 VAC, 3 AC
REGIONAL LOT REQUIRED: 1 VAC, 3 AC
REGIONAL LOT PROVIDED: 1 VAC, 3 AC

BICYCLE PARKING REQUIREMENTS:
MIDDLE SCHOOL: 36 CLASSROOMS
BIKE STANDARDS: SHORT TERM - 1 SP PER 2 CLASSROOMS (18 REQ'D)
LONG TERM - 3 SP PER CLASSROOM (108 REQ'D)

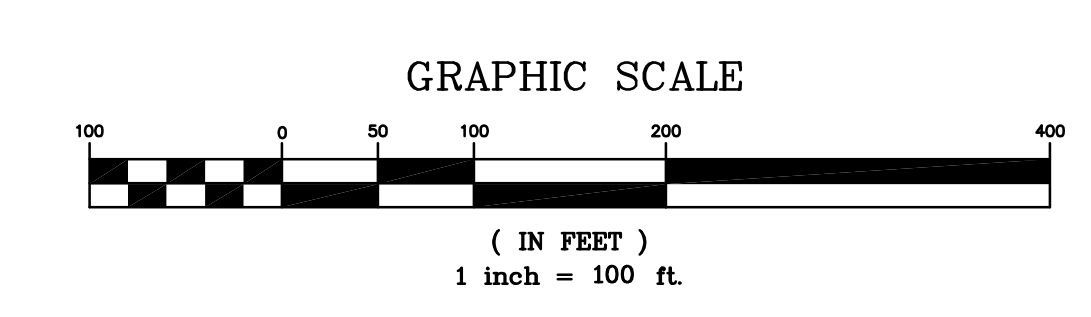
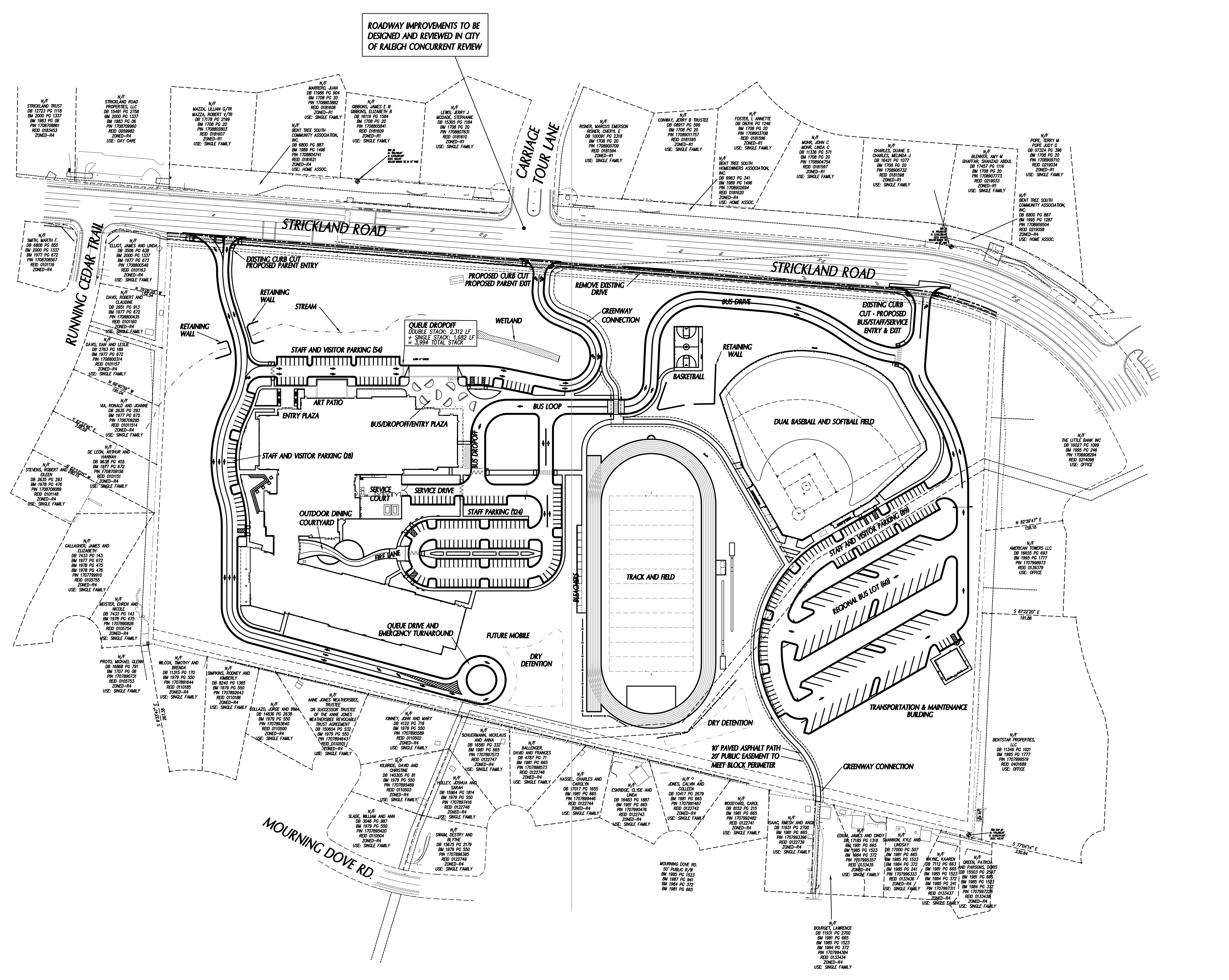
BIKE SPACES REQ'D: 000+00 = 126 SPACES OR 30 SPACES MAX. (PER COD SECTION 7.1.8.A.)

BIKE SPACES PROVIDED: 30 SPACES, 15 RACKS TOTAL
(4 SHORT-TERM, 2 RACKS)
(26 LONG-TERM, 13 RACKS)

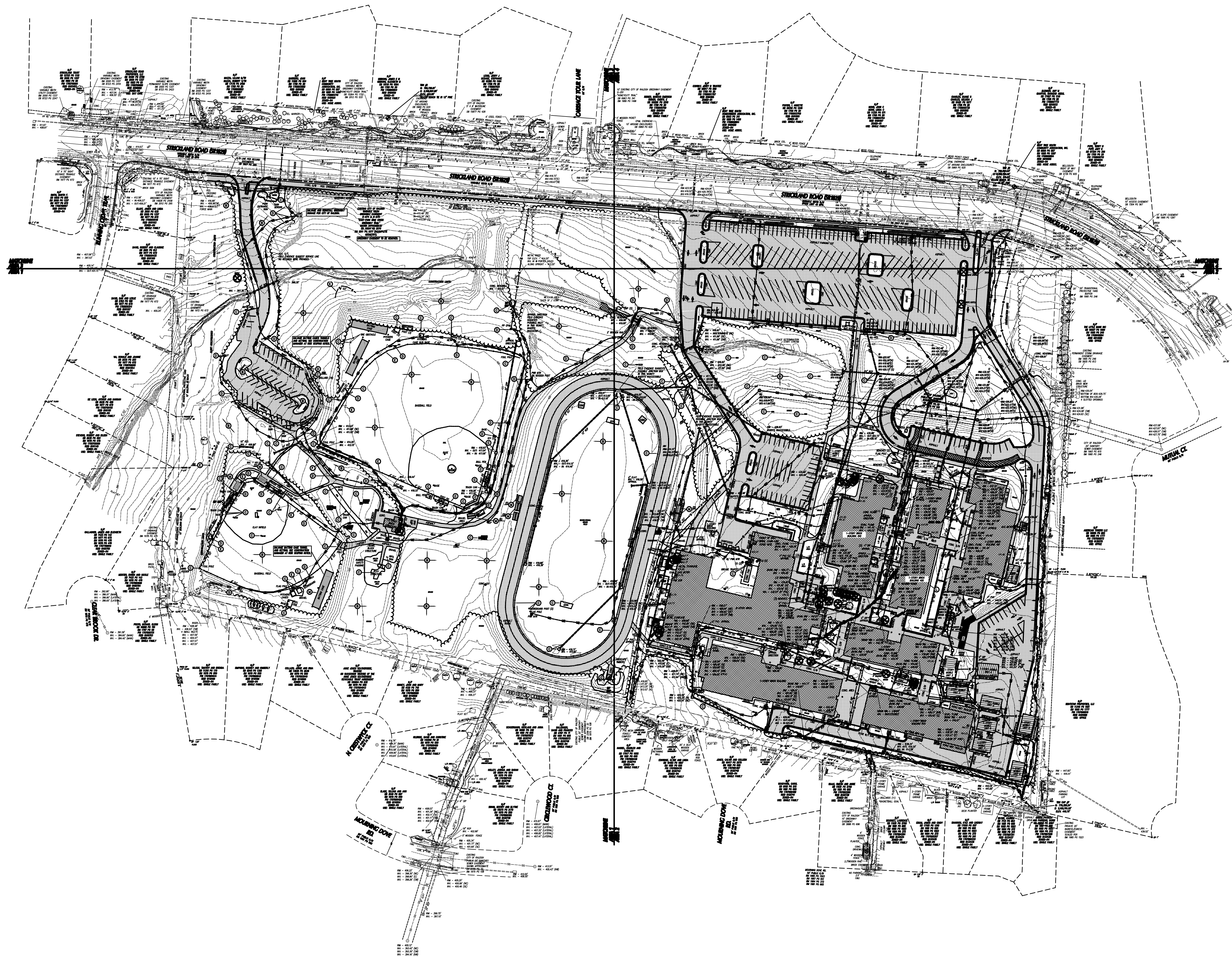
NOTES:
1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
2. DESIGNER HAS REVIEWED AND IS COMPLIANT WITH THE REQUIREMENTS SET FORTH IN THE SOLIDS WASTE DESIGN MANUAL.
3. THE PROPOSED DEVELOPMENT PLANS TO USE THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) TO HANDLE THEIR TRASH NEEDS.

AVERAGE LOT SIZE = AVERAGE OF ALL LOTS IN EXISTING BLOCK = 1.22 AC OR 53,143 SF. PER CODE SECTION 8.3.2.2.B. MAX. SIZE IS 8,000 SF. THE EXISTING BLOCK PERIMETER IS MEASURED AT 8,107 LF. PER SECTION 8.3.2.2.3, THE MAXIMUM BLOCK PERIMETER MAY BE EXTENDED BY 50% WITH A PEDESTRIAN PASSAGE. A NEW GREENWAY CONNECTION IS PROVIDED PER GREENWAY EXHIBIT SHEET C00.01.

OVERALL PLAN - FOR REFERENCE ONLY



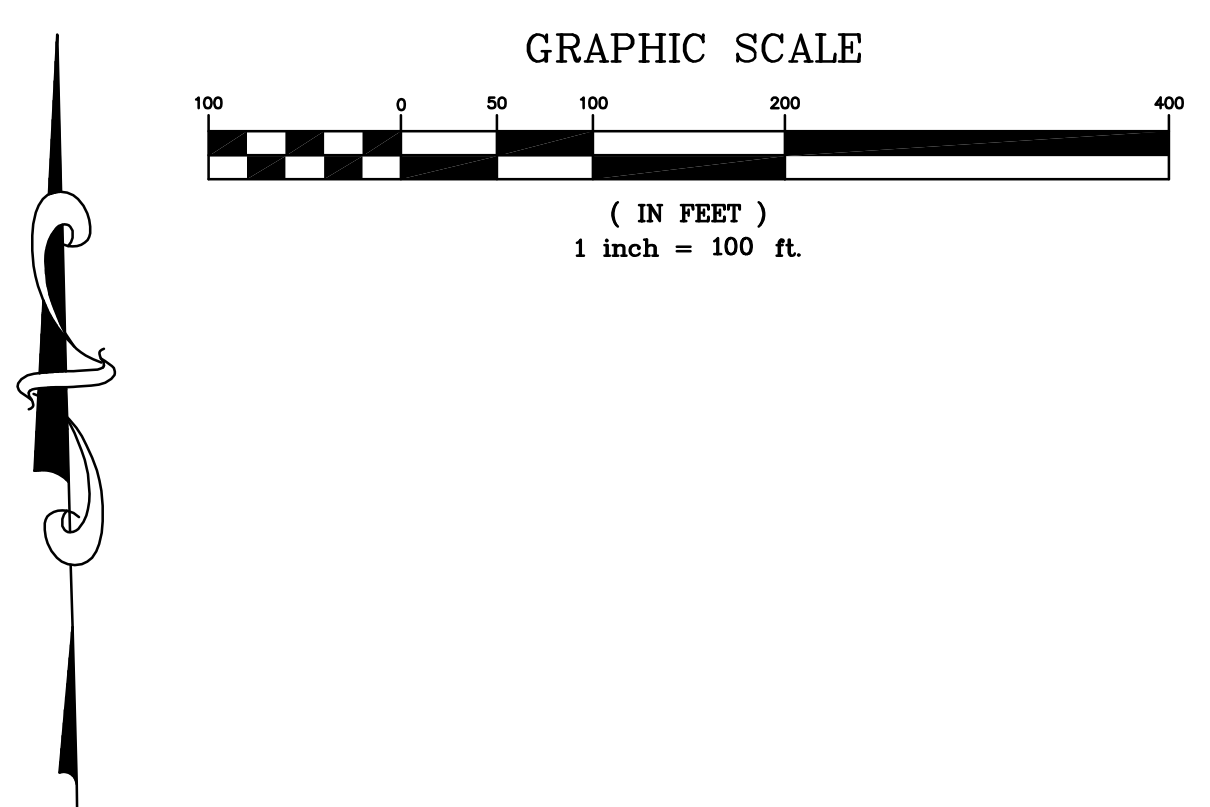
ROADWAY IMPROVEMENTS TO BE DESIGNED AND REVIEWED IN CITY OF RALEIGH CONCURRENT REVIEW



GENERAL NOTES-EXIST. CONDITIONS/DEMO

1. ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
2. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
3. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
4. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
5. EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY MCKIM & CREED, PERFORMED APRIL 25, 2016. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. INSTALL CONSTRUCTION ENTRANCE AND PERIMETER MEASURES, THEN CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
7. TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2'-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
8. PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
9. VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
10. CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
11. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
13. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
14. DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET ... FOR PAVEMENT REPAIR DETAILS.
15. THIS SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON FIRM MAPS 3720170700I AND 3720170800I EFFECTIVE MAY 2, 2006. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

**OVERALL PLAN SHEET
FOR REFERENCE ONLY
WITH EXCEPTION OF
GENERAL NOTES**



**PROGRESS
PRINT NOT FOR
CONSTRUCTION**

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL

**WAKE COUNTY PUBLIC SCHOOL SYSTEM
8115 STRICKLAND RD, RALEIGH, NC 27615**

PROJECT NO:	DATE:
582633	NOVEMBER 13, 2019
REVISIONS	
DATE	DESCRIPTION

EXISTING
CONDITIONS AND
DEMOLITION PLAN
-OVERALL-

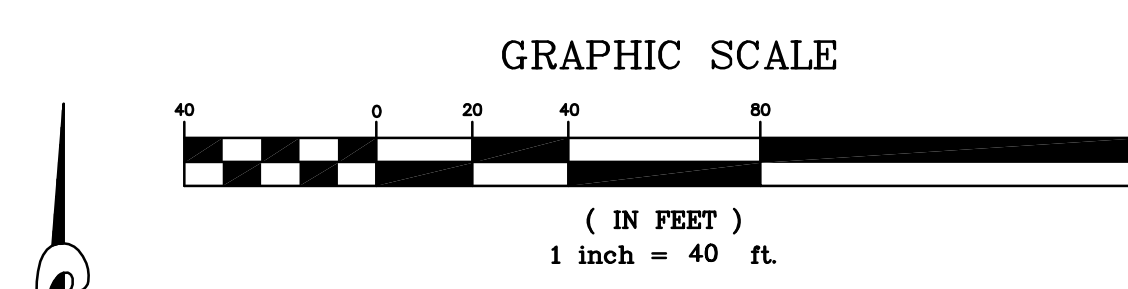
SEE GENERAL NOTES FOR EXISTING CONDITIONS AND
DEMOLITION ON SHEET C01.00
LEGEND

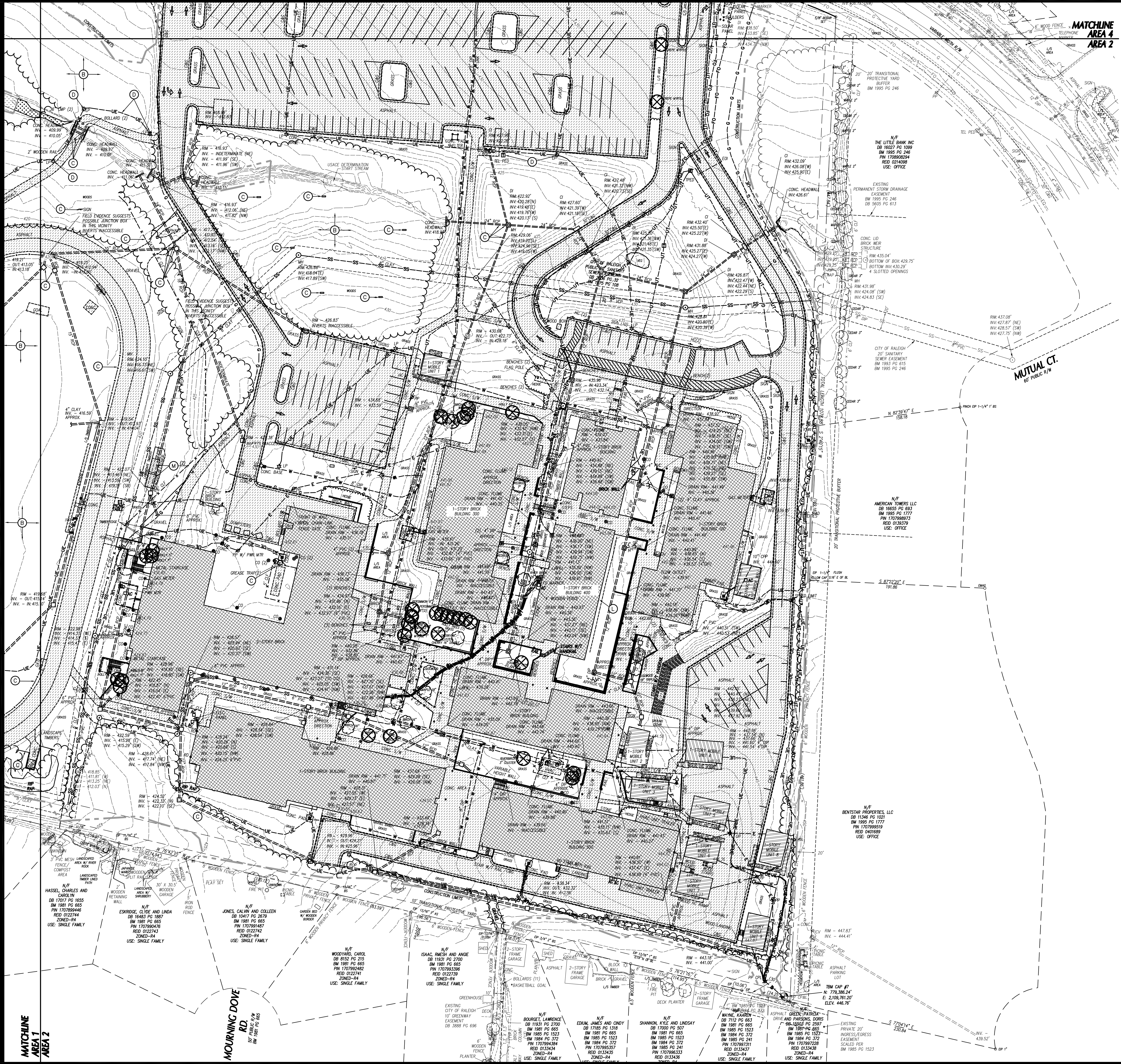
STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
FENCE	FENCE
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
	CABLE BOX

CONSTR./CLEARING LIMITS
TREE PROTECTION FENCE
PAVEMENT, WALLS, STAIRS, S/W, C&G AND ANY OTHER HARDSCAPE TO BE REMOVED.
BUILDING/STRUCTURE TO BE REMOVED.
SEE ARCHITECTURAL PLANS.
MOBILE UNITS AND ANY ASSOCIATED RAMP/STAIR AND UTILITIES TO BE REMOVED BY OWNER.
CITY OF RALEIGH TCA (TREE CONSERVATION AREA)

EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

- KEY NOTES**
- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET C07.01.
 - (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - (C) REMOVE STRUCTURE/UTILITY.
 - (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
 - (E) REMOVE FENCE AND ALL ASSOCIATED FOOTING.
 - (F) STRUCTURES AND ASSOCIATED UTILITIES TO BE REMOVE PER CITY STANDARD.
 - (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
 - (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET C07.01.
 - (I) DISASSEMBLE EXISTING SITE FURNISHING AND PLACE ON PALETTES FOR REMOVAL BY OWNER.
 - (J) SALVAGE MATERIALS AND RETURN TO OWNER.
 - (K) REMOVE MISCELLANEOUS ITEMS AND ALL ASSOCIATED FOUNDATION/FOOTINGS.
 - (L) SALVAGE, PALLETIZE, AND DELIVER 200 EXTERIOR BRICKS FROM THE 400 BUILDING FOR OWNER'S (DEVELOPER TO PRINCIPAL) USE.
 - (M) SALVAGE, PROTECT AND STORE DURING CONSTRUCTION. INSTALL AT NEW LOCATIONS AS INDICATED BY PLANS. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO RE-INSTALLATION. SEE CONSTRUCTION MANAGER AT RISK SCOPING.
- * ADDITIONAL ITEMS TO BE SALVAGED AND STORED DURING CONSTRUCTION BY CONTRACTOR. SEE CONSTRUCTION MANAGER AT RISK SCOPING. TRACTOR/LAWN MOWER, FOOTBALL TACKLING SLEDS AND SHED TO BE RELOCATED AS DIRECTED BY WCPS.





SEE GENERAL NOTES FOR EXISTING CONDITIONS AND DEMOLITION ON SHEET C01.00

LEGEND

STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
FENCE	FENCE
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
	CABLE BOX

CONSTR./CLEARING LIMITS

TREE PROTECTION FENCE

PAVEMENT, WALLS, STAIRS, S/W, C&G AND ANY OTHER HARDSCAPE TO BE REMOVED.

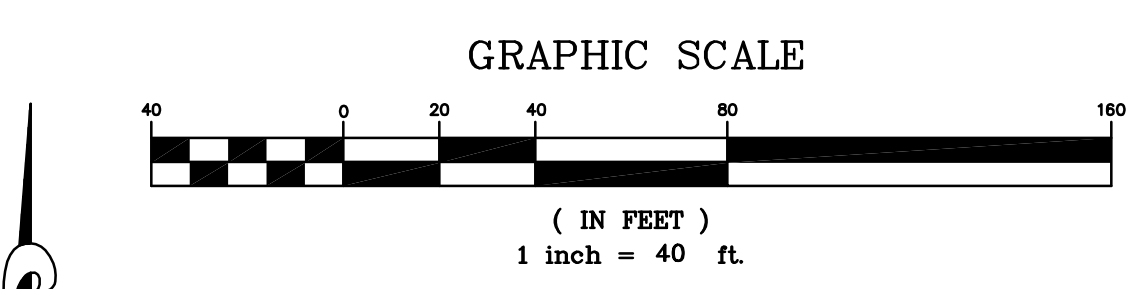
BUILDING/STRUCTURE TO BE REMOVED. SEE ARCHITECTURAL PLANS.

MOBILE UNITS AND ANY ASSOCIATED RAMPS/STAIR AND UTILITIES TO BE REMOVED BY OWNER.

CITY OF RALEIGH TCA (TREE CONSERVATION AREA)

EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

- KEY NOTES**
- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET C07.01.
 - (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - (C) REMOVE STRUCTURE/UTILITY.
 - (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
 - (E) REMOVE FENCE AND ALL ASSOCIATED FOOTING.
 - (F) STRUCTURES AND ASSOCIATED UTILITIES TO BE REMOVE PER CITY STANDARD.
 - (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
 - (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET C07.01.
 - (I) DISASSEMBLE EXISTING SITE FURNISHING AND PLACE ON PALETTES FOR REMOVAL BY OWNER.
 - (J) SALVAGE MATERIALS AND RETURN TO OWNER.
 - (K) REMOVE MISCELLANEOUS ITEMS AND ALL ASSOCIATED FOUNDATION/FOOTINGS.
 - (L) SALVAGE, PALLETIZE, AND DELIVER 200 EXTERIOR BRICKS FROM THE 400 BUILDING FOR OWNER'S DELIVER TO PRINCIPAL USE.
 - (M) SALVAGE, PROTECT AND STORE DURING CONSTRUCTION. INSTALL AT NEW LOCATIONS AS INDICATED BY PLANS. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO RE-INSTALLATION. SEE CONSTRUCTION MANAGER AT RISK SCOPING.
- * ADDITIONAL ITEMS TO BE SALVAGED AND STORED DURING CONSTRUCTION BY CONTRACTOR. SEE CONSTRUCTION MANAGER AT RISK SCOPING. TRACTOR/LAWN MOWER, FOOTBALL TACKLING SLEDS AND SHED TO BE RELOCATED AS DIRECTED BY WCPSS.



PROGRESS PRINT NOT FOR CONSTRUCTION

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL

WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO: DATE: NOVEMBER 13, 2019

REVISIONS	DESCRIPTION

SEE GENERAL NOTES FOR EXISTING CONDITIONS AND DEMOLITION ON SHEET C01.00
LEGEND

STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
FENCE	FENCE
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
	CABLE BOX

CONSTR./CLEARING LIMITS

TREE PROTECTION FENCE

PAVEMENT, WALLS, STAIRS, S/W, C&G AND ANY OTHER HARDSCAPE TO BE REMOVED. SEE ARCHITECTURAL PLANS.

MOBILE UNITS AND ANY ASSOCIATED RAMPS/STAIR AND UTILITIES TO BE REMOVED BY OWNER.

CITY OF RALEIGH TCA (TREE CONSERVATION AREA)

EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING CONSTRUCTION.
KEY NOTES

- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET C07.01.
 - (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - (C) REMOVE STRUCTURE/UTILITY.
 - (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
 - (E) REMOVE FENCE AND ALL ASSOCIATED FOOTING.
 - (F) STRUCTURES AND ASSOCIATED UTILITIES TO BE REMOVED PER CITY STANDARD.
 - (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
 - (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET C07.01.
 - (I) DISASSEMBLE EXISTING SITE FURNISHING AND PLACE ON PALETTES FOR REMOVAL BY OWNER.
 - (K) SALVAGE MATERIALS AND RETURN TO OWNER.
 - (L) REMOVE MISCELLANEOUS ITEMS AND ALL ASSOCIATED FOUNDATION/FOOTINGS.
 - (M) SALVAGE, PALLETIZE, AND DELIVER 200 EXTERIOR BRICKS FROM THE 400 BUILDING FOR OWNER'S DELIVER TO PRINCIPAL USE.
 - (N) SALVAGE, PROTECT AND STORE DURING CONSTRUCTION. INSTALL AT NEW LOCATIONS AS INDICATED BY PLANS. COORDINATE WITH ARCHITECT AND OWNER PRIOR TO RE-INSTALLATION. SEE CONSTRUCTION MANAGER AT RISK SCOPING.
- * ADDITIONAL ITEMS TO BE SALVAGED AND STORED DURING CONSTRUCTION BY CONTRACTOR. SEE CONSTRUCTION MANAGER AT RISK SCOPING. TRACTOR/LAWN MOWER, FOOTBALL TACKLING SLEDS AND SHED TO BE RELOCATED AS DIRECTED BY WCPSS.

PROGRESS PRINT NOT FOR CONSTRUCTION

ASR REVIEW #3

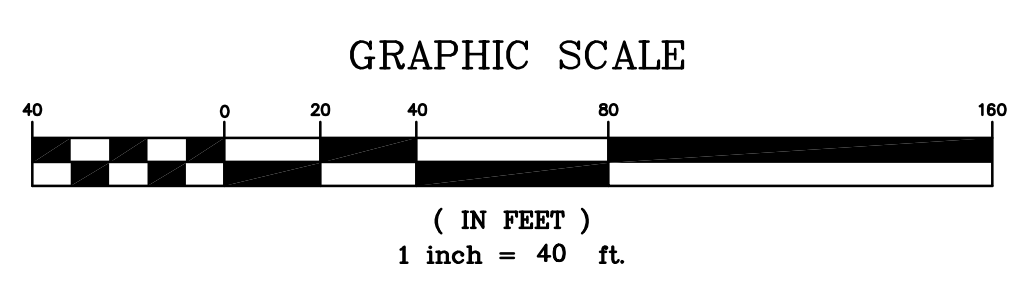
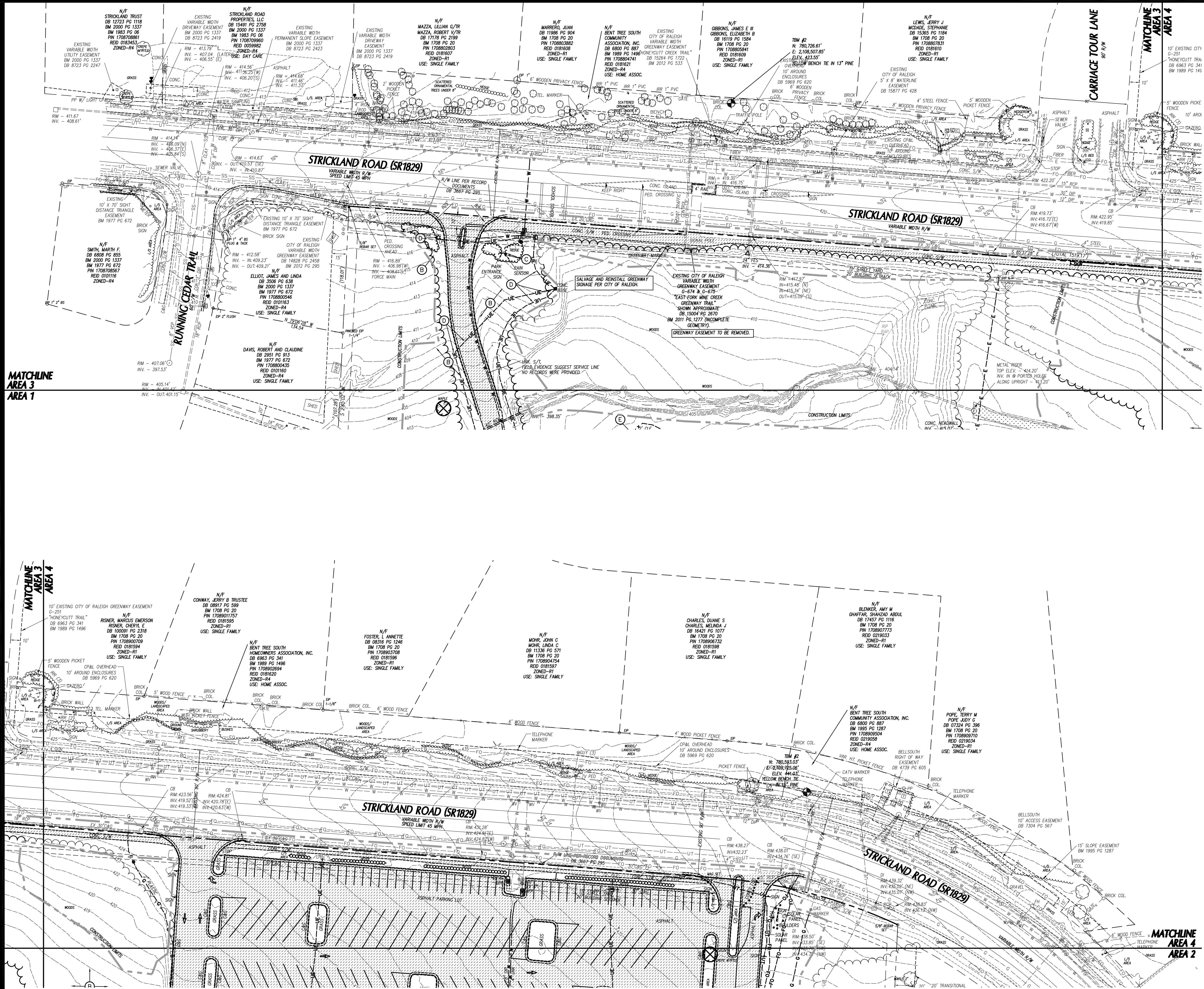
WEST MILLBROOK MIDDLE SCHOOL
 WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO: 582833 DATE: NOVEMBER 13, 2019

REVISIONS	DESCRIPTION

EXISTING CONDITIONS AND DEMOLITION PLAN - AREA 3 & 4

C01.03



MATCHLINE AREA 3 AREA 1

MATCHLINE AREA 3 AREA 4

MATCHLINE AREA 4 AREA 2

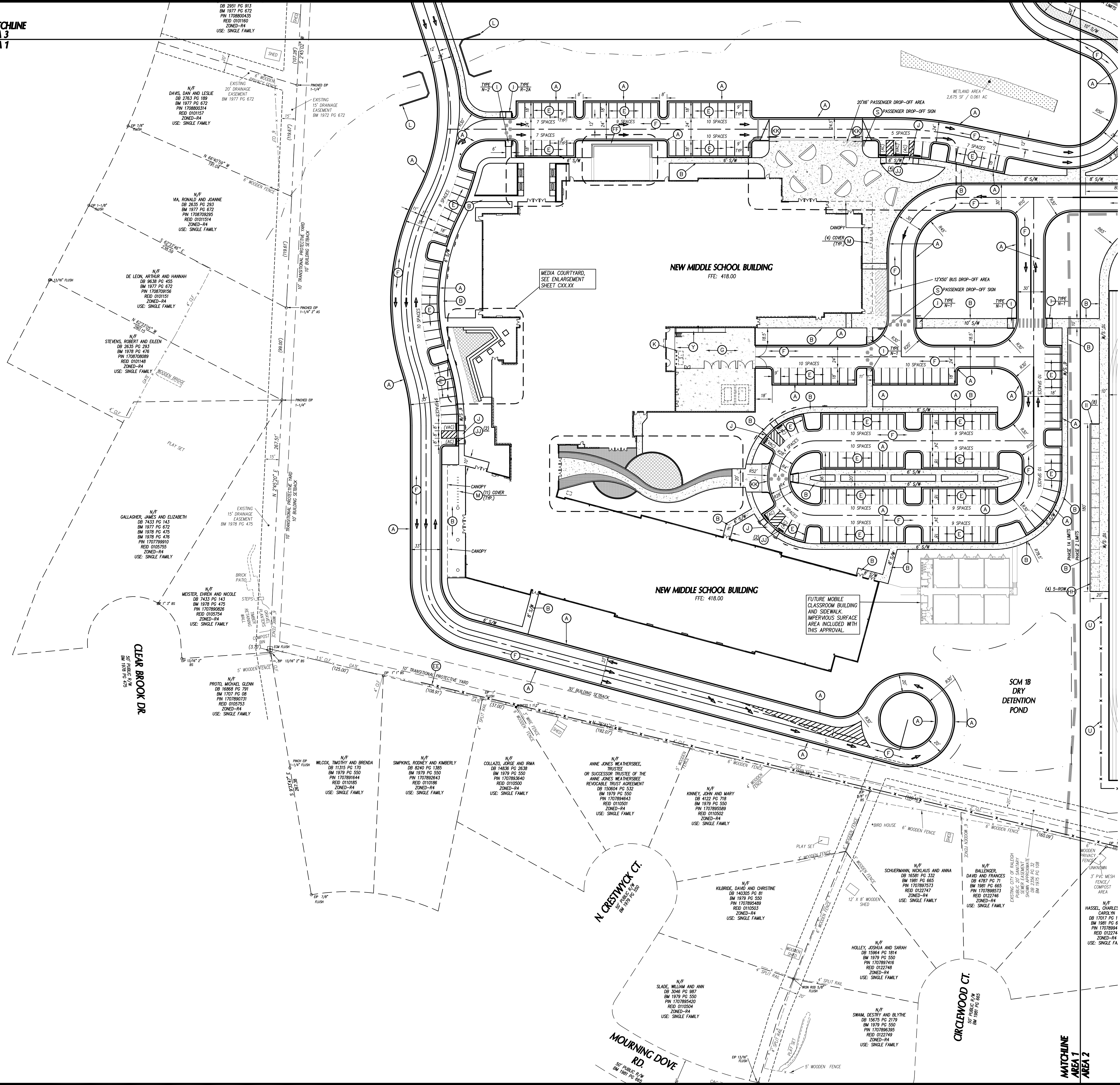
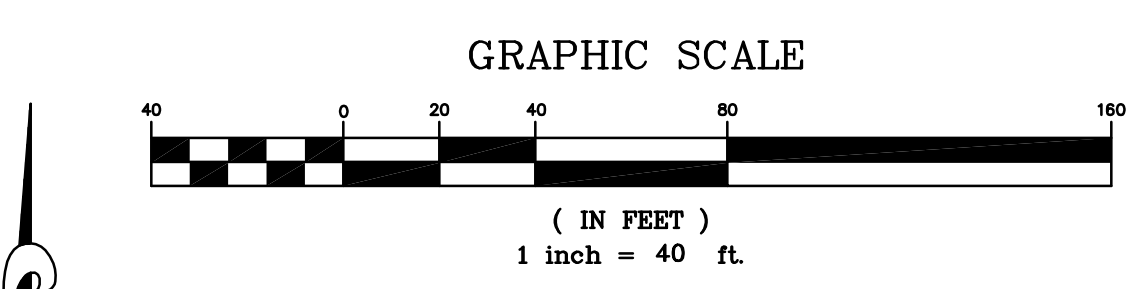
PROJECT NO:	DATE:
582833	NOVEMBER 13, 2019
REVISIONS	
DATE	DESCRIPTION

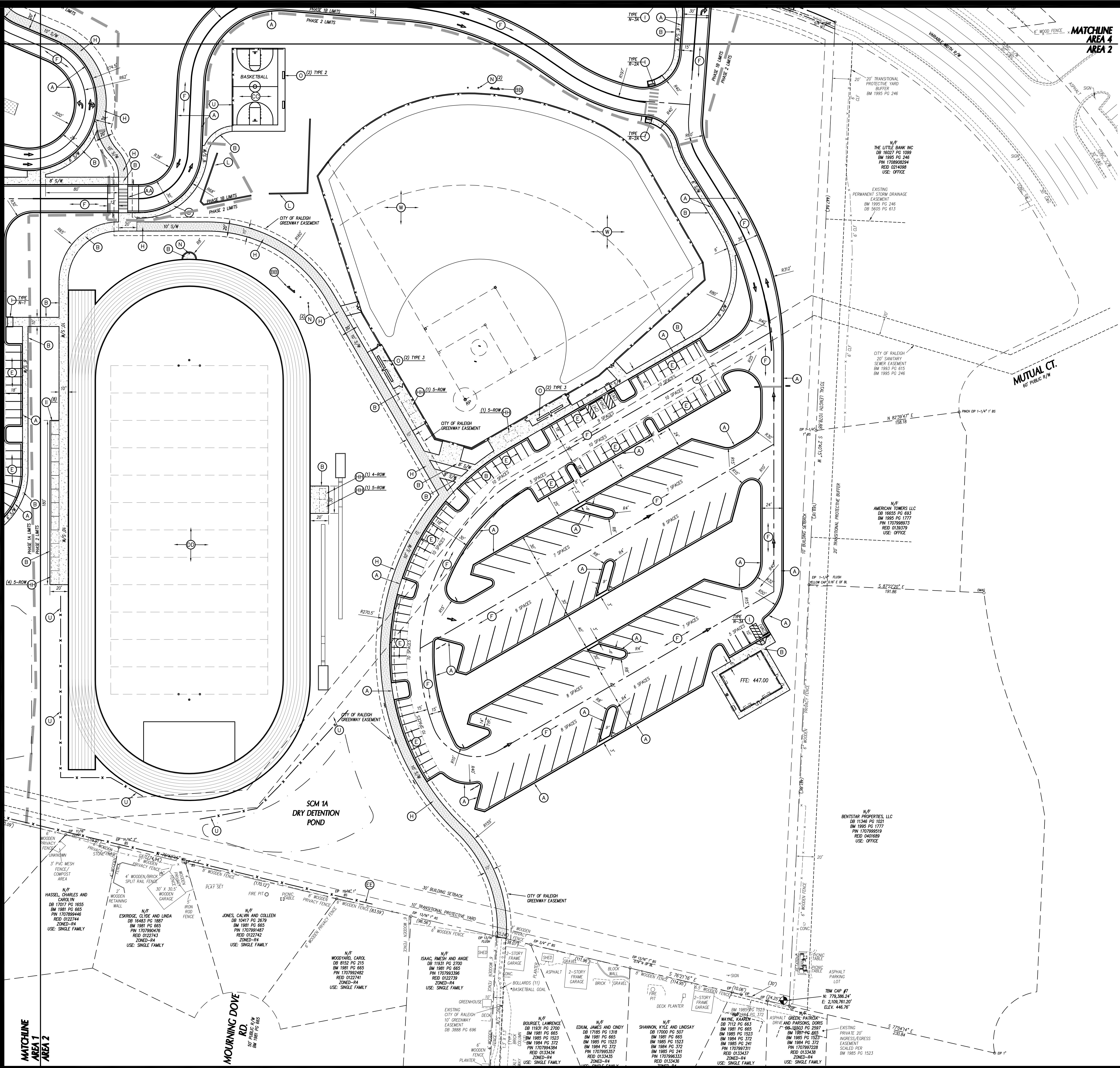
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL FACE OF RADII ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL PARKING SPACES SHALL BE 9' WIDE X 18 FT DEEP MIN.
- (AC) DENOTES ACCESSIBLE PARKING SPACE.
- (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0% AND THE LONGITUDINAL SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 5.0%.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
- WITHIN THE AREA OF DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BENCH, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

KEY NOTES

- (A) 24" STANDARD CONCRETE CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C07.05.
- (C) TRANSITION CURB AND GUTTER FROM 24" C&G TO 30" C&G, TRANSITION TAPER TO OCCUR WITHIN THE SCHOOL PROPERTY AND 30" C&G SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY.
- (D) 30" STANDARD CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (E) LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C07.05.
- (F) HEAVY-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C07.05.
- (G) CONCRETE PAVEMENT, SEE DETAIL SHEET C07.05.
- (H) ASPHALT CITY OF RALEIGH GREENWAY PATH, SEE DETAIL SHEET C07.03.
- (I) CITY OF RALEIGH ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C07.04.
- (J) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C07.05.
- (K) DUMPSTERS, PROVIDED BY OWNER.
- (L) RETAINING WALL, SEE STRUCTURAL DRAWINGS.
- (M) BIKE RACK, LANDSCAPE FORMS LOOP RACK, SEE DETAIL SHEET C07.07, SEE SPECIFICATIONS.
- (N) BENCH, SEE SPECIFICATIONS AND DETAIL SHEET C07.07.
- (O) TRASH RECEPTACLE, SEE SPECIFICATIONS AND DETAIL SHEET C07.07.
- (P) ORNAMENTAL FENCE GATE, SEE DETAIL SHEET C07.06.
- (Q) ORNAMENTAL FENCE, SEE DETAIL SHEET C07.06.
- (R) BUS LOADING ZONE, SEE DETAIL SHEET C07.05.
- (S) VINYL COATED CHAIN-LINK GATE, SEE DETAIL SHEET C07.06.
- (T) VINYL COATED CHAIN-LINK FENCE, SEE DETAIL SHEET C07.06.
- (U) SEAT WALL, SEE DETAIL SHEET C07.07.
- (V) COMBINE BASEBALL / SOFTBALL FIELD, SEE DETAIL SHEET C07.15.
- (W) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, SHEDDER ENCLOSURE, LOADING DOOR, RAMPS & SERVICE YARD LAYOUT, BOLLARDS, ETC.
- (X) AREA LIGHT, SEE SPECIFICATIONS, COORDINATE WITH ELECTRICAL PLANS.
- (Y) RAISED CROSSWALK, SEE DETAIL SHEET C07.04.
- (Z) SCORE BOARD, SEE ELECTRICAL DRAWINGS FOR INFORMATION.
- (AA) BASKETBALL COURTS AND GOALS, SEE DETAIL SHEET C07.13, SEE SPECIFICATIONS.
- (AB) COMBINE TRACK AND FIELD / FOOTBALL FIELD, SEE DETAIL SHEETS C07.12.
- (AC) SPALQUE WOODEN FENCING, SEE DETAIL SHEET C07.06.
- (AD) ART PATIO LIGHT SCREEN AND SEATING BENCH, SEE DETAIL SHEET C07.07.
- (AE) LOCATION FOR SALVAGED BLEACHER.
- (AF) NEW BLEACHER, SEE SPECIFICATIONS.
- (AG) CONCRETE WHEELSTOP, SEE DETAIL SHEET C07.07.
- (AH) ASPHALT FLUSH WITH CONCRETE, SEE DETAIL SHEET C07.05.



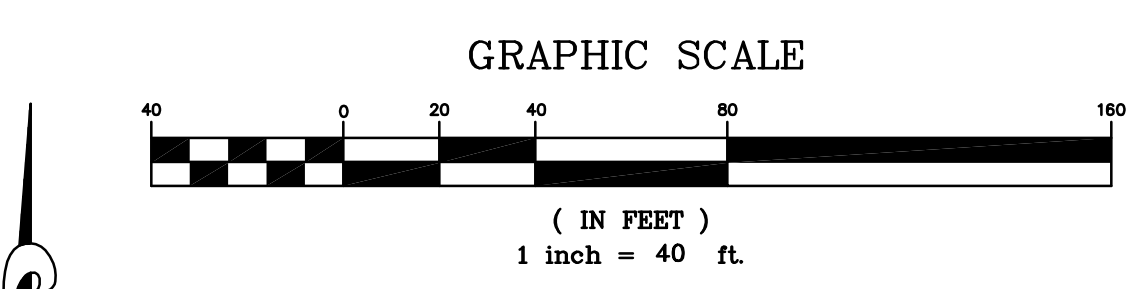


GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
4. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
6. ALL FACE OF RADII ARE 4 FT UNLESS OTHERWISE SHOWN.
7. ALL PARKING SPACES SHALL BE 6' WIDE X 18 FT DEEP MIN.
8. (AC) DENOTES ACCESSIBLE PARKING SPACE.
9. (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
10. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
11. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0% AND THE LONGITUDINAL SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 5.0%.
13. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTICES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
14. WITHIN THE AREA OF DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BEAMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

KEY NOTES

- (A) 24" STANDARD CONCRETE CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C07.03.
- (C) TRANSITION CURB AND GUTTER FROM 24" C&G TO 30" C&G. TRANSITION TAPER TO OCCUR WITHIN THE SCHOOL PROPERTY. THE TRANSITION TAPER SHALL BE 10'. 24" C&G SHALL BE CONSTRUCTED WITHIN THE SCHOOL PROPERTY AND 30" C&G SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY.
- (D) 30" STANDARD CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (E) LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C07.05.
- (F) HEAVY-DUTY ASPHALT PAVEMENT, SEE SHEET C07.05.
- (G) CONCRETE PAVEMENT, SEE DETAIL SHEET C07.05.
- (H) ASPHALT CITY OF RALEIGH GREENWAY PATH, SEE DETAIL SHEET C07.03.
- (I) CITY OF RALEIGH ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C07.04.
- (J) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C07.05.
- (K) DUMPSTERS, PROVIDED BY OWNER.
- (L) RETAINING WALL, SEE STRUCTURAL DRAWINGS.
- (M) BIKE RACK, LANDSCAPE FORMS LOOP RACK, SEE DETAIL SHEET C07.07, SEE SPECIFICATIONS.
- (N) BENCH, SEE SPECIFICATIONS AND DETAIL SHEET C07.07.
- (O) TRASH RECEPTACLE, SEE SPECIFICATIONS AND DETAIL SHEET C07.07.
- (P) ORNAMENTAL FENCE GATE, SEE DETAIL SHEET C07.06.
- (Q) ORNAMENTAL FENCE, SEE DETAIL SHEET C07.06.
- (R) BUS LOADING ZONE, SEE DETAIL SHEET C07.05.
- (S) VINYL COATED CHAIN-LINK GATE, SEE DETAIL SHEET C07.06.
- (T) VINYL COATED CHAIN-LINK FENCE, SEE DETAIL SHEET C07.06.
- (U) SEAT WALL, SEE DETAIL SHEET C07.07.
- (V) COMBINE BASEBALL / SOFTBALL FIELD, SEE DETAIL SHEET C07.15.
- (X) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, COLLIER ENCLOSURE, LOADING DOCK, RAMPS & SERVICE YARD LAYOUT, BOLLARDS, ETC.
- (Y) AREA LIGHT, SEE SPECIFICATIONS. COORDINATE WITH ELECTRICAL PLANS.
- (AA) RAISED CROSSWALK, SEE DETAIL SHEET C07.04.
- (BB) SCORE BOARD, SEE ELECTRICAL DRAWINGS FOR INFORMATION.
- (CC) BASKETBALL COURTS AND GOALS, SEE DETAIL SHEET C07.13, SEE SPECIFICATIONS.
- (DD) COMBINE TRACK AND FIELD / FOOTBALL FIELD, SEE DETAIL SHEETS C07.12.
- (EE) SPALDEE WOODEN FENCING, SEE DETAIL SHEET C07.11.
- (FF) ART PATIO LIGHT SCREEN AND SEATING BENCH, SEE DETAIL SHEET C07.07.
- (GG) LOCATION FOR SALVAGED BLEACHER.
- (HH) NEW BLEACHER, SEE SPECIFICATIONS.
- (II) CONCRETE WHEELSTOP, SEE DETAIL SHEET C07.11.
- (JJ) ASPHALT FLUSH WITH CONCRETE, SEE DETAIL SHEET C07.11.



PROGRESS PRINT NOT FOR CONSTRUCTION

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL
 WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO:	DATE:
582833	NOVEMBER 13, 2019
REVISIONS	DESCRIPTION

STAKING PLAN - AREA 2

PROGRESS PRINT NOT FOR CONSTRUCTION

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL

WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO:	DATE:
582833	NOVEMBER 13, 2019
REVISIONS	
DATE	DESCRIPTION

STAKING PLAN - AREA 3 & 4

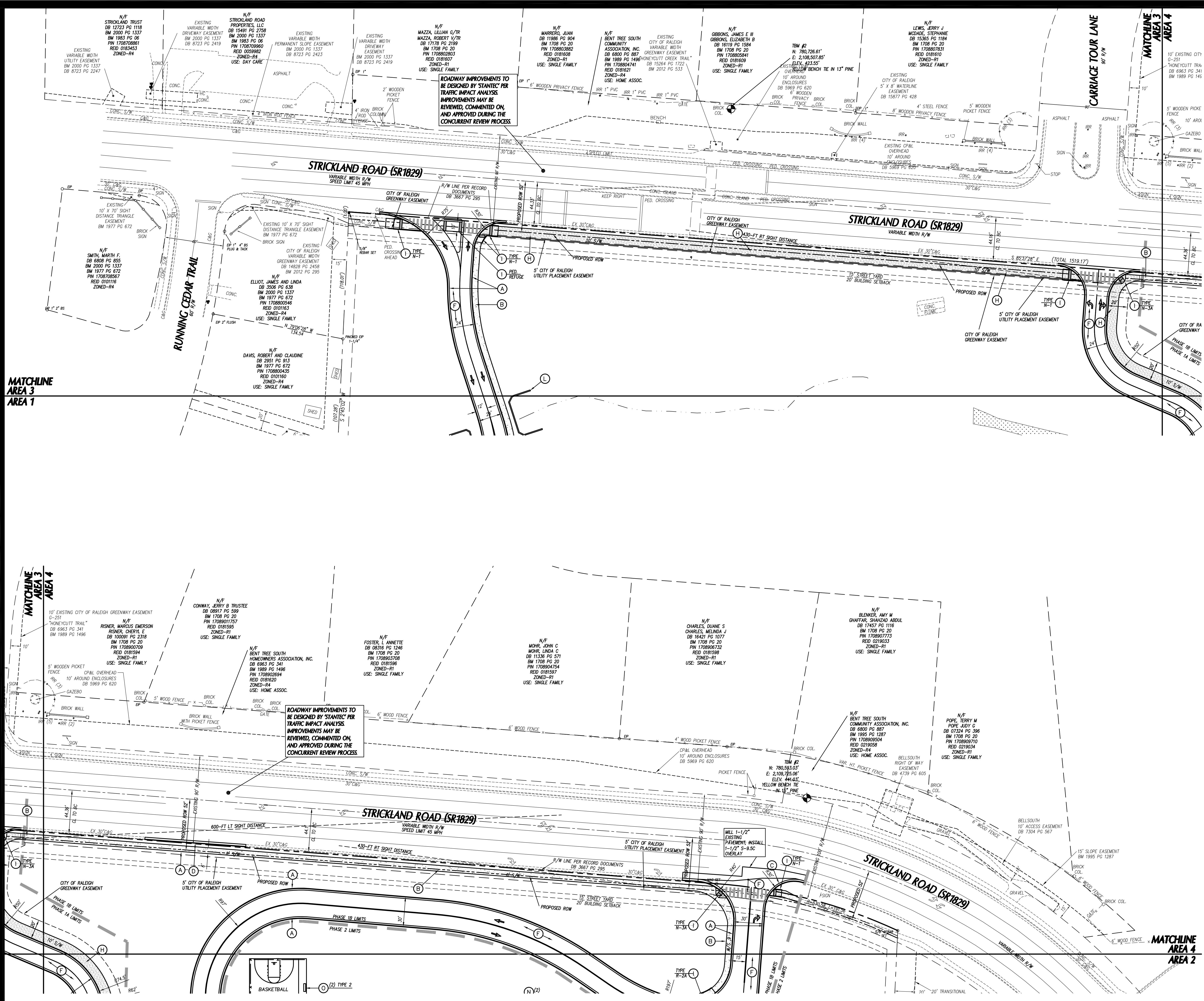
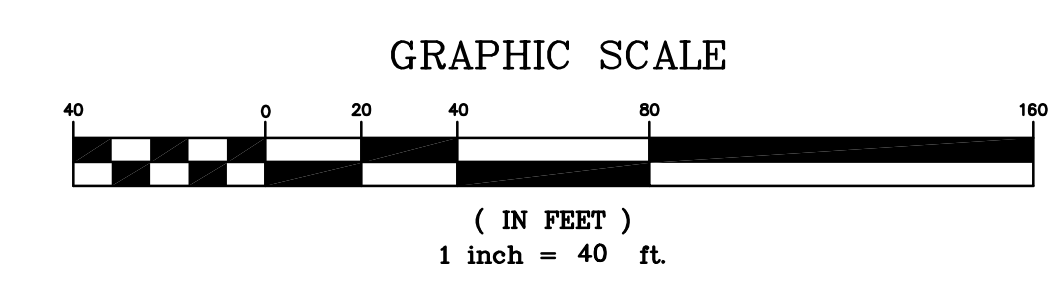
C02.03

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHALL BE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- ALL FACE OF RADII ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL PARKING SPACES SHALL BE 9' WIDE X 18 FT DEEP MIN.
- (AC) DENOTES ACCESSIBLE PARKING SPACE.
- (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SIGNING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0% AND THE LONGITUDINAL SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 5.0%.
- NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTICES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
- WITHIN THE AREA OF DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALLS, FENCES, SIGN, FOLIAGE, BENCHES, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

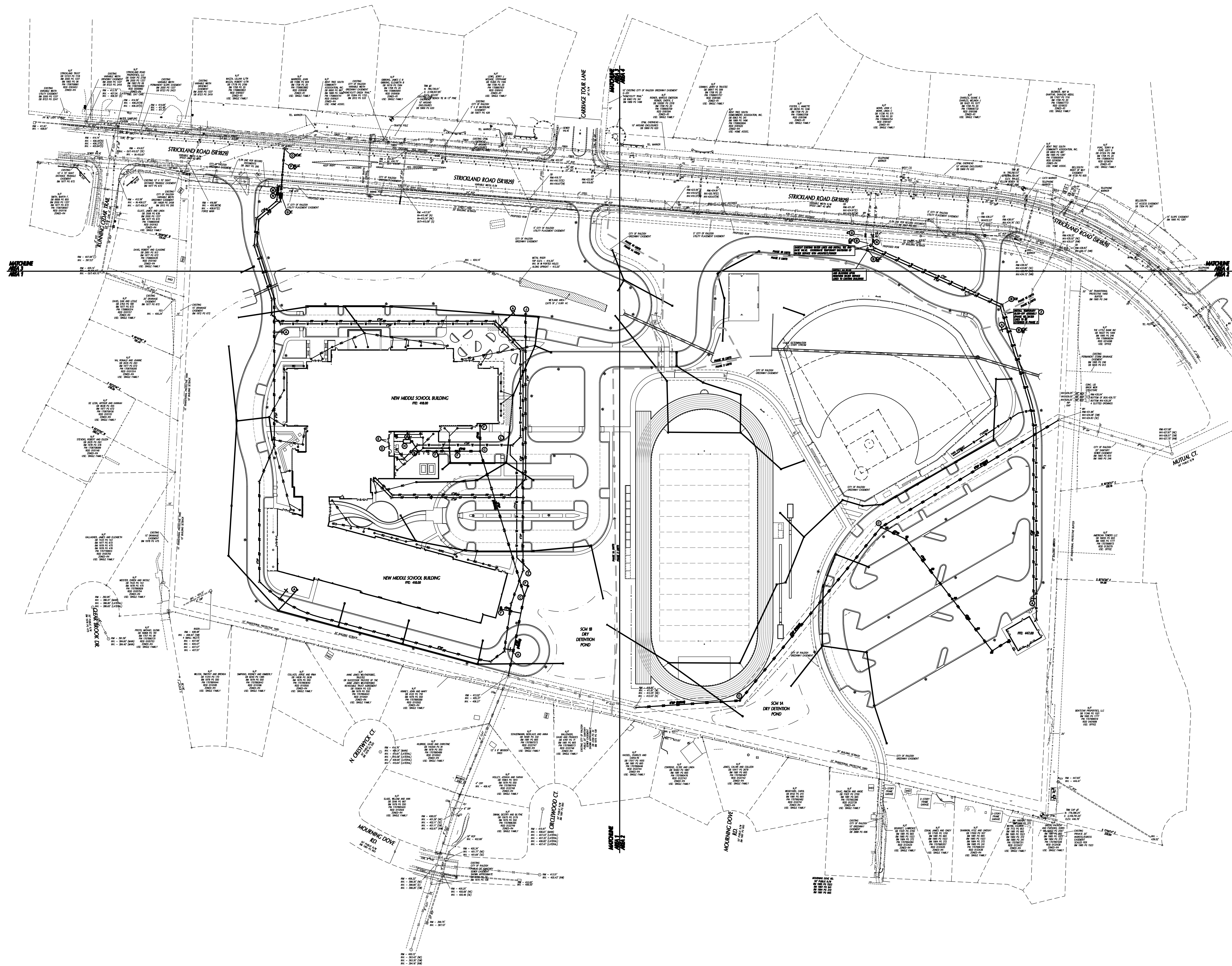
KEY NOTES

- (A) 24" STANDARD CONCRETE CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C07.03.
- (C) TRANSITION CURB AND GUTTER FROM 24" C&G TO 30" C&G. TRANSITION PAPER TO COLOR WITHIN THE SCHOOL PROPERTY. THE TRANSITION PAPER SHALL BE 10'. 24" C&G SHALL BE CONSTRUCTED WITHIN THE SCHOOL PROPERTY AND 30" C&G SHALL BE CONSTRUCTED WITHIN THE RIGHT-OF-WAY.
- (D) 30" STANDARD CURB & GUTTER, SEE DETAIL SHEET C07.05.
- (E) LIGHT-DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET C07.05.
- (F) HEAVY-DUTY ASPHALT PAVEMENT, SEE SHEET C07.05.
- (G) CONCRETE PAVEMENT, SEE DETAIL SHEET C07.05.
- (H) ASPHALT CITY OF RALEIGH GREENWAY PATH, SEE DETAIL SHEET C07.03.
- (I) CITY OF RALEIGH ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C07.04.
- (J) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C07.05.
- (K) DUMPSTERS, PROVIDED BY OWNER.
- (L) RETAINING WALL, SEE STRUCTURAL DRAWINGS.
- (M) BIKE RACK, LANDSCAPE FORMS LOOP RACK, SEE DETAIL SHEET C07.07, SEE SPECIFICATIONS.
- (N) BENCH, SEE SPECIFICATIONS AND DETAIL SHEET C07.07.
- (O) TRASH RECEPTACLE, SEE SPECIFICATIONS AND DETAIL SHEET C07.07.
- (P) ORNAMENTAL FENCE GATE, SEE DETAIL SHEET C07.06.
- (Q) ORNAMENTAL FENCE, SEE DETAIL SHEET C07.06.
- (R) BUS LOADING ZONE, SEE DETAIL SHEET C07.05.
- (S) VINYL COATED CHAIN-LINK GATE, SEE DETAIL SHEET C07.06.
- (T) VINYL COATED CHAIN-LINK FENCE, SEE DETAIL SHEET C07.06.
- (U) SEAT WALL, SEE DETAIL SHEET C07.07.
- (V) COMBINE BASEBALL / SOFTBALL FIELD, SEE DETAIL SHEET C07.15.
- (X) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, COLLIER ENCLOSURE, LOADING DOCK, RAMPS & SERVICE YARD LAYOUT, BOLLARDS, ETC.
- (Y) AREA LIGHT, SEE SPECIFICATIONS. COORDINATE WITH ELECTRICAL PLANS.
- (AA) RAISED CROSSWALK, SEE DETAIL SHEET C07.04.
- (BB) SCORE BOARD, SEE ELECTRICAL DRAWINGS FOR INFORMATION.
- (CC) BASKETBALL COURTS AND GOALS, SEE DETAIL SHEET C07.13, SEE SPECIFICATIONS.
- (DD) COMBINE TRACK AND FIELD / FOOTBALL FIELD, SEE DETAIL SHEETS C07.12.
- (EE) SPALDING WOODEN FENCING, SEE DETAIL SHEET C07.1X.
- (FF) ART PATIO LIGHT SCREEN AND SEATING BENCH, SEE DETAIL SHEET C07.07.
- (GG) SEE SPECIFICATIONS.
- (HH) LOCATION FOR SALVAGED BLEACHER.
- (II) NEW BLEACHER, SEE SPECIFICATIONS.
- (JJ) CONCRETE WHEELSTOP, SEE DETAIL SHEET C07.1X.
- (KK) ASPHALT FLUSH WITH CONCRETE, SEE DETAIL SHEET C07.1X.



MATCHLINE AREA 3 AREA 1

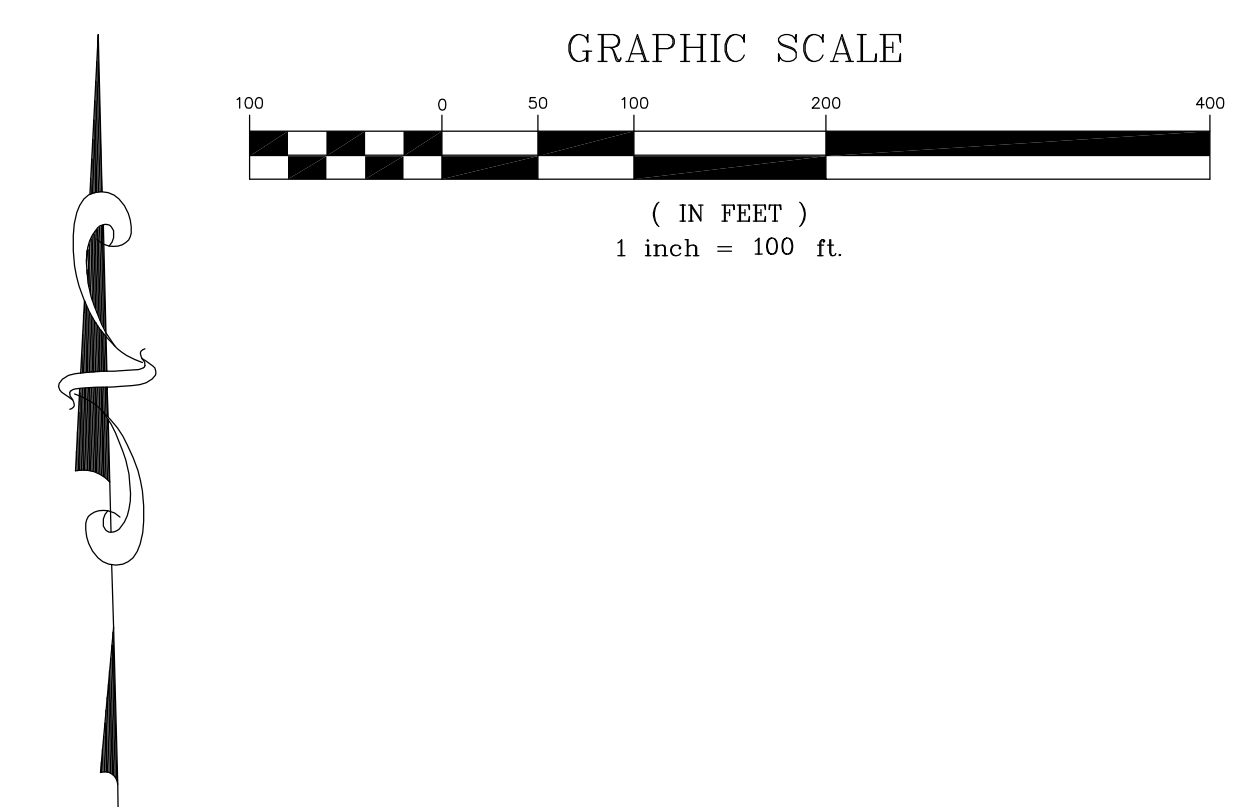
MATCHLINE AREA 4 AREA 2



GENERAL NOTES-UTILITY

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
2. INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3'-FT.
3. INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 3'-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 4'-FT TO FINISH GRADE IN TRAFFIC AREAS.
4. INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
5. WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10'-FT.
6. SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24"-IN TO STORM DRAINAGE PIPES.
7. COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
8. VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
9. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
10. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSCS AND OSHA REQUIREMENTS.
11. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION.
12. CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-DOWNS WITH THE OWNER.
13. SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
14. ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1/8" MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
15. ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 1/8" MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
16. ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
17. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
18. AS PER SECTION 7.4 OF THE CITY OF RALEIGH UDO, THE INSTALLATION OF SITE LIGHTING, MOUNTING OR FIXTURE LOCATION SHALL BE MADE IN STRICT COMPLIANCE OF THE UDO.

**OVERALL PLAN SHEET
FOR REFERENCE ONLY
WITH EXCEPTION OF
GENERAL NOTES**



**PROGRESS
PRINT NOT FOR
CONSTRUCTION**

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL
 WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO:	DATE:
582633	NOVEMBER 13, 2019
REVISIONS	
DATE	DESCRIPTION

UTILITY PLAN -
OVERALL

C05.00

LEGEND

EXISTING		PROPOSED	
CONDENSATE DRAIN	CD	CONDENSATE DRAIN	CD
ELECTRICAL (OVERHEAD)	E	ELECTRICAL (UNDERGROUND)	UE
FIBER OPTIC	FO	FIBER OPTIC	FO
FIRE PROTECTION	FP	FIRE PROTECTION	FP
FORCE MAIN (SEWER)	FM	FORCE MAIN (SEWER)	FM
FOUNDATION DRAIN CONNECTOR	FD	FOUNDATION DRAIN CONNECTOR	FD
GAS	G	GAS	G
ROOF DRAIN	RD	ROOF DRAIN	RD
SANITARY SEWER	SS	SANITARY SEWER	SS
STORM DRAIN	SD	STORM DRAIN	SD
TELEPHONE (OVERHEAD)	TO	TELEPHONE (OVERHEAD)	TO
TELEPHONE (UNDERGROUND)	UT	TELEPHONE (UNDERGROUND)	UT
WATER	W	WATER	W
LIGHT POLE	LP	LIGHT POLE	LP
UTILITY POLE	UP	UTILITY POLE	UP
MANHOLE	MH	MANHOLE	MH
CLEAN OUT	CO	CLEAN OUT	CO
DROP INLET/CATCH BASIN, POND OUTLET	DI, CB, PO	DROP INLET/CATCH BASIN, POND OUTLET	DI, CB, PO
HEAD WALL	HW	HEAD WALL	HW
FIRE HYDRANT	FH	FIRE HYDRANT	FH
WATER VALVE	WV	WATER VALVE	WV
POST INDICATOR VALVE (PIV)	PIV	POST INDICATOR VALVE (PIV)	PIV
FIRE DEPARTMENT CONNECTION (FDC)	FDC	FIRE DEPARTMENT CONNECTION (FDC)	FDC
THRUST BLOCKING	TB	THRUST BLOCKING	TB
SANITARY SEWER STRUCTURE I.D.	3	STORM DRAINAGE STRUCTURE I.D.	8

KEYNOTES

- FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET CXXIX.
- THRUST BLOCKING, TYP. SEE DETAIL SHEET CXXIX.
- SANITARY SEWER MANHOLE, SEE DETAIL SHEET CXXIX. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
- EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS. MAKE CONNECTION TO PLUMBING SERVICE.
- EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION, SEE DETAIL SHEET CXXIX. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
- SANITARY SEWER CLEANSUIT, SEE DETAIL SHEET CXXIX.
- WORKING 3750A REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) OR EQUAL FROM CORPUS LIST OF APPROVED ASSEMBLIES; WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET CXXIX FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
- FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET CXXIX.
- GATE VALVE AND VALVE BOX, SEE DETAIL SHEET CXXIX.
- POST INDICATOR VALVE W/ TAMPER SWITCH, SEE SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- 4" WATER METER, SEE DETAIL SHEET CXXIX.
- WORKING 375A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) OR EQUAL FROM CORPUS LIST OF APPROVED ASSEMBLIES; WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET CXXIX. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- TAPPING SLEEVE, VALVE AND BLOCKING, SEE SPECIFICATIONS.
- BORE & JACK 0.375-IN STEEL ENCASEMENT PIPE, SEE DETAIL SHEET CXXIX.
- SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO RESEARCH AREAS DISTURBED BY LOCAL UTILITY COMPANY.
- APPROXIMATE LOCATION OF ELECTRICAL SERVICE, REFER TO ELECTRICAL PLANS.
- APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
- FLOOR DRAIN, SEE DETAIL SHEET CXXIX.
- ROOF DRAIN CLEANSUIT, SEE DETAIL SHEET CXXIX.
- IN-LINE DRAIN, SEE DETAIL SHEET CXXIX.
- CONDENSATE RELIEF BASIN, SEE DETAIL SHEET CXXIX.
- OL/WATER SEPARATOR, REFER TO MEP PLANS.
- GAS METER AND GAS SERVICE BY DOMINION ENERGY.
- TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET CXXIX.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or gas as approved in these plans, is responsible for contacting The Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540, at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PRIVATE SEWER COLLECTION / EXTENSION SYSTEM

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF CITY'S PUBLIC SEWER SYSTEM AND EXTENSION OF THE PRIVATE SEWER SYSTEM AS SHOWN ON THIS PLAN, IN ACCORDANCE WITH THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

AUTHORIZATION TO CONSTRUCT _____

DATE _____

PUBLIC SEWER COLLECTION / EXTENSION SYSTEM

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN, IN ACCORDANCE WITH THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

AUTHORIZATION TO CONSTRUCT _____

DATE _____

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

PROGRESS PRINT NOT FOR CONSTRUCTION

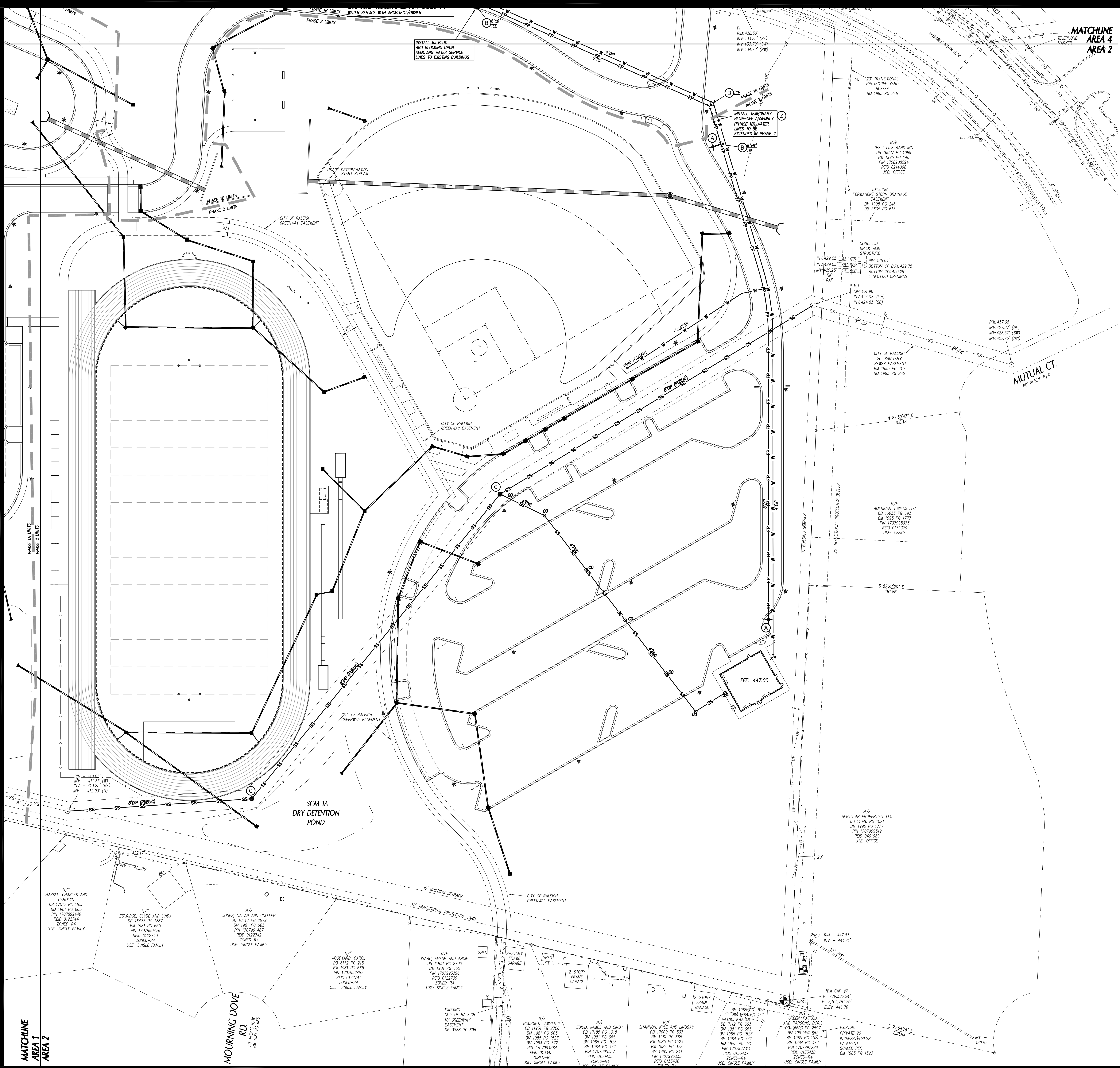
ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL
 WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

PROJECT NO: 582833 DATE: NOVEMBER 13, 2019

DATE	REVISIONS	DESCRIPTION

UTILITY PLAN - AREA 1



LEGEND

EXISTING	PROPOSED
CONDENSATE DRAIN	CD
ELECTRICAL (OVERHEAD)	E
ELECTRICAL (UNDERGROUND)	UE
FIBER OPTIC	FO
FIRE PROTECTION	FP
FORCE MAIN (SEWER)	FM
FOUNDATION DRAIN CONNECTOR	FD
GAS	G
ROOF DRAIN	RD
SANITARY SEWER	SS
STORM DRAIN	T
TELEPHONE (OVERHEAD)	TO
TELEPHONE (UNDERGROUND)	UT
WATER	W
LIGHT POLE	LP
UTILITY POLE	UP
MANHOLE	MH
CLEAN OUT	CO
DROP INLET/CATCH BASIN, POND OUTLET	DI, CB, PO
HEAD WALL	HDW
FIRE HYDRANT	FH
WATER VALVE	WV
POST INDICATOR VALVE (PIV)	PIV
FIRE DEPARTMENT CONNECTION (FDC)	FDC
THRUST BLOCKING	TB
SANITARY SEWER STRUCTURE I.D. [3]	STORM DRAINAGE STRUCTURE I.D. [8]

- ### KEYNOTES
- (A) FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET CXXX.
 - (B) THRUST BLOCKING, TYP. SEE DETAIL SHEET CXXX.
 - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET CXXX. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
 - (D) EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS. MAKE CONNECTION TO PLUMBING SERVICE.
 - (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION. SEE DETAIL SHEET CXXX. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
 - (F) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET CXXX.
 - (G) WILKINS 3750A REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA), OR EQUAL FROM CORPUS LIST OF APPROVED ASSEMBLIES, WITHIN HEATED ENCLOSURE. SEE DETAIL SHEET CXXX FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (H) GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
 - (I) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET CXXX.
 - (J) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET CXXX.
 - (K) POST INDICATOR VALVE W/ TAMPER SWITCH, SEE SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (L) WATER METER, SEE DETAIL SHEET CXXX.
 - (M) WILKINS 375A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA), OR EQUAL FROM CORPUS LIST OF APPROVED ASSEMBLIES, WITHIN HEATED ENCLOSURE. SEE DETAIL SHEET CXXX. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (O) TAPPING SLEEVE, VALVE AND BLOCKING, SEE SPECIFICATIONS.
 - (P) BORE & JACK 0.375-IN STEEL ENCASUREMENT PIPE, SEE DETAIL SHEET CXXX.
 - (Q) SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO REPAIR AREAS DISTURBED BY LOCAL UTILITY COMPANY.
 - (R) APPROXIMATE LOCATION OF ELECTRICAL SERVICE, REFER TO ELECTRICAL PLANS.
 - (S) APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
 - (T) FLOOR DRAIN, SEE DETAIL SHEET CXXX.
 - (U) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET CXXX.
 - (V) IN-LINE DRAIN, SEE DETAIL SHEET CXXX.
 - (W) CONDENSATE RELIEF BASIN, SEE DETAIL SHEET CXXX.
 - (X) OIL/WATER SEPARATOR, REFER TO MEP PLANS.
 - (Y) GAS METER AND GAS SERVICE BY DOMINION ENERGY.
 - (Z) TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET CXXX.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or reuse as approved in these plans, is responsible for contacting The Public Works Department at (919) 996-2499, and the Public Utilities Department at (919) 996-4540, at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PRIVATE SEWER COLLECTION / EXTENSION SYSTEM

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION TO THE PUBLIC SEWER SYSTEM AND EXTENSION OF THE PRIVATE SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

AUTHORIZATION TO CONSTRUCT _____

DATE _____

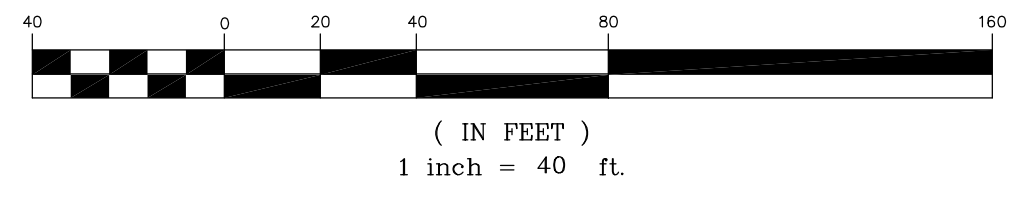
PUBLIC SEWER COLLECTION / EXTENSION SYSTEM

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF CITY'S PUBLIC SEWER SYSTEMS AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.

CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

AUTHORIZATION TO CONSTRUCT _____

DATE _____



PROJECT NO:	DATE:
582633	NOVEMBER 13, 2019
REVISIONS	DESCRIPTION

LEGEND

EXISTING	PROPOSED
CONDENSATE DRAIN	CD
ELECTRICAL (OVERHEAD)	E
ELECTRICAL (UNDERGROUND)	UE
FIBER OPTIC	FO
FIRE PROTECTION	FP
FORCE MAIN (SEWER)	FM
FOUNDATION DRAIN CONNECTOR	FD
GAS	G
ROOF DRAIN	RD
SANITARY SEWER	SS
STORM DRAIN	SD
TELEPHONE (OVERHEAD)	T
TELEPHONE (UNDERGROUND)	UT
WATER	W
LIGHT POLE	LP
UTILITY POLE	UP
MANHOLE	MH
CLEAN OUT	CO
DROP INLET/CATCH BASIN, POND OUTLET	DI, CB, PO
HEAD WALL	HD, W
FIRE HYDRANT	FH
WATER VALVE	WV
POST INDICATOR VALVE (PIV)	PIV
FIRE DEPARTMENT CONNECTION (FDC)	FDC
THRUST BLOCKING	TB
SANITARY SEWER STRUCTURE I.D. 3	SS STRUCTURE I.D. 3
	STORM DRAINAGE STRUCTURE I.D. 8

- KEYNOTES**
- (A) FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET CXXX.
 - (B) THRUST BLOCKING, TYP. SEE DETAIL SHEET CXXX.
 - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET CXXX. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
 - (D) EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS. MAKE CONNECTION TO PLUMBING SERVICE.
 - (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION. SEE DETAIL SHEET CXXX. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
 - (F) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET CXXX.
 - (G) WORKING 3/2004 REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA), OR EQUAL FROM CORPUS LIST OF APPROVED ASSEMBLIES. WITHIN HEATED ENCLOSURE. SEE DETAIL SHEET CXXX FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (H) GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
 - (I) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET CXXX.
 - (J) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET CXXX.
 - (K) POST INDICATOR VALVE W/ TAMPER SWITCH, SEE SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (L) 4" WATER METER, SEE DETAIL SHEET CXXX.
 - (M) WORKING 3/204 REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA), OR EQUAL FROM CORPUS LIST OF APPROVED ASSEMBLIES. WITHIN HEATED ENCLOSURE. SEE DETAIL SHEET CXXX. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (N) TAPPING SLEEVE, VALVE AND BLOCKING, SEE SPECIFICATIONS.
 - (O) BORE & JACK 0.375-IN STEEL ENCASMENT PIPE, SEE DETAIL SHEET CXXX.
 - (P) SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO REPAIR AREAS DISTURBED BY LOCAL UTILITY COMPANY.
 - (Q) APPROXIMATE LOCATION OF ELECTRICAL SERVICE. REFER TO ELECTRICAL PLANS.
 - (R) APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
 - (S) FLOOR DRAIN, SEE DETAIL SHEET CXXX.
 - (T) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET CXXX.
 - (U) IN-LINE DRAIN, SEE DETAIL SHEET CXXX.
 - (V) CONDENSATE RELIEF BASIN, SEE DETAIL SHEET CXXX.
 - (W) OIL/WATER SEPARATOR. REFER TO MEP PLANS.
 - (X) GAS METER AND GAS SERVICE BY DOMINION ENERGY.
 - (Y) TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET CXXX.

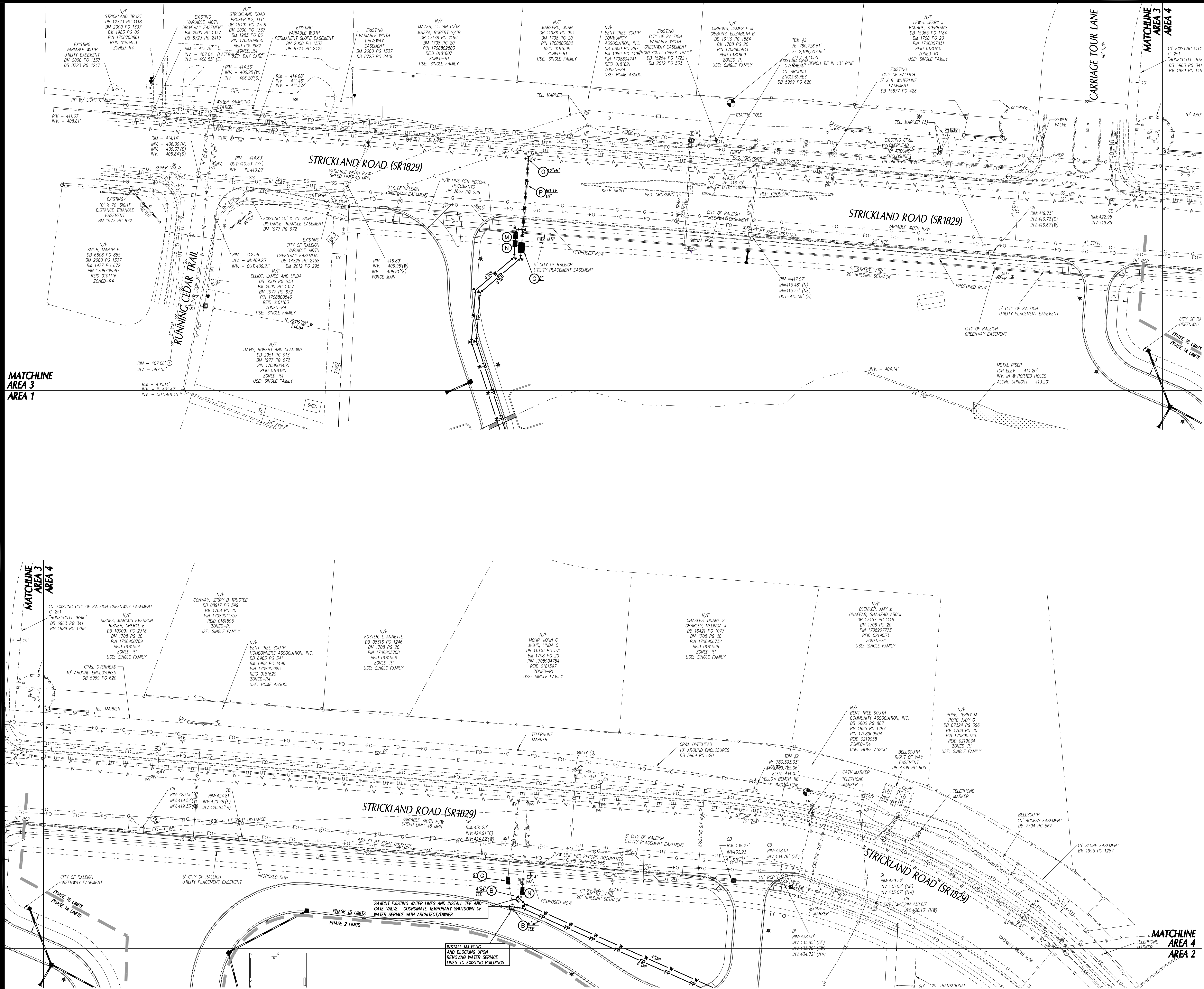
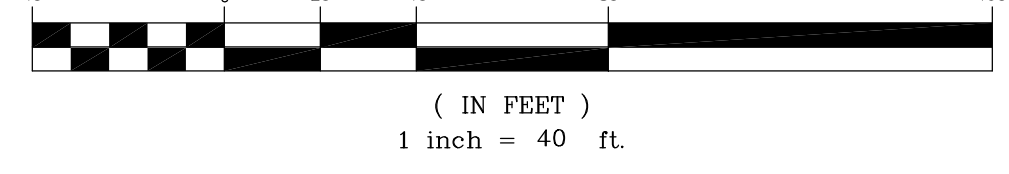
ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer and/or gas as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540, at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PRIVATE SEWER COLLECTION / EXTENSION SYSTEM
 THE CITY OF RALEIGH CONSENTS TO THE CONNECTION TO THE PRIVATE SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.
 CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____
 AUTHORIZATION TO CONSTRUCT _____
 DATE _____

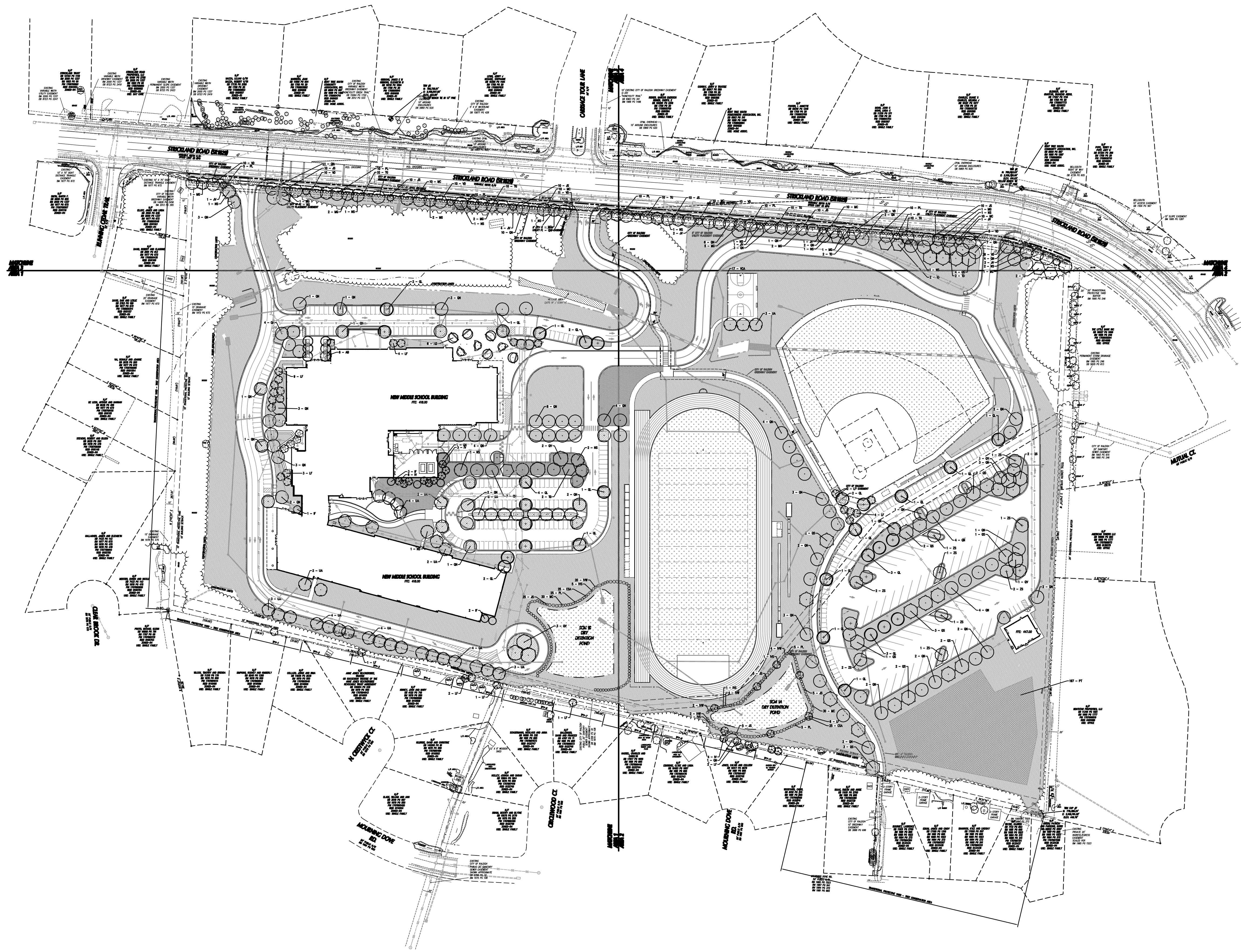
PUBLIC SEWER COLLECTION / EXTENSION SYSTEM
 THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK.
 CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____
 AUTHORIZATION TO CONSTRUCT _____
 DATE _____



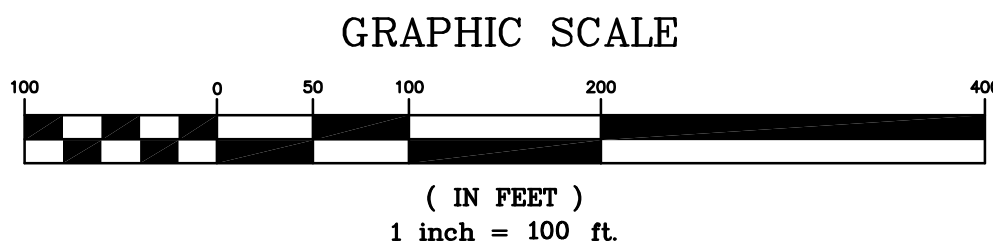
**MATCHLINE
 AREA 3
 AREA 1**

**MATCHLINE
 AREA 3
 AREA 4**

**MATCHLINE
 AREA 4
 AREA 2**



OVERALL PLAN SHEET
FOR REFERENCE ONLY



PROJECT NO:	DATE:
582633	NOVEMBER 13, 2019
REVISIONS	
DATE	DESCRIPTION

LANDSCAPE PLAN
-OVERALL-

C06.00

WEST MILLBROOK MIDDLE SCHOOL
WAKE COUNTY PUBLIC SCHOOL SYSTEM
8115 STRICKLAND RD, RALEIGH, NC 27615

ASR REVIEW #3

PROGRESS
PRINT NOT FOR
CONSTRUCTION

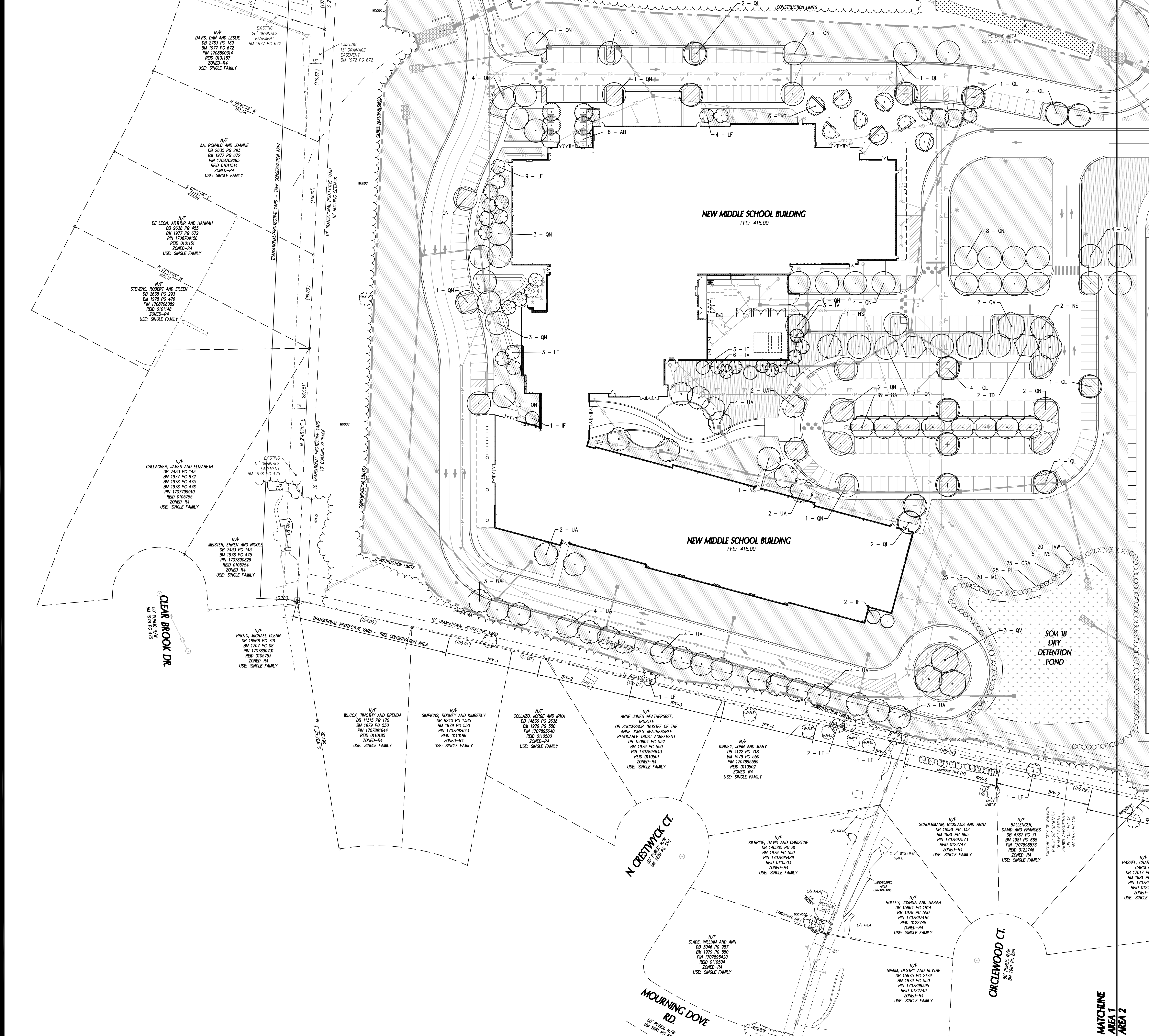
**MATCHLINE
AREA 3
AREA 1**

SEE DETAIL SHEET FOR GENERAL LANDSCAPE NOTES AND ADDTL. INFORMATION.

PLANT SCHEDULE

PLANT	COMMON / BOTANICAL NAME	COUNT	CAL	SIZE
IV	LEX VOMITORIA	888	1 1/2"	6" HT.
MG	BRICKNICK'S SOUTHERN MAGNOLIA	888	20"	6" HT.
NS	MAGNOLIA GRANDIFLORA BRACKENS BROWN BEAUTY	888	3"	10" HT.
PT	LYRUM	SEEDLINGS	1 1/2"	6" HT.
QI	MOOREAN OVERCUP OAK	888	3"	10" HT.
OS	SHUMARD RED OAK	888	3"	10" HT.
OV	SOUTHERN LIVE OAK	888	3"	10" HT.
TD	BALD CYPRESS	888	3"	10" HT.
UA	ALLEE LAZARUS ELM	888	3"	10" HT.
ZS	SAWLEAF ZELKOVA	888	3"	10" HT.
UNDEFS	COMMON / BOTANICAL NAME	COUNT	CAL	SIZE
AB	INDEBT MAPLE	CONTAINER	1 1/2"	6" HT.
IF	FOSTER NO. 2 HOLLY	888	1 1/2"	6" HT.
LF	SARA'S FAVORITE DRAPE MAPLE	CONTAINER	1 1/2"	6" HT.
NS	LAGERSTROMIA FAUREI 'SARA'S FAVORITE'	COUNT	CAL	SIZE
NSA	CHRISTMAS CAMELLIA	18-24"	GAL	3" HT.
NSB	SOUTHERN GENTLEMAN WHITEBERRY HOLLY	CONTAINER		
NSC	LEX VERTICILLATA 'SOUTHERN GENTLEMAN'	CONTAINER		
NSD	WINTER RED HOLLY	CONTAINER		
NSE	SEA GREEN JUNIPER	CONTAINER		
NSF	LAMPERTUS X PHITZERIANA 'SEA GREEN'	CONTAINER	1 1/2"	4-5' HT.
NSG	WAX PALM	CONTAINER	18-24"	
NSH	PRUNUS LAUROCARPUS 'OTTO LUYKEN'	18-24"		
NSI	BRUNELLA BEAUTY CLEMATIS	18-24"		
NSJ	HEMISTROCHIA CANNABIFERA 'BRONZE BEAUTY'	CONTAINER		
NSK	DANIEL WISSEMAN 'WISSEMAN DAVID'	CONTAINER		
NSL	UNDEF. CITY	CONTAINER		
NSM	UNDEF. CITY	CONTAINER		
NSN	CLEMATIS ARMANDI	18-24"		

LEGEND	DESCRIPTION
	MULCH
	SEEDED LAWN
	ARTIFICIAL TURF
	TFWAY 419 500



LANDSCAPE CALCULATIONS (ZONED R-4)

STREET TREES
 STRICKLAND ROAD (AVENUE 4-LANE, DIVIDED) = 1,400 LF (FRONTAGE MINUS DRIVES)
 STREET TREES REQUIRED: 1,400 LF / TREE 40' O.C. = 37 TREES (100% DECIDUOUS)
 STREET TREES PROVIDED: 37

STREET PROTECTIVE YARD
 STRICKLAND ROAD (AVENUE 4-LANE, DIVIDED) = 1,400 LF (FRONTAGE MINUS DRIVES)
 STANDARD: *CAN REPLACE WITH TCA PER SECTION 7.2.4.B.2
 TYPE 15' C2: 4 SHADE TREES/100 LF, 50% EVERGREEN
 15 SHRUBS/100 LF - 36" HT. MIN. AT INSTALL, EVERGREEN, CAN REPLACE WITH BERM PER 7.2.4.B.4, CONTINUOUS ROW OF SHRUBS 5' G.C., NO SHRUBS IN CR2

PLANTINGS PROVIDED: 59 SHADE TREES, 27 SHADE TREES, 292 SHRUBS, 307 SHRUBS

TRANSITIONAL PROTECTIVE YARD - TYPE A2, ADJUTING A RESIDENTIAL USE*
 *UNLESS REPLACED BY TCA PER CODE SECTION 7.2.4.B.2
 STANDARD:
 REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE**
 50% EVERGREEN TREES
 *UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4.5 OF THE CITY OF RALEIGH UDO, FENCE NOT REQUIRED IN TCA
 **842 LF

WEST PROPERTY LINE = 1,736 LF (1,100 LF AVAILABLE, TCA PROVIDED)
 TCA PROVIDED FOR LENGTH OF BUFFER
 PLANTINGS REQUIRED: 44 SHADE TREES, 44 UNDERSTORY TREES
 PLANTINGS PROVIDED:
 TYP-1: 7 EX. CANOPY, 1 NEW UNDERSTORY
 TYP-2: 10 EX. CANOPY, 1 NEW UNDERSTORY
 TYP-3: 7 EX. CANOPY, 1 NEW UNDERSTORY
 TYP-4: 8 EX. CANOPY, 3 NEW UNDERSTORY
 TYP-5: 7 EX. CANOPY, 1 NEW UNDERSTORY
 TYP-6: 11 EX. CANOPY
 TYP-7: 1 EX. CANOPY, 1 NEW UNDERSTORY
 TYP-8: 8 EX. CANOPY
 TYP-9: 3 EX. CANOPY, 1 NEW CANOPY, 4 NEW UNDERSTORY
 TYP-10: 6 EX. CANOPY, 2 NEW UNDERSTORY

TOTAL CANOPY PROVIDED: 84
TOTAL UNDERSTORY PROVIDED: 12
 NEW AND EXISTING FENCING PROVIDED
 EAST PROPERTY LINE ZONED CR-4-CUL BUFFER NOT REQUIRED

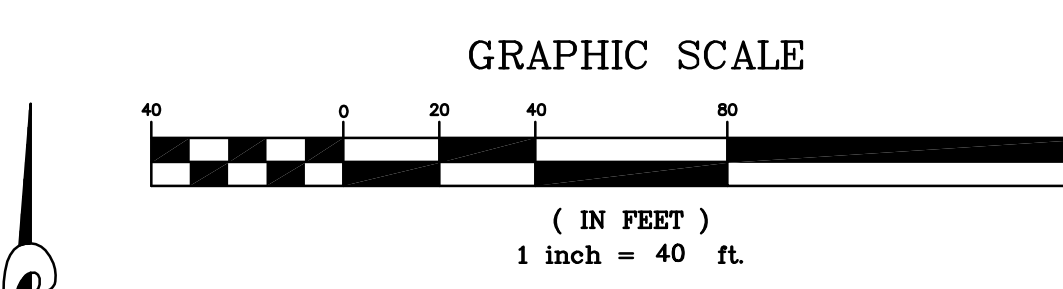
RENUCLUE SURFACE AREA PLANTING REQUIREMENTS
 INTERIOR PARKING CALCULATIONS:
 290 SPACES X 162 SF PARKING AREA = 46,980 SF/2,000 = 24 TREES REQUIRED
 INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 29 (20%/10)
 INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 42
 PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET
 30 SHRUBS/100 LF. (TREE CONSERVATION AREA PROVIDED IN LUE)

CITY OF RALEIGH LIGHTING NOTE
 NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.2.6.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

PROGRESS
PRINT NOT FOR
CONSTRUCTION

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL
 WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

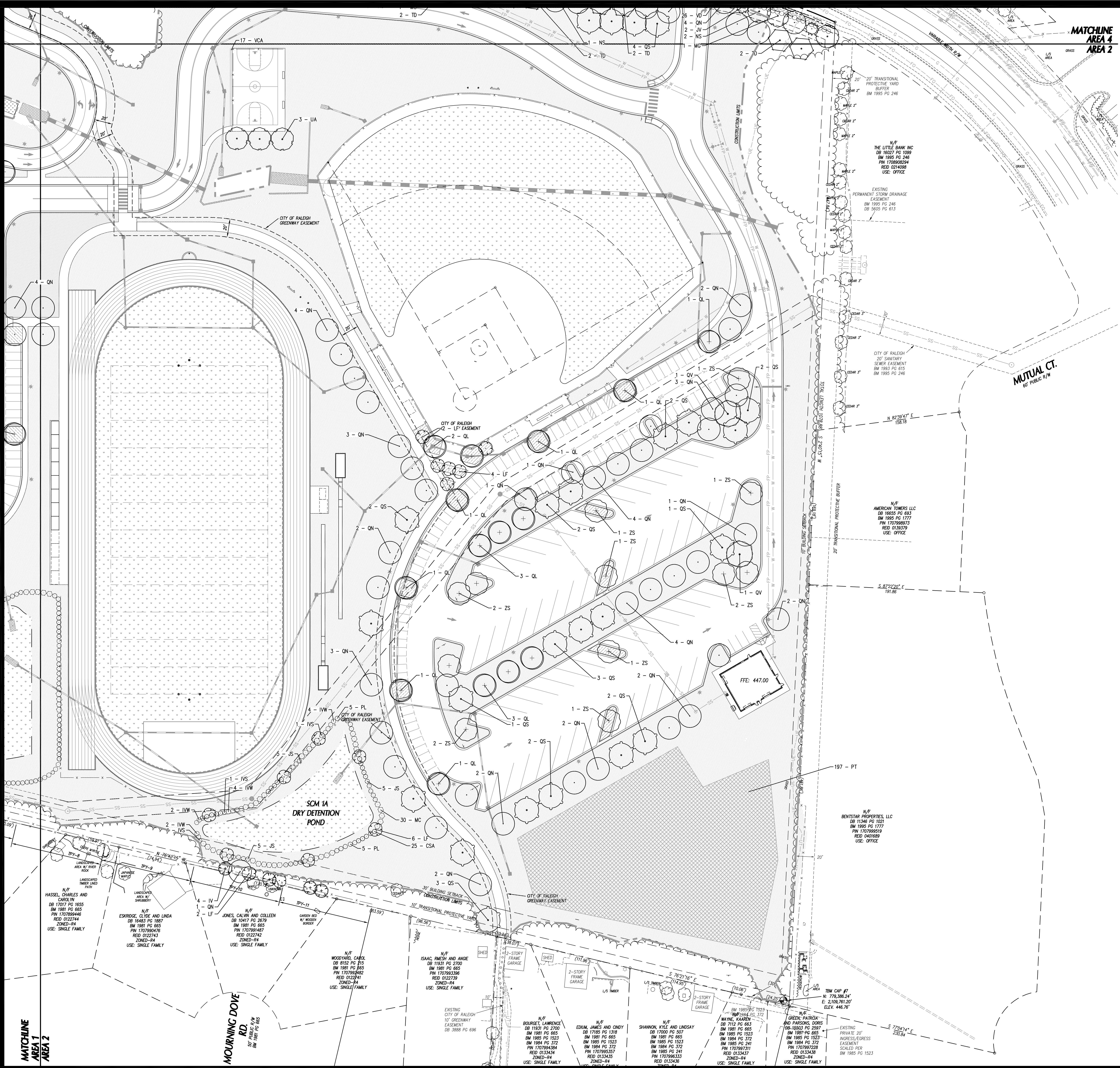


PROJECT NO: 582633 DATE: NOVEMBER 13, 2019

REVISIONS	DESCRIPTION

LANDSCAPE PLAN
- AREA 1

C06.01



SEE DETAIL SHEET FOR GENERAL LANDSCAPE NOTES AND ADDTL. INFORMATION.

PLANT SCHEDULE

KEY	PLANT	CONY	CAL	SIZE
IV	IVY	CONY	1 1/2"	6" HT.
MG	MAGNOLIA	CONY	3"	10" HT.
NS	NORFOLK SPURGE	CONY	1 1/2"	6" HT.
PT	PLANTAIN	CONY	1 1/2"	6" HT.
OL	OLIVE	CONY	3"	10" HT.
ON	ORANGE	CONY	3"	10" HT.
OS	OSAGE	CONY	3"	10" HT.
OV	OVERSEA	CONY	3"	10" HT.
IS	IRIS	CONY	3"	10" HT.
IA	IRIS	CONY	3"	10" HT.
ZS	ZELKOVIA	CONY	3"	10" HT.
UN	UNDERSTORY	CONY	CONY	CONY
AB	ABUTILON	CONY	1 1/2"	6" HT.
IF	IFOR	CONY	1 1/2"	6" HT.
LF	LEAF	CONY	1 1/2"	6" HT.
SHRUBS	SHRUBS	CONY	CONY	CONY
ISA	IRIS	CONY	3"	10" HT.
IVS	IVY	CONY	1 1/2"	6" HT.
IWS	IRIS	CONY	3"	10" HT.
JS	JUNIPER	CONY	CONY	CONY
MC	MULCH	CONY	1 1/2"	4-5" HT.
PL	PLANTAIN	CONY	18-24"	
IG	IRIS	CONY	18-24"	
IO	IRIS	CONY	36"	
IVS	IVY	CONY	CONY	CONY
ICA	IRIS	CONY	18-24"	

LANDSCAPE CALCULATIONS

STREET TREES
 STRICKLAND ROAD (AVENUE 4-LANE, DIVIDED) = 1,400 LF (FRONTAGE MINUS DRIVES)
 STREET TREES REQUIRED: 1,400 LF / TREE 40' O.C. = 37 TREES (100% DECIDUOUS)
 STREET TREES PROVIDED: 37

STREET PROTECTIVE YARD
 STRICKLAND ROAD (AVENUE 4-LANE, DIVIDED) = 1,400 LF (FRONTAGE MINUS DRIVES)
 TYPE 15' C2: 4 SHADE TREES/100 LF, 50% EVERGREEN
 15 SHRUBS/100 LF - 36" HT. MIN. AT INSTALL, EVERGREEN CAN REPLACE WITH BERM PER 7.2.4.3.4. CONTINUOUS ROW OF SHRUBS 5' G.C., NO SHRUBS IN CR2

TRANSITIONAL PROTECTIVE YARD - TYPE A2, ABUTTING A RESIDENTIAL USE*
 REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE**
 50% EVERGREEN TREES
 *UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4.5 OF THE CITY OF RALEIGH UDO, FENCE NOT REQUIRED IN TCA
 **842 LF

SOUTH PROPERTY LINE
 TCA PROVIDED FOR LENGTH OF BUFFER = 1,736 LF (1,100 LF AVAILABLE, TCA PROVIDED)
 PLANTINGS REQUIRED: 44 SHADE TREES, 44 UNDERSTORY TREES

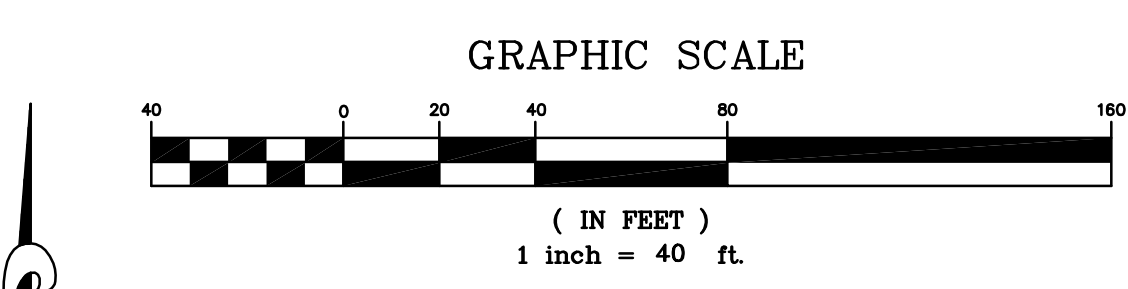
PLANTINGS PROVIDED:
 TPY-1: 7 EX. CANOPY, 1 NEW UNDERSTORY
 TPY-2: 10 EX. CANOPY
 TPY-3: 7 EX. CANOPY, 1 NEW UNDERSTORY
 TPY-4: 8 EX. CANOPY
 TPY-5: 3 EX. CANOPY, 3 NEW UNDERSTORY
 TPY-6: 11 EX. CANOPY
 TPY-7: 2 EX. CANOPY, 1 NEW UNDERSTORY
 TPY-8: 8 EX. CANOPY
 TPY-9: 11 EX. CANOPY
 TPY-10: 3 EX. CANOPY, 1 NEW CANOPY, 4 NEW UNDERSTORY
 TPY-11: 6 EX. CANOPY, 2 NEW UNDERSTORY

TOTAL CANOPY PROVIDED: 84
TOTAL UNDERSTORY PROVIDED: 12
 NEW AND EXISTING FENCING PROVIDED
 EAST PROPERTY LINE ZONED ON-4-CUL BUFFER NOT REQUIRED

RECREATIONAL SURFACE AREA PLANTING REQUIREMENTS
INTERIOR PARKING CALCULATIONS:
 290 SPACES X 162 SF PARKING AREA = 46,980 SF/2,000 = 24 TREES REQUIRED
 INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 29 (290/10)
 INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 42
 PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET
 30 SHRUBS/100 LF. (TREE CONSERVATION AREA PROVIDED IN LIEU)

CITY OF RALEIGH LIGHTING NOTE

NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.2.6.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.



PROGRESS
 PRINT NOT FOR
 CONSTRUCTION

ASR REVIEW #3

WEST MILLBROOK MIDDLE SCHOOL

WAKE COUNTY PUBLIC SCHOOL SYSTEM
 8115 STRICKLAND RD, RALEIGH, NC 27615

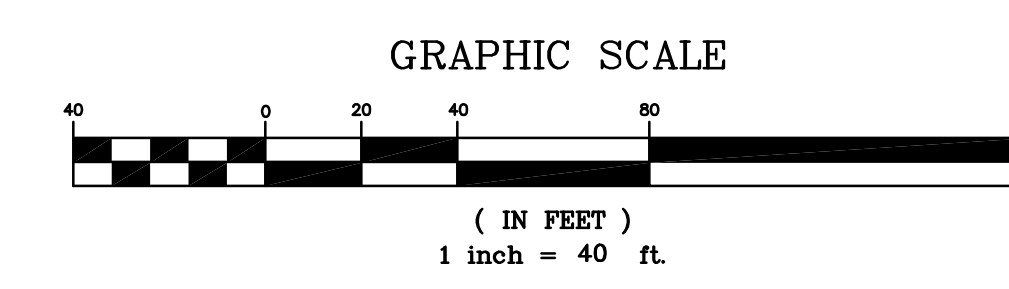
PROJECT NO:	DATE:
582633	NOVEMBER 13, 2019
REVISIONS	DESCRIPTION

PROJECT NO:	DATE:
582633	NOVEMBER 13, 2019
REVISIONS	DESCRIPTION

SEE DETAIL SHEET FOR GENERAL LANDSCAPE NOTES AND ADDTL INFORMATION.

PLANT SCHEDULE				
NO.	PLANT	CONY	CAL	SIZE
1	LEX VIRENTE	888	1 1/2"	6" HT.
2	LEX VIRENTE	888	2 0"	6" HT.
3	BRACHYPSYDHE SOUTHERN WAXFLOWER	888	3"	10" HT.
4	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY'	888	3"	10" HT.
5	LENER CUM	888	1 1/2"	6" HT.
6	LYCOPSIS SYLVATICA	888	1 1/2"	6" HT.
7	LENER CUM	888	1 1/2"	6" HT.
8	PROPERA ONSHOP OAK	888	3"	10" HT.
9	QUERCUS VIRGINIANA 'GRAPE HONEYCREEPER'	888	3"	10" HT.
10	NUTTALL OAK	888	3"	10" HT.
11	QUERCUS LAEMONTII	888	3"	10" HT.
12	SHUMARD RED OAK	888	3"	10" HT.
13	QUERCUS SHUMARDII	888	3"	10" HT.
14	SOUTHERN WHITE OAK	888	3"	10" HT.
15	QUERCUS VIRGINIANA	888	3"	10" HT.
16	BALD CYPRESS	888	3"	10" HT.
17	TAXODIUM DISTICHUM	888	3"	10" HT.
18	ALLEE LACINIAE 'ELM'	888	3"	10" HT.
19	MULUS 'PARFETIA ALLEE'	888	3"	10" HT.
20	SAMEAF ZELKOVA	888	3"	10" HT.
21	ZELKOVA SEROTINA 'MILAGE GREEN'	888	3"	10" HT.
22	CORNUS / BOTANICAL NAME	CONY	CAL	SIZE
23	TORY	CONY	CAL	SIZE
24	IBIDENT MAPLE	CONY	1 1/2"	6" HT.
25	LACER IMPERIALIS	CONY	1 1/2"	6" HT.
26	FOSTER NO. 2 HOLLY	888	1 1/2"	6" HT.
27	LEX X ATTENUATA 'FOSTER NO. 2'	CONY	1 1/2"	6" HT.
28	SARA'S FAVORITE CRAWF. WHELPLE	CONY	1 1/2"	6" HT.
29	LACER/ROEMER FAUREI 'SARA'S FAVORITE'	CONY	1 1/2"	6" HT.
30	CORNUS / BOTANICAL NAME	CONY	CAL	SIZE
31	CHRISTMAS CAMELLIA	CONY	18-24"	3" HT.
32	CAMELLIA SASAKI	CONY	18-24"	3" HT.
33	SOUTHERN GENTIANA 'WHITEBERRY HOLLY'	CONY	18-24"	3" HT.
34	LEX VERTICILLATA 'SOUTHERN GENTLEMAN'	CONY	18-24"	3" HT.
35	WINTER RED HOLLY	CONY	18-24"	3" HT.
36	LEX VERTICILLATA 'WINTER RED'	CONY	18-24"	3" HT.
37	SEA GREEN JUNIPER	CONY	18-24"	3" HT.
38	LAMPENUS X PHITZERIANA 'SEA GREEN'	CONY	1 1/2"	4-5' HT.
39	WALL WAX	CONY	1 1/2"	4-5' HT.
40	MITRA CAESPERSA	CONY	1 1/2"	4-5' HT.
41	LITUCHKA LAUREL	CONY	18-24"	3" HT.
42	PRUNUS LAUROCESTRIS 'OTTO LUYKEN'	CONY	18-24"	3" HT.
43	SHRUBS/100 LF - 36" HT. MIN. AT INSTALL, EVERGREEN, CAN REPLACE WITH BERM PER 7.2.4.5.4, CONTINUOUS ROW OF SHRUBS 5' G.C. NO SHRUBS IN CR2.	CONY	18-24"	3" HT.
44	HEMISTROCHMA CORYMBIFERA 'BRONZE BEAUTY'	CONY	18-24"	3" HT.
45	DAVID GYLESUM	CONY	18-24"	3" HT.
46	USBURUM DAVIDI	CONY	18-24"	3" HT.
47	CORNUS / BOTANICAL NAME	CONY	CAL	SIZE
48	ELAEAGNUS	CONY	CAL	SIZE
49	CLEMATIS ARMANDI	CONY	CAL	SIZE
GRAPHIC SYMBOLS SUPERSEDE WRITTEN QUANTITIES WHERE DISCREPANCIES OCCUR.				
MULCH	SEEDED LAWN			
ARTIFICIAL TURF				

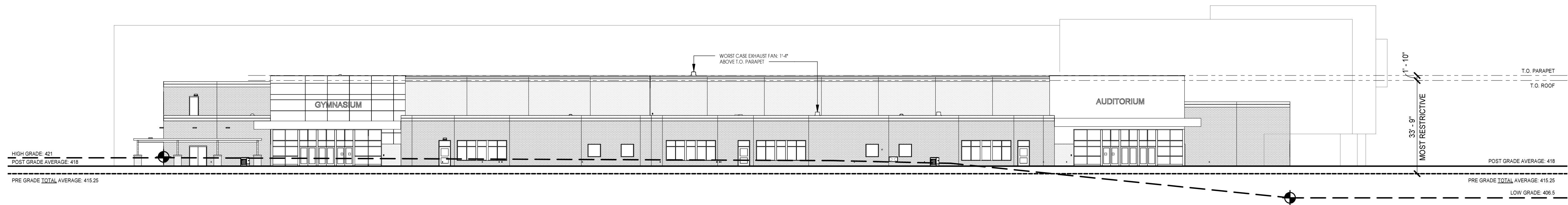
LANDSCAPE CALCULATIONS		(ZONED R-4)
STREET TREES	STRICKLAND ROAD (AVENUE 4-LANE, DIVDED)	= 1,480 LF (FRONTAGE MINUS DRIVES)
STREET TREES REQUIRED: 1,480 LF / TREE 40' O.C. = 37 TREES (100% DECIDUOUS)	STREET TREES PROVIDED: 37	
STREET PROTECTIVE YARD	STRICKLAND ROAD (AVENUE 4-LANE, DIVDED)	= 1,480 LF (FRONTAGE MINUS DRIVES)*
STANDARDS: *	CAN REPLACE WITH TCA PER SECTION 7.2.4.B.2	
TYPE 15' C3: 4 SHADE TREES/100 LF, 50% EVERGREEN	15 SHRUBS/100 LF - 36" HT. MIN. AT INSTALL, EVERGREEN, CAN REPLACE WITH BERM PER 7.2.4.5.4, CONTINUOUS ROW OF SHRUBS 5' G.C. NO SHRUBS IN CR2	
PLANTINGS REQUIRED:	PLANTINGS PROVIDED:	
59 SHADE TREES	12 EVERGREEN TREES, 27 SHADE TREES	
292 SHRUBS	307 SHRUBS	
TRANSITIONAL PROTECTIVE YARD - TYPE A2, ABUTTING A RESIDENTIAL USE*		
REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE**	50% EVERGREEN TREES	
*UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4.5 OF THE CITY OF RALEIGH UDO, FENCE NOT REQUIRED IN TCA		
**UNLESS REPLACED BY TCA PER CODE SECTION 7.2.4.B.2		
TCA PROVIDED FOR LENGTH OF BUFFER		=842 LF
SOUTH PROPERTY LINE		=1,736 LF (1,100 LF AVAILABLE, TCA PROVIDED)
PLANTINGS REQUIRED: 44 SHADE TREES, 44 UNDERSTORY TREES	PLANTINGS PROVIDED:	
TPY-1: 7 EX. CANOPY, 1 NEW UNDERSTORY	TPY-2: 10 EX. CANOPY	
TPY-3: 7 EX. CANOPY, 1 NEW UNDERSTORY	TPY-4: 8 EX. CANOPY	
TPY-5: 8 EX. CANOPY, 3 NEW UNDERSTORY	TPY-6: 11 EX. CANOPY	
TPY-7: 8 EX. CANOPY, 1 NEW UNDERSTORY	TPY-8: 8 EX. CANOPY	
TPY-9: 8 EX. CANOPY	TPY-10: 3 EX. CANOPY, 1 NEW UNDERSTORY	
TPY-11: 6 EX. CANOPY, 2 NEW UNDERSTORY		
TOTAL CANOPY PROVIDED: 84	TOTAL UNDERSTORY PROVIDED: 12	
NEW AND EXISTING FENCING PROVIDED		
EAST PROPERTY LINE ZONED CR-4-COL BUFFER NOT REQUIRED		
REVENUE SURFACE AREA PLANTING REQUIREMENTS		
INTERIOR PARKING CALCULATIONS:		
290 SPACES X 162 SF PARKING AREA = 46,980 SF / 2,000 = 24 TREES REQUIRED		
INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 29 (290/10)		
INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 42		
PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET 30 SHRUBS/100 LF. (TREE CONSERVATION AREA PROVIDED IN LIU)		
CITY OF RALEIGH LIGHTING NOTE		
NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.2.6.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.		



**ROOF HEIGHT VARINCE GRANTED
UNDER CASE NO. A-76-19 DURING
THE JULY 08, 2019 BOARD OF
ADJUSTMENT HEARING**

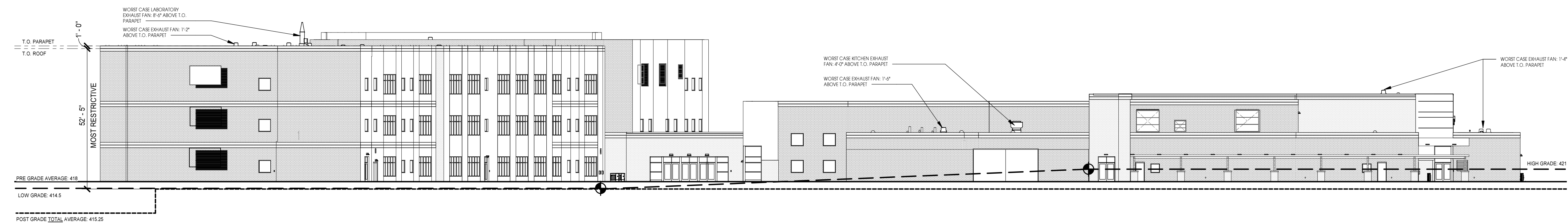
PRE & POST GRADE AVERAGES					
	NORTH ELEVATION AVERAGES	EAST ELEVATION AVERAGES	SOUTH ELEVATION AVERAGES	WEST ELEVATION AVERAGES	TOTAL AVERAGES
PRE GRADE AVERAGES	413.75	418.5	418	410.75	415.25
POST GRADE AVERAGES	418	418	418	418	418

RALEIGH UDO 2.2.5 HEIGHT RESTRICTIONS: 40' / 3-STORIES
RALEIGH UDO 1.5.7 PARAPET WALL ENCROACHMENT: 4' FOR 3-STORY BUILDING



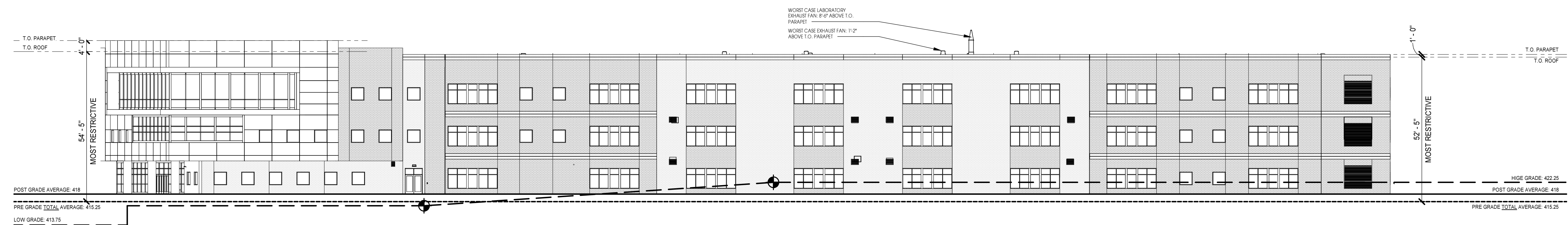
NORTH ELEVATION - MIDDLE SCHOOL - CITY OF RALEIGH

3/164" = 1'-0"



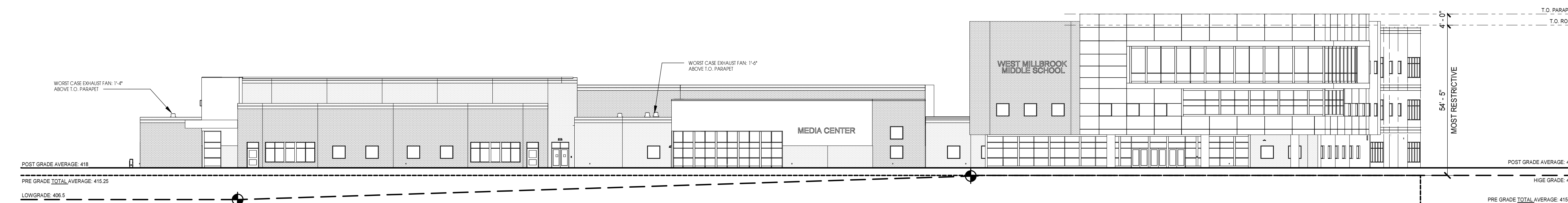
EAST ELEVATION - MIDDLE SCHOOL - CITY OF RALEIGH

3/164" = 1'-0"



SOUTH ELEVATION - MIDDLE SCHOOL - CITY OF RALEIGH

3/164" = 1'-0"



WEST ELEVATION - MIDDLE SCHOOL - CITY OF RALEIGH

3/164" = 1'-0"

MOSELEYARCHITECTS

9111 N. WEST STREET, SUITE 205 RALEIGH, NC 27603
PHONE (919) 840-0091
MOSELEYARCHITECTS.COM

**PROGRESS
PRINT NOT
FOR
CONSTRUCTION**

WEST MILLBROOK MIDDLE SCHOOL

**WAKE COUNTY PUBLIC SCHOOL SYSTEM
8115 STRICKLAND RD, RALEIGH, NC 27615**

PROJECT NO.	DATE
582633	SEPTEMBER 6, 2019
REVISIONS	
DATE	DESCRIPTION

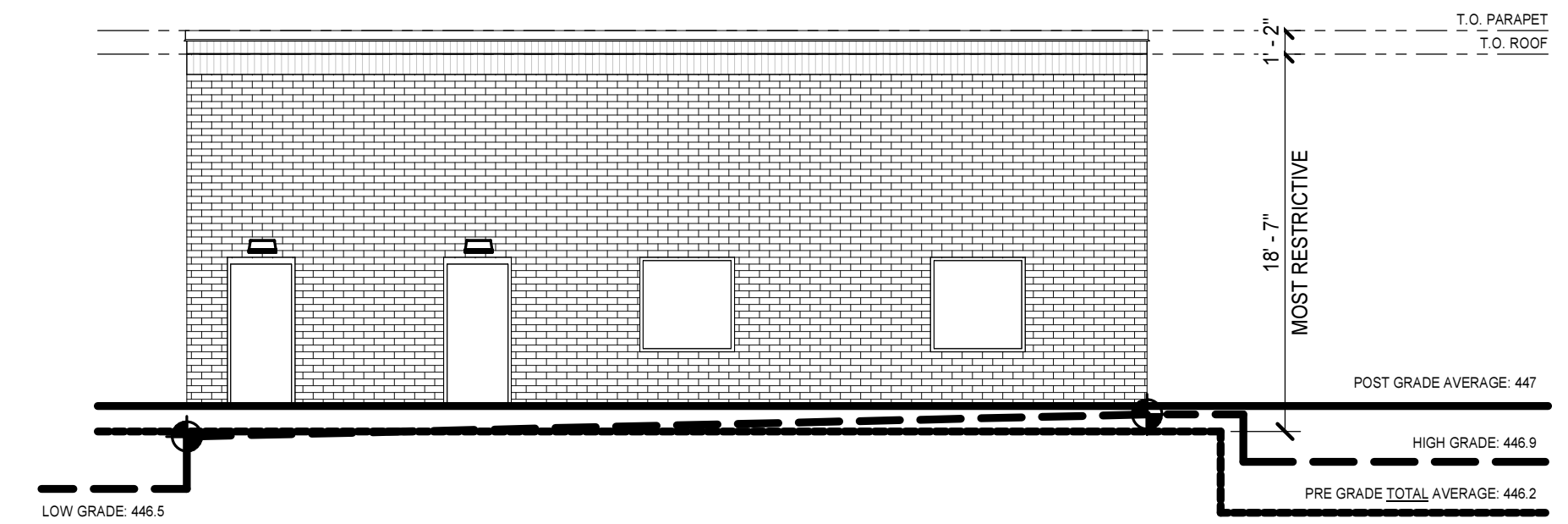
**CITY OF
RALEIGH
OVERALL
ELEVATIONS**

A.4.1

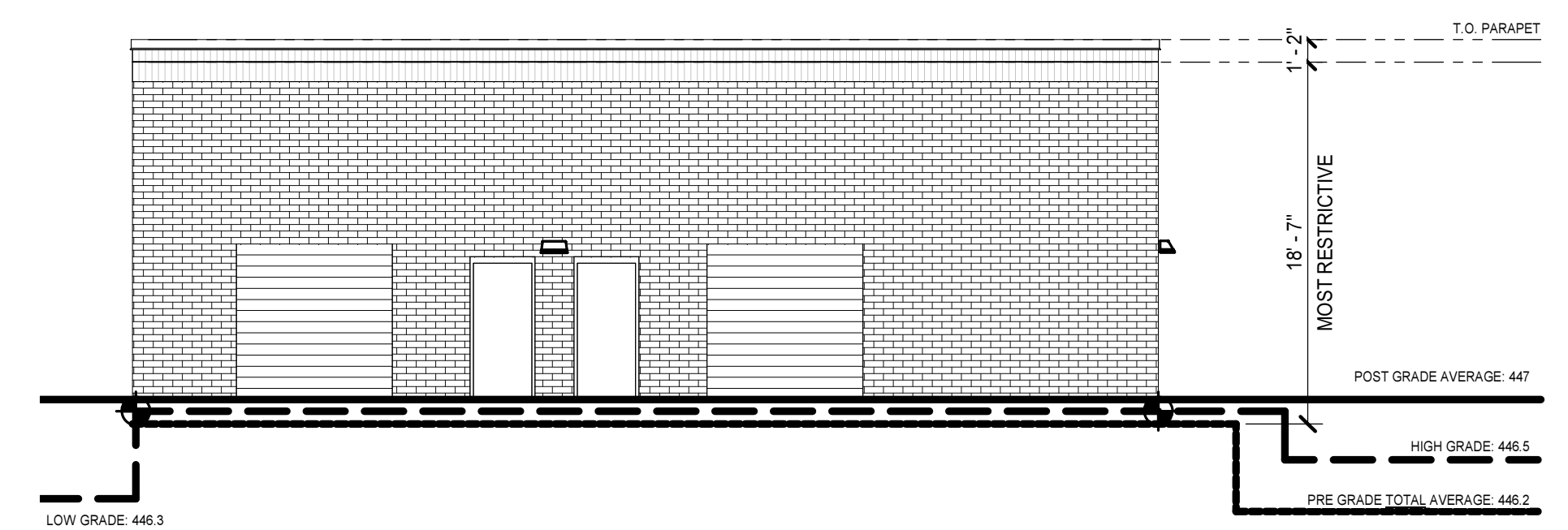
**ROOF HEIGHT VARAINCE GRANTED
UNDER CASE NO. A-76-19 DURING
THE JULY 08, 2019 BOARD OF
ADJUSTMENT HEARING**

PRE & POST GRADE AVERAGES					
	NORTH ELEVATION AVERAGES	EAST ELEVATION AVERAGES	SOUTH ELEVATION AVERAGES	WEST ELEVATION AVERAGES	TOTAL AVERAGES
PRE GRADE AVERAGES	446.7	446.4	445.7	446	446.2
POST GRADE AVERAGES	447	447	447	447	447

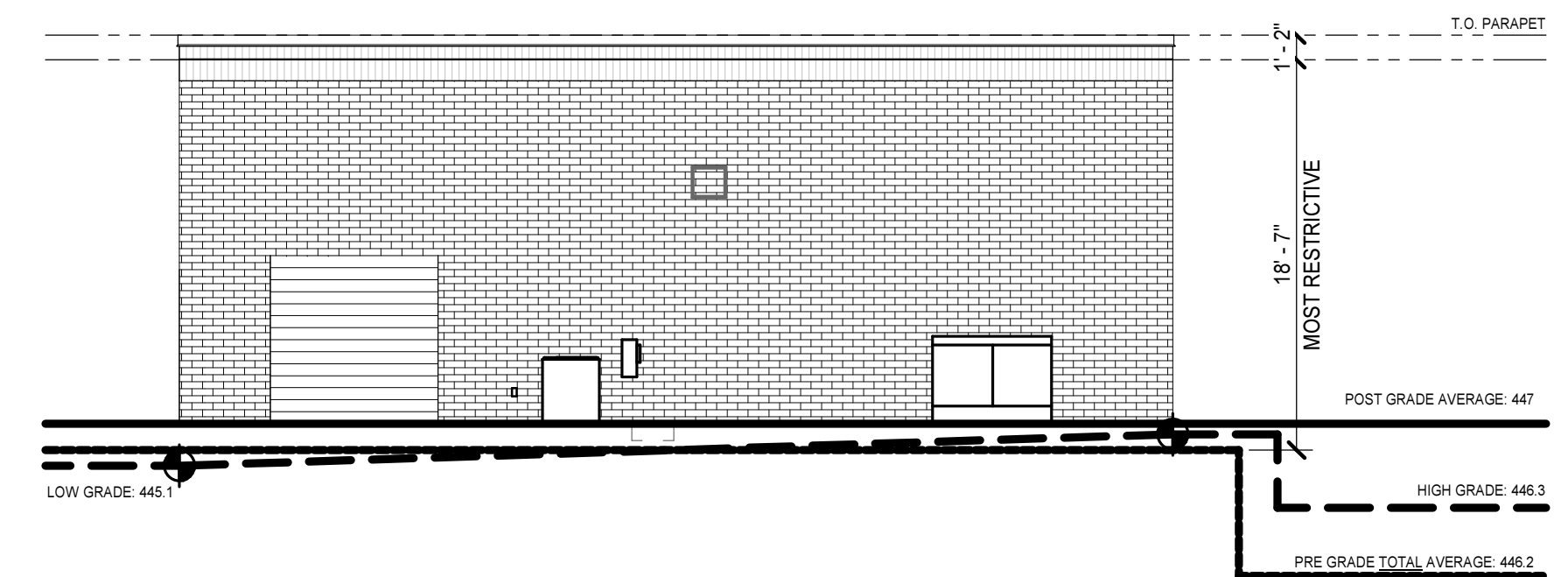
RALEIGH UDO 2.2.5 HEIGHT RESTRICTIONS: 40' / 3-STORIES
RALEIGH UDO 1.5.7 PARAPET WALL ENCROACHMENT: 4' FOR 3-STORY BUILDING



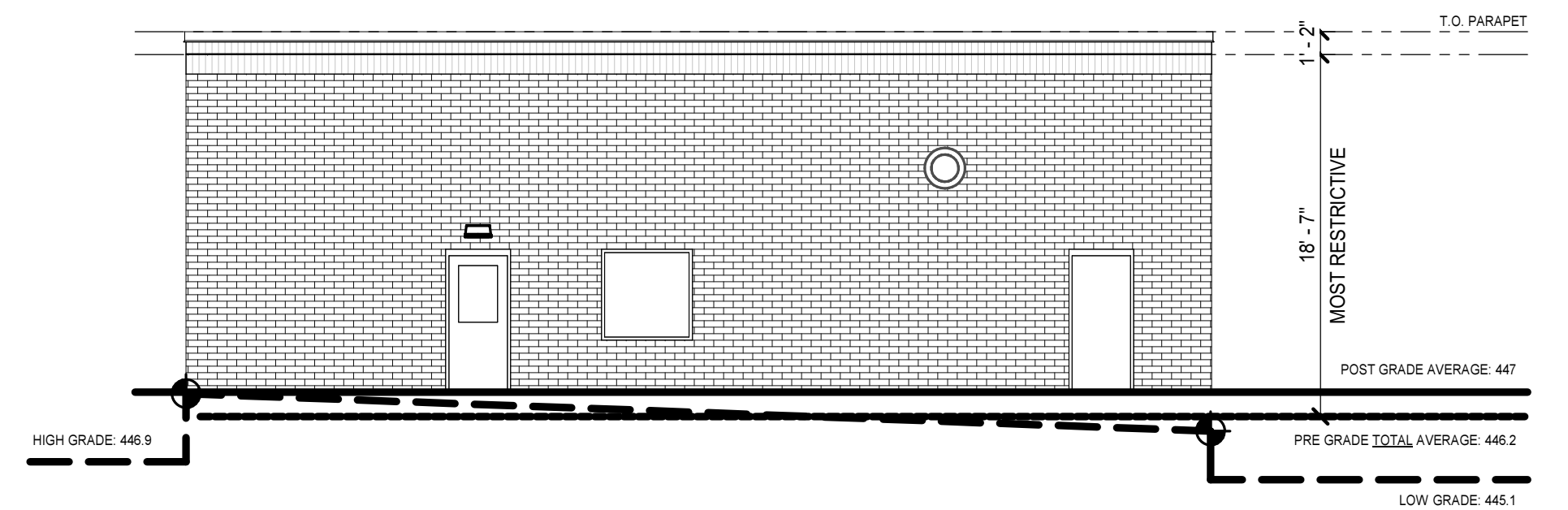
NORTH ELEVATION - TRANSPORTATION BLDG - CITY OF RALEIGH
1/8" = 1'-0"



EAST ELEVATION - TRANSPORTATION BLDG - CITY OF RALEIGH
1/8" = 1'-0"



SOUTH ELEVATION - TRANSPORTATION BLDG - CITY OF RALEIGH
1/8" = 1'-0"



WEST ELEVATION - TRANSPORTATION BLDG - CITY OF RALEIGH
1/8" = 1'-0"

MOSELEYARCHITECTS

8000 BRADDOCK LK FRYEBY, SUITE 100 WILMINGTON, VA 22151
PHONE (804) 746-9956 FAX (804) 935-9990
MOSELEYARCHITECTS.COM

**PROGRESS
PRINT NOT
FOR
CONSTRUCTION**

WEST MILLBROOK MIDDLE SCHOOL

**WAKE COUNTY PUBLIC SCHOOL SYSTEM
8115 STRICKLAND RD, RALEIGH, NC 27615**

PROJECT NO: 582633	DATE: SEPTEMBER 6, 2019
REVISIONS	
DATE	DESCRIPTION

**CITY OF
RALEIGH
OVERALL
ELEVATIONS**

A.4.2