



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| Site Plan Tier: Tier Two Site Plan | | Tier Three Site Plan |
|--|------------------------------|---|
| Building and Development Type (Check all that apply) | | Site Transaction History |
| Detached | General | Subdivision case #: _____ |
| Attached | Mixed use | Scoping/sketch plan case #: _____ |
| Townhouse | Civic | Certificate of Appropriateness #: _____ |
| Apartment | Cottage Court | Board of Adjustment #: _____ |
| Tiny house | Frequent Transit | Zoning Case #: _____ |
| Open lot | Development Option | Design Alternate #: _____ |
| GENERAL INFORMATION | | |
| Development name: _____ | | |
| Inside City limits? | Yes | No |
| Property address(es): _____ | | |
| Site P.I.N.(s): _____ | | |
| Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). Proposed affordable housing project for multi-family apartment building, associated parking areas, outdoor amenity spaces, TCAs, greenway easement dedication, internal trail connection required per zoning conditions on site, stormwater control measure, and required ROW improvements for half section of Cross Link Road along project frontage | | |
| Current Property Owner(s): | | |
| Company: Fellers Pond, LLC | _____ | Title: _____ |
| Address: _____ | | |
| Phone #: _____ | Email: _____ | |
| Applicant Name (If different from owner. See "who can apply" in instructions): Charlie Heritage | | |
| Relationship to owner: | Lessee or contract purchaser | Owner's authorized agent Easement holder |
| Company: South Creek Development, LLC | Address: _____ | |

| | |
|---|----------|
| Phone #: | Email: |
| NOTE: please attach purchase agreement or contract, lease or easement when submitting this form. | |
| Developer Contact: | |
| Company: | Title: |
| Address: | |
| Phone #: | Email: |
| Applicant Name: | |
| Company: | Address: |
| Phone #: --- | Email: |

| DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments) | |
|--|---|
| SITE DATA | BUILDING DATA |
| Zoning district(s) (please provide the acreage of each): | Existing gross floor area (not to be demolished): |
| Gross site acreage: | Existing gross floor area to be demolished: |
| # of parking spaces proposed: | New gross floor area: |
| Max # parking permitted (7.1.2.C): | Total sf gross (to remain and new): |
| Overlay District (if applicable): | Proposed # of buildings: |
| Existing use (UDO 6.1.4): | Proposed # of stories for each: |
| Proposed use (UDO 6.1.4): | Proposed # of basement levels (UDO 1.5.7.A.6) |

| STORMWATER INFORMATION | |
|---|--|
| Imperious Area on Parcel(s): Existing (sf) <u>0</u> Proposed total (sf) <u>175,000</u> | Impervious Area for Compliance (includes ROW): Existing (sf) <u>4,434</u> Proposed total (sf) <u>182,614</u> |

| RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS | |
|---|---|
| Total # of dwelling units: | Total # of hotel bedrooms: |
| # of bedroom units: 1br <u>15</u> 2br <u>81</u> 3br <u>46</u> 4br or more <u> </u> | |
| # of lots: | Is your project a cottage court? Yes No |
| | A frequent transit development? Yes No |

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

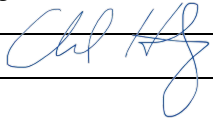
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date:

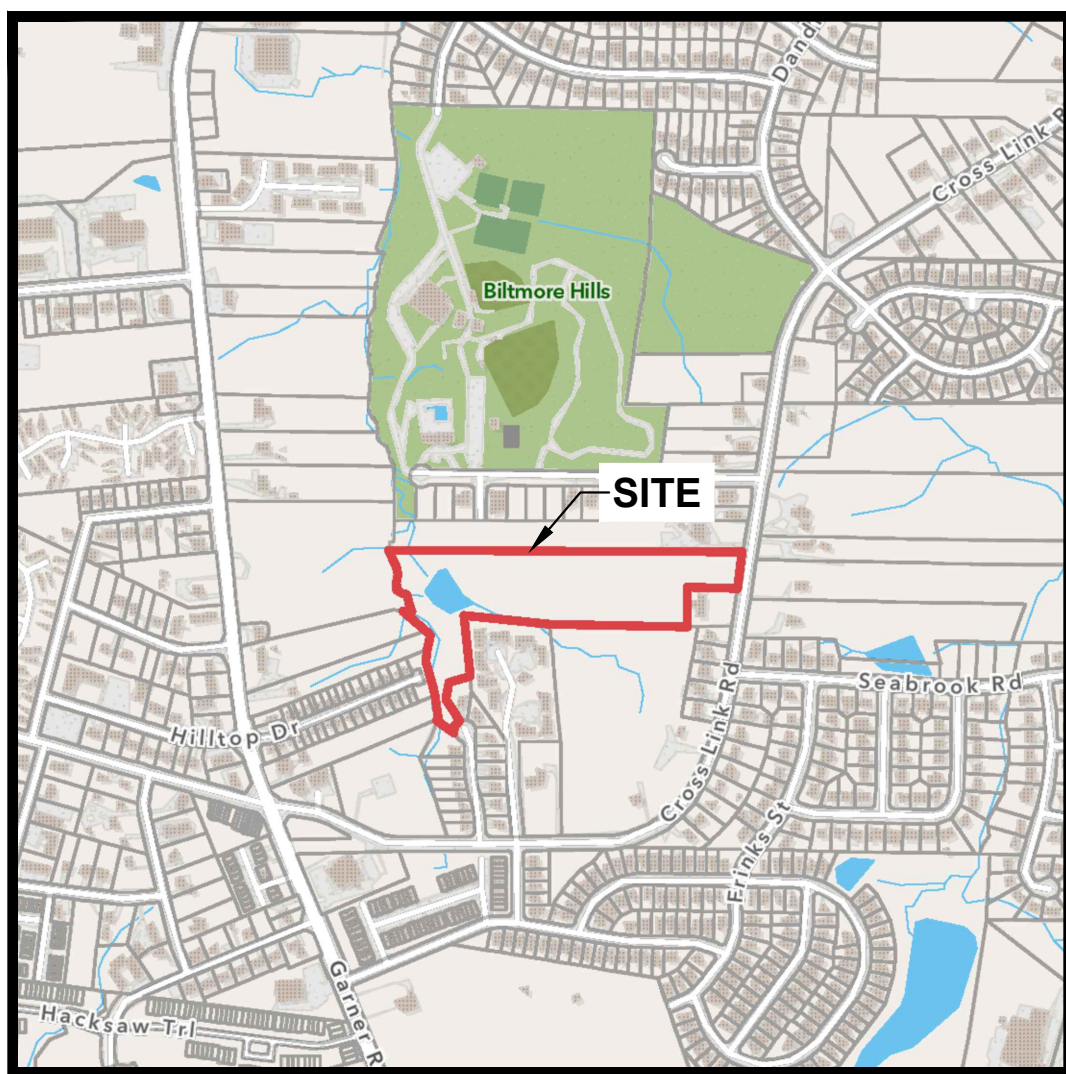
Printed Name:

919 CROSS LINK ROAD ADMINISTRATIVE SITE REVIEW PLAN

LOCATED IN CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

(ASR - XXXX - 2023)

AFFORDABLE HOUSING DEVELOPMENT



VICINITY MAP SCALE: 1" = 800'

| SHEET NO. | SHEET NAME | ORIGINAL DATE | REVISED DATE |
|-----------|--|---------------|--------------|
| C0.0 | COVER | | |
| C1.0 | EXISTING CONDITION | | |
| C1.1 | PRELIMINARY DEMOLITION PLAN | | |
| C2.0 | PRELIMINARY SITE PLAN (OVERALL) | | |
| C2.1 | PRELIMINARY SITE PLAN ENLARGEMENT (EAST) | | |
| C2.2 | PRELIMINARY SITE PLAN ENLARGEMENT (WEST) | | |
| EX.1 | FIRE ACCESS EXHIBIT | | |
| EX.2 | PRELIMINARY GREENWAY EXHIBIT | | |
| EX.3 | SITE PLAN EXHIBIT | | |
| C3.0 | PRELIMINARY GRADING + STORMWATER PLAN ENLARGEMENT (EAST) | | |
| C3.1 | PRELIMINARY GRADING + STORMWATER PLAN ENLARGEMENT (WEST) | | |
| C4.0 | PRELIMINARY SCM PLAN | | |
| C5.0 | PRELIMINARY WATER + SEWER PLAN (OVERALL) | | |
| T1.0 | TREE CONSERVATION AREA PLAN | | |
| L1.0 | PLANTING PLAN ENLARGEMENT (EAST) | | |
| L1.1 | PLANTING PLAN ENLARGEMENT (WEST) | | |
| L1.2 | PLANTING NOTES & DETAILS | | |
| A3.1 | ARCHITECTURAL ELEVATIONS | | |

FIRE APPARATUS ACCESS REQUIREMENTS

- FIRE DEPARTMENT APPARATUS ACCESS SHALL BE PROVIDED TO WITHIN 150' OF ALL PORTIONS OF GROUND FLOOR OF PROPOSED BUILDINGS.
- APPARATUS ACCESS ROAD (DEAD-END) GREATER THAN 150' REQUIRE APPROVED AREA TO TURN APPARATUS AROUND. ALTERNATE HAMMERHEAD PROVIDED.
- MINIMUM APPARATUS ACCESS WIDTH 20', INSIDE TURN RADIUS 28'.

SOLID WASTE INSPECTIONS STATEMENT

- SOLID WASTE MANAGEMENT PLAN AND PRIVATE UTILITY PROVIDER WILL SERVE LETTER AT TIME OF SITE PERMIT REVIEW AS REQUIRED IN CITY OF RALEIGH CHECKLIST AND PER APPLICABLE CODE REQUIREMENTS.

LIGHTING PLAN STATEMENT

- LIGHTING PLAN WILL BE PROVIDED AT TIME OF SITE PERMIT REVIEW AS REQUIRED BY CITY OF RALEIGH CHECKLIST AND PER APPLICABLE CODE REQUIREMENTS.

SITE DATA TABLE

| | |
|---------------------------------------|---|
| PIN #: | 1712058582 |
| EXISTING SITE AREA: | +/-9.927 AC. (432,440.7 SF) |
| ROW DEDICATION: | 0.009 AC. (378.5 SF.) |
| DEVELOPABLE SITE AREA: | +/- 9.918 AC. (432,062.2 SF.) |
| EXISTING/ PROPOSED ZONING: | R-6-CU (REZONING CASE Z-62-22 - SEE ZONING CONDITION THIS SHEET) |
| OVERLAY DISTRICT: | N/A |
| FRONTAGE TYPE: | N/A |
| URBAN FORM: | FREQUENT TRANSIT AREA |
| CURRENT USE: | VACANT |
| PROPOSED USE: | MULTI-FAMILY RESIDENTIAL (AFFORDABLE HOUSING) |
| DEVELOPMENT OPTION: | TRANSIT ORIENTED DEVELOPMENT |
| PROPOSED BUILDING(S): | BUILDING FOOTPRINT (PER BUILDING): 14,864 S.F. TOTAL FOOTPRINT AREA ON SITE: 59,456 S.F. GROSS FLOOR AREA (PER BUILDING): 44,191 S.F. TOTAL GROSS FLOOR AREA ON SITE: 176,764 S.F. RESIDENTIAL UNITS: 142 TOTAL - (46) 3 BDRM, (81) 2 BDRM, (15) 1 BDRM |
| PARKING CALCULATIONS: | EXISTING PARKING SPACES: N/A |
| RALEIGH VEHICLE PARKING REQUIREMENTS: | NO MINIMUM PARKING REQUIREMENT 343 MAXIMUM ALLOWED SPACES |
| NCHFA VEHICLE PARKING REQUIREMENTS: | 1.5 SPACE/ UNIT 1 ADA PARKING SPACE / TYPE A UNIT |
| ADA PARKING REQUIREMENTS: | 142 UNITS = 215 PARKING SPACES 16 TYPE A UNIT = 16 ADA PARKING SPACES |
| PROPOSED VEHICLE PARKING: | 199 REGULAR PARKING SPACES 16 ADA PARKING SPACES (8 VAN SPACES) 215 SPACES (TOTAL) |

| | |
|-----------------------------------|--|
| RALEIGH REQUIRED BICYCLE PARKING: | SHORT TERM 1 SPACE / 20 UNITS = 7 SPACES COVERED LONG TERM 1 SPACE / 7 BEDROOMS = 45.4 SPACES |
| PROPOSED BICYCLE PARKING: | SHORT TERM 7 SPACES COVERED LONG TERM 23 SPACES *SEE RALEIGH UDO BIKE PARKING EXEMPTION - SEC. 7.1.7.J |

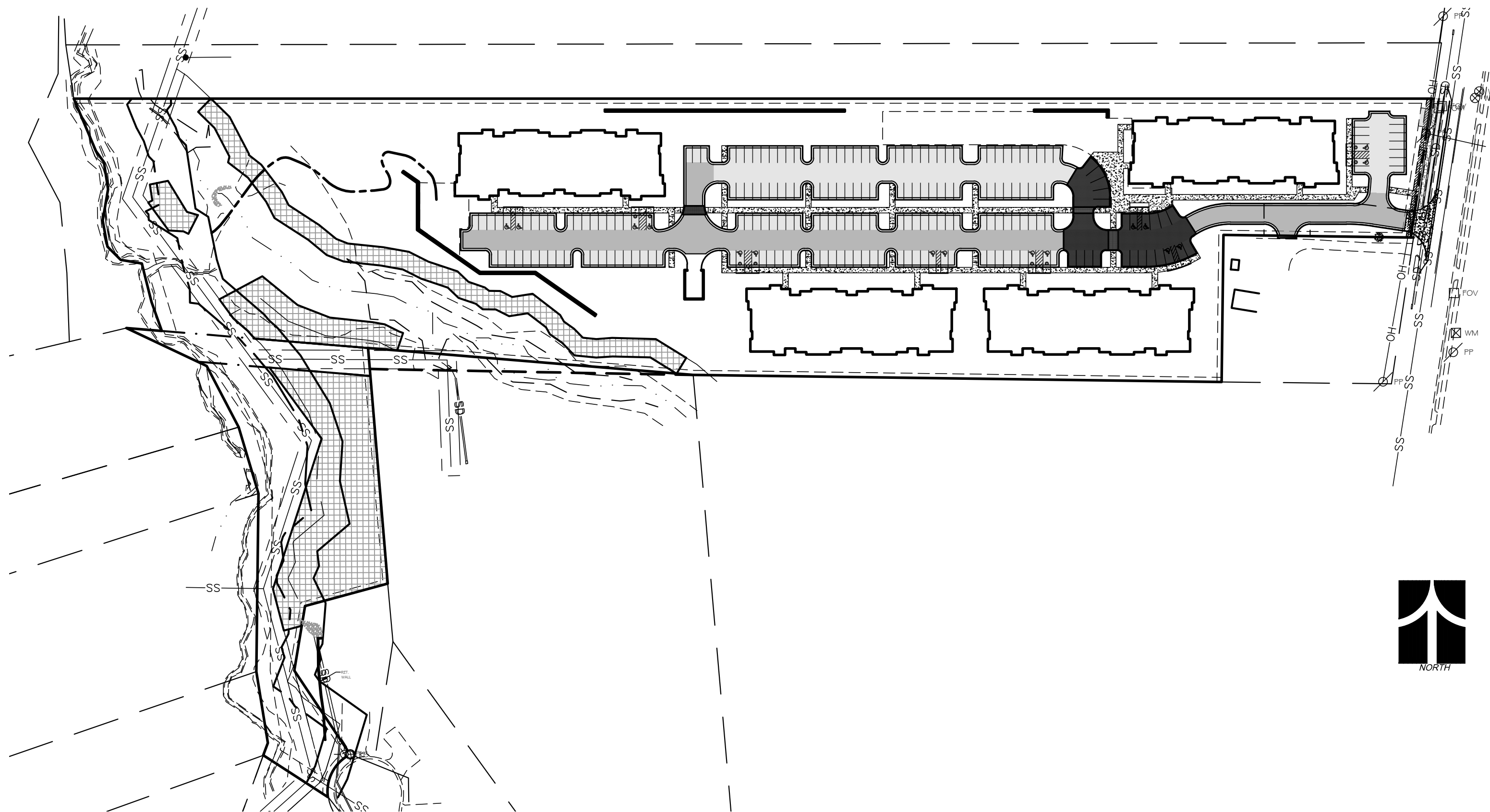
| | |
|---|---|
| AMENITY AREA CALCULATIONS: | REQUIRED 10% TOTAL SITE AFTER ROW DEDICATION - 43,206 SF. (.99 AC.) PROPOSED AMENITY AREA - 0.99 AC. |
| PROPOSED 21,603 SF (50%) OF OUTDOOR AMENITY AREA USABLE TO PEDESTRIAN AND ADA ACCESSIBLE, AS REQUIRED PER C.O.R. UDO SEC. 1.5.3.B.2 OUTDOOR AMENITY AREA. | |

| | |
|--------------------------------|---|
| NCHFA REQUIRED SITE AMENITIES: | MANDATORY: 1. COVERED PICNIC AREA 2. MULTI-PURPOSE ROOM (WITH KITCHENETTE) 3. PLAYGROUND |
| ADDITIONAL: | 1. OUTDOOR SITTING AREAS WITH BENCHES (MIN. 3 LOCATIONS) 2. GAZEBO 3. TOT LOT |

| | |
|-----------------------------|---|
| BLOCK PERIMETER: | REQUIRED 2,500 LF. MAX. - PROPOSED: EXCEPTION PER UDO 8.3.2.A.1.b.ii. |
| CROSS ACCESS: | REQUIRED: N/A |
| PRIMARY STREET DESIGNATION: | CROSS LINK ROAD. |
| PROPOSED ADDRESS: | 919 CROSS LINK ROAD |

ENGINEERING FIRM: ESP ASSOCIATES, INC.
ADDRESS: 2200 GATEWAY CENTRE BLVD, SUITE 216 MORRISVILLE, NC 27560
PHONE: (919) 678-1070
FAX: (919) 677-1252
CONTACT: EMILY ROTHROCK, PLA
DEVELOPER: SOUTH CREEK DEVELOPMENT
ADDRESS: P.O. BOX 543 6704 FEGAN ROAD SUMMERFIELD, NC 27358
PHONE: 336-669-3587
CONTACT: CHARLIE HERITAGE

ARCHITECTURAL FIRM: MARTIN RILEY ASSOCIATES - ARCHITECTS P.C.
ADDRESS: 100 CRESCENT CENTER PARKWAY, SUITE 220 TUCKER, GA, 30084
PHONE: (404)-373-280
CONTACT: MICHAEL LEE
REVIEW AGENCY: CITY OF RALEIGH
ADDRESS: 1 EXCHANGE PLAZA, SUITE 400 RALEIGH, NC 27601
PHONE: (919) 996-2495



PRELIMINARY SITE PLAN (N.T.S)

Z-62-22-CROSS LINK RD - R-6-CU APPROVED ZONING CONDITIONS 04/13/2021

AS PART OF DEVELOPING THE PROPERTY SUBJECT TO THIS CONDITIONAL ZONING, THE DEVELOPER/PROPERTY OWNER SHALL CONSTRUCT A PEDESTRIAN CONNECTION, CONSISTENT WITH CITY OF RALEIGH GREENWAY STANDARDS TO THE EXTENT PRACTICAL, FROM THE INTERNAL PEDESTRIAN NETWORK FOR THE DEVELOPMENT TO THE BOUNDARY OF THE GREENWAY EASEMENT REQUIRED TO BE DEDICATED UNDER UDO SECTION 8.6 (A). DETAILS REGARDING THIS CONNECTION SHALL BE SHOWN ON THE SITE PLAN FOR DEVELOPMENT ALLOWED BY THIS CONDITIONAL ZONING. CONSTRUCTION OF THE CONNECTION SHALL BE COMPLETED PRIOR TO ISSUANCE OF FIFTY PERCENT (50%) OF THE CERTIFICATES OF OCCUPANCY IN THE DEVELOPMENT. IF CONSTRUCTION OF THE CONNECTION IS NOT COMPLETE BY THE TIME SPECIFIED ABOVE, THE DEVELOPER MAY SUBMIT TO THE CITY A PERFORMANCE GUARANTEE FOR COMPLETION OF THE PEDESTRIAN CONNECTION, SAID GUARANTEE TO BE CONSISTENT WITH THE PROCEDURES/REQUIREMENTS OF THE RALEIGH UDO AND OTHER REGULATIONS AS APPLICABLE.

THIS SET IS CURRENT THROUGH SHEET DATE 09/08/2023

Administrative Site Review Application

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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| Site Plan Tier: | Tier Two Site Plan <input type="checkbox"/> | Tier Three Site Plan <input checked="" type="checkbox"/> |
|--|---|--|
| Building and Development Type (Check all that apply) | <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot | |
| Site Transaction History | <input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option | |
| Subdivision case #: | N/A | |
| Scoping/sketch plan case #: | SCOPE-0053-2023 | |
| Certificate of Appropriateness #: | N/A | |
| Board of Adjustment #: | N/A | |
| Zoning Case #: | Z-62-22 | |
| Design Alternate #: | N/A | |

GENERAL INFORMATION

Development name: Cross Link Rd
 Inside City limits? Yes No
 Property address(es): 919 Cross Link Rd, Raleigh, NC 27610

Site P.I.N.(s): 1712058582
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
 Proposed affordable housing project for multi-family apartment building, associated parking areas, outdoor amenity spaces, TCAs, greenway easement dedication, internal trail connection required per zoning conditions on site, stormwater control measure, and required ROW improvements for half section of Cross Link Road along project frontage.

Current Property Owner(s): SANDRA KAHAN
 Company: Fallers Pond, LLC Title: President
 Address: 1424 MARYLAND AVE CHARLOTTE NC 28209-1528
 Phone #: 919 616-8824 Email: kahan.sandy@gmail.com
 Applicant Name (if different from owner. See "who can apply" in instructions): Charlie Heritage
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: South Creek Development, LLC Address: P.O. Box 543 Summerfield, NC 27358

Phone #: (336)669-3587 Email: charlie@southcreekdevelopment.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact: CHARLIE HERITAGE
 Company: South Creek Development, LLC Title: Managing Partner
 Address: P.O. BOX 543, 6704 FEGAN ROAD, SUMMERFIELD, NC 27358
 Phone #: (336)669-3587 Email: charlie@southcreekdevelopment.com
 Applicant Name: (see above) Address: ---
 Company: --- Email: ---

DEVELOPMENT TYPE + SITE DATA TABLE

| SITE DATA | | BUILDING DATA | |
|--|----------------------------|---|---------|
| Zoning district(s) (please provide the acreage of each): | R-6-CU (9.93 AC) | Existing gross floor area (not to be demolished): | N/A |
| Gross site acreage: | 9.93 AC | Existing gross floor area to be demolished: | N/A |
| # of parking spaces proposed: | 215 | New gross floor area: | 176,764 |
| Max # parking permitted (7.1.2.C): | N/A | Total # of gross (to remain and new): | 176,764 |
| Overlay District (if applicable): | N/A | Proposed # of buildings: | 4 |
| Existing use (UDO 6.1.4): | Residential (Single-unit) | Proposed # of stories for each: | 3 |
| Proposed use (UDO 6.1.4): | Residential (Multi-Family) | Proposed # of basement levels (UDO 1.5.7.A.6) 0 | |

| STORMWATER INFORMATION | |
|---|---|
| Imperious Area on Parcel(s): | Imperious Area for Compliance (Includes ROW): |
| Existing (sf) 0 Proposed total (sf) 175,000 | Existing (sf) xxx Proposed total (sf) 175,837 |

| RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS | |
|--|--|
| Total # of dwelling units: 142 | Total # of hotel bedrooms: N/A |
| # of bedroom units: 1br 15 2br 81 3br 46 4br or more | Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No |
| # of lots: 1 | A frequent transit development? <input checked="" type="radio"/> Yes <input type="radio"/> No |

APPLICANT SIGNATURE BLOCK

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Signature: *Charlie Heritage* Date: 9/7/2023
 Printed Name: Charlie Heritage



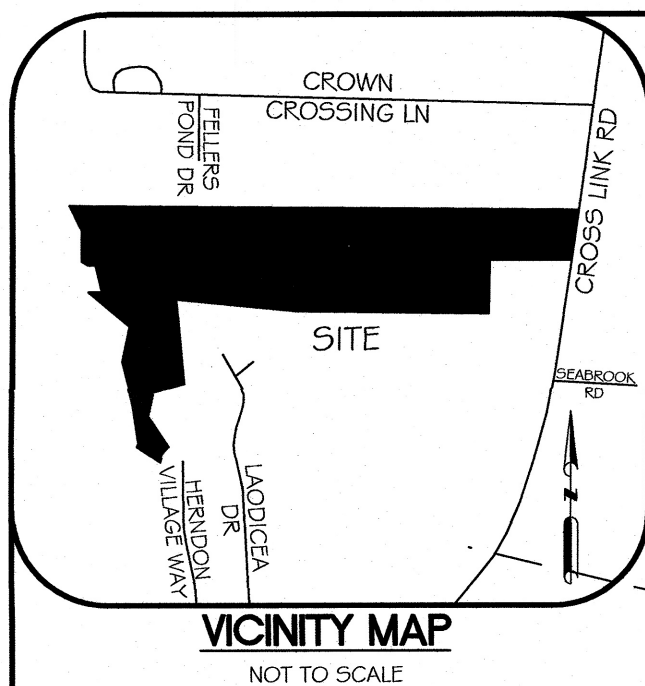
PRELIMINARY
NOT FOR
CONSTRUCTION

| NO. | DATE | REVISION |
|-----|------|----------|
| | | |

CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
SOUTH CREEK DEVELOPMENT
RALEIGH, NORTH CAROLINA

| PROJECT INFORMATION | |
|---------------------|------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C0.0 |





- LEGEND:**
- IPF - IRON PIPE FOUND
 - IRF - IRON ROD FOUND
 - CMF - CONC. MONUMENT FOUND
 - MNF - MASON NAIL FOUND
 - NMF - NAIL FOUND
 - PKF - PK NAIL FOUND
 - RF - REBAR FOUND
 - RS - #5 REBAR SET
 - MNS - MAG NAIL SET
 - MNS - MASON NAIL SET
 - DIST - DISTURBED
 - CP - COMPUTED POINT
 - RW - RIGHT-OF-WAY
 - CONC. - CONCRETE
 - TEV - TELECOM VAULT
 - FOV - FIBER OPTIC VAULT
 - TP - TELECOM PEDESTAL
 - TRF - ELECTRICAL TRANSFORMER
 - ELP - ELECTRICAL PEDESTAL
 - AC - HVAC UNIT
 - LP - LIGHT POLE
 - PP - POWER/UTILITY POLE
 - OW - OVERHEAD UTILITY LINES
 - ICV - IRRIGATION CONTROL VALVE
 - WM - WATER METER
 - FH - FIRE HYDRANT
 - CO - SEWER CLEANOUT
 - SSMH - SANITARY SEWER MANHOLE
 - SS - UNDERGROUND SANITARY SEWER PIPE
 - DI - STORM DROPP INLET
 - CB - STORM CATCH BASIN
 - RCP - REINFORCED CONC. PIPE
 - CPF - CORRUGATED PLASTIC PIPE
 - SD - UNDERGROUND STORM PIPE
 - SW - SIDEWALK
 - SAT - SATELLITE DISH
 - CHL - CHAIN LINK FENCE
 - PVC - POLYVINYL CHLORIDE

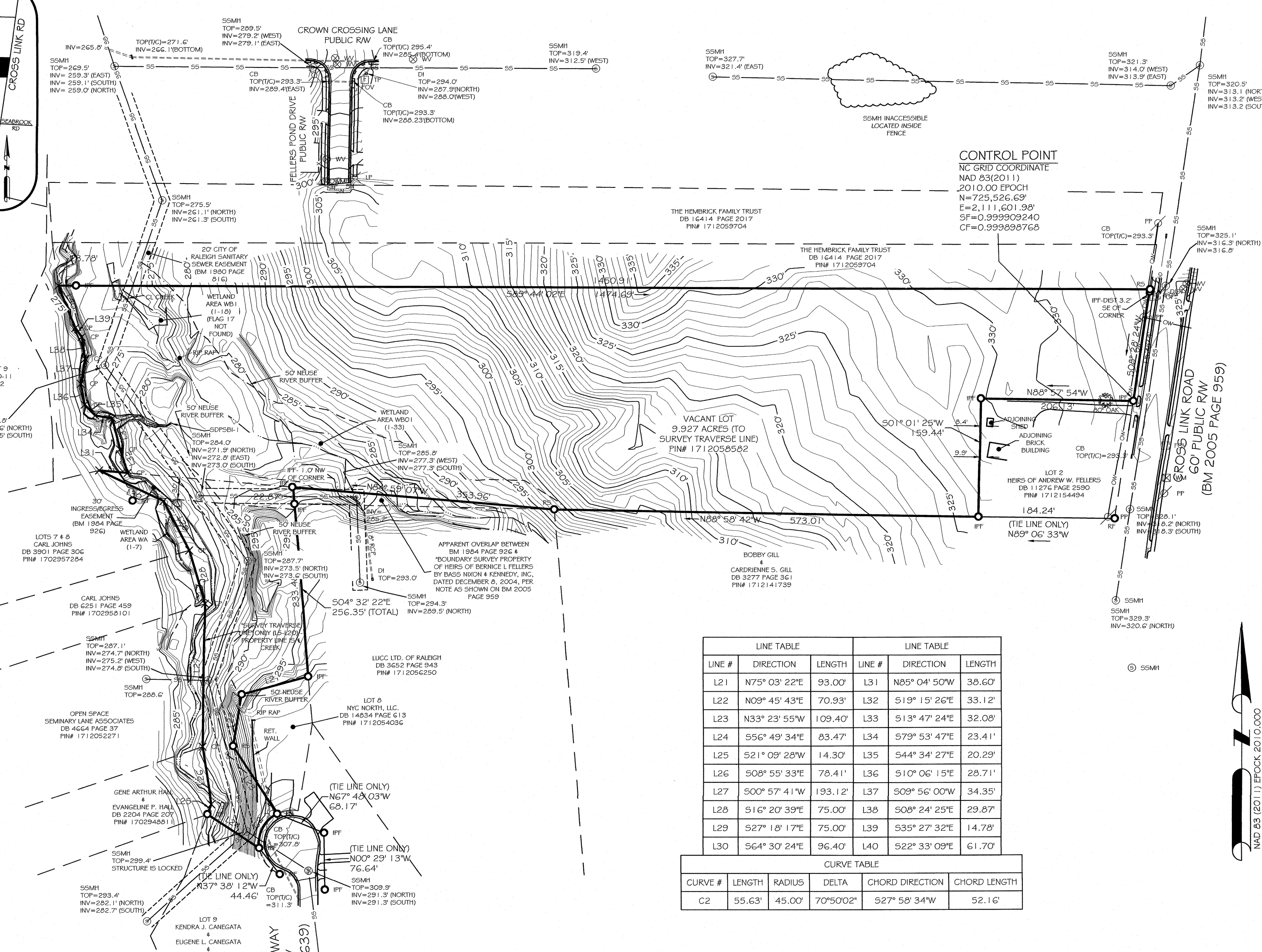
REFERENCES:
DB 12651 PAGE 2503
BM 2005 PAGE 959

- MINIMUM BUILDING SETBACKS:**
ZONING R-6 CU (CITY OF RALEIGH)
ZONING CASE Z-62-2004
PRINCIPAL BUILDING SETBACKS
- FROM PRIMARY STREET - 10'
 - FROM SIDE STREET - 10'
 - FROM SIDE LOT LINE - 5'
 - FROM REAR LOT LINE - 20'

ABOVE SETBACKS TAKEN FROM ARTICLE 2.2.1 OF THE CITY OF RALEIGH UDO.

GENERAL NOTES:

- ALL DISTANCES ARE US SURVEY FEET HORIZONTAL GROUND DISTANCES.
- ALL AREAS ARE COMPUTED BY COORDINATE COMPUTATION METHOD UNLESS OTHERWISE NOTED.
- THE SUBJECT PARCEL IS NOT LOCATED IN THE 1% CHANCE SPECIAL FLOOD HAZARD AREA PER FIRM MAP 3720171200J; HAVING AN EFFECTIVE DATE OF MAY 2, 2006.
- THIS SURVEY WAS PERFORMED AND MAPPED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS SURVEY IS SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- THE SURVEY WAS TIED TO THE NC GEODETIC COORDINATE SYSTEM USING GNSS AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THIS TIE SURVEY:
CLASS OF SURVEY: CLASS A
POSITIONAL ACCURACY: 0.06'
TYPE OF GPS FIELD PROCEDURE: NC REAL TIME KINEMATIC NETWORK
DATE OF SURVEY: SEPTEMBER 13, 2022
DATUM/EPOCH: NAD 83(2011) EPOCH 2010.00
GEOID MODEL: GEOID 12B
COMBINED GRID FACTOR: 0.999898768
UNITS: US SURVEY FEET
- WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC. THE SURVEYOR LOCATED THE FLAGS SET BY SAGE ECOLOGICAL SERVICES, INC. AND DOES NOT CERTIFY TO THE DELINEATION OF THE WETLANDS.
- CONTOURS ARE ACCURATE TO ONE HALF (1/2) CONTOUR INTERVAL FOR 90% OF THE CONTOURS AND ONE (1) CONTOUR INTERVAL FOR THE REMAINING 10% PER U.S. NATIONAL MAP ACCURACY STANDARDS.



CONTROL POINT
NC GRID COORDINATE
NAD 83(2011)
2010.00 EPOCH
N=725,526.69
E=2,111,601.38
SF=0.999898768
CF=0.999898768

| LINE TABLE | | | LINE TABLE | | |
|------------|---------------|---------|------------|---------------|--------|
| LINE # | DIRECTION | LENGTH | LINE # | DIRECTION | LENGTH |
| L21 | N75° 03' 22"E | 93.00' | L31 | N85° 04' 50"W | 38.60' |
| L22 | N09° 45' 43"E | 70.93' | L32 | S19° 15' 26"E | 33.12' |
| L23 | N33° 23' 55"W | 109.40' | L33 | S13° 47' 24"E | 32.08' |
| L24 | S56° 49' 34"E | 83.47' | L34 | S79° 53' 47"E | 23.41' |
| L25 | S21° 09' 28"W | 14.30' | L35 | S44° 34' 27"E | 20.29' |
| L26 | S08° 55' 33"E | 78.41' | L36 | S10° 06' 15"E | 28.71' |
| L27 | S00° 57' 41"W | 193.12' | L37 | S09° 56' 00"W | 34.35' |
| L28 | S16° 20' 39"E | 75.00' | L38 | S08° 24' 25"E | 29.87' |
| L29 | S27° 18' 17"E | 75.00' | L39 | S35° 27' 32"E | 14.78' |
| L30 | S64° 30' 24"E | 96.40' | L40 | S22° 33' 09"E | 61.70' |

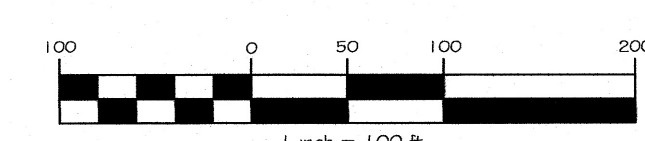
| CURVE TABLE | | | | | |
|-------------|--------|--------|-----------|-----------------|--------------|
| CURVE # | LENGTH | RADIUS | DELTA | CHORD DIRECTION | CHORD LENGTH |
| C2 | 55.63' | 45.00' | 70°50'02" | S27° 58' 34"W | 52.16' |

I, KEVIN C. PIVER, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE HORIZONTAL & VERTICAL POSITIONAL ACCURACY (OBTAINED BY LEAST SQUARES ADJUSTMENT) IS 0.06", AND THAT THE ORIGINAL DATA WAS OBTAINED ON APRIL 8, 2022; THAT THE SURVEY WAS COMPLETED ON DECEMBER 5, 2022; THAT CONTOURS SHOWN AS (BROKEN LINES) MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NAD 83(2011); AND ALL ELEVATIONS ARE BASED ON NAVD 88.

KEVIN C. PIVER, PLS
L-3919 DECEMBER 27, 2022
REGISTRATION NO. DATE

I, KEVIN C. PIVER, PLS, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY UNDER MY SUPERVISION (DB 12651 PAGE 2503 BM 2005 PAGE 959); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED (BY DASHED LINES) AS DRAWN FROM INFORMATION AS SHOWN ON THE FACE OF THE PLAT; THAT THE POSITIONAL ACCURACY IS 0.06"; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 N.C. 600).

KEVIN C. PIVER, PLS
L-3919 DECEMBER 27, 2022
REGISTRATION NO. DATE



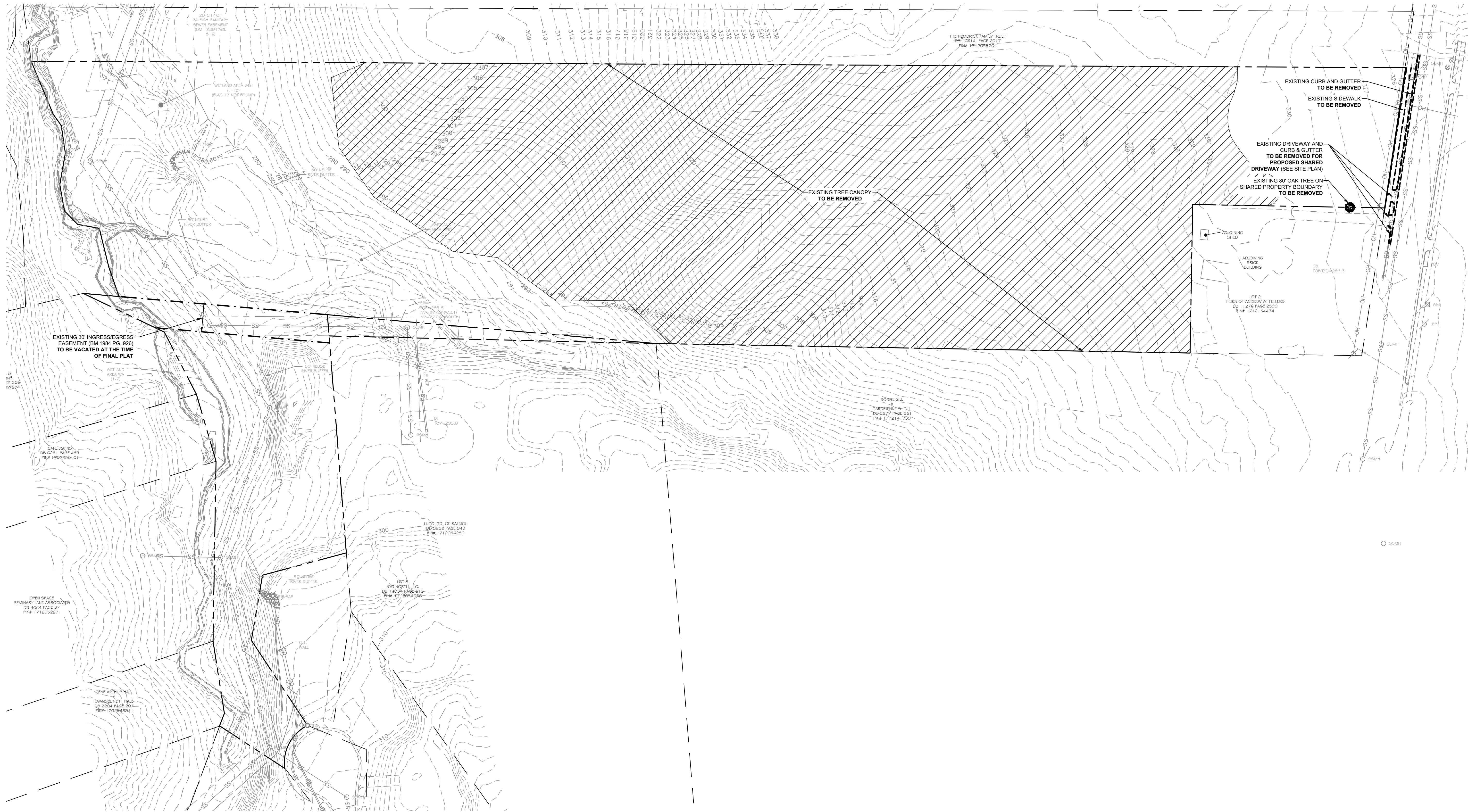
FINAL PLAT OF
919 CROSS LINK ROAD
SURVEY FOR
SOUTHERN PURCHASING GROUP, LLC

OWNER INFORMATION
FELLERS POND, LLC

DB 12651 PG 2503 BM 2005 PG 959

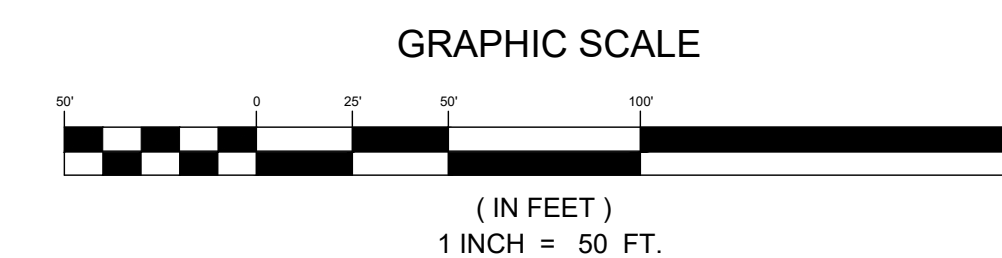
| | |
|-----------------|---------------------|
| TOWNSHIP | ST. MARY'S TOWNSHIP |
| COUNTY & STATE | WAKE COUNTY, NC |
| PIN# | 1712058582 |
| ZONING | R-6 CU |
| DATE OF SURVEY | DEC. 5, 2022 |
| SCALE: | 1" = 100' |
| PROJECT NUMBER: | 2022.065 |
| SURVEYED BY: | BB EAP |
| DRAWN BY: | GLB |
| CHECKED BY: | KCP |
| SHEET NO.: | 2 OF 2 |

8/9/2023 Project: 23-00210 - Cross Link Road Site (South Creek Development)_23-00210(Rev)03-001(0-DEMO).dwg, C1.1, mxd



DEMOLITION NOTES

1. THE PURPOSE OF THIS PLAN IS FOR DEMOLITION ONLY.
2. ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK. CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK.
3. ANY OFF-SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
4. DEMOLITION MATERIALS SHALL NOT BE USED FOR FILL MATERIAL. UNSUITABLE FILL MATERIAL SHALL BE LEGALLY DISPOSED OF OFF-SITE. ALL DEBRIS SHALL BE LEGALLY HAULED OFF-SITE TO A DISPOSAL AREA APPROVED BY THE STATE OF NORTH CAROLINA FOR THE HANDLING OF DEMOLITION DEBRIS.
5. ALL MATERIAL EXCEPT THAT BELONGING TO A PUBLIC OR PRIVATE UTILITY COMPANY SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS WITH LINES AND APPURTENANCES TO BE AFFECTED BY CONSTRUCTION WHEN WATER, GAS, AND ELECTRIC LINES, PIPES, AND APPURTENANCES ARE READY FOR REMOVAL OR ADJUSTMENT AND SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH THE CITY OF RALEIGH, WAKE COUNTY AND UTILITY PROVIDER REQUIREMENTS.
6. ALL STRUCTURES NOT LABELED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT CONDITION OF ALL STRUCTURES TO REMAIN, AND SHALL STORE PHOTOGRAPHS AND DOCUMENTATION. ANY STRUCTURES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST. THE OWNER AND LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF DAMAGE TO ANY EXISTING STRUCTURE.
7. ALL CURB AND GUTTER AND SIDEWALKS NOTED FOR REMOVAL SHALL BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED.
8. ALL ASPHALT CUTS SHALL BE MADE WITH A SAW WHEN PREPARING PAVED SURFACES FOR PATCHING OR WIDENING.
9. CONSTRUCTION ENTRANCE AND SILT FENCE PER THE APPROVED EROSION CONTROL PLANS SHALL BE IN PLACE PRIOR TO DEMOLITION OPERATIONS.
10. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
11. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER, INSTALLATION OPERATIONS SHALL BE PERFORMED AS DESCRIBED IN SITE PLAN, LAYOUT AND PLANTING PLANS.



ESP Associates, Inc.
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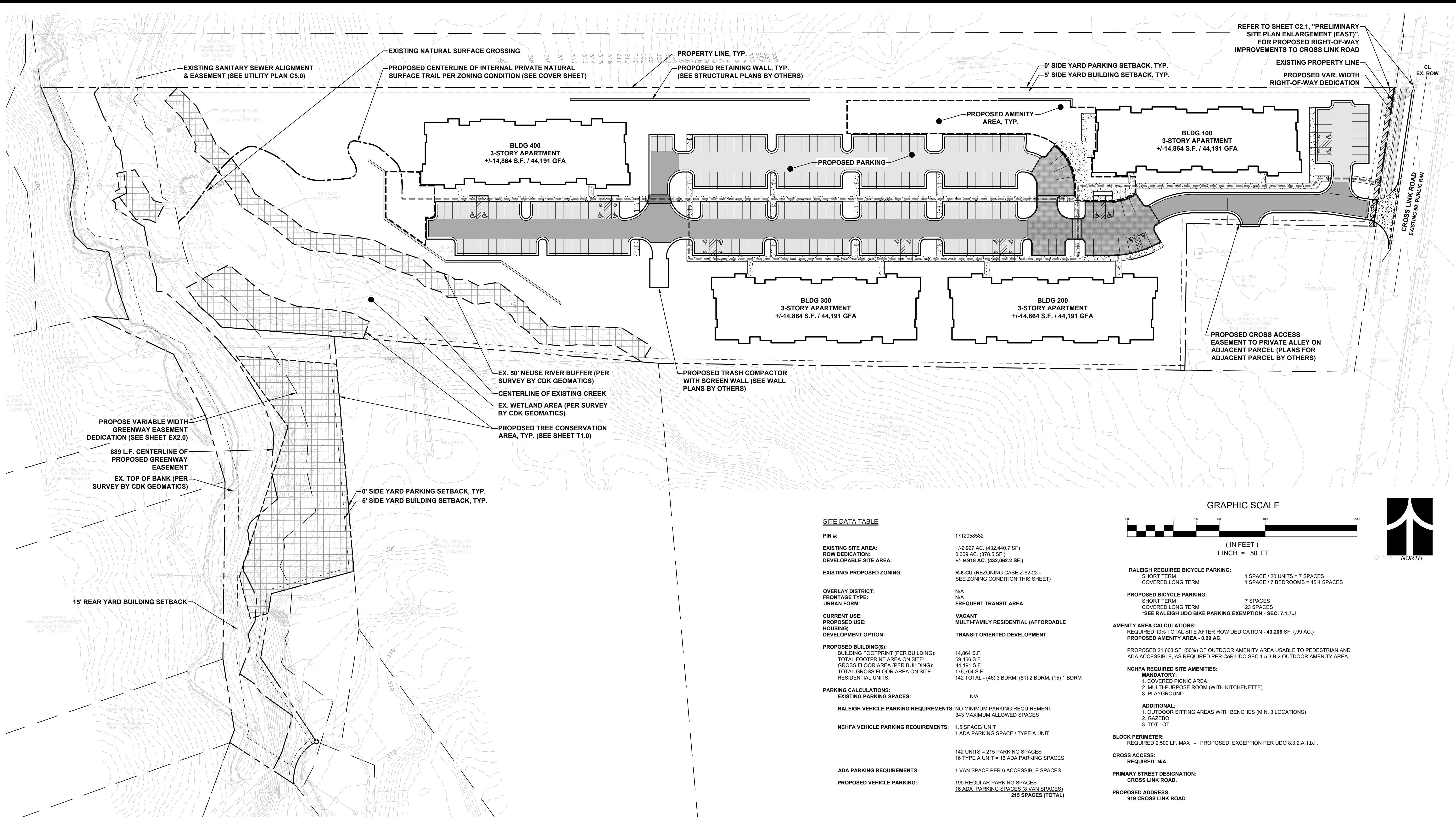
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NOT FOR
CONSTRUCTION

| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
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PROJECT INFORMATION

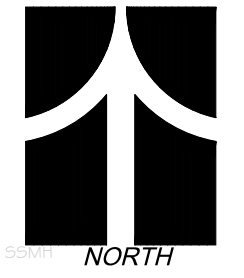
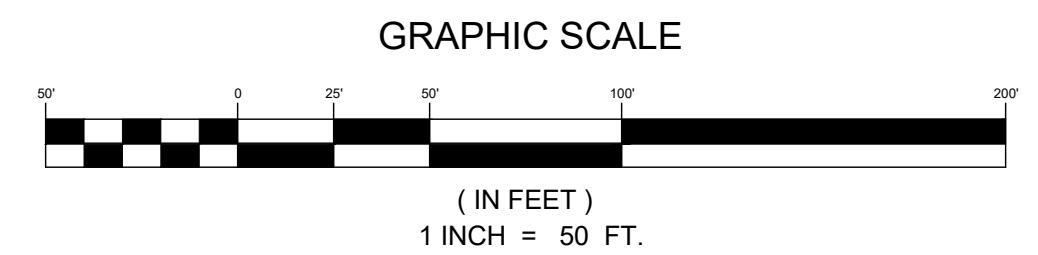
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|------------------|-------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C1.1 |

PRELIMINARY DEMOLITION PLAN
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT



SITE DATA TABLE

| | |
|---------------------------------------|---|
| PIN #: | 1712058582 |
| EXISTING SITE AREA: | +/-9,927 AC. (432,440.7 SF) |
| ROW DEDICATION: | 0.099 AC. (378.5 SF.) |
| DEVELOPABLE SITE AREA: | +/- 9.918 AC. (432,062.2 SF.) |
| EXISTING/ PROPOSED ZONING: | R-6-CU (REZONING CASE Z-62-22 - SEE ZONING CONDITION THIS SHEET) |
| OVERLAY DISTRICT: | N/A |
| FRONTAGE TYPE: | N/A |
| URBAN FORM: | FREQUENT TRANSIT AREA |
| CURRENT USE: | VACANT |
| PROPOSED USE: | MULTI-FAMILY RESIDENTIAL (AFFORDABLE HOUSING) |
| DEVELOPMENT OPTION: | TRANSIT ORIENTED DEVELOPMENT |
| PROPOSED BUILDING(S): | |
| BUILDING FOOTPRINT (PER BUILDING): | 14,864 S.F. |
| TOTAL FOOTPRINT AREA ON SITE: | 59,456 S.F. |
| GROSS FLOOR AREA (PER BUILDING): | 44,191 S.F. |
| TOTAL GROSS FLOOR AREA ON SITE: | 176,764 S.F. |
| RESIDENTIAL UNITS: | 142 TOTAL - (46) 3 BDRM, (81) 2 BDRM, (15) 1 BDRM |
| PARKING CALCULATIONS: | |
| EXISTING PARKING SPACES: | N/A |
| RALEIGH VEHICLE PARKING REQUIREMENTS: | NO MINIMUM PARKING REQUIREMENT 343 MAXIMUM ALLOWED SPACES |
| NCHFA VEHICLE PARKING REQUIREMENTS: | 1.5 SPACE/ UNIT 1 ADA PARKING SPACE / TYPE A UNIT |
| ADA PARKING REQUIREMENTS: | 142 UNITS = 215 PARKING SPACES 16 TYPE A UNIT = 16 ADA PARKING SPACES |
| PROPOSED VEHICLE PARKING: | 1 VAN SPACE PER 6 ACCESSIBLE SPACES 199 REGULAR PARKING SPACES 16 ADA PARKING SPACES (8 VAN SPACES) 215 SPACES (TOTAL) |



- GENERAL NOTES:**
- CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
 - PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS.
 - THIS PLAN IS DERIVED FROM INFORMATION GATHERED BY AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE BETWEEN JANUARY 10, 2022 AND AUGUST 29, 2022.
 - HORIZONTAL DATUM USED FOR THIS PROJECT IS NAD 83/2011 (US SURVEY FEET). VERTICAL DATUM USED FOR THIS PROJECT IS NAVD 88.
 - BOUNDARY INFORMATION PER DEEDS AND PLATS OF THE WAKE COUNTY REGISTRY AS SHOWN.
 - THE GROUND CONTROL COORDINATES ARE LOCALIZED COORDINATES BASED ON STATE PLANE COORDINATES FOR ESP "VRS SPIKE" HAVING THE FOLLOWING NAD 83/2011 (GEOID 128) COORDINATE VALUES: NORTHING: 727,311.6439' EASTING: 2,121,743.3491' ELEVATION: 292.06' (NAVD 88).
 - PROJECT COMBINED GRID FACTOR USED IS 0.9999018808 (GROUND TO GRID).
 - UNLESS OTHERWISE NOTED ALL COORDINATES SHOWN ARE GROUND COORDINATES.
 - ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS OTHERWISE NOTED.
 - ALL AREAS COMPUTED BY COORDINATE COMPUTATION METHOD.
 - THE PROJECT CONTROL WAS ESTABLISHED BY ESP ASSOCIATES, INC. USING THE NCGS VRS SYSTEM.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, AND IS SUBJECT TO ALL FACTS AND EASEMENTS WHICH MAY BE DISCLOSED WITHIN AN ACCURATE AND COMPLETE TITLE REPORT.
 - THE PROJECT SITE IS NOT LOCATED IN A FLOOD ZONE, REFER TO DFIRM MAP NUMBER 372017200K, WITH A DATE OF 07/19/2022.

- SITE NOTES**
- ALL RADII DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
 - SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURB.
 - MINIMUM CROSS SLOPE ON ALL ASPHALT TO BE 1/4" PER FOOT.
 - MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 0.50%, UNLESS SPILL CURB IS INDICATED.
 - ALL HANDICAP ACCESS RAMPS SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
 - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
 - NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES, STORM DRAINAGE EASEMENTS (SDE) AND SANITARY SEWER EASEMENTS.
 - ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3600 PSI STRENGTH AT 28 DAYS.
 - LIGHTING PLAN TO BE DESIGNED BY OTHERS.
 - SIGNAGE & ENTRY MONUMENTS PLAN TO BE DESIGNED AND PERMITTED BY OTHERS.
 - ANY AND ALL FENCES MUST BE OUTSIDE OF EASEMENTS.
 - ALL SIDEWALKS SHALL HAVE A MAX. CROSS-SLOPE OF 2%.
 - MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM POINT OF TANGENCY.
 - PLAN SHOWN FOR DIMENSIONAL AND MATERIAL PURPOSES ONLY.

- RALEIGH REQUIRED BICYCLE PARKING:**
- SHORT TERM: 1 SPACE / 20 UNITS = 7 SPACES
 - COVERED LONG TERM: 1 SPACE / 7 BEDROOMS = 45.4 SPACES
- PROPOSED BICYCLE PARKING:**
- SHORT TERM: 7 SPACES
 - COVERED LONG TERM: 23 SPACES
 - *SEE RALEIGH UDO BIKE PARKING EXEMPTION - SEC. 7.1.7.J
- AMENITY AREA CALCULATIONS:**
- REQUIRED 10% TOTAL SITE AFTER ROW DEDICATION - 43,206 SF. (.09 AC.)
 - PROPOSED AMENITY AREA - 0.99 AC.
 - PROPOSED 21,603 SF. (50%) OF OUTDOOR AMENITY AREA USABLE TO PEDESTRIAN AND ADA ACCESSIBLE, AS REQUIRED PER CoR UDO SEC.1.5.3.B.2 OUTDOOR AMENITY AREA.
- NCHFA REQUIRED SITE AMENITIES:**
- MANDATORY:**
- COVERED PICNIC AREA
 - MULTI-PURPOSE ROOM (WITH KITCHENETTE)
 - PLAYGROUND
- ADDITIONAL:**
- OUTDOOR SITTING AREAS WITH BENCHES (MIN. 3 LOCATIONS)
 - GAZEBO
 - TOT LOT
- BLOCK PERIMETER:**
- REQUIRED 2,500 LF. MAX - PROPOSED: EXCEPTION PER UDO 8.3.2.A.1.b.ii.
- CROSS ACCESS:**
- REQUIRED: N/A
- PRIMARY STREET DESIGNATION:**
- CROSS LINK ROAD.
- PROPOSED ADDRESS:**
- 919 CROSS LINK ROAD

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| NO. | DATE | REVISION |
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PRELIMINARY SITE PLAN (OVERALL)

CROSS LINK RD (AFFORDABLE HOUSING)

ADMINISTRATIVE SITE REVIEW PLANS

RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

PROJECT INFORMATION

| | |
|------------------|------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C2.0 |

811
Know what's below.
Call before you dig.

THE HEMBRICK FAMILY TRUST
DB 16414 PAGE 2017
PIN# 1712059704

PROPERTY LINE, TYP.

PROPOSED RETAINING WALL, TYP. (SEE GRADING PLAN THIS SET)

0' SIDE YARD PARKING SETBACK
5' SIDE YARD BUILDING SETBACK

PROPOSED 2.5' WIDE CURB & GUTTER, TYP.
PROPOSED ASPHALT PARKING AREA, TYP.
PROPOSED 6' WIDE CONCRETE SIDEWALK, TYP.

VARIABLE WIDTH ROW DEDICATION (AT TIME OF FINAL PLAT)
PROPOSED 5' WIDE UTILITY PLACEMENT EASEMENT
PROPOSED 10' X 20' TRANSIT EASEMENT

PROPOSED PLAZA & PLAYGROUND AMENITY
AREA (PER OWNER AND NCHFA REQUIREMENTS)

BLDG 100
3-STORY APARTMENT
+/-14,864 S.F. / 44,191 GFA

PROPOSED PARKING STRIPE, TYP.
PROPOSED 2.5' WIDE STANDARD CITY
OF RALEIGH CURB & GUTTER, TYP.

30' CL TO EXISTING
ROW LINE
33' CL TO
PROPOSED
ROW
PROPOSED
11'
TRAVEL
LANE
13.5' CL
TO
PROPOSED
BOC

PROPOSED 2.5' WIDE
STANDARD C.O.R.
CURB & GUTTER
PROPOSED 6' WIDE
PLANTING STRIP
PROPOSED 5' WIDE
ASPHALT BIKE LANE
PROPOSED 1.5' WIDE
CONCRETE BAND
PROPOSED 6' WIDE
CONCRETE SIDEWALK
PROPOSED 1.5' WIDE
MAINTENANCE STRIP
28'R FOC

PROPOSED VEHICULAR GRADE
ASPHALT PARKING AREA, TYP.
PROPOSED HEAVY DUTY VEHICULAR
GRADE ASPHALT DRIVE AISLE, TYP.

PROPOSED 6' WIDE CONCRETE
PEDESTRIAN SIDEWALK & CITY OF
RALEIGH STANDARD RAMP, TYP.

PROPOSED ADA PARKING SPACE &
ASSOCIATED STRIPING/MARKINGS,
TYP. ("V" DESIGNATES VAN SPACE)

PROPOSED HEAVY DUTY VEHICULAR
GRADE PAVER DRIVE AISLE, TYP.

PEDESTRIAN ACCESS TO
PUBLIC WAY, TYP.

0' SIDE YARD PARKING SETBACK
5' SIDE YARD BUILDING SETBACK

PROPOSED CROSS ACCESS EASEMENT TO
PRIVATE ALLEY ON ADJACENT PROPERTY
(ADJACENT PROPERTY BY OTHERS)

ADJOINING
SHED

PROPOSED 6' WIDE CONCRETE
PEDESTRIAN SIDEWALK & CITY OF
RALEIGH STANDARD RAMP, TYP.

ADJOINING
BRICK
BUILDING

CB
TOP(T/C)=293.3'

LOT 2
HEIRS OF ANDREW W. FELLERS
DB 11276 PAGE 2590
PIN# 1712154494

BLDG 200
3-STORY APARTMENT
+/-14,864 S.F. / 44,191 GFA

5' SIDE YARD BUILDING SETBACK
0' SIDE YARD PARKING SETBACK

5' SIDE YARD BUILDING SETBACK
0' SIDE YARD PARKING SETBACK

CROSS LINK ROAD
EXISTING FOR PUBLIC RW

MATCHLINE - SEE SHEET C2.2

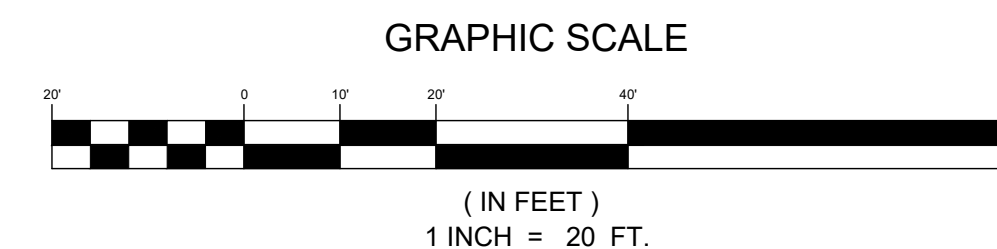
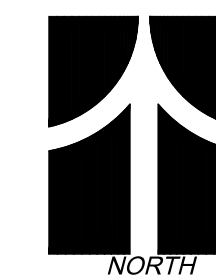


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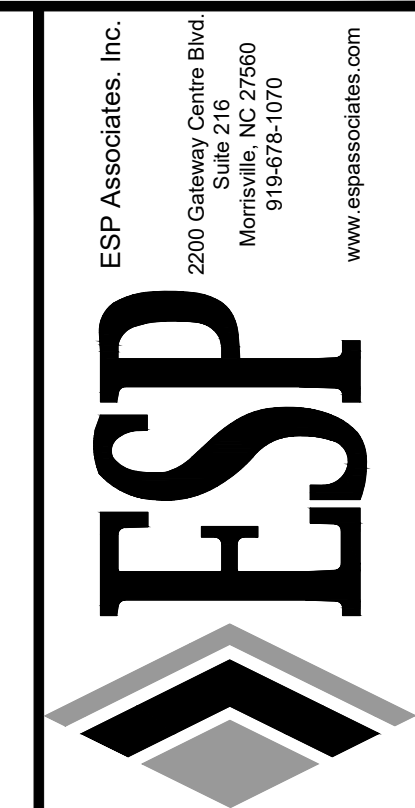
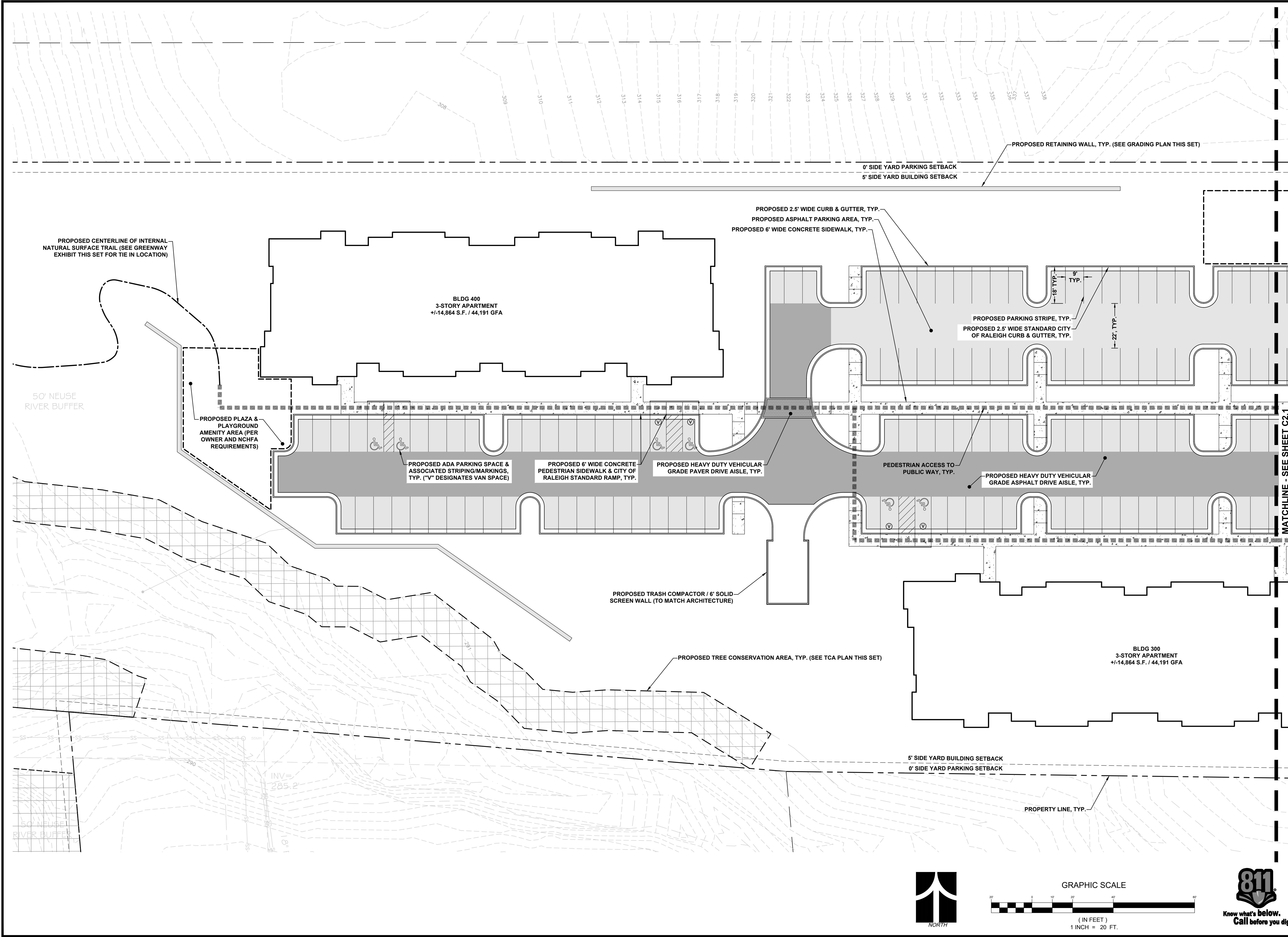
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PRELIMINARY SITE PLAN ENLARGEMENT
(EAST)
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C2.1 |



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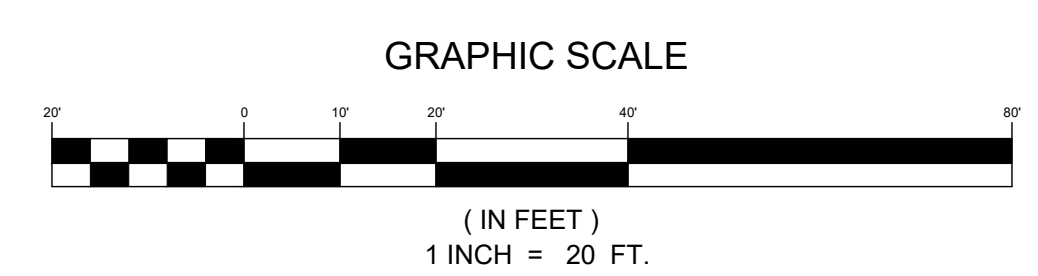
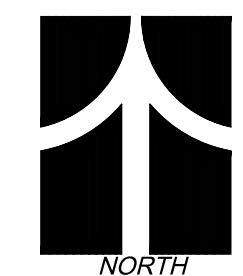


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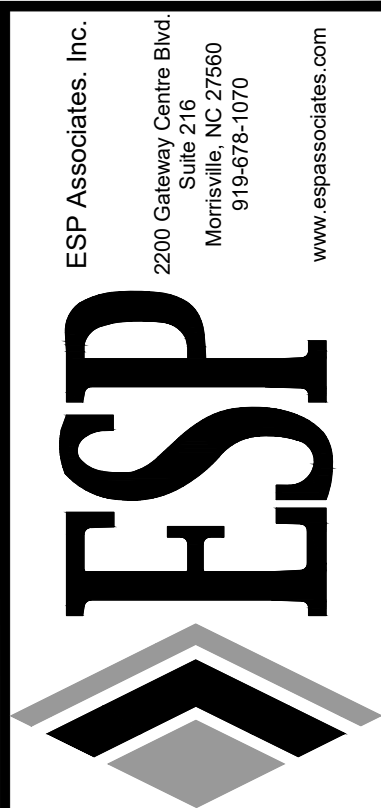
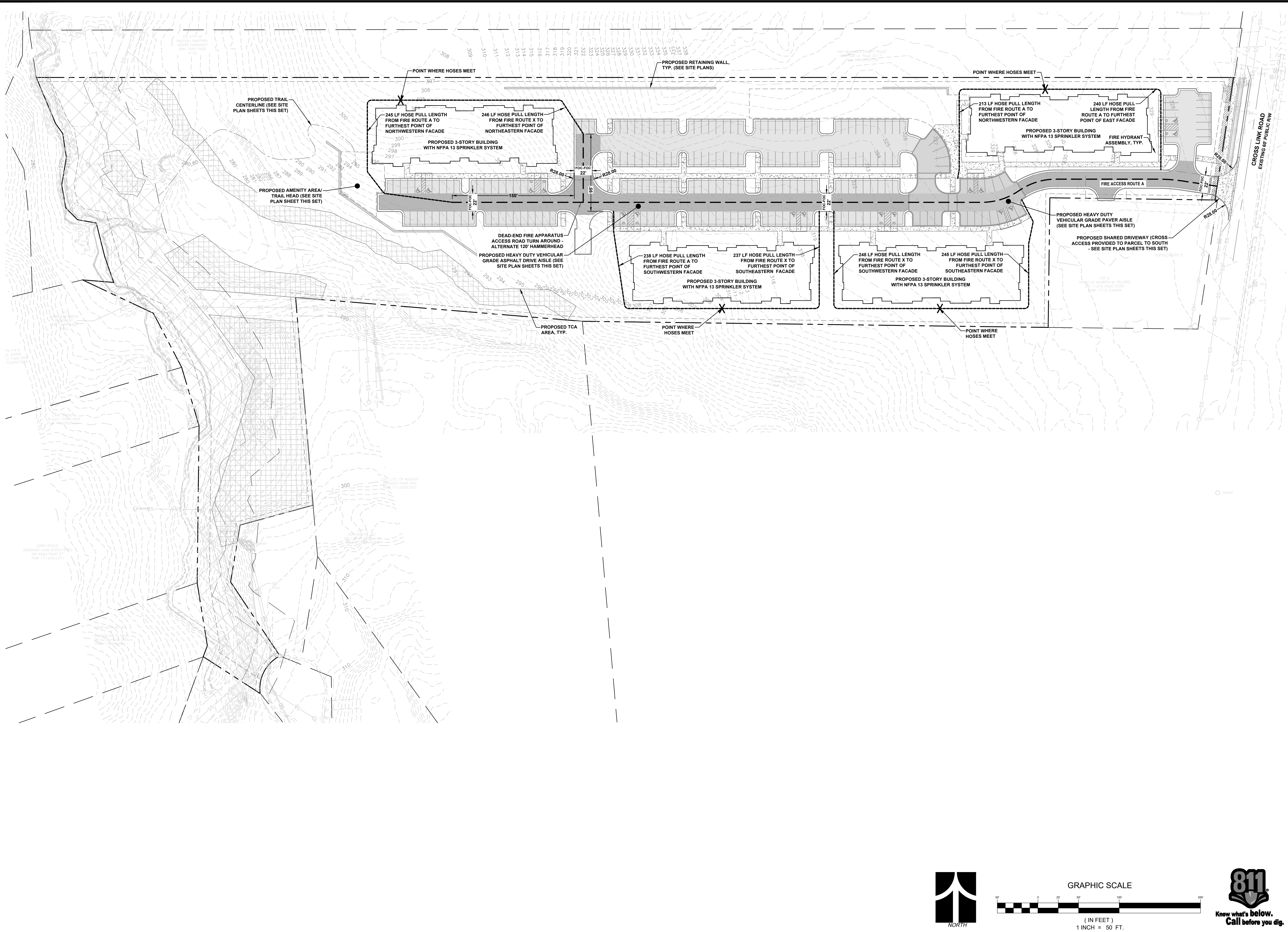
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**PRELIMINARY SITE PLAN ENLARGEMENT
(WEST)**
**CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS**
RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|-------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C2.2 |



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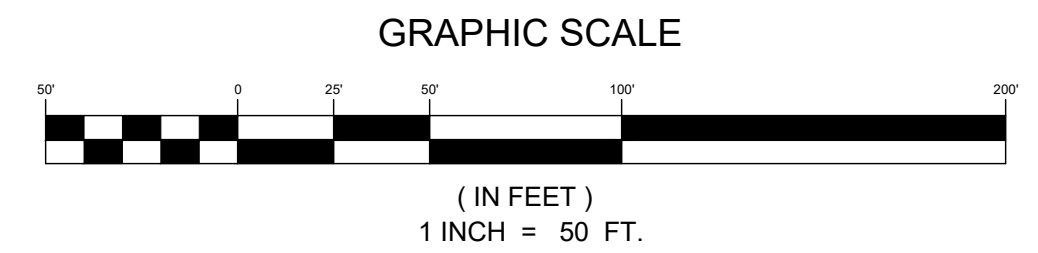
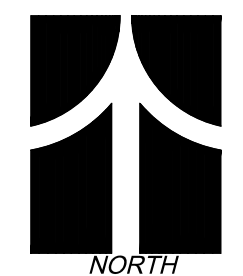


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CONSTRUCTION**

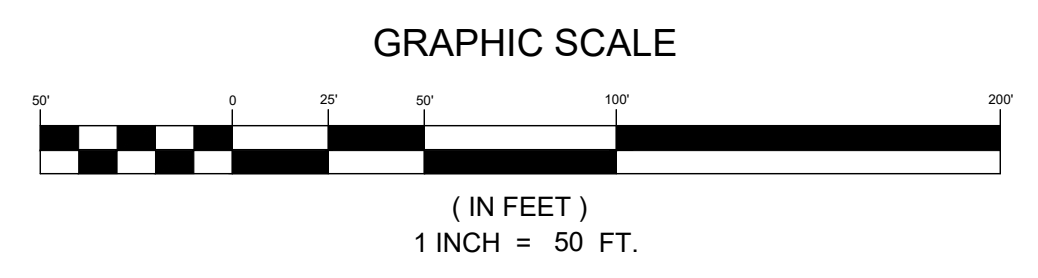
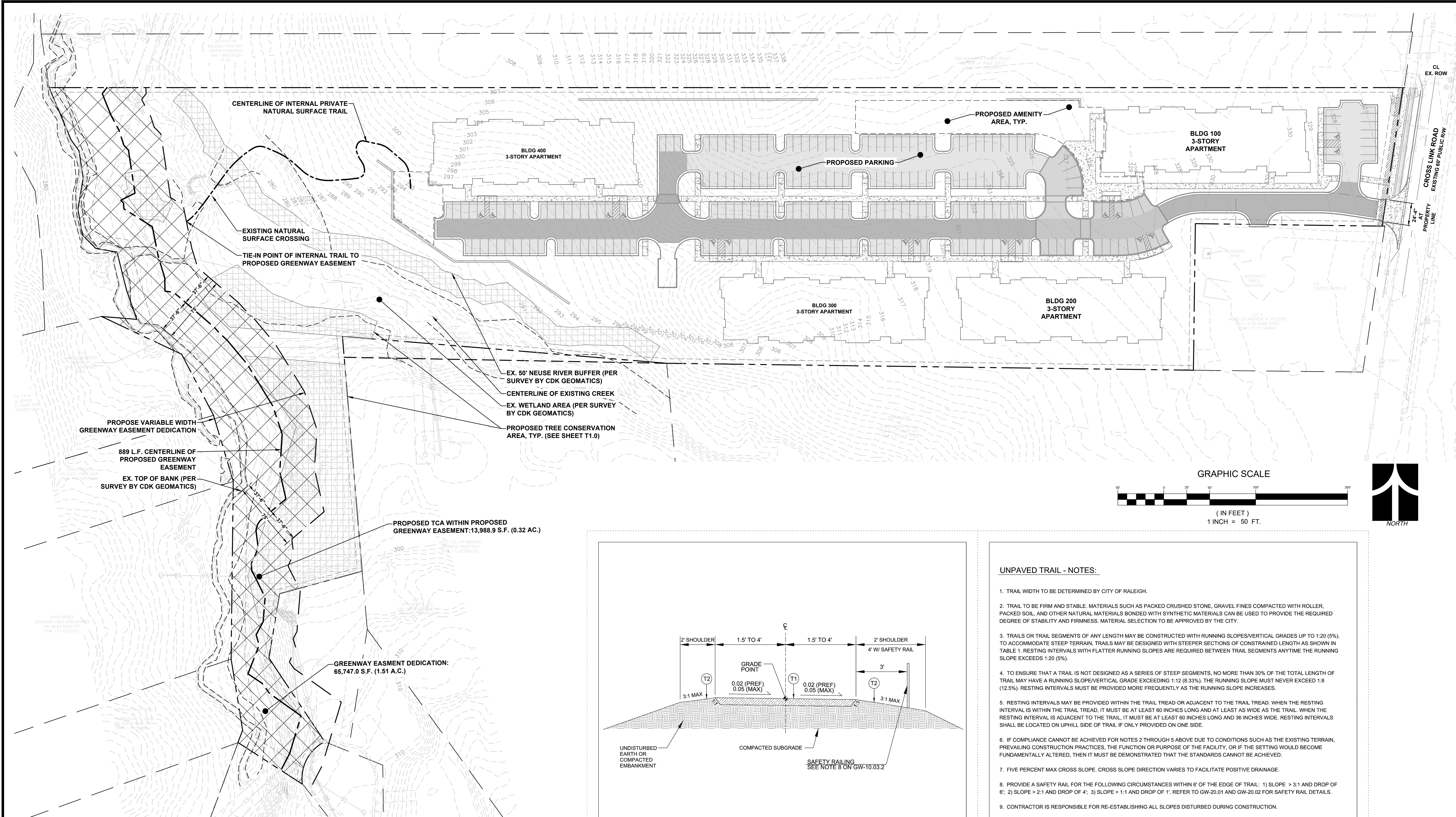
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FIRE ACCESS EXHIBIT
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
SOUTH CREEK DEVELOPMENT
RALEIGH, NORTH CAROLINA

| PROJECT INFORMATION | |
|---------------------|--------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | EFB |
| DRAWN BY: | EFB |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | EX1.0 |

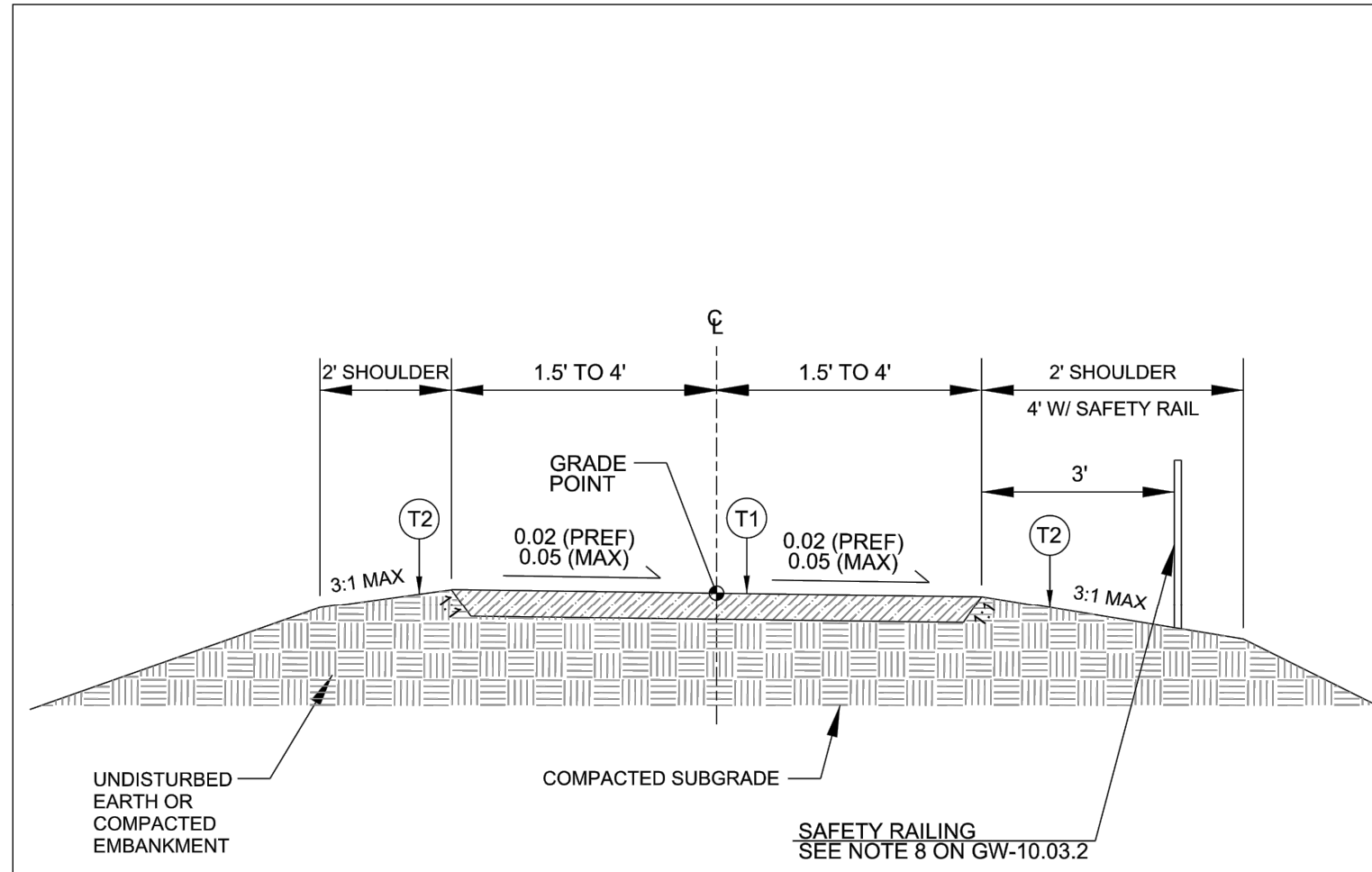


ESP Associates, Inc.
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919-678-1070
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GREENWAY CALCULATIONS:
 TOTAL EASEMENT DEDICATION: 65,747.0 S.F. (1.51 AC.) OF PROP. EASEMENT.
 CENTERLINE OF EASEMENT: 889.5 L.F.
 GREENWAY TRAIL CONSTRUCTION AREA ALLOWANCE (L X W) = 888.5' X 25' = 22,212.5 S.F. (0.51 AC.)

PROPOSED TCA WITHIN PROPOSED GREENWAY EASEMENT:
 PRIMARY TCA: 5,877.5 S.F. (0.13 AC.)
 SECONDARY TCA: 8,331.4 S.F. (0.19 AC.)
 TOTAL PROPOSED TCA: 13,888.9 S.F. (0.32 AC.)



UNPAVED TRAIL

| PAVEMENT SCHEDULE | |
|-------------------|--|
| T1 | 3" COMPACTED MATERIAL (SEE NOTE 2 ON GW-10.03.2) |
| T2 | EARTH MATERIAL |

| CITY OF RALEIGH STANDARD DETAIL | | |
|---------------------------------|----------|-------------------|
| REVISIONS | DATE | NOT TO SCALE |
| | 12/20/22 | |
| | | UNPAVED TRAIL |
| | | GW-10.03.1 |

- UNPAVED TRAIL - NOTES:**
- TRAIL WIDTH TO BE DETERMINED BY CITY OF RALEIGH.
 - TRAIL TO BE FIRM AND STABLE. MATERIALS SUCH AS PACKED CRUSHED STONE, GRAVEL FINES COMPACTED WITH ROLLER, PACKED SOIL, AND OTHER NATURAL MATERIALS BONDED WITH SYNTHETIC MATERIALS CAN BE USED TO PROVIDE THE REQUIRED DEGREE OF STABILITY AND FIRMFNESS. MATERIAL SELECTION TO BE APPROVED BY THE CITY.
 - TRAILS OR TRAIL SEGMENTS OF ANY LENGTH MAY BE CONSTRUCTED WITH RUNNING SLOPES/VERTICAL GRADES UP TO 1:20 (5%), TO ACCOMMODATE STEEP TERRAIN. TRAILS MAY BE DESIGNED WITH STEEPER SECTIONS OF CONSTRAINED LENGTH AS SHOWN IN TABLE 1. RESTING INTERVALS WITH FLATTER RUNNING SLOPES ARE REQUIRED BETWEEN TRAIL SEGMENTS ANYTIME THE RUNNING SLOPE EXCEEDS 1:20 (5%).
 - TO ENSURE THAT A TRAIL IS NOT DESIGNED AS A SERIES OF STEEP SEGMENTS, NO MORE THAN 30% OF THE TOTAL LENGTH OF TRAIL MAY HAVE A RUNNING SLOPE/VERTICAL GRADE EXCEEDING 1:12 (8.33%). THE RUNNING SLOPE MUST NEVER EXCEED 1:8 (12.5%). RESTING INTERVALS MUST BE PROVIDED MORE FREQUENTLY AS THE RUNNING SLOPE INCREASES.
 - RESTING INTERVALS MAY BE PROVIDED WITHIN THE TRAIL TREAD OR ADJACENT TO THE TRAIL TREAD. WHEN THE RESTING INTERVAL IS WITHIN THE TRAIL TREAD, IT MUST BE AT LEAST 60 INCHES LONG AND AT LEAST AS WIDE AS THE TRAIL. WHEN THE RESTING INTERVAL IS ADJACENT TO THE TRAIL, IT MUST BE AT LEAST 60 INCHES LONG AND 36 INCHES WIDE. RESTING INTERVALS SHALL BE LOCATED ON UPHILL SIDE OF TRAIL IF ONLY PROVIDED ON ONE SIDE.
 - IF COMPLIANCE CANNOT BE ACHIEVED FOR NOTES 2 THROUGH 5 ABOVE DUE TO CONDITIONS SUCH AS THE EXISTING TERRAIN, PREVAILING CONSTRUCTION PRACTICES, THE FUNCTION OR PURPOSE OF THE FACILITY, OR IF THE SETTING WOULD BECOME FUNDAMENTALLY ALTERED, THEN IT MUST BE DEMONSTRATED THAT THE STANDARDS CANNOT BE ACHIEVED.
 - FIVE PERCENT MAX CROSS SLOPE. CROSS SLOPE DIRECTION VARIES TO FACILITATE POSITIVE DRAINAGE.
 - PROVIDE A SAFETY RAIL FOR THE FOLLOWING CIRCUMSTANCES WITHIN 6' OF THE EDGE OF TRAIL: 1) SLOPE > 3:1 AND DROP OF 6'; 2) SLOPE > 2:1 AND DROP OF 4'; 3) SLOPE > 1:1 AND DROP OF 1'. REFER TO GW-20.01 AND GW-20.02 FOR SAFETY RAIL DETAILS.
 - CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED DURING CONSTRUCTION.
 - NO ABOVE-GROUND UTILITIES OR UTILITY SURFACE COVERS/PLATES/MANHOLES SHALL BE LOCATED WITHIN THE TRAIL AND SHALL BE A MINIMUM OF 2' FROM THE EDGE OF TRAIL. RAISED MANHOLES SHALL BE A MINIMUM OF 4' FROM THE EDGE OF TRAIL.

TABLE 1 - MAXIMUM RUNNING SLOPE AND TRAIL SEGMENT LENGTH

| RUNNING SLOPE | | |
|---------------|----------------------|-----------------------|
| STEEPER THAN | BUT NOT STEEPER THAN | MAX LENGTH OF SEGMENT |
| 1:20 (5%) | 1:12 (8.33%) | 200 FT |
| 1:12 (8.33%) | 1:10 (10%) | 30 FT |
| 1:10 (10%) | 1:8 (12.5%) | 10 FT |

CITY OF RALEIGH STANDARD DETAIL

| REVISIONS | DATE | NOT TO SCALE |
|-----------|----------|-------------------|
| | 12/20/22 | |
| | | UNPAVED TRAIL |
| | | GW-10.03.2 |



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GREENWAY EXHIBIT

CROSS LINK RD (AFFORDABLE HOUSING)
 ADMINISTRATIVE SITE REVIEW PLANS

RALEIGH, NORTH CAROLINA
 SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|--------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | EX2.0 |

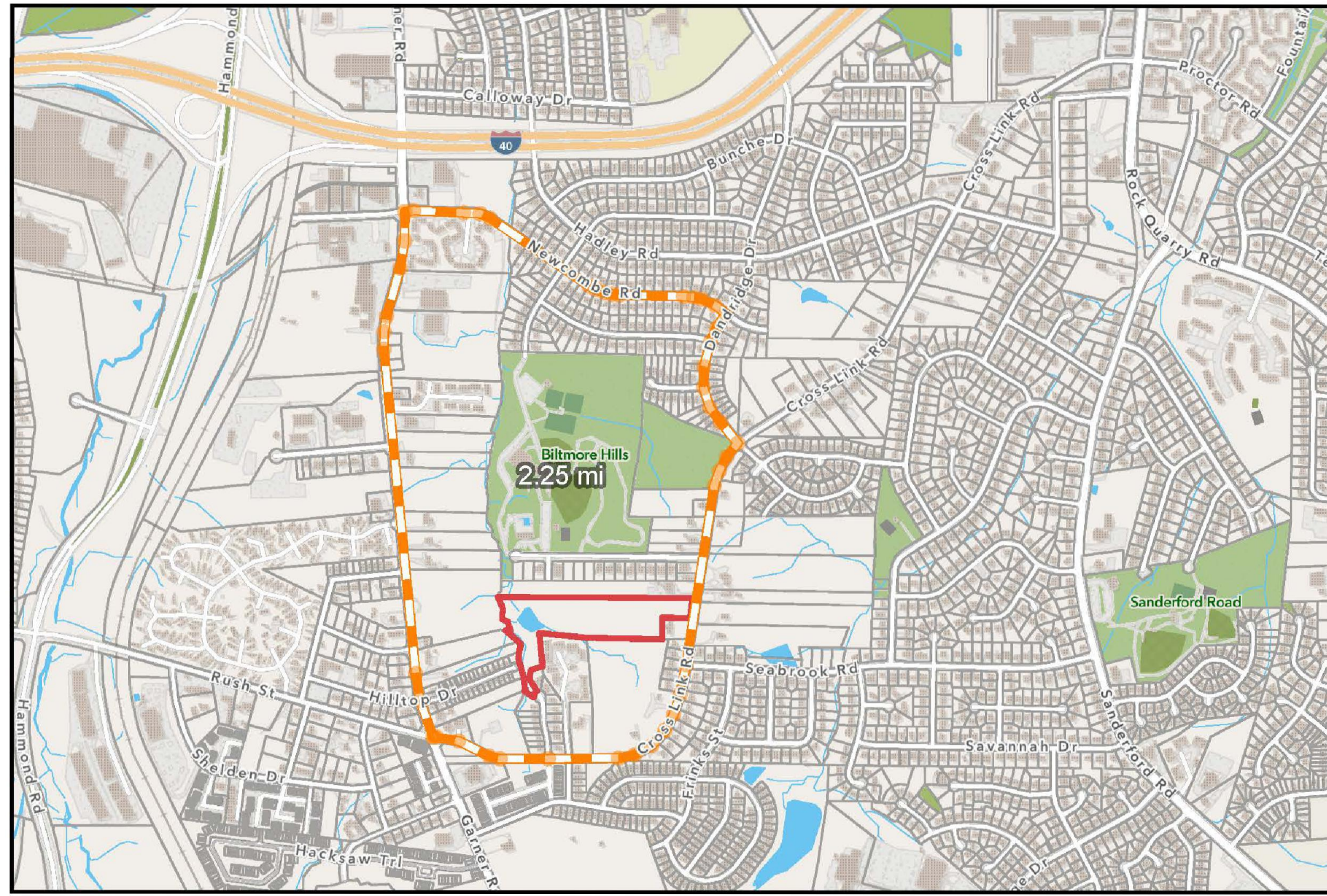


DIAGRAM 1: EXISTING BLOCK
 DIAGRAM OBTAINED PER CITY OF RALEIGH GIS

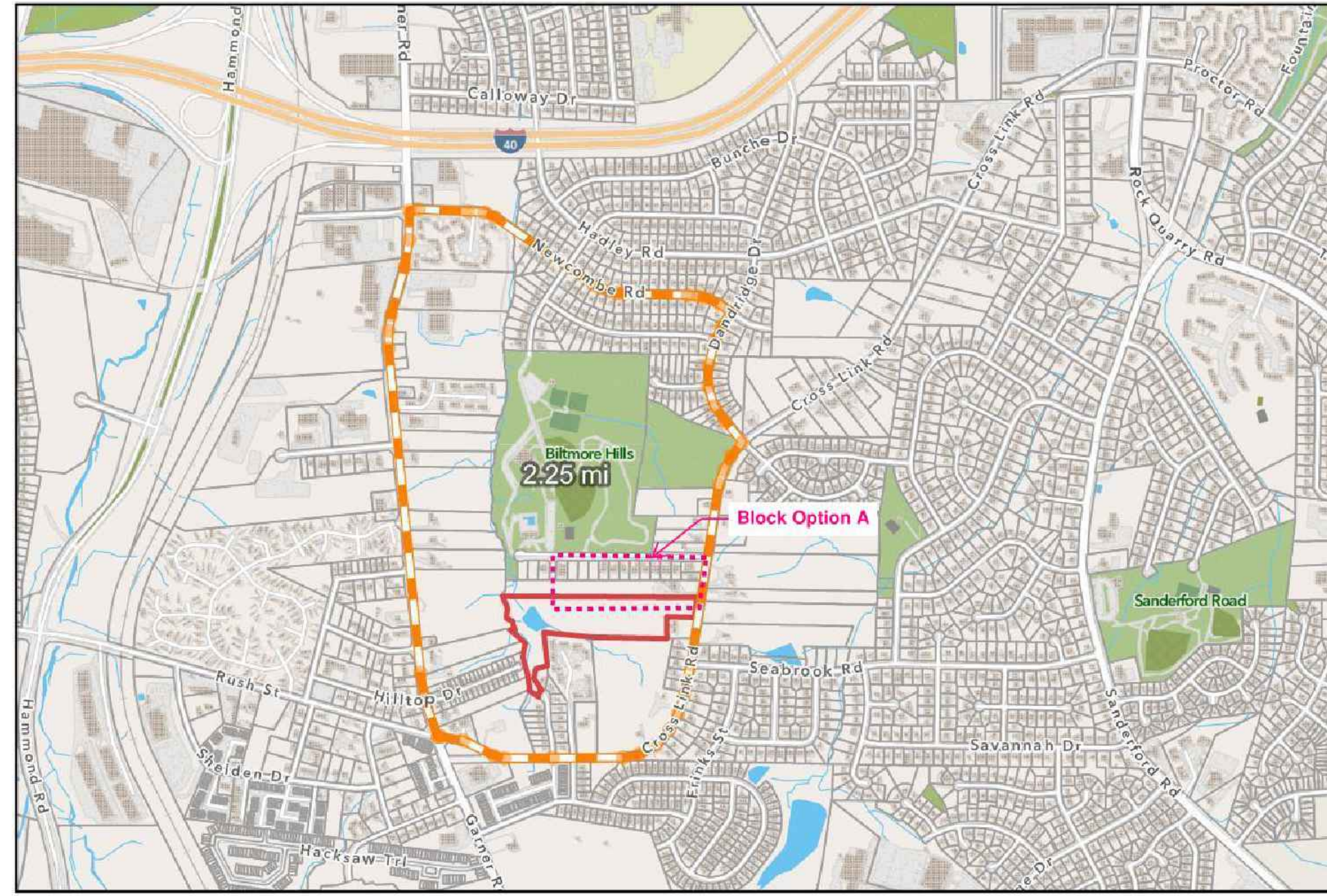


DIAGRAM 2: BLOCK OPTION A
 DIAGRAM OBTAINED PER CITY OF RALEIGH GIS

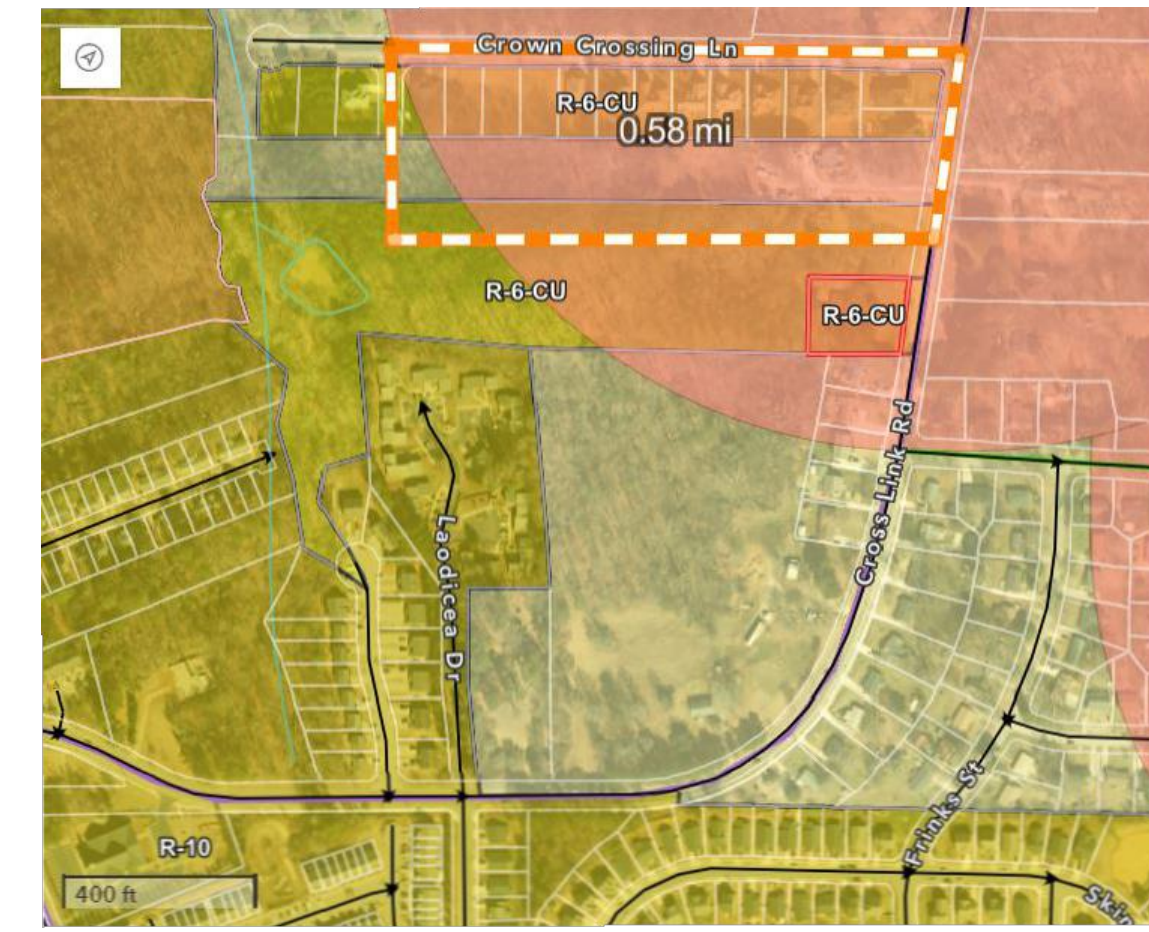


DIAGRAM 3: BLOCK OPTION A, ENLARGEMENT
 DIAGRAM OBTAINED PER CITY OF RALEIGH GIS

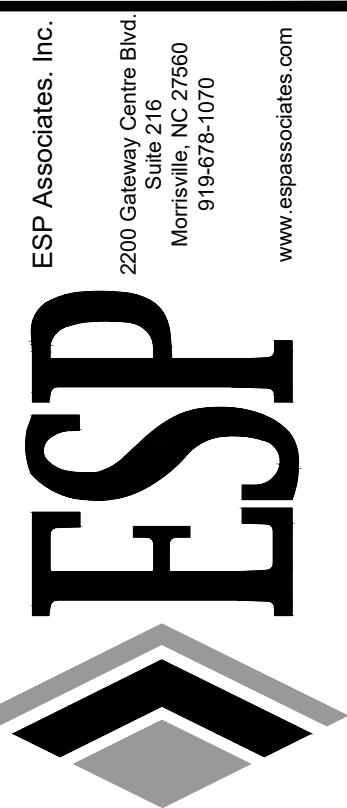
BLOCK PERIMETER EXEMPTION CALCS:

SITE AREA 9.93 A.C. / 434,420 S.F.
 EXISTING BLOCK ± 2.25 MILES / ± 11,800 L.F. (SEE DIAGRAM 1: EXISTING BLOCK)
 REQUIRED BLOCK MAXIMUM FOR R-6 ZONING FOR 40,000+ S.F. SITE AREA = 8000 L.F.
 BLOCKY STUB STREET OPTION A (SEE DIAGRAM 2: BLOCK OPTION A)

PROPOSED BLOCK - 0.58 MILES / ± 3,043 L.F. (SEE DIAGRAM 3: BLOCK OPTION A, ENLARGEMENT)

* EXEMPTION PER U.D.C. § 3.2.A.1.b.ii. STATING: "The resulting street connection, if completed, would result in a new block perimeter less than 50 percent of the maximum block perimeter length."
 - 50% OF 8,000 L.F. MAX = 4,000 L.F.
 - 3,043 L.F. < 4,000 L.F.

S:\RP1\2023\project\23-00210 - cross link road site\south creek development\1_23-00210\Site\23-00210-EXHIBIT.dwg, ES3 - BLOCK PERIMETER.mxd

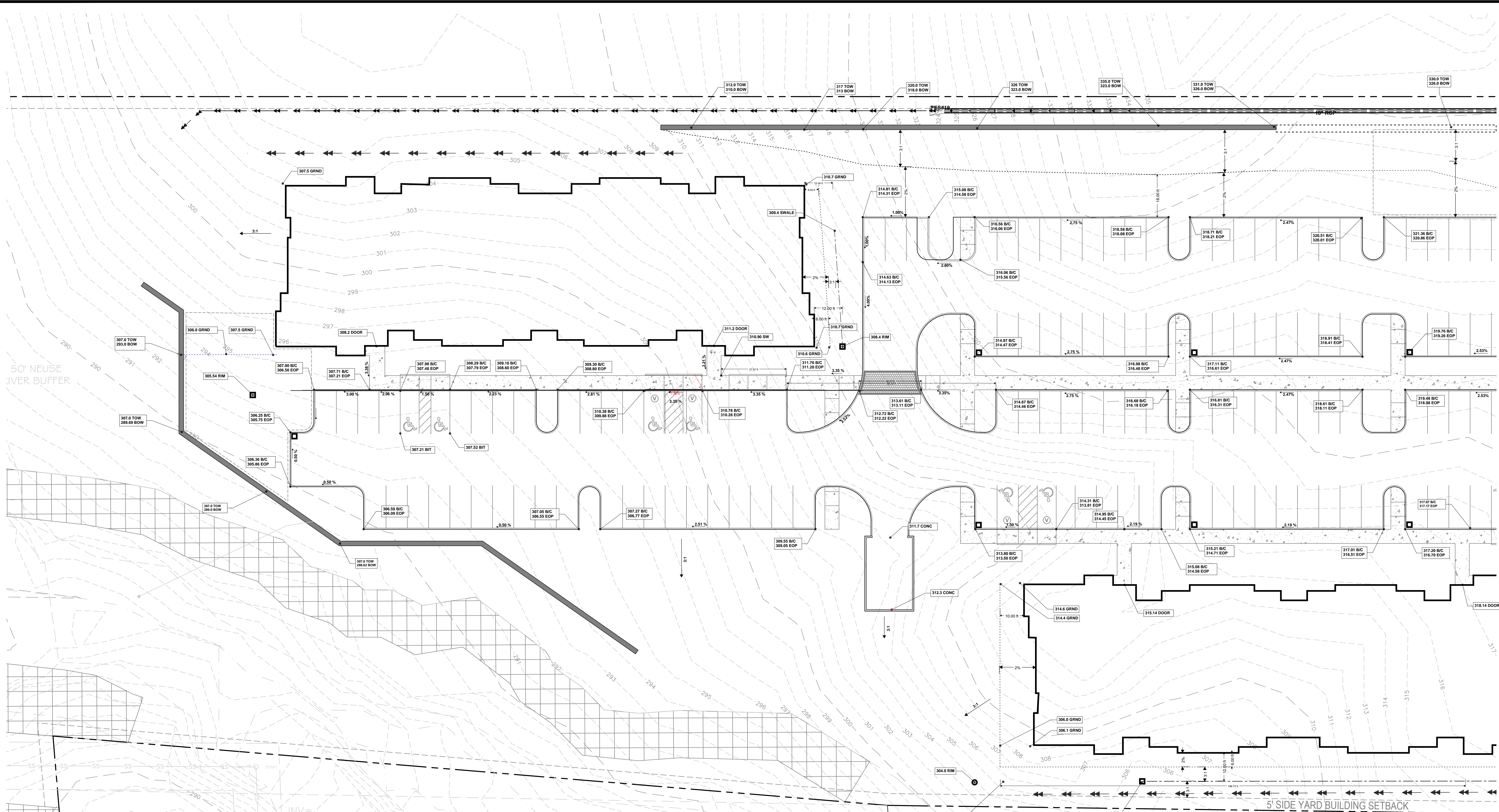


**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

| NO. | DATE | REVISION | BY |
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BLOCK PERIMETER EXHIBIT
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
 SOUTH CREEK DEVELOPMENT
 RALEIGH, NORTH CAROLINA

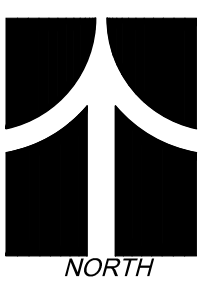
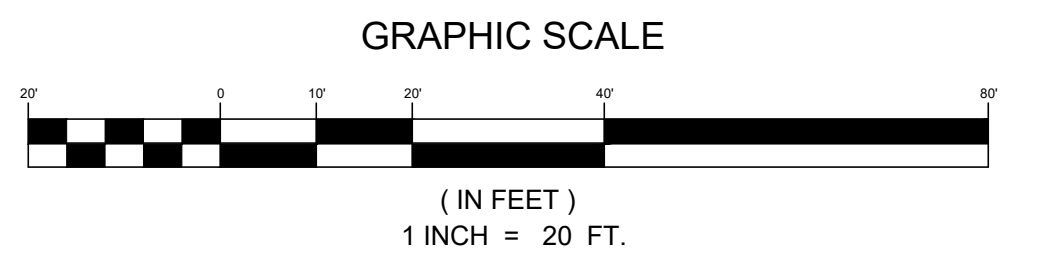
| PROJECT INFORMATION | |
|---------------------|--------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | EX3.0 |



GRADING NOTES:

1. THIS PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, UTILITIES AND COVENANTS WHICH ARE OF RECORD.
2. WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE ANY TIME WORK IS BEING PERFORMED.
3. CONTRACTOR IS RESPONSIBLE AT CONTRACTOR'S EXPENSE FOR ENSURING AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THESE PERMITS MAY INCLUDE, BUT NOT LIMITED TO: GRADING, DEMOLITION, BLASTING, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, WRITTEN PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNER(S).
5. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE UTILITIES AND ENSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACCORDING TO NC STATE LAW. CONTRACTOR SHALL VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE APPROPRIATE UTILITY SERVICE PROVIDER PRIOR TO ANY INTERRUPTION OF AN EXISTING UTILITY.
7. WHEN UNDERGROUND OBSTRUCTIONS NOT SHOWN ON THE CONSTRUCTION DRAWINGS (ROCK, PIPING, ETC.) ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY REPORT THE CONFLICT TO THE OWNER'S ENGINEER. ALL CHANGES MUST BE APPROVED IN WRITING BY THE ENGINEER BEFORE CONSTRUCTION CAN PROCEED.
8. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
9. CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE LIMITS SHOWN ON THE PLANS. ALL TIMBER, BRUSH ROOTS, STUMPS, TREES, OR OTHER VEGETATION CUT DURING THE CLEARING OPERATIONS SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF PROPERLY, AND SHALL BE EITHER REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR, OR SATISFACTORILY DISPOSED OF ON-SITE WITH APPROVAL FROM THE OWNER.
10. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROPER REMOVAL OF ALL CONSTRUCTION WASTE AND DEBRIS. ALL WASTE AND DEBRIS SHALL BE LEGALLY DISPOSED AT AN OFFSITE LOCATION.

11. ROAD SHOULDERS, SWALES, BACK-OF-CURBS, AND CUT/FILL BANKS SHALL BE COMPLETELY DRESSED BY THE CONTRACTOR AND SEEDED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THESE AREAS UNTIL A PERMANENT STAND OF GRASS IS ESTABLISHED.
12. CUT AND FILL SLOPES OF ANY AREA SHALL NOT EXCEED THE RATIO OF 2:1, UNLESS NOTED OTHERWISE.
13. STREETS SHALL BE GRADED IN ACCORDANCE WITH THE LINES AND GRADE SET BY THE ENGINEER.
14. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,000 PSI CONCRETE AND SHALL BE 4-INCHES THICK, CONSTRUCTED ON AN ADEQUATELY GRADED BASE WHERE A SIDEWALK INTERSECTS WITH A DRIVEWAY ACCESS, THE SIDEWALK SECTION SHALL BE 6-INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH ACCEPTABLE CONCRETE CURING COMPOUND. TOOLED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN FORTY-FIVE (45) FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF ONE-QUARTER (1/4) INCH PER FOOT.
15. FILL EMBANKMENTS SHALL BE FORMED OF SUITABLE MATERIAL, PLACED IN SUCCESSIVE LAYERS NOT TO EXCEED MORE THAN SIX (6) INCHES IN DEPTH FOR THE FULL WIDTH OF THE CROSS-SECTION, INCLUDING THE WIDTH OF THE SLOPE AREA. NO STUMPS, TREES, BRUSH, RUBBISH OR OTHER UNSUITABLE MATERIALS OR SUBSTANCES SHALL BE PLACED IN THE EMBANKMENT. EACH SUCCESSIVE SIX (6) INCH LAYER SHALL BE THOROUGHLY COMPACTED BY THE SHEEPS-FOOT TAMPING ROLLER, 10-TON POWER ROLLER, PNEUMATIC-TIRED ROLLER, OR OTHER METHODS APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER. EMBANKMENTS OVER AND AROUND ALL PIPE CULVERTS SHALL BE OF SELECT MATERIAL, PLACED AND THOROUGHLY TAMPED AND COMPACTED AS DIRECTED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
16. ALL BACKFILL SHALL BE OF LOW PLASTICITY, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, AND OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
17. THE CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO THE LINES AND GRADES ESTABLISHED BY THE ENGINEER.
18. IN ORDER TO ENSURE PROPER DRAINAGE, CURB SHALL HAVE A MINIMUM OF 0.50% SLOPE, UNLESS SPILL CURB IS INDICATED ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN AT LOCATIONS WHERE SPILL CURB IS INDICATED.
19. ALL PROPOSED GRADES SHOWN ON THESE PLANS ARE FINAL GRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE SUBGRADE ELEVATIONS.



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PRELIMINARY

NOT FOR

CONSTRUCTION

PRELIMINARY GRADING + STROMWATER

PLAN ENLARGEMENT (WEST)

AFFORDABLE HOUSING

BY

NO.

DATE

REVISION

PROJECT MANAGER:

ER

DESIGNED BY:

ER

DRAWN BY:

HR

PROJECT NUMBER:

23-00210

ORIGINAL DATE:

09/08/2023

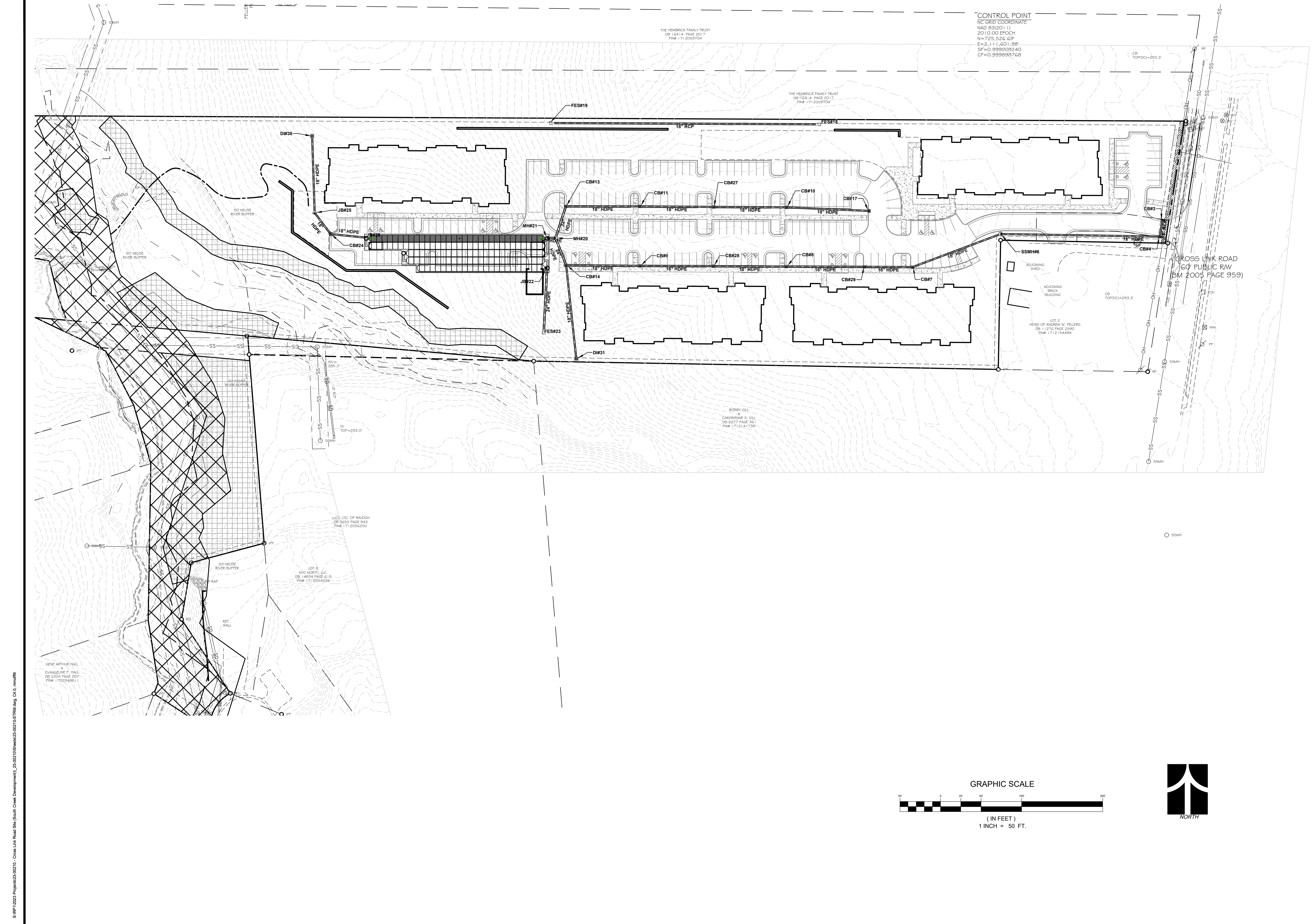
SHEET:

C3.1

SOUTH CREEK DEVELOPMENT

RALEIGH, NORTH CAROLINA

S:\RP1\023\Project\03-022-10 - Cross Link Road Site (South Creek Development)\23-00210\Sheets\03-022-10-GRADING.dwg, C3.1_incor



CONTROL POINT
 NAD 83(2011)
 2010.00 EPOCH
 N=725,526.69'
 E=2,111,601.38'
 SF=0.99909240
 CF=0.99999766

THE HEMBRICK FAMILY TRUST
 DB 16414 PAGE 2017
 PNM 1712059704

THE HEMBRICK FAMILY TRUST
 DB 16414 PAGE 2017
 PNM 1712059704

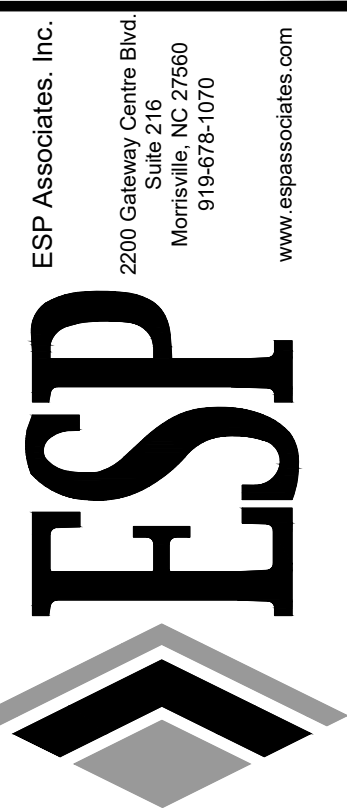
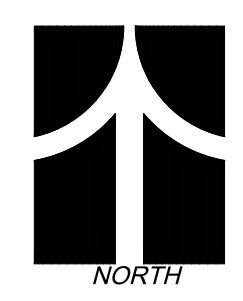
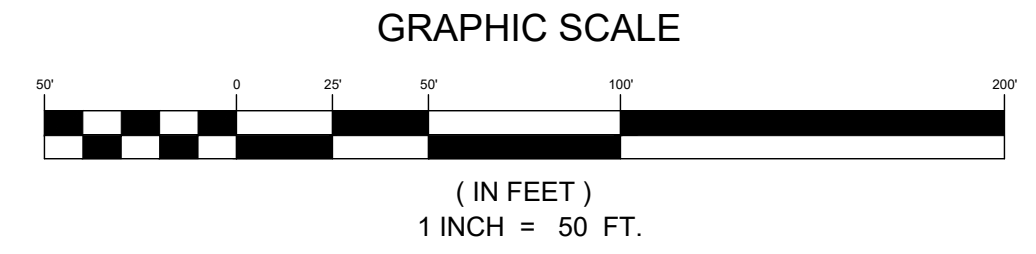
CROSS LINK ROAD
 60' PUBLIC R/W
 BM 2005 PAGE 959

DOBRY-GILL
 4
 CAROLINNE S. GILL
 DB 3277 PAGE 361
 PNM 1712141739

LUCK LTD. OF RALEIGH
 DB 16202 PAGE 243
 PNM 1712056250

LOT 9
 NYC NORTH, LLC
 DB 14634 PAGE 513
 PNM 1712054036

GENE ARTHUR HALL
 4
 EVANGELINE P. HALL
 DB 2204 PAGE 207
 PNM 1702294501



PRELIMINARY
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 CONSTRUCTION

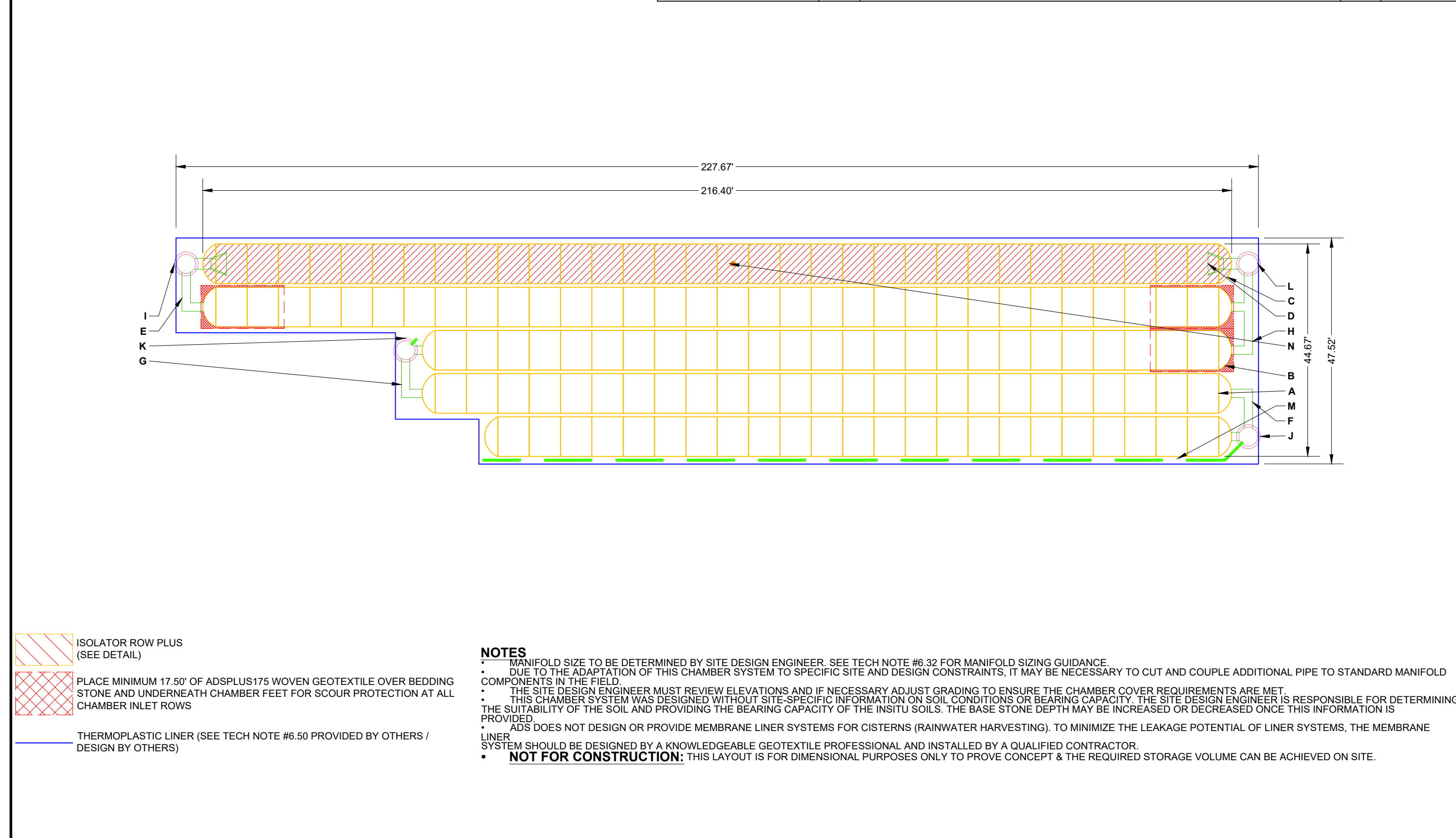
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PRELIMINARY SCM PLAN
 CROSS LINK RD (AFFORDABLE HOUSING)
 ADMINISTRATIVE SITE REVIEW PLANS
 RALEIGH, NORTH CAROLINA
 SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|-------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C4.0 |

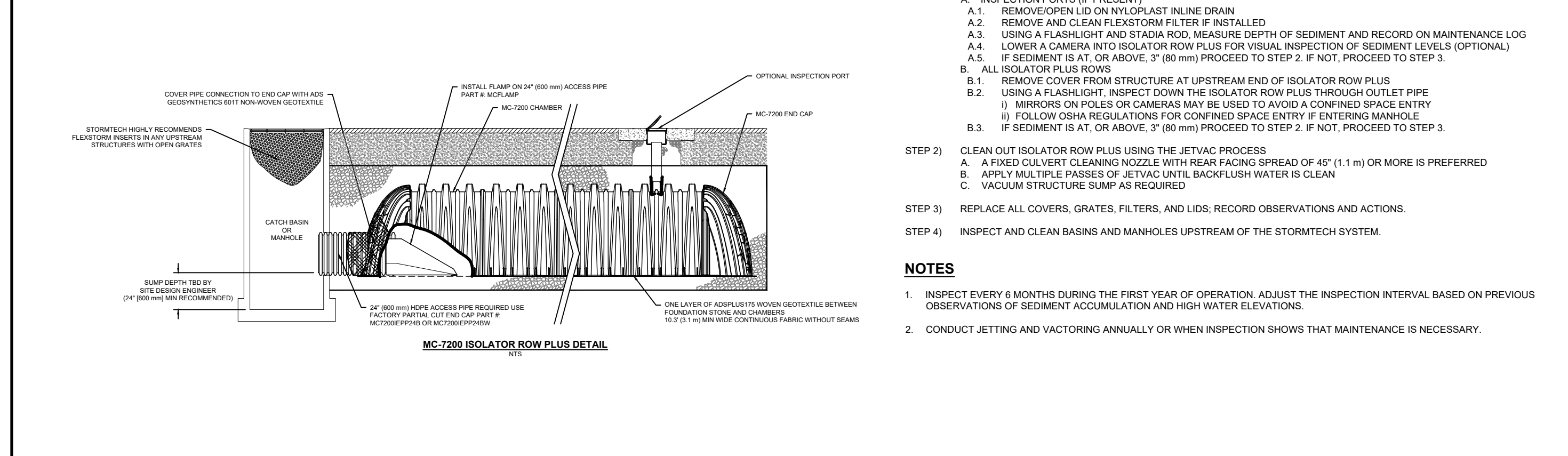
S:\RF1\2023\Projects\23-00210 - Cross Link Road Site (South Creek Development)\23-00210\Site\Drawings\CA.0.mxd

| PROPOSED LAYOUT: BED 1 | | PROPOSED ELEVATIONS | | PART TYPE | | ITEM ON LAYOUT | | DESCRIPTION | | *INVERT ABOVE BASE OF CHAMBER | |
|------------------------|---|--|--------|-----------|--|----------------|--|-------------|--|-------------------------------|--|
| | | | | | | | | | | | |
| 137 | STORMTECH MC-7200 CHAMBERS | MINIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED) | 319.75 | | | | | | | | |
| 138 | STORMTECH MC-7200 END CAPS | MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC) | 315.25 | | | | | | | | |
| 12 | STONE ABOVE (IN) | MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC) | 314.75 | | | | | | | | |
| 9 | STONE BELOW (IN) | MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT) | 314.75 | | | | | | | | |
| 40 | STONE VOID | MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT) | 314.75 | | | | | | | | |
| 40019 | INSTALLED SYSTEM VOLUME (CF) (COVER STONE INCLUDED) (BASE STONE INCLUDED) | TOP OF STONE | 313.75 | | | | | | | | |
| 9379 | SYSTEM AREA (SF) | TOP OF MC-7200 CHAMBER | 312.74 | | | | | | | | |
| 550.4 | SYSTEM PERIMETER (ft) | 18" x 18" TOP MANIFOLD INVERT: | 310.20 | | | | | | | | |
| 1746 | THERMOPLASTIC LINER (SY) (20% OVERAGE) | 24" ISOLATOR ROW PLUS INVERT: | 307.84 | | | | | | | | |
| | | 18" x 18" TOP MANIFOLD INVERT: | 310.20 | | | | | | | | |
| | | 18" x 18" BOTTOM MANIFOLD INVERT: | 307.84 | | | | | | | | |
| | | 24" ISOLATOR ROW PLUS INVERT: | 307.84 | | | | | | | | |
| | | 18" x 18" BOTTOM MANIFOLD INVERT: | 307.84 | | | | | | | | |
| | | 18" BOTTOM CONNECTION INVERT: | 307.84 | | | | | | | | |
| | | 18" BOTTOM CONNECTION INVERT: | 307.84 | | | | | | | | |
| | | BOTTOM OF MC-7200 CHAMBER: | 307.84 | | | | | | | | |
| | | UNDERDRAIN INVERT: | 307.00 | | | | | | | | |
| | | BOTTOM OF STONE: | 307.00 | | | | | | | | |

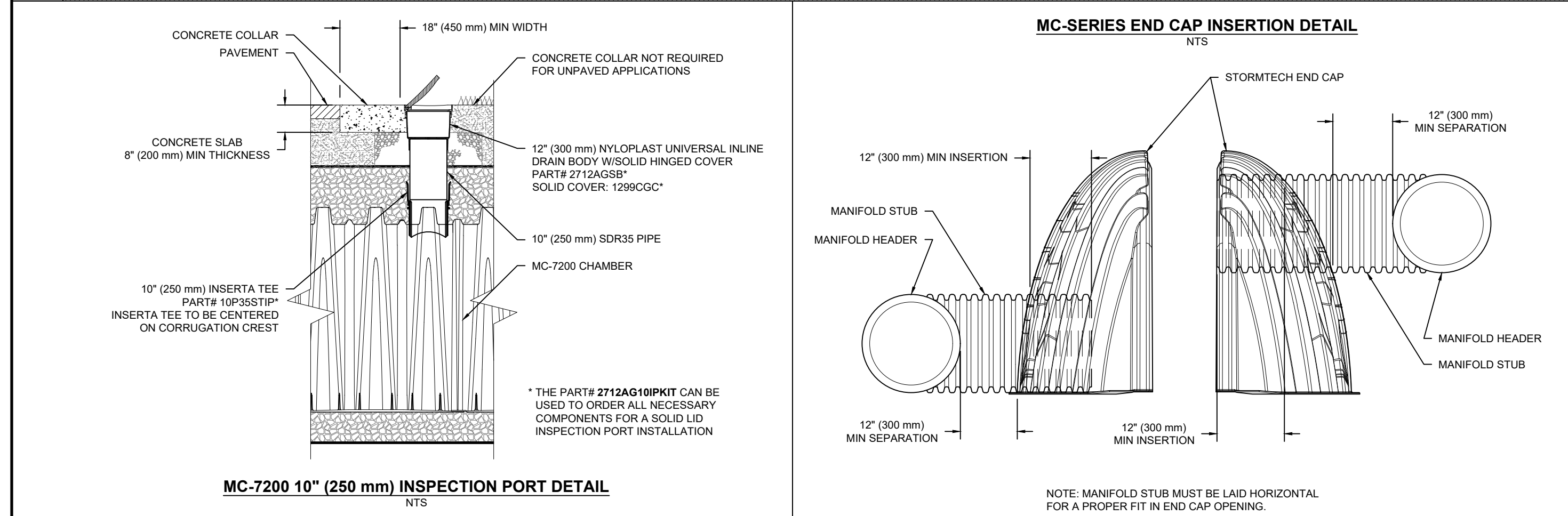


NOTES

- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANHOLE SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE IN-SITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED SINCE THIS INFORMATION IS PROVIDED.
- ADS DOES NOT DESIGN OR PROVIDE MEMBRANE LINER SYSTEMS FOR CISTERNS (RAINWATER HARVESTING). TO MINIMIZE THE LEAKAGE POTENTIAL OF LINER SYSTEMS, THE MEMBRANE LINER SHOULD BE DESIGNED BY A KNOWLEDGEABLE GEOTEXTILE PROFESSIONAL AND INSTALLED BY A QUALIFIED CONTRACTOR.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY. TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

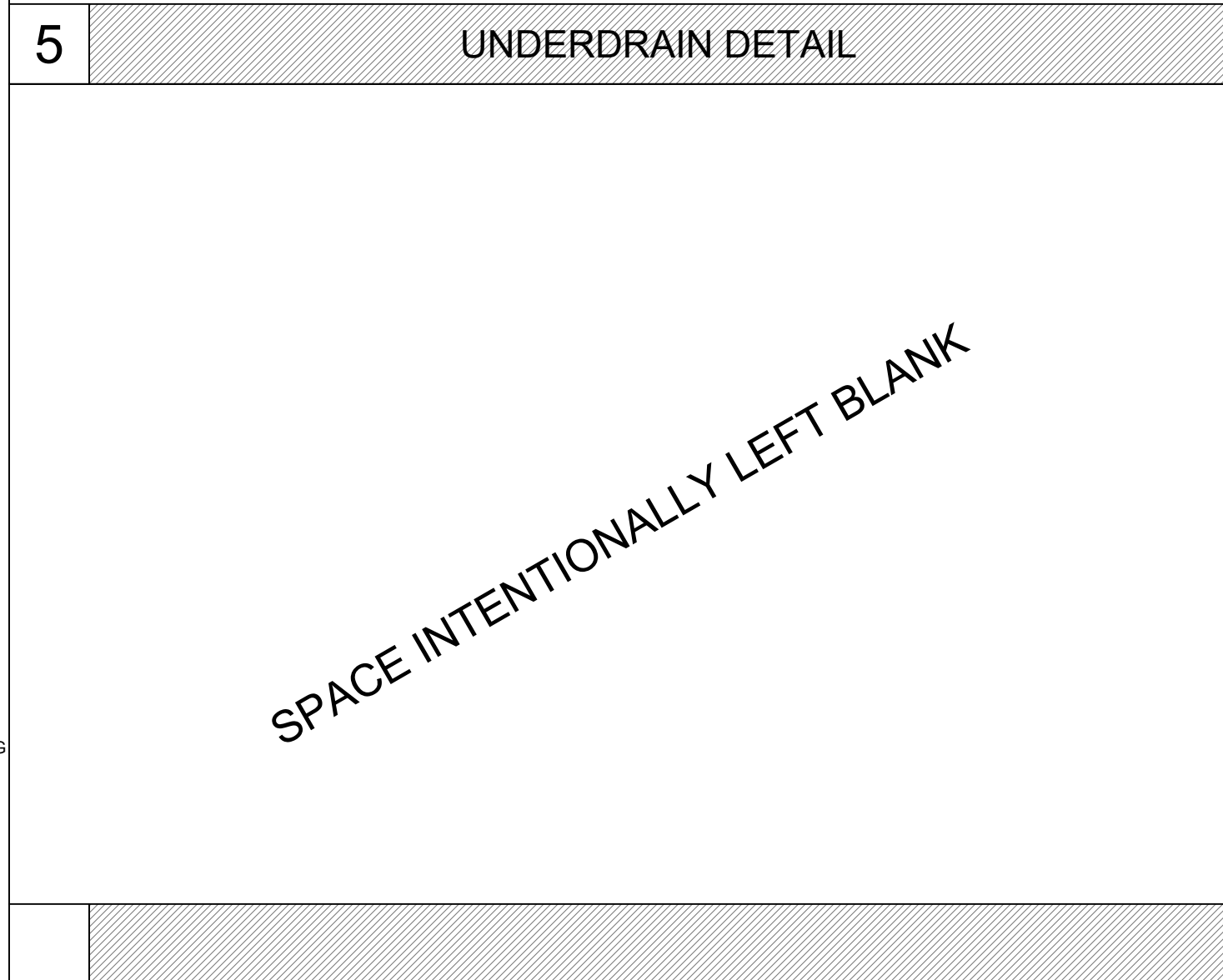
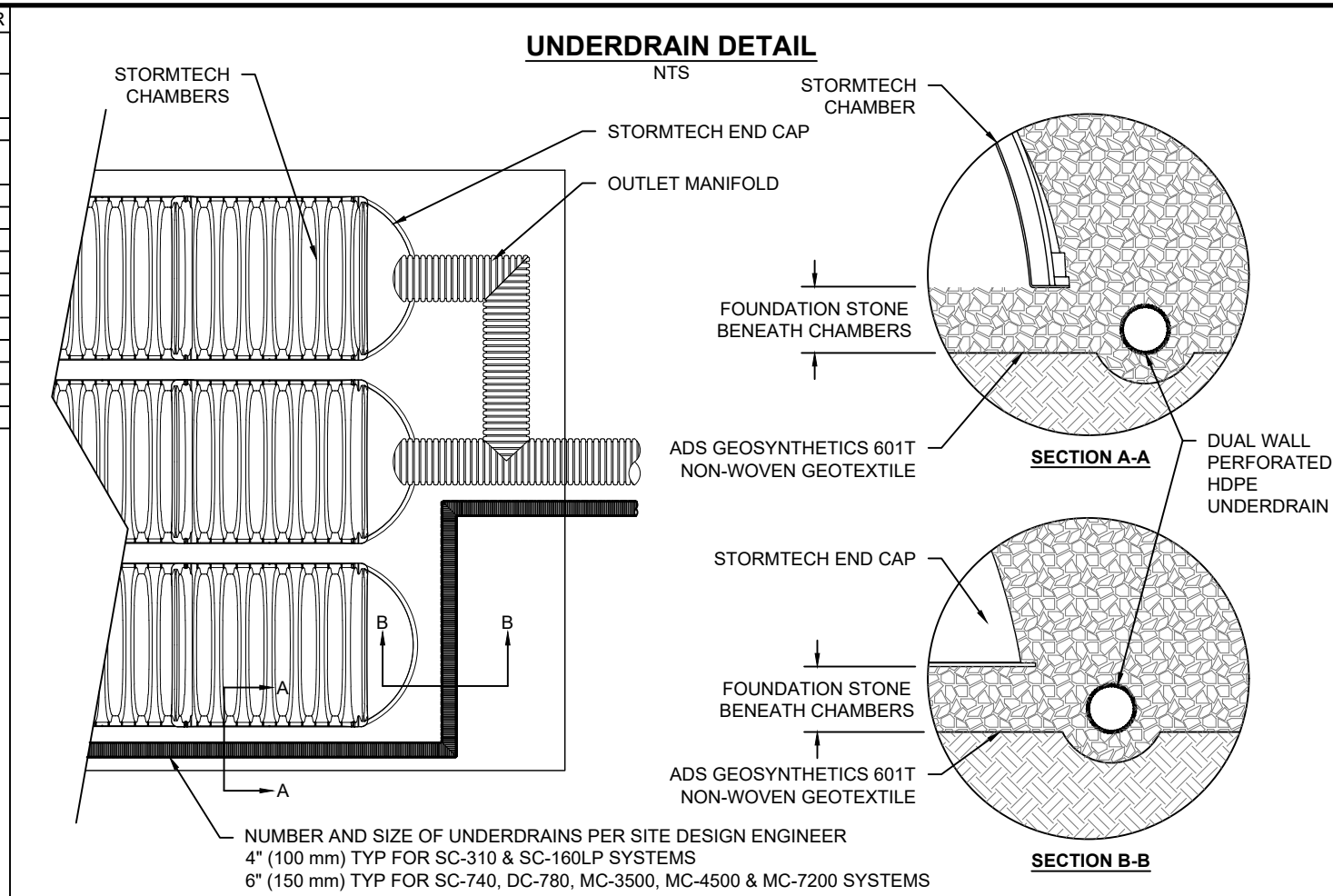


MC-7200 ISOLATOR ROW PLUS DETAIL



MC-7200 10" INSPECTION PORT DETAIL

MC-SERIES END CAP INSERTION DETAIL



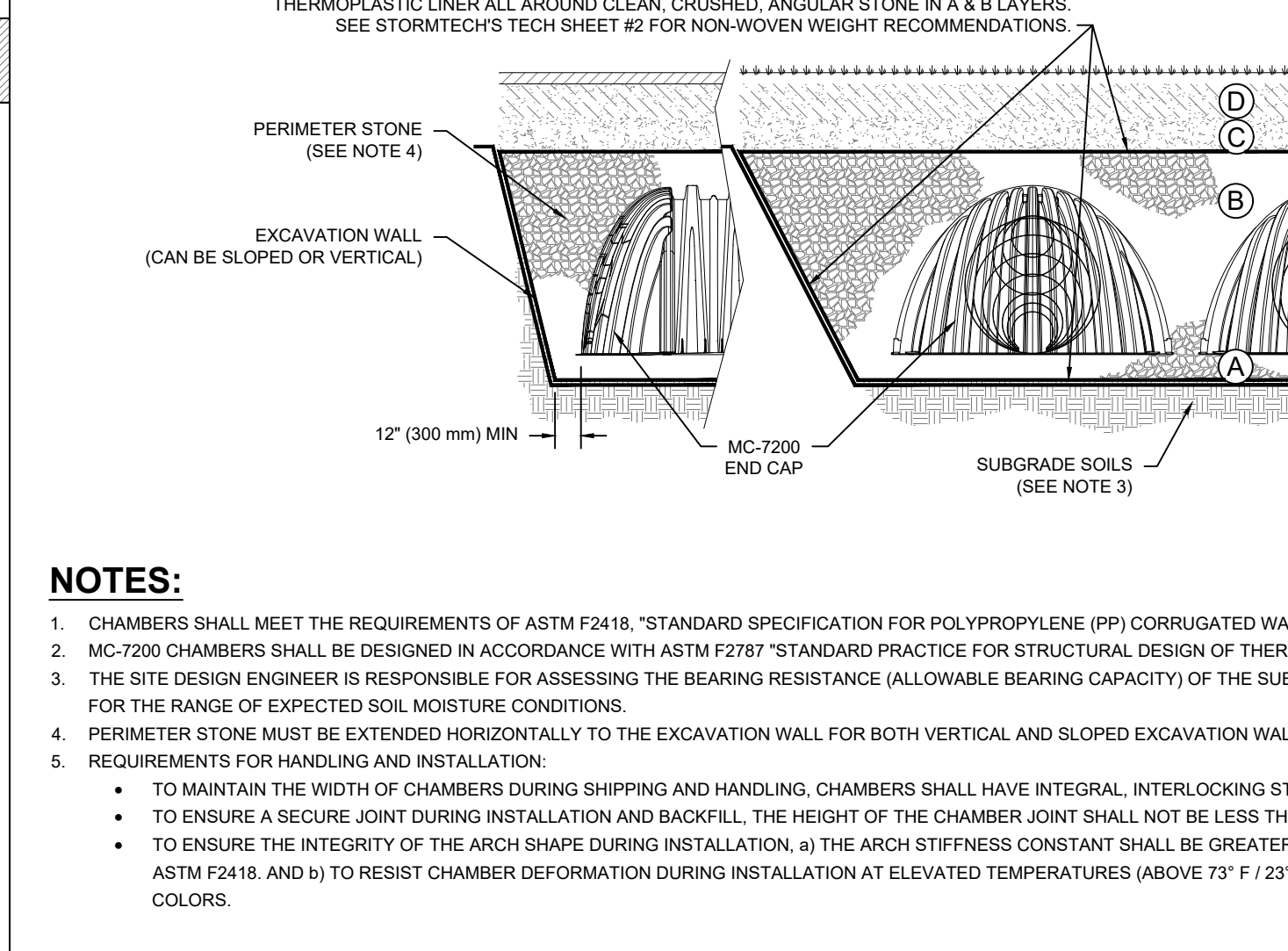
UNDERDRAIN DETAIL

ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS

| MATERIAL LOCATION | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|--|---|---|
| D | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER. | ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS. | N/A |
| C | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER. | GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <35% FINES OR PROCESSED AGGREGATE. | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS. |
| B | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE. | CLEAN, CRUSHED, ANGULAR STONE | AASHTO M145 ¹ A-1, A-2, A-3 |
| A | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | CLEAN, CRUSHED, ANGULAR STONE | AASHTO M43 ¹ 3, 4 |

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

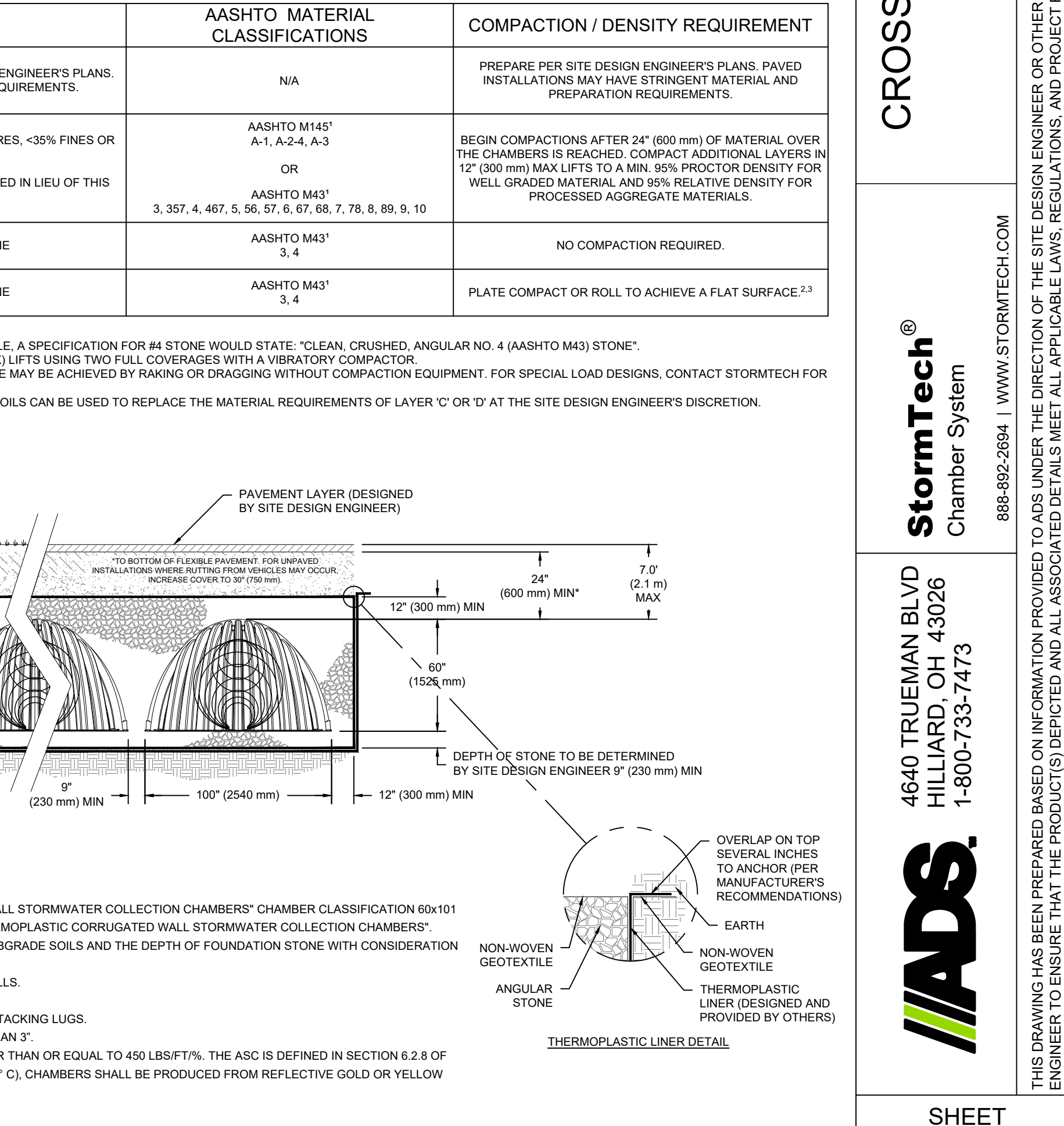


MC-7200 CROSS SECTION DETAIL

MC-7200 TECHNICAL SPECIFICATION

| MC-7200 TECHNICAL SPECIFICATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| NOMINAL CHAMBER SPECIFICATIONS | NOMINAL END CAP SPECIFICATIONS | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SIZE (W X H X INSTALLED LENGTH) CHAMBER STORAGE MINIMUM INSTALLED STORAGE* WEIGHT (NOMINAL) | SIZE (W X H X INSTALLED LENGTH) END CAP STORAGE MINIMUM INSTALLED STORAGE* WEIGHT (NOMINAL) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 100.0' X 60.0' X 79.1" (2540 mm X 1524 mm X 2010 mm) 175.9 CUBIC FEET (4.98 m ³) 267.3 CUBIC FEET (7.56 m ³) 295 lbs (134 kg) | 90.0' X 61.0' X 32.8" (2286 mm X 1549 mm X 833 mm) 39.5 CUBIC FEET (1.12 m ³) 115.3 CUBIC FEET (3.26 m ³) 90 lbs (40.8 kg) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| *ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W" | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th>PART #</th> <th>STUB</th> <th>B</th> <th>C</th> </tr> </thead> <tbody> <tr> <td>MC7200IEP06T</td> <td>6" (150 mm)</td> <td>42.54" (1081 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP06B</td> <td>---</td> <td>---</td> <td>0.86" (22 mm)</td> </tr> <tr> <td>MC7200IEP06T</td> <td>8" (200 mm)</td> <td>40.50" (1029 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP06B</td> <td>---</td> <td>---</td> <td>1.01" (26 mm)</td> </tr> <tr> <td>MC7200IEP10T</td> <td>10" (250 mm)</td> <td>38.37" (975 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP10B</td> <td>---</td> <td>---</td> <td>1.33" (34 mm)</td> </tr> <tr> <td>MC7200IEP12T</td> <td>12" (300 mm)</td> <td>35.69" (907 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP12B</td> <td>---</td> <td>---</td> <td>1.52" (39 mm)</td> </tr> <tr> <td>MC7200IEP15T</td> <td>15" (375 mm)</td> <td>32.72" (831 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP15B</td> <td>---</td> <td>---</td> <td>1.70" (43 mm)</td> </tr> <tr> <td>MC7200IEP18T</td> <td>18" (450 mm)</td> <td>29.36" (746 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP18TW</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>MC7200IEP18B</td> <td>---</td> <td>---</td> <td>1.97" (50 mm)</td> </tr> <tr> <td>MC7200IEP18WB</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>MC7200IEP24T</td> <td>24" (600 mm)</td> <td>23.05" (585 mm)</td> <td>---</td> </tr> <tr> <td>MC7200IEP24TW</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>MC7200IEP24B</td> <td>---</td> <td>---</td> <td>2.26" (57 mm)</td> </tr> <tr> <td>MC7200IEP24WB</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>MC7200IEP30WB</td> <td>30" (750 mm)</td> <td>---</td> <td>2.95" (75 mm)</td> </tr> <tr> <td>MC7200IEP36WB</td> <td>36" (900 mm)</td> <td>---</td> <td>3.25" (83 mm)</td> </tr> <tr> <td>MC7200IEP42WB</td> <td>42" (1050 mm)</td> <td>---</td> <td>3.55" (90 mm)</td> </tr> </tbody> </table> | PART # | STUB | B | C | MC7200IEP06T | 6" (150 mm) | 42.54" (1081 mm) | --- | MC7200IEP06B | --- | --- | 0.86" (22 mm) | MC7200IEP06T | 8" (200 mm) | 40.50" (1029 mm) | --- | MC7200IEP06B | --- | --- | 1.01" (26 mm) | MC7200IEP10T | 10" (250 mm) | 38.37" (975 mm) | --- | MC7200IEP10B | --- | --- | 1.33" (34 mm) | MC7200IEP12T | 12" (300 mm) | 35.69" (907 mm) | --- | MC7200IEP12B | --- | --- | 1.52" (39 mm) | MC7200IEP15T | 15" (375 mm) | 32.72" (831 mm) | --- | MC7200IEP15B | --- | --- | 1.70" (43 mm) | MC7200IEP18T | 18" (450 mm) | 29.36" (746 mm) | --- | MC7200IEP18TW | --- | --- | --- | MC7200IEP18B | --- | --- | 1.97" (50 mm) | MC7200IEP18WB | --- | --- | --- | MC7200IEP24T | 24" (600 mm) | 23.05" (585 mm) | --- | MC7200IEP24TW | --- | --- | --- | MC7200IEP24B | --- | --- | 2.26" (57 mm) | MC7200IEP24WB | --- | --- | --- | MC7200IEP30WB | 30" (750 mm) | --- | 2.95" (75 mm) | MC7200IEP36WB | 36" (900 mm) | --- | 3.25" (83 mm) | MC7200IEP42WB | 42" (1050 mm) | --- | 3.55" (90 mm) | CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVERTED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-7200 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE. |
| PART # | STUB | B | C | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP06T | 6" (150 mm) | 42.54" (1081 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP06B | --- | --- | 0.86" (22 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP06T | 8" (200 mm) | 40.50" (1029 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP06B | --- | --- | 1.01" (26 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP10T | 10" (250 mm) | 38.37" (975 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP10B | --- | --- | 1.33" (34 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP12T | 12" (300 mm) | 35.69" (907 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP12B | --- | --- | 1.52" (39 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP15T | 15" (375 mm) | 32.72" (831 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP15B | --- | --- | 1.70" (43 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP18T | 18" (450 mm) | 29.36" (746 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP18TW | --- | --- | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP18B | --- | --- | 1.97" (50 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP18WB | --- | --- | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP24T | 24" (600 mm) | 23.05" (585 mm) | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP24TW | --- | --- | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP24B | --- | --- | 2.26" (57 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP24WB | --- | --- | --- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP30WB | 30" (750 mm) | --- | 2.95" (75 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP36WB | 36" (900 mm) | --- | 3.25" (83 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MC7200IEP42WB | 42" (1050 mm) | --- | 3.55" (90 mm) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

MC-7200 TECHNICAL SPECIFICATION



MC-7200 CROSS SECTION DETAIL

MC-7200 TECHNICAL SPECIFICATION

CROSS LINK ROAD - AFFORDABLE HOUSING
RALEIGH, NC, USA

DATE: _____ PROJECT #: _____
DRAWN: DM CHECKED: N/A REV: _____
NOT TO SCALE

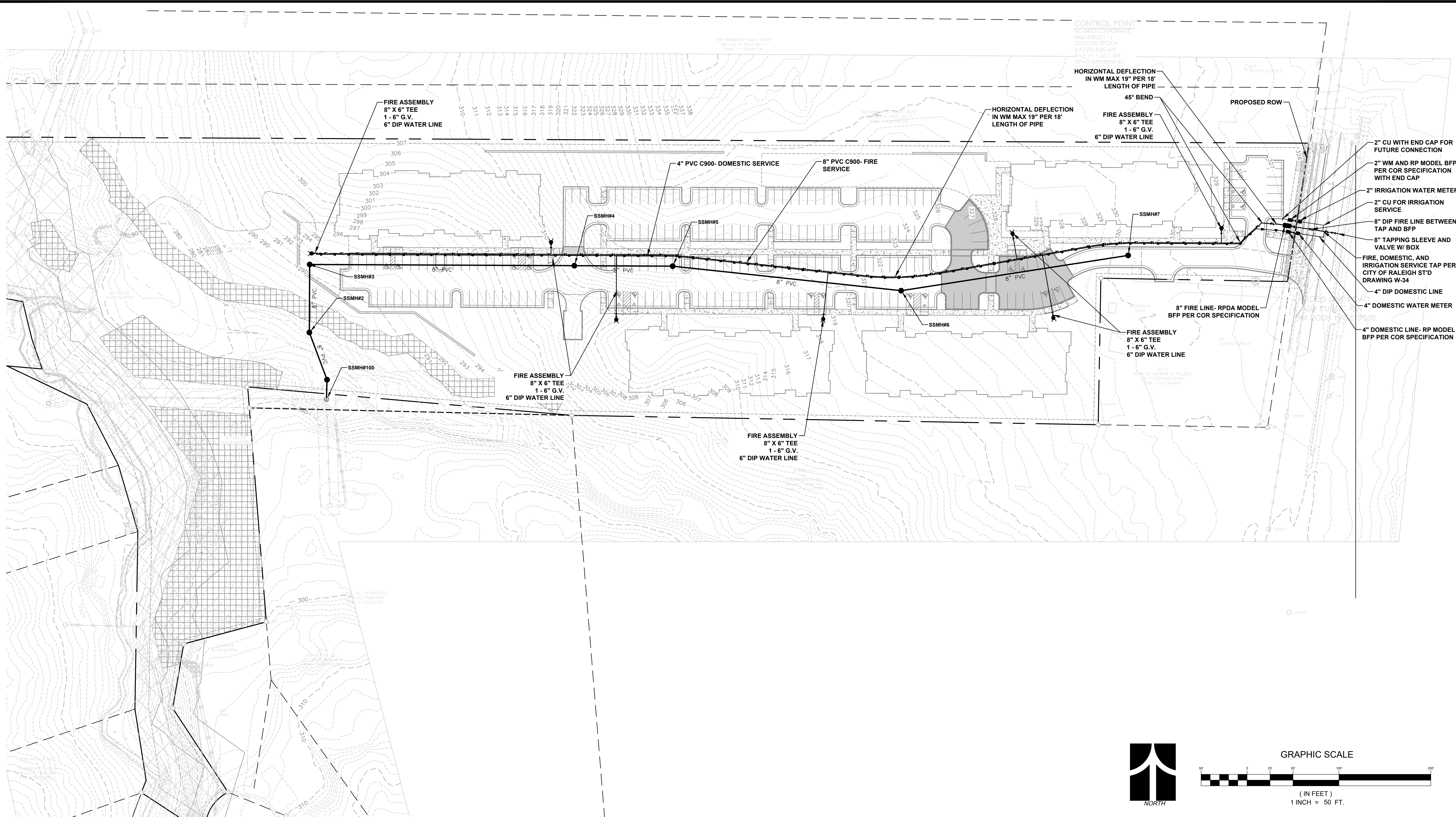
StormTech Chamber System
888-992-2864 | WWW.STORMTECH.COM

4640 TRUEMAN BLVD
HILLIARD, OH 43026
1-800-733-7473

ADS
EARTH
NON-WOVEN GEOTEXTILE
THERMOPLASTIC LINER (DESIGNED AND PROVIDED BY OTHERS)

SHEET 1 OF 2

THIS DRAWING HAS BEEN PREPARED BASED ON INFORMATION PROVIDED TO ADS UNDER THE DIRECTION OF THE SITE DESIGN ENGINEER OR OTHER PROJECT REPRESENTATIVE. THE SITE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE ULTIMATE RESPONSIBILITY OF THE SITE DESIGN ENGINEER TO ENSURE THAT THE PRODUCT(S) DEPICTED AND ALL ASSOCIATED DETAILS MEET ALL APPLICABLE LAWS, REGULATIONS, AND PROJECT REQUIREMENTS.



STANDARD UTILITY NOTES:

- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAIN & SEWER FORCE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER PROCEDURE.
- WATER SERVICES SHALL BE 3/4" TYPE K SOFT COPPER WITH NO UNIONS. METERS SHALL BE 3/4" CAST IRON AND SET IN A METER BOX LOCATED AT THE ROW.
- SEWER SERVICES SHALL BE 4" PVC @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT THE ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET, MAXIMUM. DUCTILE IRON PIPE SHALL BE USED FOR SERVICES WITH LESS THAN 4 FEET OR MORE THAN 20 FEET OF COVER.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTIONS DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT.

SEPARATION REQUIREMENTS:

- HORIZONTAL SEPARATIONS FOR PARALLEL PIPELINES
- WATER SYSTEM PIPING AND WASTEWATER SYSTEM PIPING SHALL HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET. IN SITUATIONS WHERE CONDITIONS OR BARRIERS PREVENT A 10-FOOT LATERAL SEPARATION, NCDOT STANDARDS MAY ALLOW:
 - A.A. THE WATER MAIN TO BE LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR
 - A.A.B. THE WATER MAIN TO BE LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
 - WATER SYSTEM PIPING AND STORMWATER SYSTEM PIPING SHALL HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET.
 - WASTEWATER SYSTEM PIPING AND STORMWATER SYSTEM PIPING SHALL HAVE A MINIMUM SEPARATION DISTANCE OF 10 FEET.
 - THE MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL PIPELINES OF ANY TYPE (INCLUDING THE SAME TYPE) SHALL BE 5 FEET IF THE DIFFERENCE IN PIPELINE ELEVATION IS NO GREATER THAN 24 INCHES. IF THE VERTICAL DIFFERENCE BETWEEN THE PARALLEL PIPELINES EXCEEDS 24 INCHES, THE HORIZONTAL SEPARATION DISTANCE SHALL BE DETERMINED ON A CASE BY CASE BASIS BY THE DIRECTOR OF ENGINEERING. THE CRITICAL FACTOR IS BEING ABLE TO EXCAVATE THE DEEPER PIPELINE FOR REPAIRS AND NOT DISTURBING THE SHALLOWER PIPELINE. VERTICAL SEPARATIONS FOR PIPELINE CROSSINGS OR WHEN HORIZONTAL SEPARATIONS CANNOT BE MET.

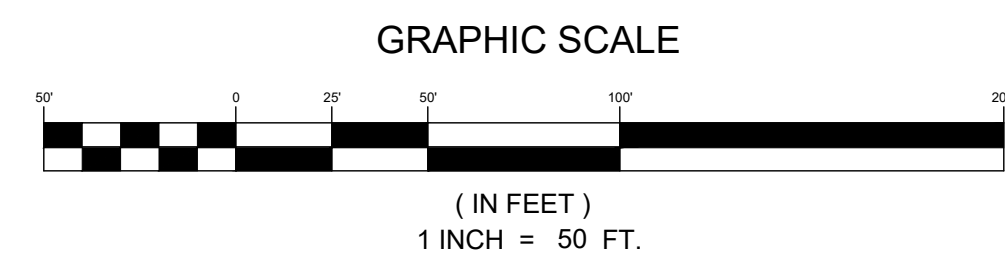
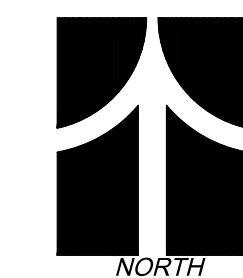
VERTICAL SEPARATIONS:

- WATER MAINS SHALL CROSS SANITARY SEWER MAINS AT AN APPROXIMATE 90 DEGREE ANGLE.
- WATER SYSTEM PIPING AND WASTEWATER SYSTEM PIPING SHALL HAVE A MINIMUM VERTICAL SEPARATION DISTANCE OF 18 INCHES, WITH THE WATER PIPING BEING ABOVE THE WASTEWATER PIPING. WHERE A WATER MAIN AND A SANITARY SEWER CROSS AND THE VERTICAL SEPARATION IS LESS THAN 18 INCHES, OR WHERE THE WATER MAIN PASSES UNDER THE SANITARY SEWER, THE ENTIRE LEG OF THE SANITARY SEWER LINE SHALL BE DUCTILE IRON PIPE. TRANSITIONS OF PIPE MATERIAL SHALL NOT OCCUR BETWEEN MANHOLES ON SANITARY SEWER LINES, EXCEPT AT INSIDE DROP MANHOLES.

- WATER SYSTEM PIPING AND STORMWATER SYSTEM PIPING SHALL HAVE A MINIMUM VERTICAL SEPARATION DISTANCE OF 12 INCHES.
- WASTEWATER SYSTEM PIPING AND STORMWATER SYSTEM PIPING SHALL HAVE A MINIMUM VERTICAL SEPARATION DISTANCE OF 12 INCHES, WITH THE STORMWATER PIPING BEING ABOVE THE WASTEWATER PIPING. WATER MAINS AND STORM SEWER MAINS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18 INCHES WHEN HORIZONTAL SEPARATION IS LESS THAN 3 FEET.
- WATER LINES THAT CROSS AND RUN BENEATH STORM DRAINAGE PIPES THAT ARE GREATER THAN OR EQUAL TO 42" DIAMETER (SINGLE PIPE) OR 36" DIAMETER (MULTIPLE PIPES) AND/OR STREAMS OR CREEKS SHALL BE INSTALLED AS RESTRAINED JOINT PIPE AND ENCLOSED IN CASING PIPE. INSTALLATION MAY BE BY BORE AND JACK OR EXCAVATION AT DISCRETION OF DIRECTOR OF ENGINEERING.
- FOR CROSSINGS WHERE REQUIRED MINIMUM SEPARATIONS CANNOT BE MAINTAINED, OR WHERE SEWER IS OVER WATER, IN ADDITION TO THE FERROUS PIPE REQUIREMENTS, THE VOID SPACE BETWEEN THE PIPE CROSSING SHALL BE BACKFILLED WITH 3000-PSI CONCRETE OR EXCAVATABLE FLOWABLE FILL THAT MEETS OR EXCEEDS NCDOT SPECIFICATIONS.

ADDITIONAL HORIZONTAL SEPARATIONS FOR WASTEWATER SYSTEM PIPING

- 100 FEET FROM ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE, INCLUDING WELLS, WS-1 WATERS, OR CLASS I OR CLASS II IMPOUNDED RESERVOIRS USED AS A SOURCE OF DRINKING WATER, AN ABSOLUTE MINIMUM SEPARATION OF 25 FEET FROM PRIVATE WELLS AND 50 FEET FROM SOURCES OF PUBLIC WATER SUPPLY SHALL BE MAINTAINED.
- 50 FEET FROM ANY WATERS (FROM NORMAL HIGH WATER) CLASSIFIED WS-II, WS-III, B, SA, ORW, HOW OR SB.
- 25 FEET FROM ANY OTHER STREAM, LAKE, OR IMPOUNDMENT



CONTROL POINT
 NAD 83 COORDINATE
 EAD 83020111
 8010.00 EPOCH
 N=725,524.429
 E=2,111,021.389
 SF=0.999999240

HORIZONTAL DEFLECTION
 IN WM MAX 19" PER 18'
 LENGTH OF PIPE

45° BEND
 FIRE ASSEMBLY
 8" X 6" TEE
 1-6" G.V.
 6" DIP WATER LINE

HORIZONTAL DEFLECTION
 IN WM MAX 19" PER 18'
 LENGTH OF PIPE

FIRE ASSEMBLY
 8" X 6" TEE
 1-6" G.V.
 6" DIP WATER LINE

FIRE ASSEMBLY
 8" X 6" TEE
 1-6" G.V.
 6" DIP WATER LINE

8" FIRE LINE- RPDA MODEL
 BFP PER COR SPECIFICATION

- 2" CU WITH END CAP FOR FUTURE CONNECTION
- 2" WM AND RP MODEL BFP PER COR SPECIFICATION WITH END CAP
- 2" IRRIGATION WATER METER
- 2" CU FOR IRRIGATION SERVICE
- 8" DIP FIRE LINE BETWEEN TAP AND BFP
- 8" TAPPING SLEEVE AND VALVE W/ BOX
- FIRE, DOMESTIC, AND IRRIGATION SERVICE TAP PER CITY OF RALEIGH STD DRAWING W-34
- 4" DIP DOMESTIC LINE
- 4" DOMESTIC WATER METER
- 4" DOMESTIC LINE- RP MODEL BFP PER COR SPECIFICATION

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CONSTRUCTION

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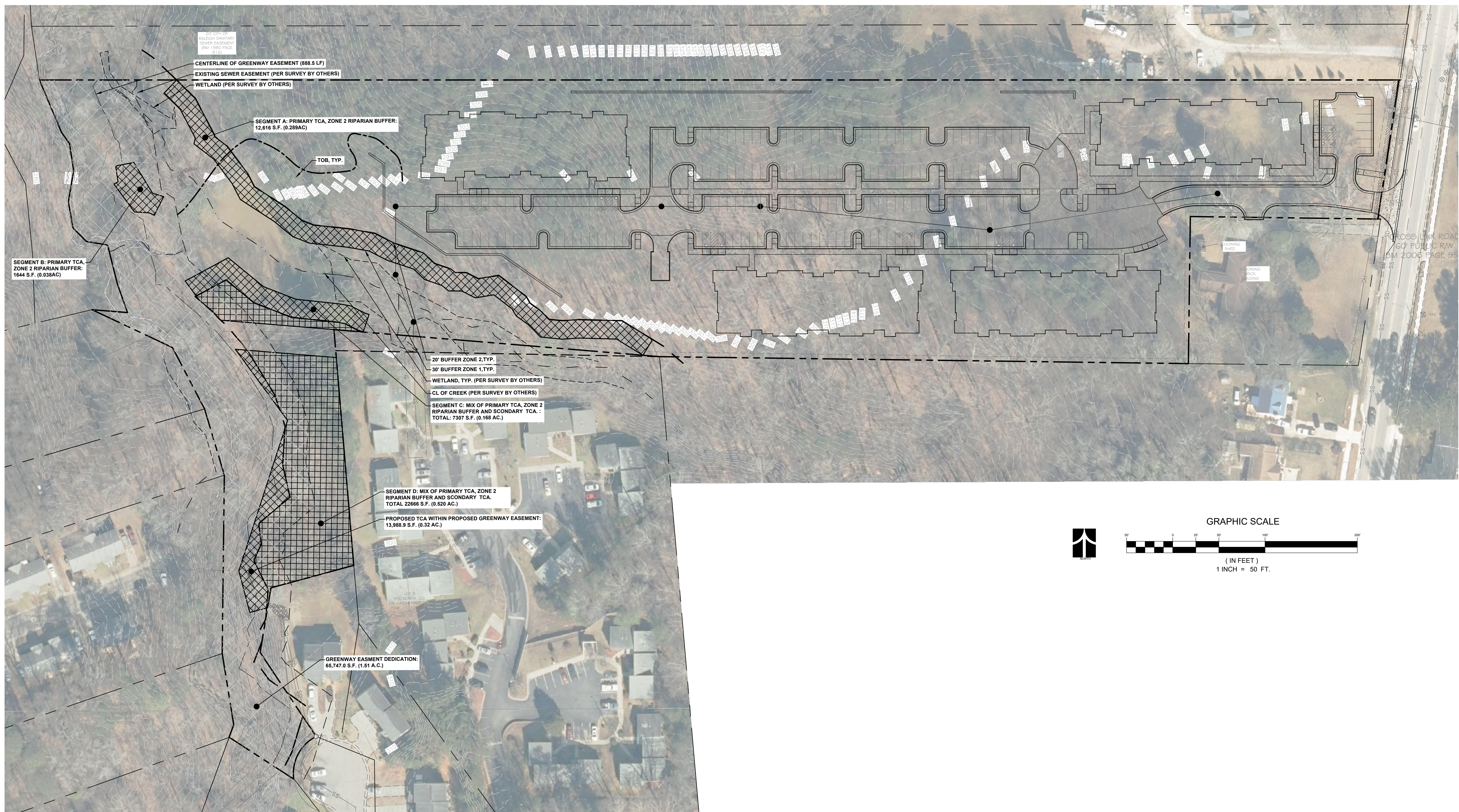
PRELIMINARY WATER + SEWER PLAN
(OVERALL)

CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS

RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | C5.0 |

Know what's below.
Call before you dig.

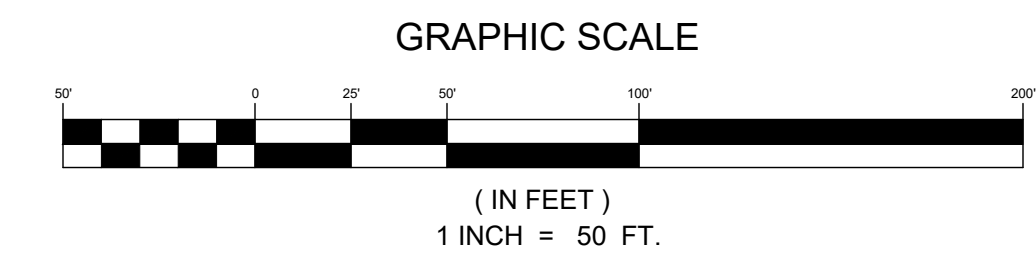


- GENERAL NOTES:**
- SEE SEPARATE TREE CONSERVATION REPORT PREPARED BY ESP DATED XXXX2023 FOR CALCULATION OF EACH SEGMENTS.
 - TREES NOTED IN RED ARE NOT INCLUDED IN BASAL AREA CALCULATION (30% OR MORE OF ITS CRITICAL ROOT ZONE DISTURBED PER UDD 9-1.4.C-9)
 - SEE SHEET C2.0 FOR TREE PROTECTION FENCE LAYOUT

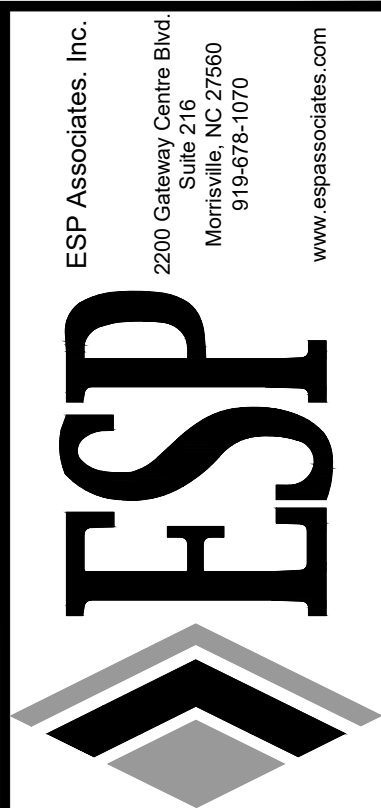
- LEGEND:**
- CRITICAL ROOT ZONE OF TREES 3" DBH OR GREATER
 - TREE WITH IMPACT TO CRITICAL ROOT ZONE (SEE PLANS FOR CALCULATIONS)
 - TREE WITH 30% IMPACT OR GREATER (NOT INCLUDED IN BASAL AREA CALCULATIONS-SEE TREE REPORT)

| | |
|----------------------------------|--|
| QUICK TCA CALCS: | TOTAL SITE AREA: 432,441 SF (9.93 AC) |
| | TCA NEEDED: 43,244 SF (1 AC) |
| EXCLUDED AREAS (W X L): | SEWER EASEMENT: 18,896 SF (0.43 AC) |
| | GRNWAY EASEMENT: 22,212.5 SF (0.51 AC) |
| CURRENT PRIMARY TCA AREA: | 22,027 SF (0.505 AC) |
| SECONDARY TCA: | 22,116 SF (0.508 AC) |
| SEGMENT A: | 12,616 S.F. (0.289 AC.) |
| SEGMENT B: | 1644 S.F. (0.038 AC.) |
| SEGMENT C: | 7217 S.F. (0.165 AC.) |
| SEGMENT D: | 22666 S.F. (0.520 AC.) |
| TOTAL SF: | 44143 |
| TOTAL AC: | 1.013 |

| | |
|--|---|
| GREENWAY CALCS: | TOTAL EASEMENT DEDICATION: 65,747.0 S.F. (1.51 AC) OF PROP. EASEMENT. |
| | CENTERLINE: 888.5 LF. |
| GREENWAY TRAIL DEDICATION (L X W): | 888' X 20' = 22,212.5 S.F. (0.51 AC) |
| PROPOSED TCA WITHIN PROPOSED GREENWAY EASEMENT: | PRIMARY TCA: 5,658 S.F. (0.13 AC.) |
| | SECONDARY TCA: 8,331 S.F. (0.19 AC.) |
| | TOTAL: 13,989 S.F. (0.32 AC.) |



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**TREE CONSERVATION AREA PLAN
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS**
RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
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| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | T1.0 |



THE HEMBRICK FAMILY TRUST
DB 16414 PAGE 2017
PIN# 1712059704

TOP(T/C)=293.3'

PROPOSED 6' WIDE PLANTING STRIP
(SEE OVERALL SITE PLAN, SHEET C2.0)

PERIMETER ISLAND
+/- 64 LF / 20 SHRUBS

TERMINAL ISLAND
+/- 713 SF

PERIMETER ISLAND
+/- 64 LF / 20 SHRUBS

PERIMETER ISLAND
+/- 457 LF / 137 SHRUBS

MEDIAN ISLAND
+/- 8,585 SF

TERMINAL ISLAND
+/- 437 SF

TERMINAL ISLAND
+/- 377 SF

TERMINAL ISLAND
+/- 380 SF

TERMINAL ISLAND
+/- 326 SF

PERIMETER ISLAND
+/- 512 LF / 154 SHRUBS

TERMINAL ISLAND
+/- 654 SF

ADJOINING SHED

ADJOINING BRICK BUILDING

CB
TOP(T/C)=293.3'

LOT 2
HEIRS OF ANDREW W. FELLERS
DB 11276 PAGE 2590
PIN# 1712154494

SPACE FOR SCHEDULE

MATCHLINE - SEE SHEET L1.1

PARKING CALCULATIONS:

TERMINAL ISLANDS:
REQUIRED - AT END OF PARKING ROW
300 SF MIN., 8' WIDTH MIN.
SEE PLAN FOR LOCATION & CALCULATIONS
PROVIDED -

INTERIOR ISLANDS:
REQUIRED - 1 ISLAND / 10 PARKING SPACES
300 SF MIN., 8' WIDTH MIN.
215 PARKING SPACES / 10 = 22
SEE PLAN FOR LOCATION & CALCULATIONS
PROVIDED -

PARKING LOT PLANTING:
REQUIRED - 1 CANOPY TREE / 2,000 S.F.
PROPOSED - 68,702 S.F. / 2,000 = 35
PROVIDED - XXX CANOPY TREES

ADDITIONAL PLANTING CALCULATIONS:

STREET TREES (CROSS LINK ROAD)
REQUIRED - 1 TREE / 40 LF OF FRONTAGE
PROPOSED - +/- 152 LF FRONTAGE / 40 = 3.8
PROVIDED - 3 STREET TREES

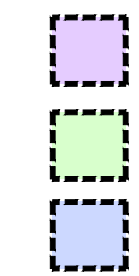
PERIMETER ISLAND PLANTING
REQUIRED - 5' WIDE MINIMUM & 30 SHRUBS / 100 L.F.
PROVIDED - SEE PLAN FOR CALCULATIONS

LEGEND

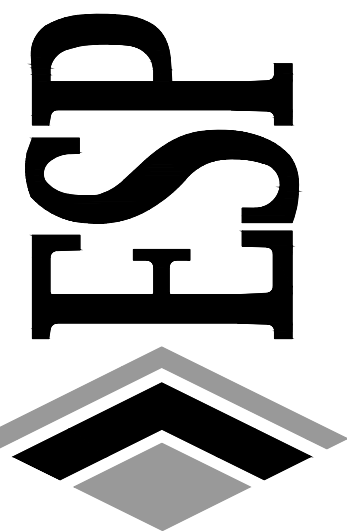
PERIMETER ISLAND

MEDIAN ISLAND

TERMINAL ISLAND



ESP Associates, Inc.
2020 Gateway Centre Blvd.
Suite 210
Morrisville, NC 27560
919-678-1070
www.espsassociates.com

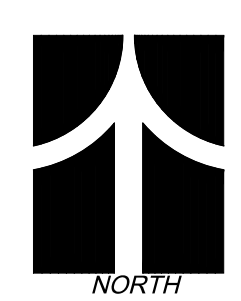
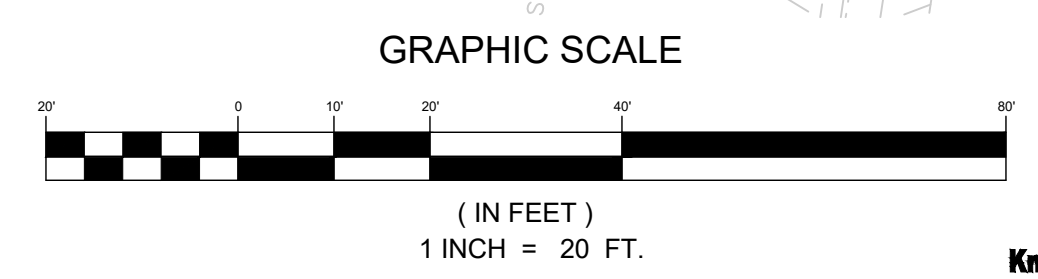


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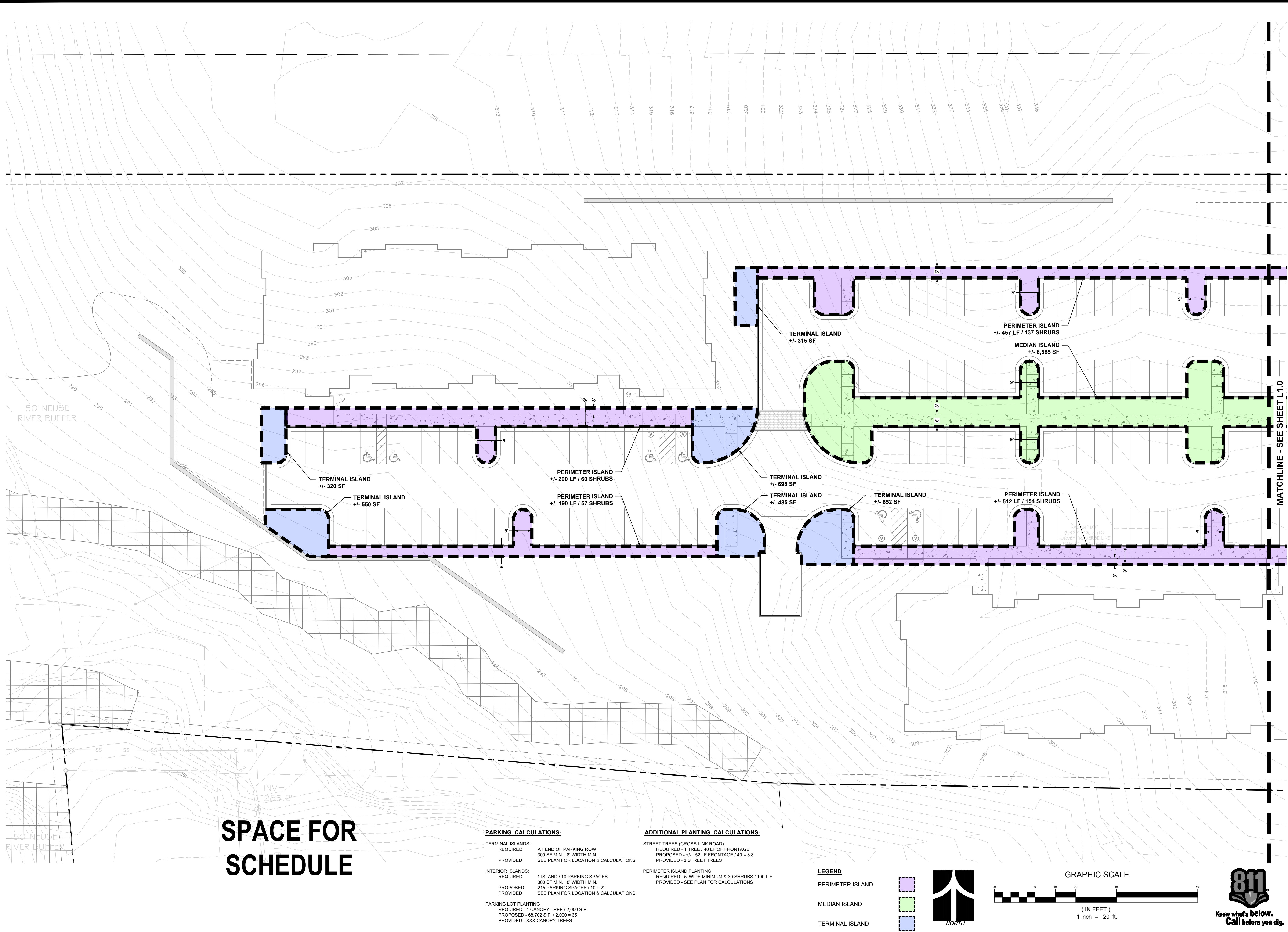
PLANTING PLAN ENLARGEMENT (EAST)
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | L1.0 |



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SPACE FOR SCHEDULE

PARKING CALCULATIONS:

TERMINAL ISLANDS:
 REQUIRED - AT END OF PARKING ROW
 300 SF MIN., 8' WIDTH MIN.
 PROVIDED - SEE PLAN FOR LOCATION & CALCULATIONS

INTERIOR ISLANDS:
 REQUIRED - 1 ISLAND / 10 PARKING SPACES
 300 SF MIN., 8' WIDTH MIN.
 PROVIDED - 215 PARKING SPACES / 10 = 22
 SEE PLAN FOR LOCATION & CALCULATIONS

PARKING LOT PLANTING:
 REQUIRED - 1 CANOPY TREE / 2,000 S.F.
 PROVIDED - 68,702 S.F. / 2,000 = 35
 PROVIDED - XXX CANOPY TREES

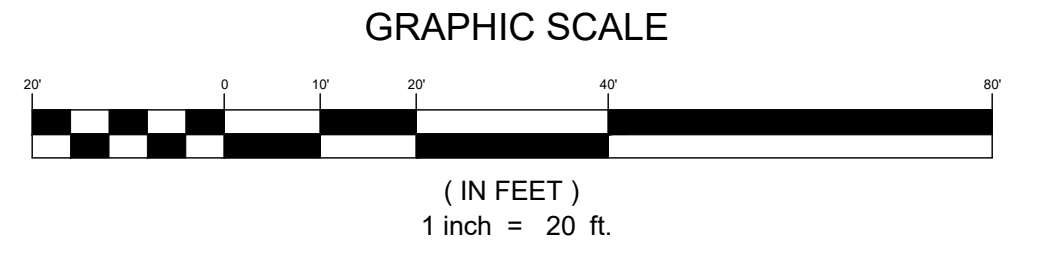
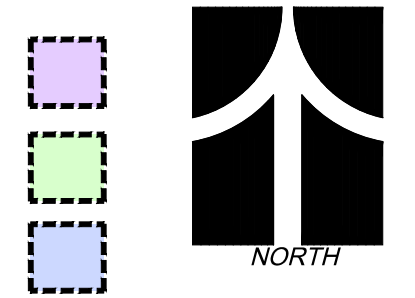
ADDITIONAL PLANTING CALCULATIONS:

STREET TREES (CROSS LINK ROAD)
 REQUIRED - 1 TREE / 40 LF OF FRONTAGE
 PROVIDED - +/- 152 LF FRONTAGE / 40 = 3.8
 PROVIDED - 3 STREET TREES

PERIMETER ISLAND PLANTING
 REQUIRED - 5' WIDE MINIMUM & 30 SHRUBS / 100 LF.
 PROVIDED - SEE PLAN FOR CALCULATIONS

LEGEND

- PERIMETER ISLAND
- MEDIAN ISLAND
- TERMINAL ISLAND



ESP Associates, Inc.
 2020 Gateway Centre Blvd.
 Suite 200
 Morrisville, NC 27560
 919-678-1070
 www.espsociates.com

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PLANING PLAN ENLARGEMENT (WEST)

CROSS LINK RD (AFFORDABLE HOUSING)

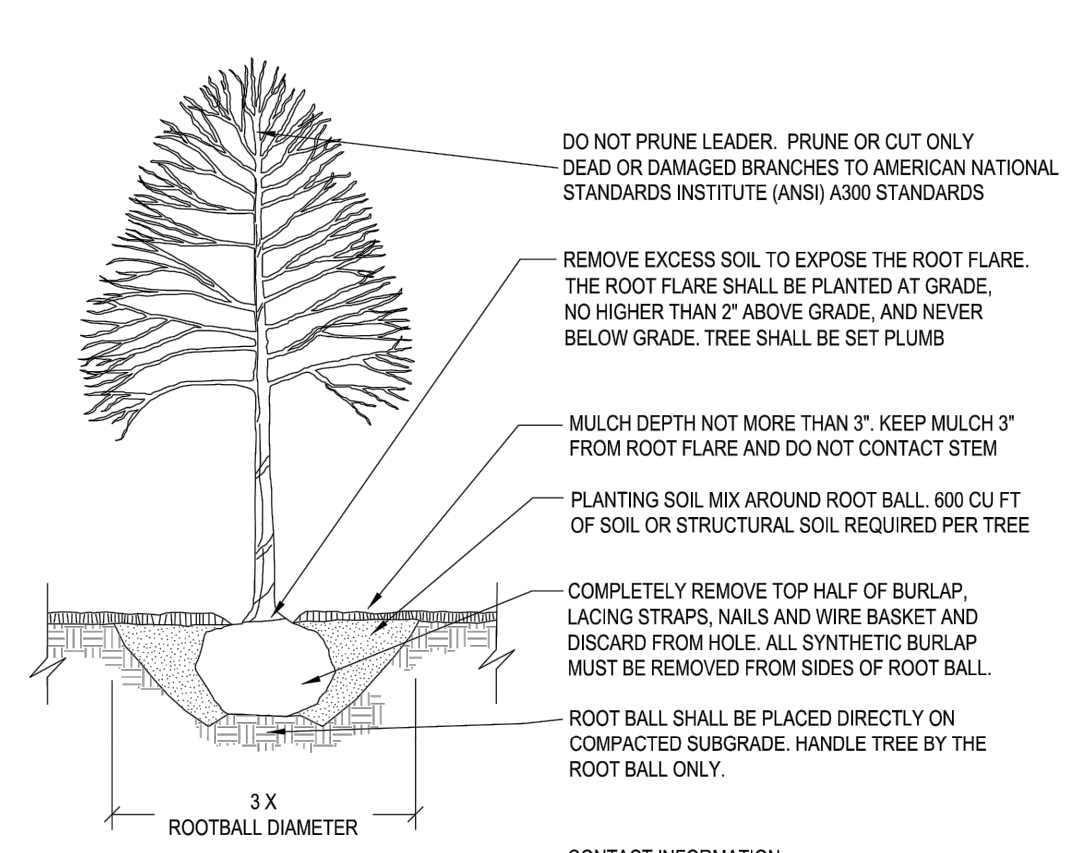
ADMINISTRATIVE SITE REVIEW PLANS

RALEIGH, NORTH CAROLINA

SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
|---------------------|------------|
| PROJECT MANAGER: | ER |
| DESIGNED BY: | ER |
| DRAWN BY: | ER |
| PROJECT NUMBER: | 23-00210 |
| ORIGINAL DATE: | 09/08/2023 |
| SHEET: | L1.1 |

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CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER,
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

| CITY OF RALEIGH STANDARD DETAIL | | |
|------------------------------------|----------------------|--------------|
| REV/ISSUES | DATE | NOT TO SCALE |
| 02/2019 | 09/09 | |
| | TREE PLANTING DETAIL | |
| TPP-03 | | |

PARKING CALCULATIONS:

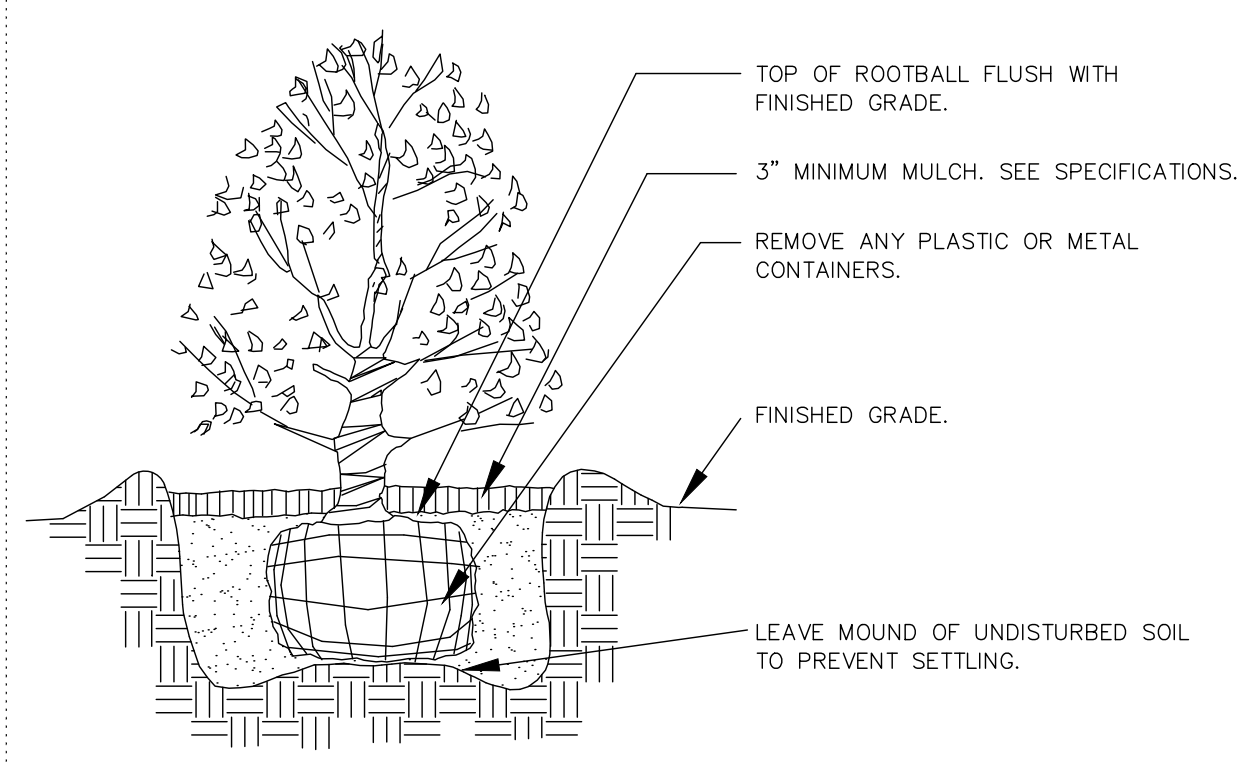
- TERMINAL ISLANDS:**
REQUIRED - AT END OF PARKING ROW
300 SF MIN. ; 8' WIDTH MIN.
PROVIDED - SEE PLAN FOR LOCATION & CALCULATIONS
- INTERIOR ISLANDS:**
REQUIRED - 1 ISLAND / 10 PARKING SPACES
300 SF MIN. ; 8' WIDTH MIN.
PROPOSED - 213 PARKING SPACES / 10 = 21
PROVIDED - SEE PLAN FOR LOCATION & CALCULATIONS
- PARKING LOT PLANTING**
REQUIRED - 1 CANOPY TREE / 2,000 S.F.
PROPOSED - XXX S.F. / 2,000 = 22
PROVIDED - XXX CANOPY TREES

ADDITIONAL PLANTING CALCULATIONS:

- STREET TREES (CROSS LINK ROAD)**
REQUIRED - 1 TREE / 40 LF OF FRONTAGE
PROPOSED - +/- 152 LF FRONTAGE / 40 = 3.8
PROVIDED - 3 STREET TREES
- PERIMETER ISLAND PLANTING**
REQUIRED - 5' WIDE MINIMUM & 30 SHRUBS / 100 L.F.
PROVIDED - SEE PLAN FOR CALCULATIONS
- SCM VEGETATED SHELF**
REQUIRED - 50 PLANTS / 200 SF SHELF AREA
PROPOSED - +/- XXX S.F. / 200 =
XXX x 50 = XXX PLANTS
PROVIDED - XXX PLANTS

PLANTING NOTES:

- PER UDO 8.4.1.D.7.6 STREET TREE REQUIREMENT (UDO 8.4.1.D.4.d.) ARE NOT REQUIRED AND PRIMARY TREE CONSERVATION AREA HAS BEEN PROVIDED ALONG SUNNYBROOK ROAD.
- FIELD ADJUSTMENTS TO PLANT MATERIAL TO BE MADE AS NEEDED BY OWNER.
- SIZE, QUALITY AND OVERALL HEALTH OF ALL PLANT MATERIAL USED SHALL CONFORM TO THE LATEST EDITION OF "USA STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- CALIPER SPECIFICATIONS INDICATED ON THE PLANT SCHEDULE SHALL TAKE PRECEDENCE OVER HEIGHT.
- PLANTS SHALL BE COVERED DURING TRANSPORT TO PREVENT WIND DAMAGE. COVERING SHALL BE REMOVED IMMEDIATELY UPON ARRIVAL ON SITE. ROOT BALLS SHALL BE THOROUGHLY WATERED IMMEDIATELY UPON ARRIVAL ON SITE AND THEN REGULARLY AS NEEDED. IF PLANTS ARE NOT INSTALLED IMMEDIATELY THEY SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUNLIGHT AND AWAY FROM HOT SURFACES, IF POSSIBLE, AND ROOT BALLS SHALL BE COVERED WITH MULCH.
- PLANTS SHALL BE TRANSPORTED BY LIFTING FROM BOTTOM OF ROOT BALL.
- CONTRACTOR SHALL REMOVE ALL LUMPS OF CLAY, STONES OVER 1" IN DIAMETER AND ALL CONSTRUCTION DEBRIS INCLUDING GRAVEL, ROOTS, LIMBS AND OTHER DELETERIOUS MATTER WHICH WOULD BE HARMFUL OR PREVENT PROPER ESTABLISHMENT AND/OR MAINTENANCE OF LAWN AND PLANTING AREAS.
- IN LANDSCAPE AREAS WHERE ASPHALT IS REMOVED FOR PLANTING BEDS OR WHERE CONSTRUCTION GRAVEL IS EMBEDDED IN THE SOIL, CONTRACTOR SHALL REPLACE CONTAMINATED SOIL TO A DEPTH OF 8" AND REPLACE WITH CLEAN TOPSOIL AT NO CHARGE TO OWNER IF REQUIRED.
- PRIOR TO PLANT INSTALLATION ALL PLANTING BEDS ARE TO BE TILLED AT A MINIMUM OF 1'-0" DEPTH AND RECEIVE AN AMENDED TOPSOIL MIXTURE APPROPRIATE FOR GOOD PLANT GROWTH AND ADEQUATE DRAINAGE. SOIL MIXTURE SHALL BE COMPOSED OF A (3/5 PARTS GOOD GARDEN SOIL, 1 PART BONE MEAL, 1 POUND OF LIME PER CUBIC FOOT) OR RECOMMENDED SOIL AMENDMENTS AND SOIL COMPOSITE BASED UPON RECOMMENDATION FROM SOIL TESTS. A MINIMUM OF ONE SOIL TEST IS REQUIRED FOR THIS SITE.
- PLANTING MIX SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND USED FOR BACKFILLING PITS FOR PLANTS. AVERAGE PLANTING MIX SHALL CONSIST OF EITHER THE FOLLOWING OR AN APPROVED EQUAL: 1 PART STALITE PERMATILL® (OR APPROVED EQUAL), 2 PARTS CLEAN TOPSOIL, 1 PART MUSHROOM COMPOST, AND 1 POUND LIME PER CUBIC FOOT.
- REFER TO TREE PLANTING DETAILS FOR INSTALLATION PROCEDURES AND REQUIREMENTS.
- PROVIDE AT LEAST 274 SQUARE FEET OF MINIMUM PLANTING AREA PER TREE WITH AMENDED ON SITE SOIL OR SOIL MIX, OR AS SPECIFIED IN THE CITY OF RALEIGH GUIDELINES AND SPECIFICATIONS ON TREE PLANTING, TO A DEPTH OF 18" INCHES.
- CONTRACTOR SHALL MULCH SHRUB BEDS AND TREES WITH DOUBLE HAMMERED HARDWOOD MULCH AS SPECIFIED IN LANDSCAPE PLAN.
- ALL PLANT BEDS ARE TO RECEIVE WEED INHIBITOR OF PREEN® OR APPROVED EQUAL.



Shrub Planting
• SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

DRAFT

MAINTENANCE AND WARRANTY NOTES:

- CONTRACTOR RESPONSIBLE FOR PROVIDING ONE 15 GALLON TEEGATOR® BAG OR APPROVED EQUAL PER EACH TREE AT TIME OF INSTALLATION.
 - CONTRACTOR MUST FOLLOW A ROUTINE SCHEDULE OF WATERING, FERTILIZATION, PEST CONTROL AND PRUNING UNTIL FINAL ACCEPTANCE BY OWNER. TREES WHICH ARE DETERMINED TO BE DEAD, DISEASED, DAMAGED OR MALNOURISHED SHALL BE REPLACED AT CONTRACTORS EXPENSE.
 - CONTRACTOR IS RESPONSIBLE FOR THE VIABILITY OF PLANT MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR AFTER ACCEPTANCE FROM OWNER BUT MAY ALSO BE BONDED FOR WARRANTY BY LOCAL ORDINANCE OR DEVELOPMENT CONDITIONS. IN THE EVENT THAT LANDSCAPE MAINTENANCE IS PROVIDED BY ANOTHER CONTRACTOR, WARRANTY SHALL BE TRANSFERABLE TO MAINTENANCE CONTRACTOR.
- TREE STAKING AND LOCATIONS:**
- CONTRACTOR SHALL STAKE LOCATION OF ALL TREES AND OBTAIN APPROVAL FROM OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION



ESP Associates, Inc.
2206 Gateway Centre Blvd.
Suite 218
Morrisville, NC 27560
919-678-1070
www.espasociates.com

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| NO. | DATE | REVISION | BY |
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PLANTING NOTES & DETAILS
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS

RALEIGH NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

| PROJECT INFORMATION | |
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| DESIGNED BY: | ER |
| DRAWN BY: | ER |
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| SHEET: | L1.2 |

L1.2

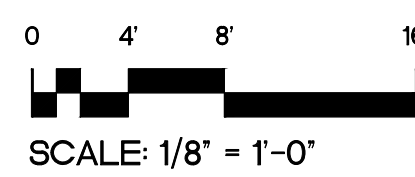
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2 BLDG 100 - SIDE ELEVATION
1/8" = 1'-0" OPP. SIDE



1 BLDG 100 - SOUTH ELEVATION (FRONT ELEVATION)
1/8" = 1'-0"



REVISIONS

PROJECT
2023-028

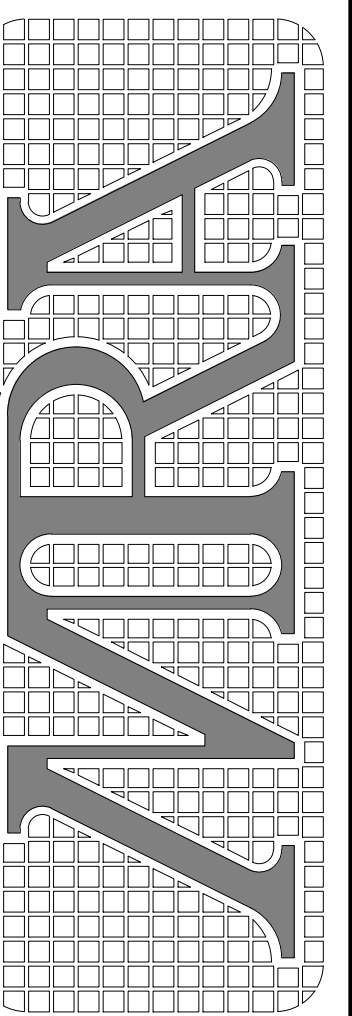
DATE
09-08-2023

DRAWN BY / CHECKED BY
EJ / MRL

MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
215 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-3329 404-373-2800

CROSS LINK ROAD SITE
RALEIGH, NC

BUILDING 100 - EXTERIOR ELEVATIONS



A3.1