



# Administrative Approval Action

**Case File / Name: ASR-0051-2022  
DSLC - St. Albans Residential**

**City of Raleigh  
Development Services Department**  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 20.87 acre site zoned PD (Z-28-16, MP-3-16) is located on the southeast corner of St Albans Drive and Hardimont Road at 600 St. Albans Drive.
- REQUEST:** A multi-family development consisting of 396 residential units, approximately 7000 sq. ft. retail/restaurant, structured parking and associated infrastructure.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated November 2, 2022 by Mcadams.**

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

**General**

1. The application and the site data table information should both be corrected to indicate the correct number of units (396) as per the architect

**Engineering**

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

**Public Utilities**

3. lot 8 RCMP shall be recorded per SUB-S-46-2017 (if ASR SPR is required by other trades)

**Stormwater**

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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DSLCL - St. Albans Residential

City of Raleigh  
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7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

## Urban Forestry

8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

## Engineering

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Stormwater

3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
7. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

## Urban Forestry

8. Any changes to recorded tree conservation areas as a result of proposed Greenway Easement shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

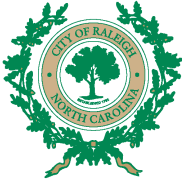
2. A plat must be recorded at the Wake County Register of Deeds office for lot 8 & all utility easement dedications thereon, if not previously recorded

## Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Hardimont Road and 17 street trees along St Albans Drive.
5. A public infrastructure surety for 5 street trees along Hardimont Road and 17 street trees along St Albans Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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currentplanning@raleighnc.gov  
www.raleighnc.gov

**The following are required prior to issuance of building occupancy permit:**

**General**

1. All street lights and street signs required as part of the development approval are installed.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Per the TIA notes on the cover sheet of SUB-S-46-2017, the additional lane on the I-440 WB off ramp at Six Forks is required to be constructed.
4. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

**Stormwater**

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** February 3, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

**Signed:** \_\_\_\_\_ *Daniel L. Stegall* \_\_\_\_\_ **Date:** 02/03/2023  
Development Services Dir/Designee

**Staff Coordinator:** Michael Walters

Administrative Site Review Application



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print): Please review UDO Section 10.2.8 as amended by last change case TC-14-15 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal.

Building Type: Detached, Attached, Apartment, Townhouse. Site Transaction History: Subdivision case #, Scoping/plan case #, Certificate of Appropriateness #, Board of Adjustment #, Zoning Case #, Administrative Alternate #.

GENERAL INFORMATION: Development name: St. Albans Residential. Inside City limits? Yes [X] No [ ]. Property address(es): 600 St. Albans Drive. Site P.I.N. (s): 1715082374.

Current Property Owner/Developer Contact Name: John Kane. NOTE: please attach purchase agreement when submitting this form. Company: Kane Andrews Acquisitions, LLC. Title: Manager. Address: c/o Kane Realty, 4321 Lassiter at North Hills Ave, Raleigh, NC 27609.

ST. ALBANS RESIDENTIAL

600 ST ALBANS DRIVE
RALEIGH, NORTH CAROLINA 27609
ADMINISTRATIVE SITE REVIEW
CITY OF RALEIGH CASE #ASR-0051-2022

PROJECT NUMBER: KAN-22002
DATE: JUNE 22, 2022

NOTES

- 1. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE BODIES CURVATURE OR 20 FEET FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. NO DRIVEWAYS OR PARKING SPACES SHALL ENCRUST ON THIS MINIMUM CORNER CLEARANCE.
2. WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, BOULDER, REMAINS OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELWAY WAY, IF NO CURBING EXISTS.
3. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

RIGHT-OF-WAY OBSTRUCTION NOTES

- 1. STREET, LAKE, AND SIDEWALK CLOSURES OR DETOURS, PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OF CLOSING OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
2. A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PRESTRAIN PLAN SHALL BE SUBMITTED TO cityofraleigh@nc.gov AT www.cityofraleigh.gov/PERMITS/RIGHT-OF-WAY SERVICES.
3. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
4. THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
5. ALL TRAFFIC CONTROL, SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES, NC DOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NC DOT SUPPLEMENT TO THE MANUAL.
6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVING), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

Table with 2 columns: PHYSICAL ADDRESS, SITE DATA. Includes owner information (Kane Andrews Acquisitions, LLC), developer (Kane St. Albans Residential II, LLC), zoning (R10), gross area (909,043 SF / 20.87 AC), parking (948 SPACES), and bicycle parking details.

SHEET INDEX

Table listing sheet numbers and titles: C0.00 GFL WILL SERVE LETTER, C0.01 PROJECT NOTES, C1.00 EXISTING CONDITIONS, C1.01 DEMOLITION PLAN, C2.00 OVERALL SITE PLAN, C2.01 SITE PLAN, C2.02 EASEMENT PLAN, C2.03 DEVELOPMENT TRACKING PLAN, C2.04 OVERALL DEVELOPMENT TRACKING TABLE, C3.00 GRADING AND STORM DRAINAGE PLAN, C4.00 UTILITY PLAN, C4.01 UTILITY INSET PLAN, C8.00 SITE DETAILS, C8.01 SITE DETAILS, C8.02 SITE DETAILS, C8.03 WATER DETAILS, C8.04 WATER DETAILS, C8.05 WATER DETAILS, C8.06 SANITARY SEWER DETAILS, C9.00 STORMWATER CONTROL MEASURE "A" PLAN VIEW, C9.01 STORMWATER CONTROL MEASURE "A" DETAILS, L5.00 LANDSCAPE PLAN, TC-1 TREE CONSERVATION PLAN (\*), TC-2 TREE CONSERVATION PLAN BOUNDARY (\*), TC-3 TREE CONSERVATION PLAN BOUNDARY (\*). Includes note: \*FOR REFERENCE ONLY - PREVIOUSLY APPROVED

ARCHITECTURAL SHEET INDEX

Table listing architectural sheet numbers and titles: G005 TRANSPARENCY CALCULATIONS, G006 BLANK WALL CALCULATIONS, A-101 FLOOR PLAN - PARKING LEVEL OVERALL P2, A-102 FLOOR PLAN - PARKING LEVEL OVERALL P1, A-103 FLOOR PLAN - LEVEL 01, A-121.1 FLOOR PLAN - PARKING LEVEL P2, A-121.2 FLOOR PLAN - PARKING LEVEL P2, A-122.1 FLOOR PLAN - PARKING LEVEL P1, A-122.2 FLOOR PLAN - PARKING LEVEL P1, A-123.1 FLOOR PLAN - EAST - LEVEL 01, A-123.2 FLOOR PLAN - WEST - LEVEL 01, A-E201 OVERALL ELEVATIONS, A-W201 OVERALL ELEVATIONS, A-241 BUILDING SECTION

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments). Includes site data (zoning, gross area, parking) and building data (existing gross floor area, new gross floor area, total # of gross, proposed # of buildings).

STORMWATER INFORMATION. Includes existing impervious surface (0.00 Acres), proposed impervious surface (0.00 Acres), and flood hazard area information.

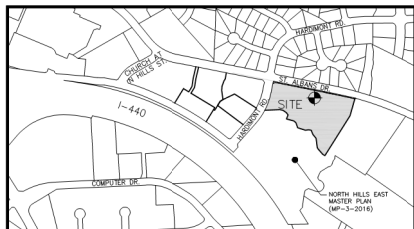
RESIDENTIAL DEVELOPMENTS. Includes total # of dwelling units (380), # of bedroom units (1br 295, 2br 98, 3br 5, 4br or more 0), and # of lots (2).

SIGNATURE BLOCK. The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herein, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. Signature: Jonathan Balderson. Date: 6.9.2022.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 995-2459, and the Public Utilities Department at (919) 995-5530, at least twenty-four hours prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Excavation from future work in the City of Raleigh.

CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 'NC811'. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



VICINITY MAP 1"=500'

SOLID WASTE INSPECTION STATEMENT:

- 1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (DWS) WILL NOT SERVICE THIS DESIGN.



McAdams logo and contact information: The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713. Phone: 919.361.5000. Fax: 919.361.2269. License number: C-0293, C-187. www.mcadamsco.com

CONTACT: JONATHAN BALDERSON balderson@mcadamsco.com PHONE: 919.287.0815

CLIENT: KANE REALTY CORPORATION 4321 LASSITER AT NORTH HILLS SUITE 250 RALEIGH, NORTH CAROLINA 27609 PHONE: 919.719.3573



PROJECT DIRECTORY: KANE REALTY CORPORATION 4321 LASSITER AT NORTH HILLS, SUITE 250 RALEIGH, NORTH CAROLINA 27609 PHONE: 919.719.3573. ARCHITECT: HICKOK COLE 301 N STREET NE, SUITE 300 WASHINGTON, DC 20002 PHONE: 202.667.9776. STRUCTURAL ENGINEER: SCALENE DESIGN 434 FAYETTEVILLE STREET, SUITE 2110 RALEIGH, NORTH CAROLINA 27601 PHONE: 919.825.0295

REVISIONS table with columns: NO., DATE, DESCRIPTION. Includes revisions 1, 2, and 3.

ADMINISTRATIVE SITE REVIEW DRAWINGS FOR: ST. ALBANS RESIDENTIAL RALEIGH, NORTH CAROLINA 27609 PROJECT NUMBER: KAN-22002



**McADAMS**

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

phone 919.361.5000  
fax 919.361.2269

license number: C-0293, C-187

www.mcadamsco.com

**CLIENT**

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVENUE  
SUITE 250  
RALEIGH, NORTH CAROLINA 27609



**ST ALBANS RESIDENTIAL**  
600 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

**REVISIONS**

NO.	DATE	REVISION
1	06.26.2022	RESPONSE TO AIR COMMENTS
2	10.26.2022	RESPONSE TO AIR COMMENTS
3	12.07.2022	RESPONSE TO AIR COMMENTS

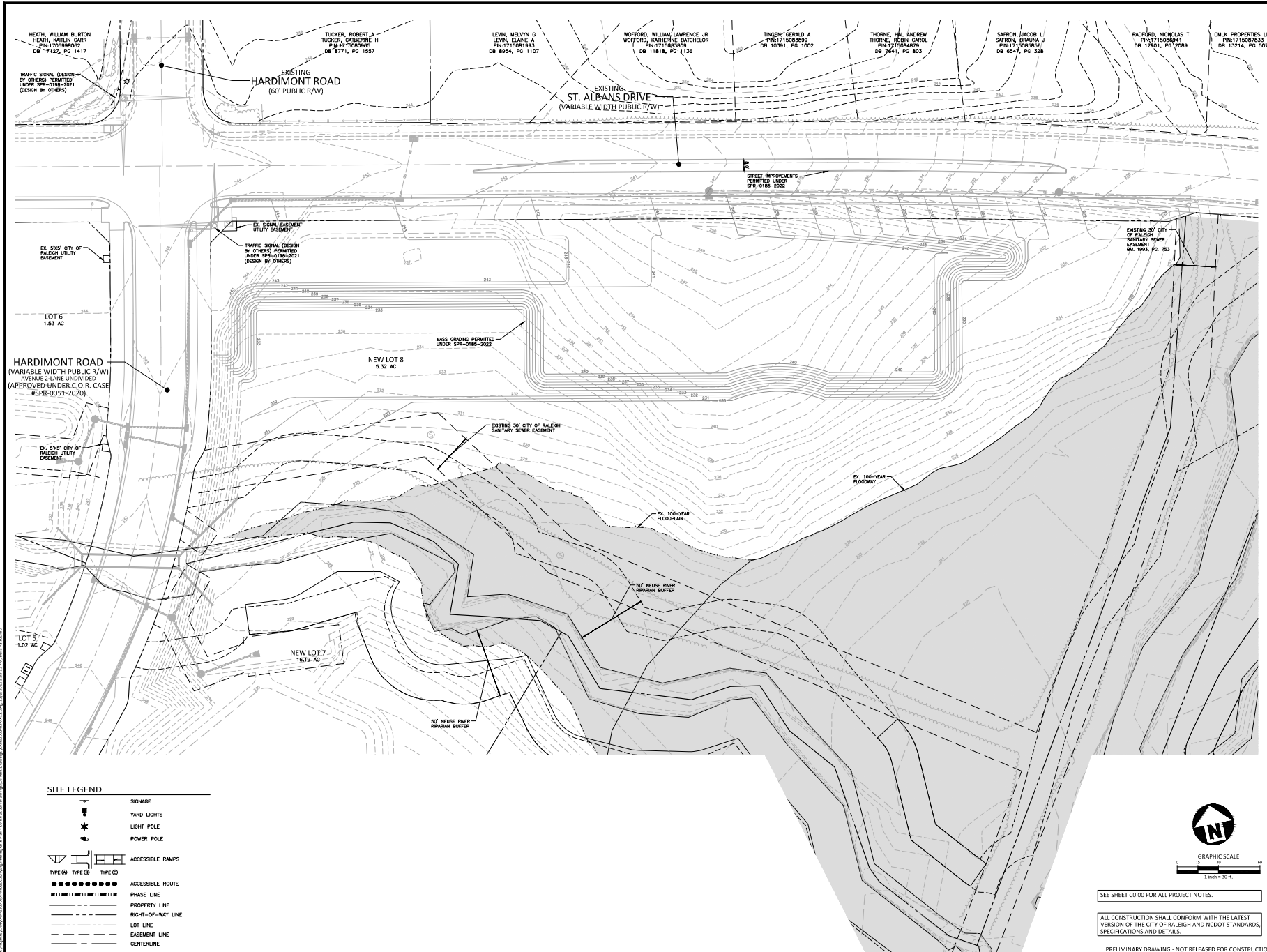
**PLAN INFORMATION**

PROJECT NO. KAN-22002  
FILENAME KAN22002-ASR-XC1  
CHECKED BY ADP  
DRAWN BY JLP  
SCALE 1"=30'  
DATE 06.22.2022

**SHEET**

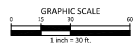
**EXISTING CONDITIONS PLAN**

**C1.00**



**SITE LEGEND**

SIGNAGE YARD LIGHTS LIGHT POLE POWER POLE	ACCESSIBLE RAMPS ACCESSIBLE ROUTE PHASE LINE PROPERTY LINE RIGHT-OF-WAY LINE LOT LINE EASEMENT LINE CENTERLINE
--	---



SEE SHEET CD.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\2022\06\06\2022-ASR-XC1.dwg 12/01/2022 3:35:51 PM [mh.30]



McADAMS

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

phone 919.361.5000  
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license number: C-0293, C-187

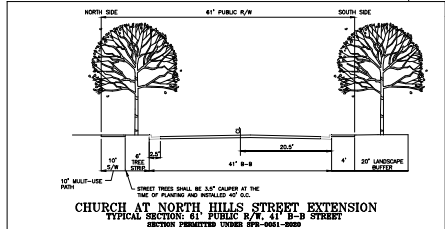
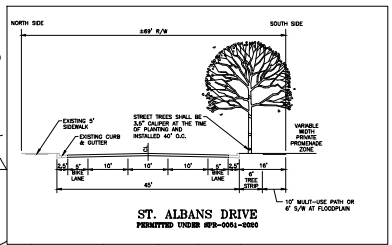
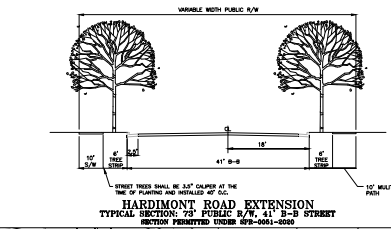
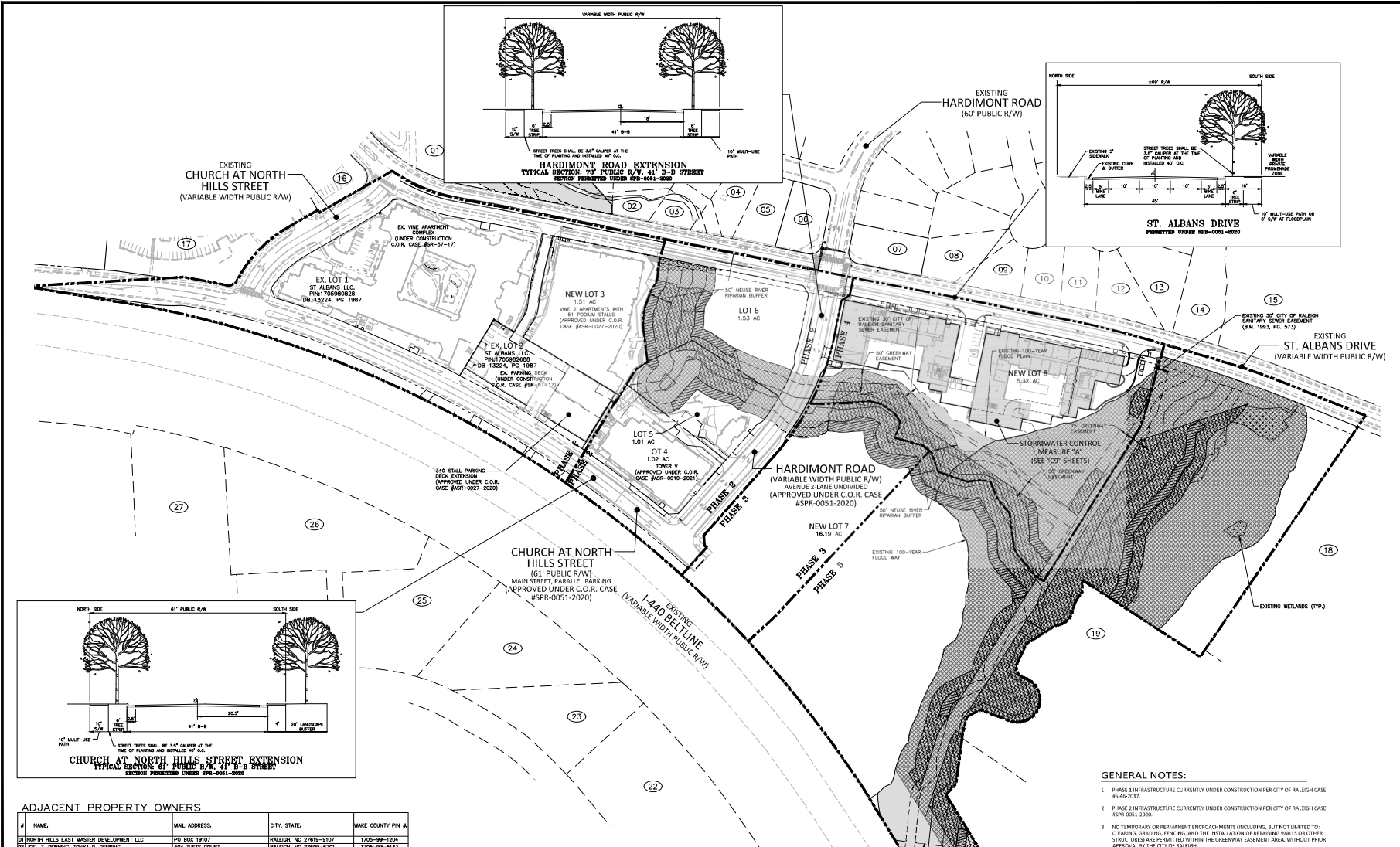
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CLIENT

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVENUE  
SUITE 250  
RALEIGH, NORTH CAROLINA 27609

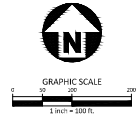
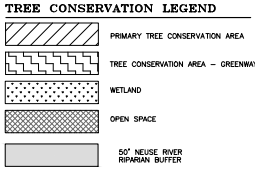
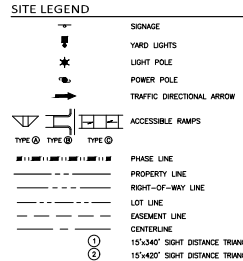


ST ALBANS RESIDENTIAL  
600 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609



- GENERAL NOTES:
1. PHASE 1 INFRASTRUCTURE CURRENTLY UNDER CONSTRUCTION PER CITY OF RALEIGH CASE #5-46-2017
2. PHASE 2 INFRASTRUCTURE CURRENTLY UNDER CONSTRUCTION PER CITY OF RALEIGH CASE #20H-005-2020
3. NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCINGS, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

ADJACENT PROPERTY OWNERS table with columns: #, NAME, MAIL ADDRESS, CITY, STATE, WAKE COUNTY PIN #



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

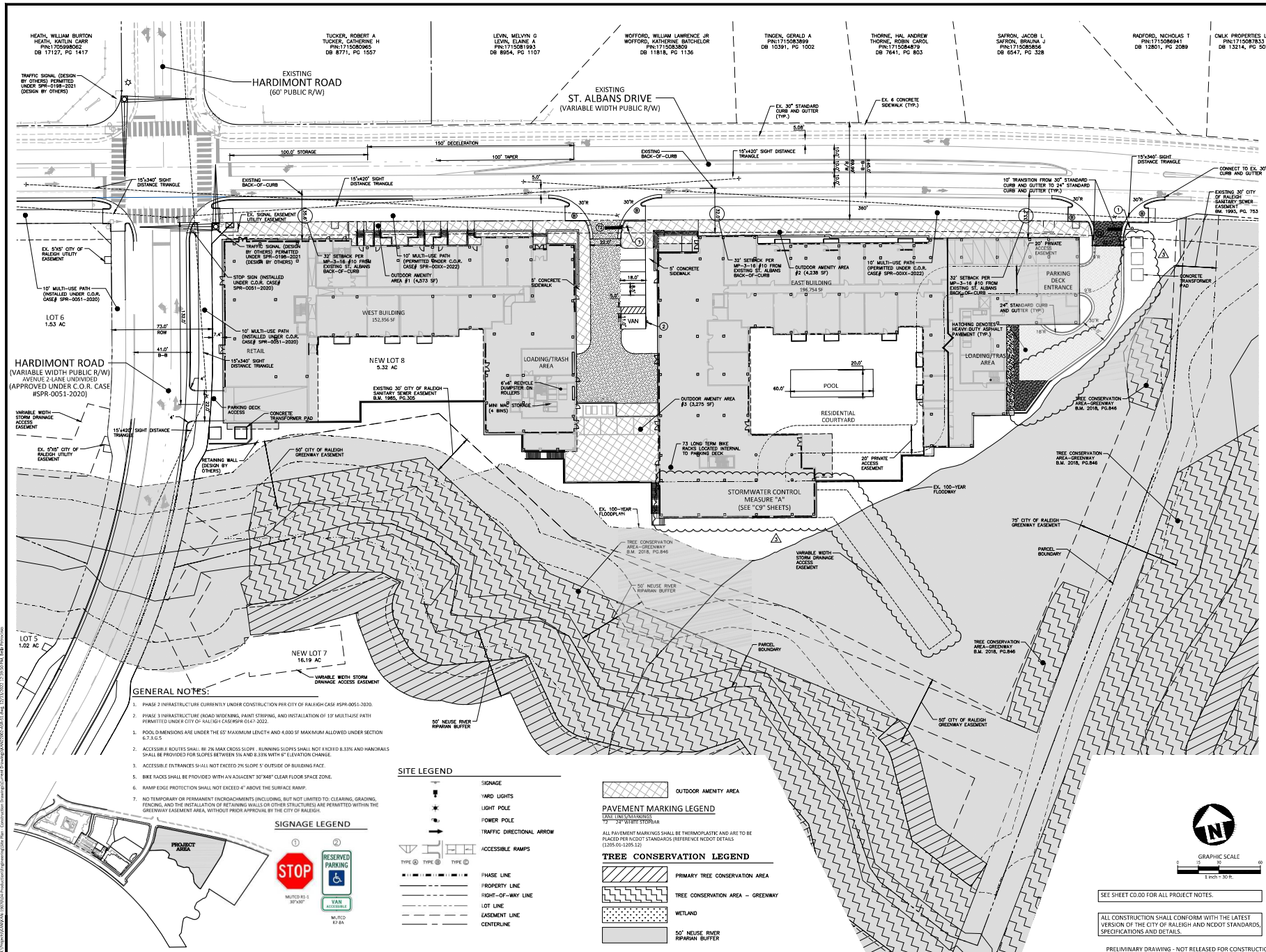
Table with columns: NO., DATE, REVISION

PLAN INFORMATION

PROJECT NO. KAN-22002
FILENAME KAN22002-ASR-OAS1
CHECKED BY ADP
DRAWN BY JLP
SCALE 1"=100'
DATE 06.22.2022
SHEET

OVERALL SITE PLAN

C2.00



HEATH, WILLIAM BURTON  
HEATH, KAITLIN CARR  
P/N: 17088602  
DB 17127, PG. 1417

TUCKER, ROBERT A  
TUCKER, CATHERINE H  
P/N: 17088605  
DB 8771, PG. 1557

LEVIN, MELVYN G  
TUCKER, CATHERINE H  
P/N: 17088605  
DB 8924, PG. 1107

WOFFORD, WILLIAM LAWRENCE JR  
WOFFORD, KATHERINE BACHELOR  
P/N: 17088609  
DB 11818, PG. 1136

TINEN, GERALD A  
P/N: 171508289  
DB 10391, PG. 1002

THORNE, HAL ANDREW  
THORNE, ROBIN CAROL  
P/N: 171508478  
DB 7641, PG. 803

SAFRON, JACOB L  
SAFRON, BRUNNA J  
P/N: 171508566  
DB 6547, PG. 328

RAEFORD, NICHOLAS T  
P/N: 171508641  
DB 12801, PG. 2089

CMK PROPERTIES LLC  
P/N: 1715087833  
DB 13214, PG. 507

TRAFFIC SIGNAL (DESIGN BY OTHERS) PERMITTED UNDER SPR-0198-2021 (DESIGN BY OTHERS)

EXISTING HARDIMONT ROAD (60' PUBLIC R/W)

EXISTING ST. ALBANS DRIVE (VARIABLE WIDTH PUBLIC R/W)

HARDIMONT ROAD (VARIABLE WIDTH PUBLIC R/W) 2-LANE UNDIVIDED (APPROVED UNDER C.O.R. CASE #SPR-0051-2020)

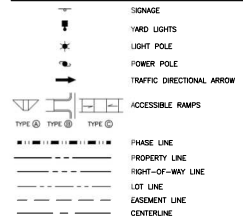
**GENERAL NOTES:**

- PHASE 2 INFRASTRUCTURE CURRENTLY UNDER CONSTRUCTION PER CITY OF RALEIGH CASE #SPR-0051-2020.
- PHASE 2 INFRASTRUCTURE (ROAD, SIDEWALK, STREET LIGHTING), AND INSTALLATION OF 10' MULTI-USE PATH PERMITTED UNDER CITY OF RALEIGH CASE #SPR-0147-2022.
- POOL DIMENSIONS ARE UNDER THE 65' MAXIMUM LENGTH AND 4.000 SF MAXIMUM ALLOWED UNDER SECTION 67.3.6.5.
- ACCESSIBLE ROUTES SHALL BE 2% MAX CROSS-SLOPE. RUNNING SLOPES SHALL NOT EXCEED 8.33% AND HANDRAILS SHALL BE PROVIDED FOR SLOPES BETWEEN 5% AND 8.33% WITH 4" ELEVATION CHANGE.
- ACCESSIBLE ENTRANCES SHALL NOT EXCEED 2% SLOPE 5' OUTSIDE OF BUILDING FACE.
- BIKE RACKS SHALL BE PROVIDED WITH AN ADJACENT 30" X 48" CLEAR FLOOR SPACE ZONE.
- RAMP EDGE PROTECTION SHALL NOT EXCEED 4" ABOVE THE SURFACE RAMP.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

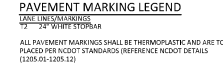
**SIGNAGE LEGEND**



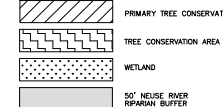
**SITE LEGEND**



**PAVEMENT MARKING LEGEND**



**TREE CONSERVATION LEGEND**



**McADAMS**  
The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVENUE  
SUITE 250  
RALEIGH, NORTH CAROLINA 27669

**KANE**  
REALTY CORPORATION

**ST ALBANS RESIDENTIAL**  
600 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.26.2022	RESPONSE TO BIR COMMENTS
2	10.26.2022	RESPONSE TO BIR COMMENTS
3	12.07.2022	RESPONSE TO BIR COMMENTS

**PLAN INFORMATION**

PROJECT NO.	KAN-22002
FILENAME	KAN22002-ASR-51
CHECKED BY	AP
DRAWN BY	CGM
SCALE	1"=30'
DATE	06.22.2022

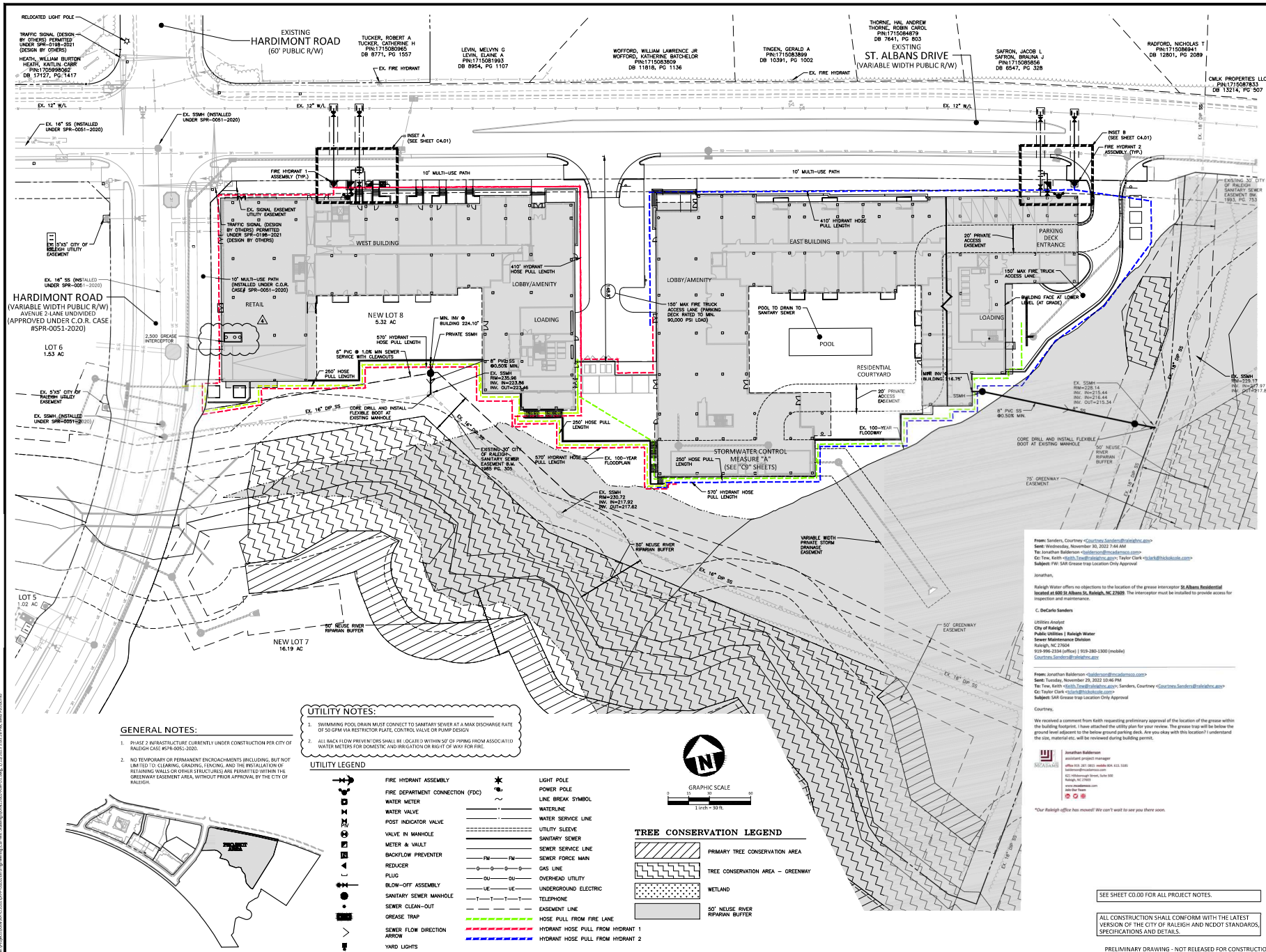
**SHEET**  
**SITE PLAN**  
**C2.01**

SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





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RALEIGH, NORTH CAROLINA 27609

**ST ALBANS RESIDENTIAL**  
600 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

From: Sanders, Courtney <Courtney.Sanders@raleighnc.gov>  
Sent: Wednesday, November 30, 2022 7:48 AM  
To: Jonathan Balderman <jbalderman@mcadamsco.com>  
Cc: Tom Keith <tom.Keith@mcadamsco.com>; Taylor Clark <taylor.clark@mcadamsco.com>  
Subject: SAR Grease Trap Location Only Approval

Jonathan,

Raleigh Water offers no objections to the location of the grease interceptor at **St Albans Residential** located at 600 St Albans Dr, Raleigh, NC 27609. The interceptor must be installed to provide access for inspection and maintenance.

C. DeCarlo Sanders  
Utilities Analyst  
City of Raleigh  
Public Utilities | Raleigh Water  
Sewer Maintenance Division  
Raleigh, NC 27604  
919-999-2334 (office) | 919-280-1300 (mobile)  
Courtney.Sanders@raleighnc.gov

From: Jonathan Balderman <jbalderman@mcadamsco.com>  
Sent: Wednesday, November 30, 2022 8:04 AM  
To: Tom Keith <tom.Keith@mcadamsco.com>; Sanders, Courtney <Courtney.Sanders@raleighnc.gov>  
Cc: Taylor Clark <taylor.clark@mcadamsco.com>  
Subject: SAR Grease Trap Location Only Approval

Courtney,

We received a comment from Keith regarding preliminary approval of the location of the grease within the building footprint. I have attached the utility plan for your review. The grease trap will be below the ground level adjacent to the below ground parking deck. Are you okay with this location? I understand the size, material etc. will be reviewed during building permit.

Jonathan Balderman  
Executive Project Manager  
office 919.281.0655 mobile 919.631.6266  
jbalderman@mcadamsco.com  
421 Old Forest Road, Suite 800  
Raleigh, NC 27607  
www.mcadamsco.com

\*Our Raleigh office has moved! We can't wait to see you there soon.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.26.2022	RESPONSE TO 4th ASR COMMENTS
2	10.26.2022	RESPONSE TO 2nd ASR COMMENTS
3	12.07.2022	RESPONSE TO 3rd ASR COMMENTS
4	01.10.2023	RESPONSE TO 4th ASR COMMENTS

**PLAN INFORMATION**

PROJECT NO. KAN-22002  
FILENAME KAN22002-ASR-U1  
CHECKED BY AP  
DRAWN BY CGM  
SCALE 1"=30"  
DATE 06.22.2022

**SHEET**

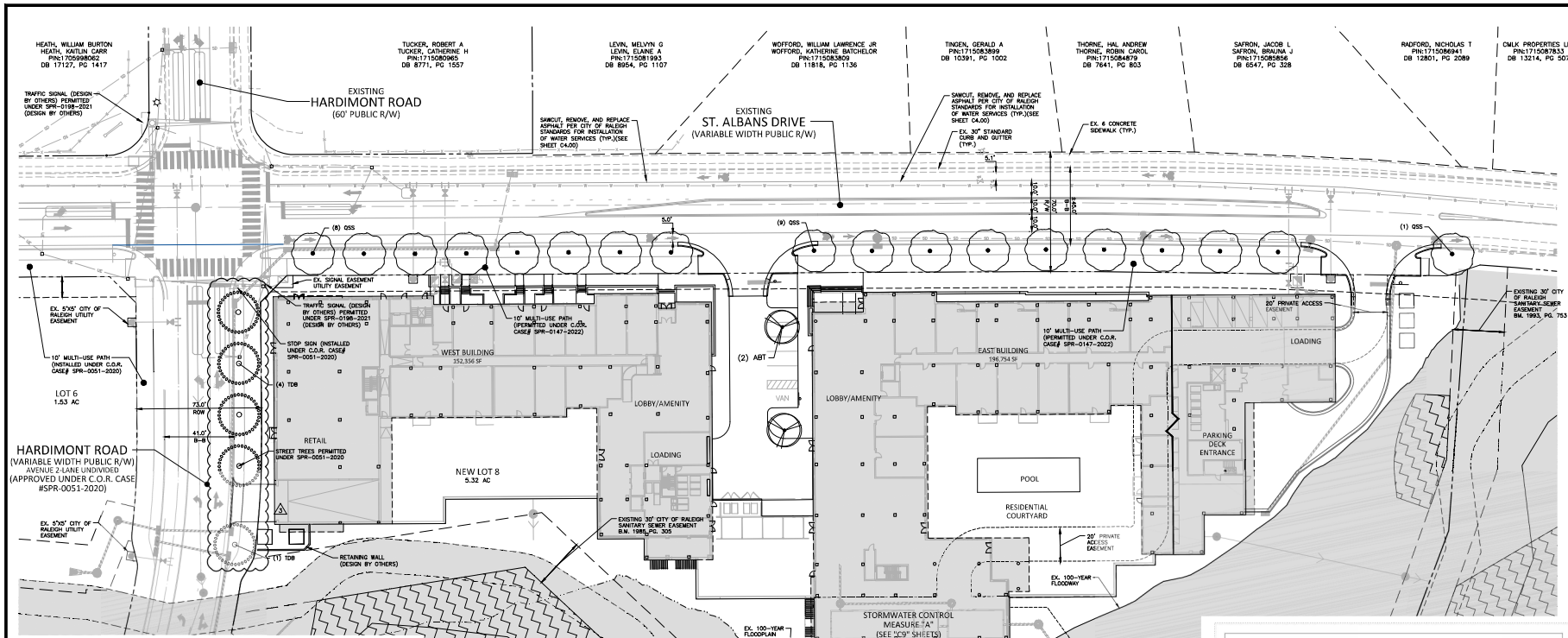
**UTILITY PLAN**

SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCEMOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**C4.00**



**LANDSCAPE NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING EXCAVATION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY SURFACE PLANTING BEFORE BEGINNING EXCAVATION OR INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURAL, SITE, AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO INSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIALS SHALL BE WELL FURNISHED, VIGOROUS, GROWING SPECIMENS WITH PROVEN RECORDS OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DISEASE, INSECTS AND OTHER HAZARDOUS MATERIALS. SPECIMENS SHALL BE QUALITY AS DETERMINED BY THE CURRENT ISSUE OF "STANDARD PRACTICES FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL SHALL BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. OTHER PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF 18" IN HEIGHT AT THE TIME OF PLANTING. ANY PLANTS OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY ROLL BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENT OF INSPECTION/TEST IF NOT SPECIFICALLY STATED OTHERWISE.
14. CONTRACTOR SHALL PROVIDE PROTECTIVE DAMAGING IN PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 3 FEET FROM ANY POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. CONTRACTOR SHALL COMPACT SOIL. TEST ALL PLANTING AREAS TO DETERMINE SOIL ADJUSTMENT REQUIREMENTS. UNLESS NOTED BY OWNER'S REPRESENTATIVE, CONTRACTOR SHALL ADD/REMOVE PERCENT BASED UPON THE SOIL TEST RESULTS.
17. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 2.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, BRICKS, STONES, LUMPS OF SOIL, STICKS, HOOPS, TRAILS OR OTHER FOREIGN MATERIALS.

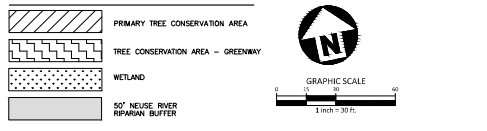
**LANDSCAPE CALCULATIONS:**

STREET TREES:	ST. ALBANS DR.	HARDIMONT RD.
STREET TREES REQUIRED:	715 LF	189 LF
STREET TREES PROVIDED:	18 TREES	5 TREES

**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL.	HEIGHT
ST. ALBANS DR.	OSS 18	18	Panocha Shumard Red Oak	Quercus shumardii 'Panocha'	3"	10'
HARDIMONT RD.	ABT 2	2	TRENT MAPLE	ACER BUERGERIANUM	3"	3'
HARDIMONT RD.	TDB 5	5	BALD CYPRESS	Taxodium distichum	3"	10'

**TREE CONSERVATION LEGEND**



**NOTES:**

1. STREET TREES SHALL BE NOTICED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 30F OF THE CITY TREE MANUAL.
2. STREET TREES SHALL BE LOCATED NO CLOSER THAN 30' FROM CURB, 30' FROM OTHER SIDE OF CURB, 10' FROM PARKWAY, 10' FROM A FIRE HYDRANT, AND 20' FROM ANY POLE. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL MINIMUM SEPARATIONS FROM STREET TREES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION WITH AN EQUAL PRICE AND TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR GOVERNING AGENCY.
4. ALL TREE TRUNKS SHALL BE PROTECTED WITH TREE WRAPS. TREE WRAPS SHALL BE INSTALLED AT THE MAXIMUM INTERVAL PERMANENT CONSTRUCTION.
5. ALL TREE TRUNKS WITH 4" DBH OR GREATER SHALL BE WRAPPED UP TO A MINIMUM OF 6' ABOVE FINISHED GRADE.
6. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO REMOVAL OR SIGNIFICANT DAMAGE TO EXISTING TREES. PERMITS MUST BE OBTAINED PRIOR TO ANY TREE REMOVAL OR DAMAGE TO EXISTING TREES.

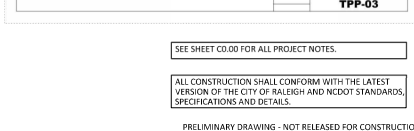
**LANDSCAPE NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
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**LANDSCAPE CALCULATIONS:**

STREET TREES:	ST. ALBANS DR.	HARDIMONT RD.
STREET TREES REQUIRED:	715 LF	189 LF
STREET TREES PROVIDED:	18 TREES	5 TREES

**TREE CONSERVATION LEGEND**



**NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM PIT.
2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
3. STREET TREES MUST BE 3" CALIBER AT INSTALLATION WITH A MINIMUM FIRST BRANCH HEIGHT.
4. PLANTING SEASON: OCTOBER - APRIL.
5. A TREE IMPACT PERMIT IS REQUIRED.
6. ELECTRICAL CUTLIES AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

**McADAMS**  
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SUITE 250  
RALEIGH, NORTH CAROLINA 27669

**KANE**  
REALTY CORPORATION

**ST ALBANS RESIDENTIAL**  
600 ST ALBANS DRIVE  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA, 27609

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.26.2022	RESPONSE TO PER AIR COMMENTS
2	10.26.2022	RESPONSE TO PER AIR COMMENTS
3	12.07.2022	RESPONSE TO PER AIR COMMENTS

**PLAN INFORMATION**

PROJECT NO.	KAN-22002
FILENAME	KAN22002-ASR-L51
CHECKED BY	AP
DRAWN BY	CGM
SCALE	1"=30'
DATE	06.22.2022
<b>SHEET</b>	

**LANDSCAPE PLAN**

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.

**L5.00**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

5

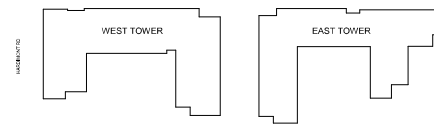
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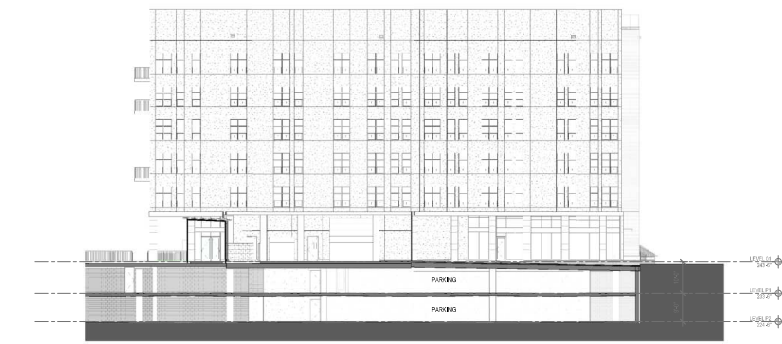
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### KEY PLAN

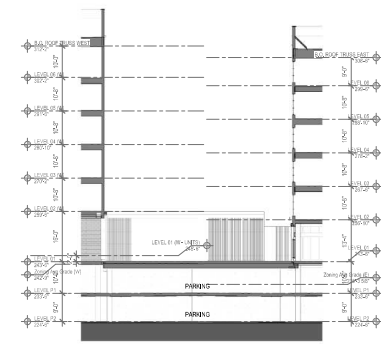


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301 N Street NE, Suite 300  
Washington, DC 20002  
202.687.9776  
hickokcole.com

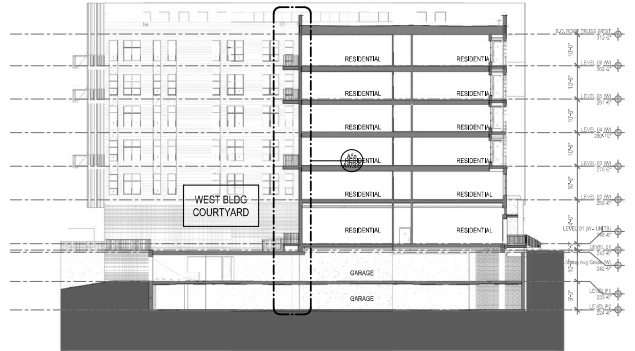
CONSULTANTS



**C5** BUILDING SECTION - DRIVE AISLE (N-S)



**C3** BUILDING SECTION - DRIVE AISLE (E-W)



**B5** BUILDING SECTION - WEST BLDG (N-S)



**B3** BUILDING SECTION - WEST BLDG (E-W)



**A5** BUILDING SECTION - EAST BLDG (N-S)



**A3** BUILDING SECTION - EAST BLDG (E-W)

PROJECT DETAILS  
PROJECT NAME  
**SAINT ALBANS RESIDENTIAL**

CLIENT NAME  
**KANE REALTY CORP**

ADDRESS  
**600 ST. ALBANS DRIVE RALEIGH, NC**

REVISIONS / NOTES

NO.	DATE	DESCRIPTION
1	02/20/21	ISSUE FOR PERMIT
2		
3		
4		
5		
6		
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STAMP

PROJECT NO.  
**22016**

DRAWN BY  
**Author**

SCALE  
**1/16" = 1'-0"**

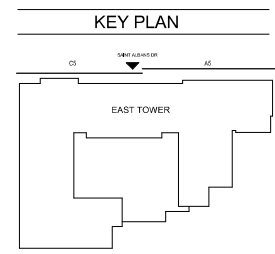
DRAWING TITLE  
**BUILDING SECTION**

DRAWING NO.  
**A-241**

R:\170022116 - SAINT ALBANS RESIDENTIAL\CONSTRUCTION\ALBANS BLDG\SECTION\A5

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5 4 3 2 1



**MATERIALS LEGEND**

AFS-1	BRICK 1
AFS-2	BRICK 2
MTL-1	METAL PANEL 1
MTL-2	METAL PANEL 2
FCR-1	FIBER CEMENT 1
PRP-1	PHENOLIC PANEL 1



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301 N Street NE, Suite 300  
Washington, DC 20002  
202.687.9776  
hickokcole.com

CONSULTANTS

**C PROJECT DETAILS**

PROJECT NAME  
**SAINT ALBANS RESIDENTIAL**

CLIENT NAME  
**KANE REALTY CORP**

ADDRESS  
**600 ST. ALBANS DRIVE RALEIGH, NC**

**REVISIONS / NOTES**

NO.	DATE	DESCRIPTION
1	08/04/17	ISSUE FOR PERMIT

**STAMP**

PROJECT NO.  
**22016**

DRAWN BY  
**Author**

SCALE  
**As indicated**

DRAWING TITLE  
**OVERALL ELEVATIONS**

DRAWING NO.  
**A-E201**

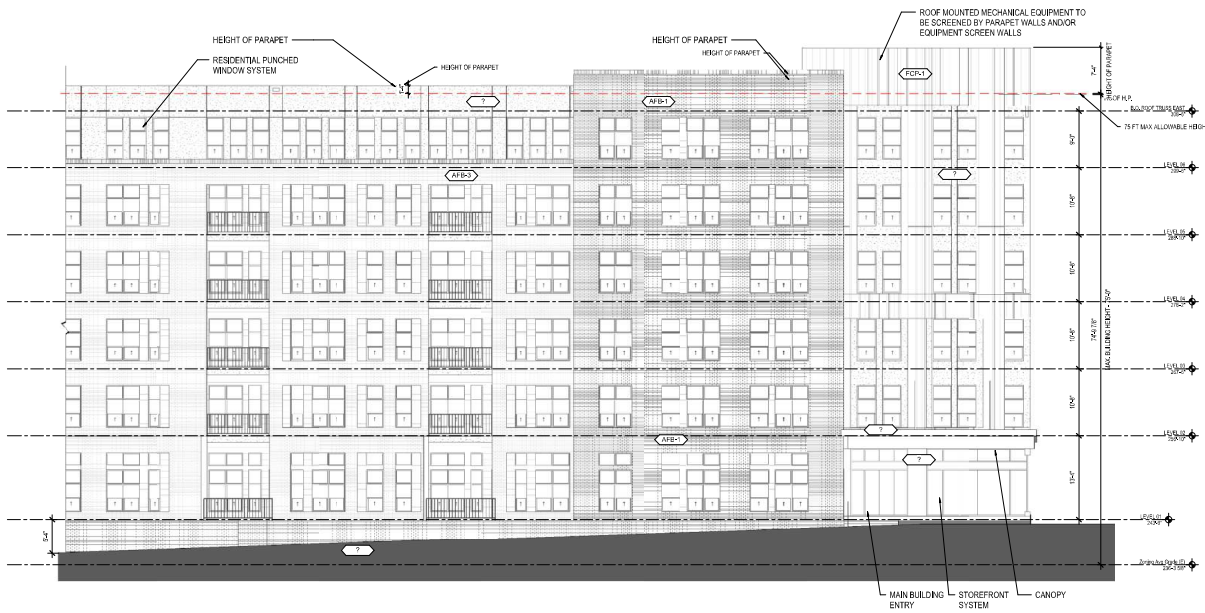
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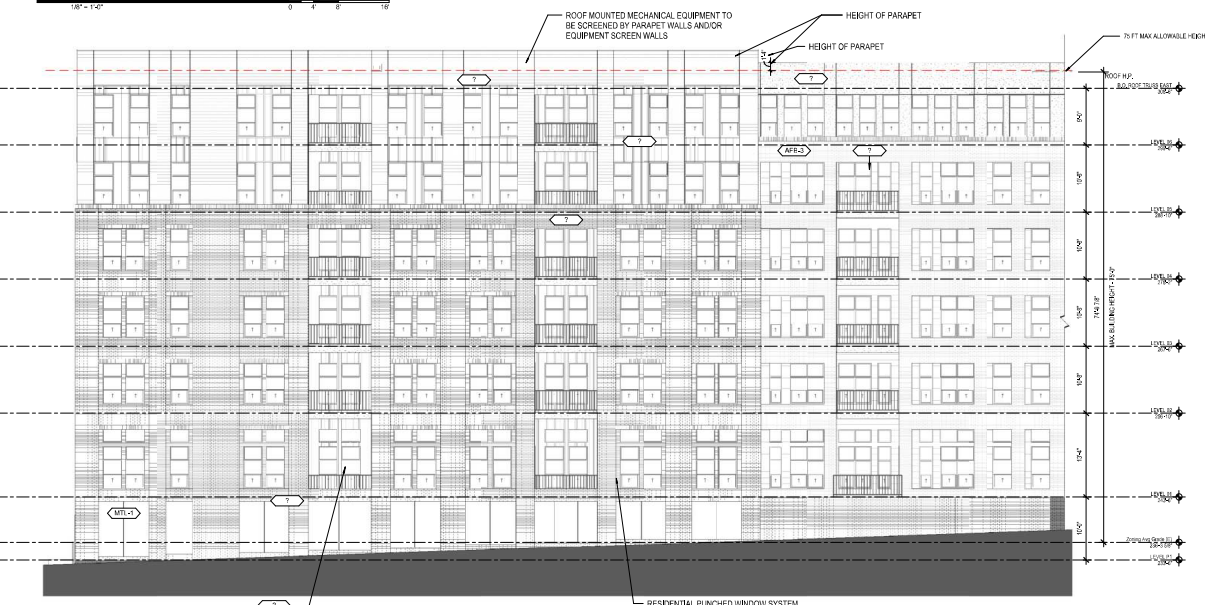
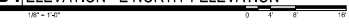
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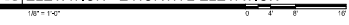
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**B4 ELEVATION - E NORTH 1 ELEVATION**



**A5 ELEVATION - E NORTH 2 ELEVATION**



5 4 3 2 1

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ROOF MOUNTED MECHANICAL EQUIPMENT TO BE SCREENED BY PARAPET WALLS AND/OR EQUIPMENT SCREEN WALLS

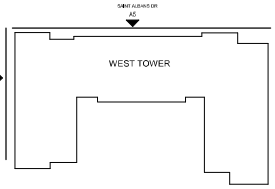
RESIDENTIAL PUNCHED WINDOW SYSTEM

HEIGHT OF PARAPET  
75 FT MAX ALLOWABLE HIG-IT



**B5** ASR - ELEVATION - WEST ELEVATION R01

KEY PLAN



MATERIALS LEGEND

AFB-1	BRICK 1
AFB-2	BRICK 2
MTL-1	METAL PANEL 1
MTL-2	METAL PANEL 2
FCP-1	FIBER CEMENT 1
PRP-1	PHENOLIC PANEL 1



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CONSULTANTS

PROJECT DETAILS

PROJECT NAME  
**SAINT ALBANS RESIDENTIAL**

CLIENT NAME  
**KANE REALTY CORP**

ADDRESS  
**600 ST. ALBANS DRIVE RALEIGH, NC**

REVISIONS / NOTES

NO.	DESCRIPTION	DATE	BY
1	ISSUE FOR PERMIT		
2	ISSUE FOR PERMIT		
3	ISSUE FOR PERMIT		
4	ISSUE FOR PERMIT		
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STAMP

PROJECT NO.  
**22016**

DRAWN BY  
**Author**

SCALE  
**As indicated**

DRAWING TITLE  
**OVERALL ELEVATIONS**

DRAWING NO.  
**A-W201**

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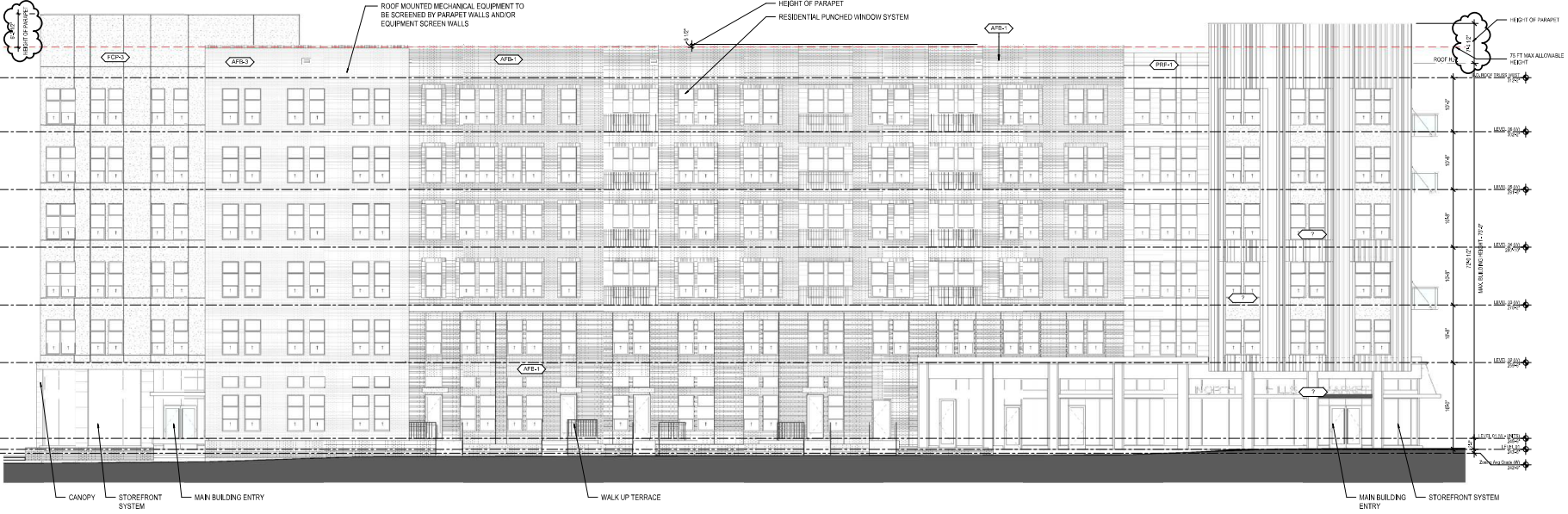
B

A

ROOF MOUNTED MECHANICAL EQUIPMENT TO BE SCREENED BY PARAPET WALLS AND/OR EQUIPMENT SCREEN WALLS

HEIGHT OF PARAPET  
RESIDENTIAL PUNCHED WINDOW SYSTEM

HEIGHT OF PARAPET  
75 FT MAX ALLOWABLE HIG-IT



**A5** ELEVATION - W NORTH ELEVATION

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