



Administrative Approval Action

Case File / Name: ASR-0051-2023

919 CROSS LINK ROAD - AFFORDABLE HOUSING DEVELOPMENT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 9.93 acre site zoned R-6-CU (Z-62-22) is located on the west side of Cross Link Road just south of the intersection of Cross Link Road and Crown Crossing Lane. This is in a frequent transit area and is addressed at 919 Cross Link Road.

REQUEST: This is an affordable housing project (multi-family apartment buildings) with associated parking, infrastructure, amenity areas, TCA, and greenway with an internal trail connection. Four multi-family buildings with 142 units total and 188,205 square feet gross of building space are proposed. This is a frequent transit development option.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 20, 2024 by South Creek Development.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Lighting plan required (see note on cover sheet, and 2. Final design of the natural surface trail (COR Parks and Recreation) (Z-62-22)
2. Show bike parking layout and details for both short term and long term bike parking (7.1.7 K)
3. Provide (as per COR SWS - see note on cover sheet) detail of dumpster enclosure as per section 7.2.5 C and the COR Solid Waste Manual

Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Administrative Approval Action

Case File / Name: ASR-0051-2023

919 CROSS LINK ROAD - AFFORDABLE HOUSING DEVELOPMENT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- 6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 8. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Transit Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
-------------------------------------	---------------------------------------------

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. Existing 30' ingress/egress easement (BM 1984 pg 926) to be vacated - see existing conditions sheet C1.1.
- 2. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Engineering

- 3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



Administrative Approval Action

Case File / Name: ASR-0051-2023

919 CROSS LINK ROAD - AFFORDABLE HOUSING DEVELOPMENT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

5. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
7. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

Transportation

8. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.02 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



Administrative Approval Action

Case File / Name: ASR-0051-2023

919 CROSS LINK ROAD - AFFORDABLE HOUSING DEVELOPMENT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

2. A fee-in-lieu for 12' MUP along property frontage shall be paid to the City of Raleigh (UDO 8.1.10)

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A public infrastructure surety for six (6) street trees along Cross Link Rd. shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes six (6) street trees along Cross Link Rd.
8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. As part of developing the property subject to this conditional zoning, the developer/property owner shall construct a pedestrian connection, consistent with city of Raleigh greenway standards to the extent practical, from the internal pedestrian network for the development to the boundary of the greenway easement required to be dedicated under udo section 8.6.1(a). Details regarding this connection shall be shown on the site plan for development allowed by this conditional zoning. Construction of the connection shall be completed prior to issuance of fifty percent (50%) of the certificates of occupancy in the development. If construction of the connection is not complete by the time specified above, the developer may submit to the city a performance guarantee for completion of the pedestrian connection, said guarantee to be consistent with the procedures/requirements of the Raleigh UDO and other regulations as applicable (Z-62-16).



Administrative Approval Action

Case File / Name: ASR-0051-2023

919 CROSS LINK ROAD - AFFORDABLE HOUSING DEVELOPMENT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 10, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____  _____ Date: 04/10/2024
Development Services Dir/Designee

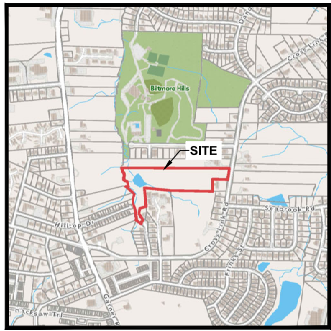
Staff Coordinator: Michael Walters

919 CROSS LINK ROAD

ADMINISTRATIVE SITE REVIEW PLAN

LOCATED IN CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
(ASR - 0051 - 2023)

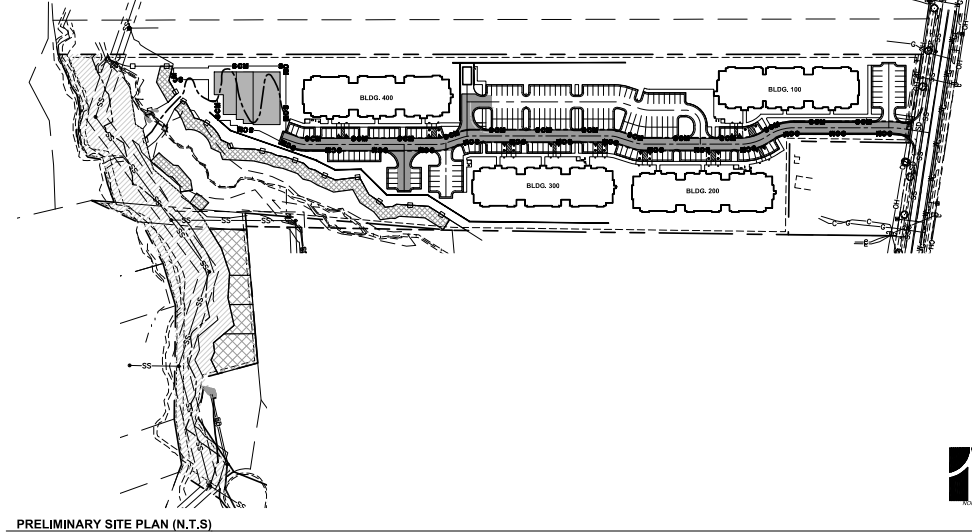
AFFORDABLE HOUSING DEVELOPMENT



VICINITY MAP SCALE: 1" = 800'

SHEET NO.	SHEET INDEX	ORIGINAL DATE	REVISION #	REVISION #2
C0.0	COVER	03/20/2023	01/05/2024	03/20/2024
—	FINAL PLAN OF 919 CROSS LINK ROAD	03/20/2023	11/29/2023	
C1.1	PRELIMINARY DEMOLITION PLAN	03/20/2023	01/05/2024	03/20/2024
C2.0	PRELIMINARY SITE PLAN (OVERALL)	03/20/2023	01/05/2024	03/20/2024
C2.1	PRELIMINARY SITE PLAN ENLARGEMENT (EAST)	03/20/2023	01/05/2024	03/20/2024
C2.2	PRELIMINARY SITE PLAN ENLARGEMENT (WEST)	03/20/2023	01/05/2024	03/20/2024
EX1.0	FIRE ACCESS EXHIBIT	03/20/2023	01/05/2024	03/20/2024
EX2.0	GREENWAY EXHIBIT	03/20/2023	01/05/2024	03/20/2024
EX3.0	BLOCK PERIMETER EXHIBIT	03/20/2023	01/05/2024	03/20/2024
C3.0	PRELIMINARY OVERALL GRADING & DRAINAGE PLAN	11/30/2024	12/09/2024	3/20/2024
C3.1	PRELIMINARY GRADING & DRAINAGE PLAN ENLARGEMENT (EAST)	03/20/2023	01/05/2024	03/20/2024
C3.2	PRELIMINARY GRADING & DRAINAGE PLAN ENLARGEMENT (WEST)	03/20/2023	01/05/2024	03/20/2024
C4.0	PRELIMINARY SW PLAN	03/20/2023	01/05/2024	03/20/2024
C5.0	PRELIMINARY WATER + SEWER PLAN (OVERALL)	03/20/2023	01/05/2024	03/20/2024
T1.0	TREE CONSERVATION AREA PLAN	03/20/2023	01/05/2024	03/20/2024
T1.1	TREE CONSERVATION CALCULATIONS	—	—	03/20/2024
L1.0	PLANTING PLAN ENLARGEMENT (EAST)	03/20/2023	01/05/2024	03/20/2024
L1.1	PLANTING PLAN ENLARGEMENT (WEST)	03/20/2023	01/05/2024	03/20/2024
L1.2	PLANTING NOTES & DETAILS	03/20/2023	01/05/2024	03/20/2024
AS.1	ARCHITECTURAL ELEVATIONS	03/20/2023	01/05/2024	03/20/2024

- FIRE APPARATUS ACCESS REQUIREMENTS**
- FIRE DEPARTMENT APPARATUS ACCESS SHALL BE PROVIDED TO WITHIN 100' OF ALL PORTIONS OF GROUND FLOOR OF PROPOSED BUILDINGS.
 - APPARATUS ACCESS ROAD (IDEALLY) GREATER THAN 15' REQUIRES APPROVED AREA TO TURN APPARATUS AROUND. ALTERNATE HAMMERHEAD PROVIDED.
 - MINIMUM APPARATUS ACCESS WIDTH 20' INSIDE TURN RADIUS 25'.
- SOLID WASTE INSPECTIONS STATEMENT**
- SOLID WASTE MANAGEMENT PLAN AND PRIVATE UTILITY PROVIDER WILL SEND LETTER AT TIME OF SITE PERMIT REVIEW AS REQUIRED IN CITY OF RALEIGH CHECKLIST AND PER APPLICABLE CODE REQUIREMENTS.
- LIGHTING PLAN STATEMENT**
- LIGHTING PLAN WILL BE PROVIDED AT TIME OF SITE PERMIT REVIEW AS REQUIRED BY CITY OF RALEIGH CHECKLIST AND PER APPLICABLE CODE REQUIREMENTS.



PRELIMINARY SITE PLAN (N.T.S.)

SITE DATA TABLE	
PNR #:	171006962
EXISTING SITE AREA:	+426.91 AC
EXISTING SITE AREA AFTER ROW DEDICATION:	+418.82 AC
EXISTING ZONING:	R-4-CU (REZONING CASE 2402-2 - SEE ZONING CONSIDER THIS SHEET)
OVERLAY DISTRICT:	N/A
URBAN FORM:	FREQUENT TRANSIT AREA
CURRENT USE:	VACANT
PROPOSED USE:	MULTIFAMILY RESIDENTIAL (AFFORDABLE HOUSING) FREQUENT TRANSIT DEVELOPMENT OPTION
PROPOSED BUILDINGS:	BUILDING FOOTPRINT (PER BUILDING): 15,737 SF (BLDG 100), 16,266 SF (BLDG 200 + 300), 15,704 SF (BLDG 400)
GROSS FLOOR AREA (PER BUILDING):	46,041 GFA (BLDG 100), 48,073 GFA (BLDG 200 + 300), 46,004 GFA (BLDG 400)
TOTAL RESIDENTIAL UNITS:	186,205 S.F. 142 TOTAL - (40) 3 BDRM, (80) 2 BDRM, (16) 1 BDRM ALL PROPOSED UNITS ARE AFFORDABLE HOUSING UNITS PER UDO 27.1(A)
REQUIRED SITE AREA PER UNIT:	1,205 SF 332 AC / 142 UNITS = 2.34 AC PER UNIT (+/- 3,043.29 SF PER UNIT)

BLOCK PERIMETER: REQUIRED: 2,500 LF. MAX EXCEPTION PER UDO 6.3.2.4.1, 6.1.1.1.	CROSS ACCESS: N/A	PRIMARY STREET DESIGNATION: CROSS LINK ROAD. (DEVELOPMENT COMPLIES WITH PRIMARY STREET BUILDING SETBACK PER UDO 27.1)	FOOTNOTE (#):
PROPOSED ADDRESS: PRIVATE STREET SHOWN ON SITE PLAN. ADDRESS TO BE CONFIRMED AT TIME OF SITE PERMIT REVIEW PER APPROVED STREET NAME.	PARKING CALCULATIONS: EXISTING PARKING SPACES: N/A	RALEIGH VEHICLE PARKING REQUIRED: NO MINIMUM PARKING REQUIREMENT 342 MAXIMUM ALLOWED SPACES	NCHFA VEHICLE PARKING REQUIRED: 1.5 SPACE / UNIT
AMENITY AREA CALCULATIONS: REQUIRED: 10% TOTAL SITE AFTER ROW DEDICATION - 43,266 SF. (29 AC) PROPOSED AMENITY AREA: 1.01 AC	PROPOSED: 22,597 SF. (62%) OF OUTDOOR AMENITY AREA USABLE TO PEDESTRIAN AND ADA ACCESSIBLE. AS REQUIRED PER CAR UDO SEC. 15.3.3.8 OUTDOOR AMENITY AREA.	NCHFA REQUIRED SITE AMENITIES: MANDATORY: 1. COVERED PICNIC AREA 2. MULTIPURPOSE ROOM (WITH KITCHENETTE) 3. PLAYGROUND	ADDITIONAL: 1. OUTDOOR SITTING AREAS WITH BENCHES (MIN. 3 LOCATIONS) 2. GAZEBO 3. TOT LOT

2-0-2023 CROSS LINK RD - R-4-CU APPROVED ZONING CONDITIONS 04/13/2021

AS PART OF DEVELOPING THE PROPERTY SUBJECT TO THIS CONDITIONAL ZONING, THE DEVELOPER/PROPERTY OWNER SHALL CONSTRUCT A PEDESTRIAN CONNECTION, CONSISTENT WITH CITY OF RALEIGH GREENWAY STANDARDS TO THE EXTENT PRACTICAL, FROM THE INTERNAL PEDESTRIAN NETWORK FOR THE DEVELOPMENT TO THE BOUNDARY OF THE GREENWAY EASEMENT REQUIRES TO BE DEDICATED UNDER UDO SECTION 6.6 (A) DETAILS REGARDING THIS CONNECTION SHALL BE SHOWN ON THE SITE PLAN FOR DEVELOPMENT ALLOWED BY THIS CONDITIONAL ZONING. CONSTRUCTION OF THE CONNECTION SHALL BE COMPLETED PRIOR TO RESIGNATURE OF CITY PERMIT (80% OF THE CERTIFICATES OF OCCUPANCY IN THE DEVELOPMENT). IF CONSTRUCTION OF THE CONNECTION IS NOT COMPLETE BY THE TIME SPECIFIED ABOVE, THE DEVELOPER/MAY BE SUBJECT TO THE CITY A PERFORMANCE GUARANTEE FOR COMPLETION OF THE PEDESTRIAN CONNECTION, SAID GUARANTEE TO BE CONSISTENT WITH THE PROCEDURES/REQUIREMENTS OF THE RALEIGH UDO AND OTHER REGULATIONS AS APPLICABLE.

ZONING CONDITION STATEMENT OF CONSENT: PROPOSED NATURAL SURFACE TRAIL AND CITY OF RALEIGH GREENWAY EASEMENT DESIGNATIONS SHOWN ON SITE PLAN AND GREENWAY EXHIBIT SHEETS IN THIS SET. FINAL DESIGN OF NATURAL SURFACE TRAIL WILL BE PROVIDED IN FUTURE SITE PERMIT REVIEW PROCESS. GREENWAY WILL BE PLACED AT TIME OF FINAL PLAN FOR AS APPROVED BY CITY OF RALEIGH DURING SITE PERMIT REVIEW PROCESS. CONSTRUCTION.

RALEIGH REQUIRED BICYCLE PARKING:
 SHORT TERM: 1 SPACE / 28 UNITS + 1.1 SPACES
 COVERED LONG TERM: 1 SPACE / 7 BEDROOMS + 4.48 SPACES

PROPOSED BICYCLE PARKING:
 SHORT TERM: 10 SPACES
 COVERED LONG TERM: 28 SPACES
 SEE RALEIGH UDO BIKE PARKING EXEMPTION - SEC. 7.1.7.1
 BIKE PARKING LAYOUT AND DETAILS SHALL COMPLY WITH CITY OF RALEIGH STANDARDS AND SHALL BE PROVIDED AT TIME OF SPR.

DEVELOPMENT TYPE - SITE DATA TABLE

DEVELOPMENT TYPE	DEVELOPMENT DATA
2-story detached (other) (average of 2.0)	Flooring types for use for nonresidential: N/A
1-6 U (15.8 AC)	2.5' max. height: N/A
3-5 AC	1.5' max. height: N/A
1-2' of parking spaces proposed 215	Max. gross floor area: 100,000
Max. parking provided (21.2)	Total # of acres to be developed: 1.01
Max. lot area (1.01)	Proposed # of lots: 142
Proposed use (R-4-CU)	Proposed # of lots to be developed: 142

STORMWATER INFORMATION:
 Improvement Type: CONCRETE
 Existing: 0, Proposed: 142,000
 Existing: 0, Proposed: 142,000

RESIDENTIAL OVERLAY (CROSS) DEVELOPMENTS:
 Total # of existing units: 0
 # of units to be developed: 186,205
 # of units to be developed: 186,205
 # of units to be developed: 186,205

ENGINEERING FIRM: ESP ASSOCIATES, INC.
ADDRESS: 2200 GATEWAY CENTER BLVD, SUITE 216 MORRISVILLE, NC 27560
PHONE: (919) 677-1252
FAX: (919) 677-1252
CONTACT: MICHAEL ROTHROCK, PLA

DEVELOPER: SOUTH CREEK DEVELOPMENT
ADDRESS: P.O. BOX 343 6704 FEGAN ROAD SUMMERFIELD, NC 27588
PHONE: 336-466-9267
CONTACT: CHARLIE HERITAGE

ARCHITECTURAL FIRM: MARTIN RILEY ASSOCIATES - ARCHITECTS P.C.
ADDRESS: 100 CRESCENT CENTER PARKWAY, SUITE 230 TUCKER, GA 30084
PHONE: (404)-773-2880
CONTACT: MICHAEL LEE

REVIEW AGENCY: CITY OF RALEIGH
ADDRESS: 1 EXCHANGE PLAZA, SUITE 400 RALEIGH, NC 27601
PHONE: (919) 996-2495

THIS SET IS CURRENT THROUGH SHEET DATE 03/20/2024

Other Use Only: Case # _____ Plan # _____

Please see UDO Sec 10.2.8 to determine the appropriate fee for obtaining a C.O.P. as this fee is required during the development process and is subject to review at the time of the final plan.

Site Plan Type	Fee	Other Fees	Plan #
Building and Development Type	Check all that apply	Site Remediation History	
<input type="checkbox"/> Industrial <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Institutional <input type="checkbox"/> Other	<input type="checkbox"/> General <input type="checkbox"/> Hazardous Waste Site <input type="checkbox"/> Contaminated Site <input type="checkbox"/> Other	<input type="checkbox"/> No <input type="checkbox"/> Yes (Specify)	

GENERAL INFORMATION

Developer Name: Cross Link, Inc.
 Project Name: 919 Cross Link Rd, Raleigh, NC 27616
 Property Address: 919 Cross Link Rd, Raleigh, NC 27616
 Parcel ID: 171006962
 Project Description: Affordable Housing Development (As of 1/1/2024)
 Project Status: In Progress
 Project Manager: Charlie Heritage
 Project Contact: Charlie Heritage
 Project Phone: (919) 677-1252
 Project Email: charlie@espprojects.com
 Project Address: 919 Cross Link Rd, Raleigh, NC 27616
 Project City: Raleigh, NC
 Project State: NC
 Project Zip: 27616
 Project Date: 03/20/2023
 Project Sheet: C0.0

APPLICANT SIGNATURE BLOCK

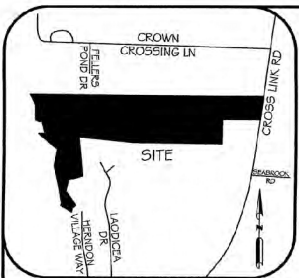
Signature: _____ Date: _____

Project Information:

DATE	NO.	DESCRIPTION	REVISION
	1	ISSUED	ER
	2	ISSUED	ER

Continue to Applicant Signature Block on Page Three.





VICINITY MAP
NOT TO SCALE

LEGEND:

- IFP - IRON PIPE FOUND
- IRF - IRON ROD FOUND
- CMF - CONC. CURB FOUND
- MNF - MASON NAIL FOUND
- NLF - NAIL FOUND
- PKF - PK NAIL FOUND
- RF - REBAR FOUND
- RS - #5 REBAR SET
- MNS - MASON NAIL SET
- DIST - DISTURBED
- CP - COMPUTED POINT
- ROW - RIGHT-OF-WAY
- CONC. - CONCRETE
- TEV - TELECOM VAULT
- FOV - FIBER OPTIC VAULT
- TF - TELECOM FEDESTAL
- ETP - ELECTRICAL TRANSFORMER
- ELP - ELECTRICAL PEDESTAL
- AC - HVAC UNIT
- LP - LIGHT POLE
- PP - POWER UTILITY POLE
- OW - OVERHEAD UTILITY LINES
- ICV - IRRIGATION CONTROL VALVE
- WM - WATER METER
- HT - FIRE HYDRANT
- CO - SEWER CLEANOUT
- SSMH - SANITARY SEWER MANHOLE
- SS - UNDERGROUND SANITARY SEWER PIPE
- DI - STORM DRAIN INLET
- CB - STORM CATCH BASIN
- RCP - REINFORCED CONC. PIPE
- CPF - CORRUGATED PLASTIC PIPE
- SD - UNDERGROUND STORM PIPE
- SW - SIDEWALK
- SAT - SATELLITE DISH
- CL - CHAIN LINK FENCE
- PVC - POLYVINYL CHLORIDE

REFERENCES:
DD 12651 PAGE 2503
BM 2005 FACE 959

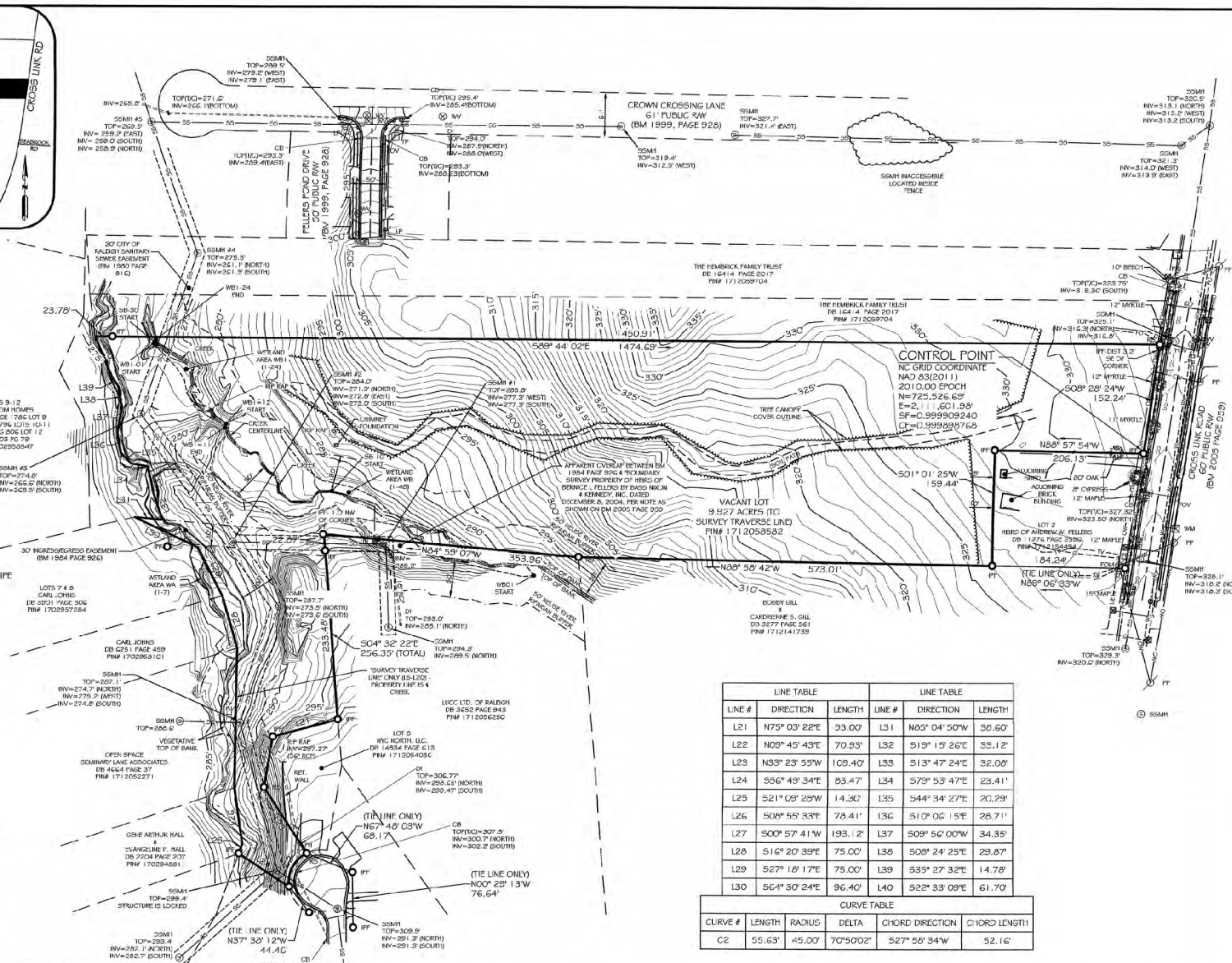
MINIMUM BUILDING SETBACKS:

- ZONING R-6 CU (CITY OF RALEIGH)
- ZONING CASE Z-62-2004
- PRINCIPAL BUILDING SETBACKS
 - FROM FRONT STREET - 10'
 - FROM SIDE STREET - 10'
 - FROM SIDE LOT LINE - 5'
 - FROM REAR LOT LINE - 20'

ABOVE SETBACKS TAKEN FROM ARTICLE 2.2.1 OF THE CITY OF RALEIGH UDO.

GENERAL NOTES:

1. ALL DISTANCES ARE US SURVEY FEET HORIZONTAL GROUND DISTANCES.
2. ALL AREAS ARE COMPUTED BY COORDINATE COMPUTATION METHOD UNLESS OTHERWISE NOTED.
3. THE SUBJECT PARCEL IS NOT LOCATED IN THE 1% CHANCE SPECIAL FLOOD HAZARD AREA PER FIRM MAP 37201712001; HAVING AN EFFECTIVE DATE OF MAY 2, 2006.
4. THIS SURVEY WAS PERFORMED AND MAPPED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS SURVEY IS SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DEVELOPED BY A FULL AND ACCURATE TITLE SEARCH.
5. THE SURVEY WAS TIED TO THE NC GEODETIC COORDINATE SYSTEM USING GNSS AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THIS TIE SURVEY:
CLASS OF SURVEY: CLASS A
POSITIONAL ACCURACY: 0.06'
TYPE OF GPS FIELD PROCEDURE: NC REAL TIME KINEMATIC NETWORK
DATE OF SURVEY: SEPTEMBER 13, 2022
DATUM/EPOCH: NAD 83(2011) EPOCH 2010.00
GEOID MODEL: GEOID 12B
COMBINED GRID FACTOR: 0.999898765
UNITS: US SURVEY FEET
6. WETLANDS DELINEATED BY SAGE ECOLOGICAL SERVICES, INC. THE SURVEYOR LOCATED THE FLAGS SET BY SAGE ECOLOGICAL SERVICES, INC. AND DOES NOT CERTIFY TO THE DELINEATION OF THE WETLANDS.
7. CONTOURS ARE ACCURATE TO ONE HALF (1/2) CONTOUR INTERVAL FOR 90% OF THE CONTOURS AND ONE (1) CONTOUR INTERVAL FOR THE REMAINING 10% PER U.S. NATIONAL MAP ACCURACY STANDARDS.



LINE TABLE			LINE TABLE		
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L21	N75° 03' 22"E	33.00'	L31	N05° 04' 50"W	30.60'
L22	N00° 45' 43"E	70.93'	L32	S19° 15' 26"E	33.12'
L23	N33° 23' 55"W	109.40'	L33	S13° 47' 24"E	32.00'
L24	S56° 49' 34"E	63.47'	L34	S79° 53' 47"E	23.41'
L25	S21° 05' 29"W	14.30'	L35	S44° 34' 27"E	20.29'
L26	S08° 55' 33"E	78.41'	L36	S10° 05' 15"E	28.71'
L27	S00° 57' 41"W	193.12'	L37	S09° 56' 00"W	34.95'
L28	S16° 20' 39"E	75.00'	L38	S08° 24' 25"E	29.87'
L29	S27° 16' 17"E	75.00'	L39	S33° 27' 32"E	14.78'
L30	S64° 30' 24"E	96.40'	L40	S22° 33' 09"E	61.70'

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	
C2	55.63'	45.00'	70°50'02"	52.7°58'34"W	52.16'

I, KEVIN C. FIVER, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE HORIZONTAL & VERTICAL POSITIONAL ACCURACY (OBTAINED BY LEAST SQUARES ADJUSTMENT) IS 0.06'; AND THAT THE ORIGINAL DATA WAS OBTAINED ON APRIL 06, 2022; THAT THE SURVEY WAS COMPLETED ON DECEMBER 5, 2022; THAT THE SURVEY WAS DRAWN AS (BROKEN LINES) MAY NOT MEET THE STATED STANDARD; AND THAT THE COORDINATES ARE BASED ON NAD 83(2011); AND ALL ELEVATIONS ARE IN FEET NAVD 83.

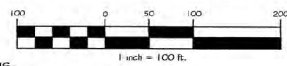
Kevin C. Fiver
KEVIN C. FIVER, FLS

1-3919 NOVEMBER 29, 2023
REGISTRATION NO. DATE

I, KEVIN C. FIVER, FLS, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY UNDER MY SUPERVISION (DB 12651 PAGE 2503 BM 2005 FACE 959); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED BY DASHED LINES) AS DRAWN FROM INFORMATION AS SHOWN ON THE FACE OF THE PLAT; THAT THE POSITIONAL ACCURACY IS 0.06'; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (N.C. 88-100).

Kevin C. Fiver
KEVIN C. FIVER, FLS

1-3919 NOVEMBER 29, 2023
REGISTRATION NO. DATE



REVISIONS:
11/20/2024 - LOCATED ADDITIONAL TOPD IN WESTERN HALF OF SITE. LOCATED SOIL PLAT.

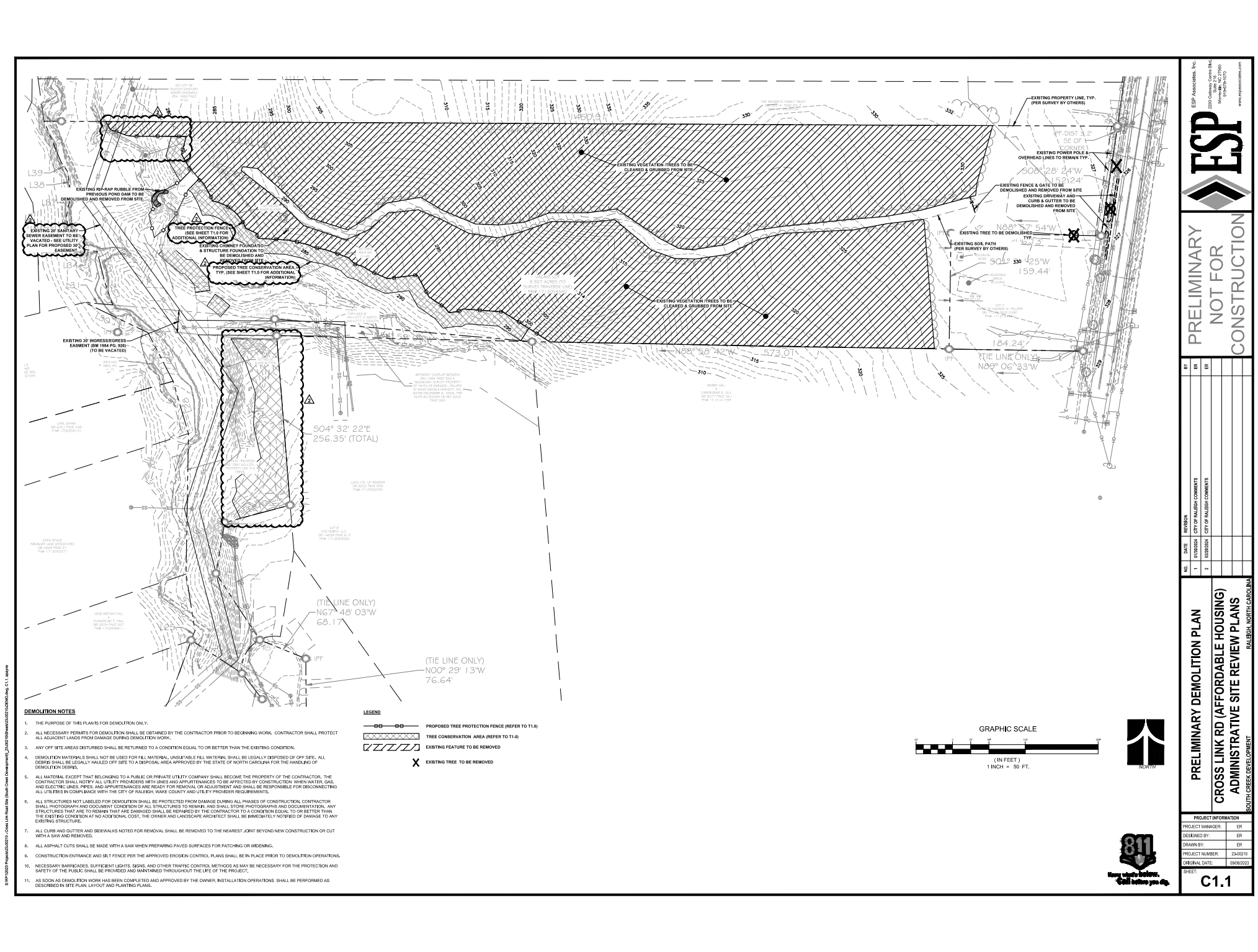
Pennoni

FINAL PLAT OF
919 CROSS LINK ROAD
SURVEY FOR
SOUTH CREEK DEVELOPMENT, LLC

OWNER INFORMATION
FELLERS POND, LLC
DB 12651 PG 2503 - BM 2005 PG 959

TOWNSHIP
ST. MARY'S TOWNSHIP
COUNTY # STATE
WAKE COUNTY, NC
PLAT #
171 2058582
ZONING
R 6 CU
DATE OF SURVEY
NOV. 29, 2023
SCALE: 1" = 100'
PROJECT NUMBER:
S0CRK23001
SURVEYED BY: BB/EAP
DRAWN BY: GLB/JSC
CHECKED BY: KCF
SHEET NO: 1 OF 2

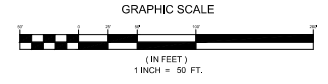
FIRM LICENSE # 287
PENNONI ASSOCIATES INC.
5450 WALKER PARK BOULEVARD
RALEIGH, NC 27607
T 919.929.1173 F 919.469.6648



- DEMOLITION NOTES**
- THE PURPOSE OF THIS PLAN IS FOR DEMOLITION ONLY.
 - ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK. CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK.
 - ANY OFF SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
 - DEMOLITION MATERIALS SHALL NOT BE USED FOR FILL MATERIAL. UNSUITABLE FILL MATERIAL SHALL BE LEGALLY REPOSED OFF SITE. ALL DEBRIS SHALL BE LEGALLY HAULED OFF SITE TO A DISPOSAL AREA APPROVED BY THE STATE OF NORTH CAROLINA FOR THE HANDLING OF DEMOLITION DEBRIS.
 - ALL MATERIAL EXCEPT THAT BELONGING TO A PUBLIC OR PRIVATE UTILITY COMPANY SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES WITH LINES AND APPURTENANCES TO BE AFFECTED BY CONSTRUCTION. WHEN WATER, GAS, AND ELECTRIC LINES, PIPES, AND APPURTENANCES ARE READY FOR REMOVAL OR ADJUSTMENT AND SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH THE CITY OF RALEIGH, WAKE COUNTY AND UTILITY PROVIDER REQUIREMENTS.
 - ALL STRUCTURES NOT LABELED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT CONDITION OF ALL STRUCTURES TO REMAIN, AND SHALL STORE PHOTOGRAPHS AND DOCUMENTATION. ANY STRUCTURES THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST. THE OWNER AND LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF DAMAGE TO ANY EXISTING STRUCTURE.
 - ALL CURBS AND GUTTER AND SIDEWALKS NOTED FOR REMOVAL SHALL BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED.
 - ALL ASPHALT CUTS SHALL BE MADE WITH A SAW WHEN PREPARING PAVED SURFACES FOR PATCHING OR WIDENING.
 - CONSTRUCTION ENTRANCE AND SILT FENCE PER THE APPROVED EROSION CONTROL PLANS SHALL BE IN PLACE PRIOR TO DEMOLITION OPERATIONS.
 - NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
 - AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER, INSTALLATION OPERATIONS SHALL BE PERFORMED AS DESCRIBED IN SITE PLAN, LAYOUT AND PLANTING PLANS.

LEGEND

	PROPOSED TREE PROTECTION FENCE (REFER TO T1.0)
	TREE CONSERVATION AREA (REFER TO T1.2)
	EXISTING FEATURE TO BE REMOVED
	EXISTING TREE TO BE REMOVED



B:\181\2023\181-0000\2023-0000\Cross Link Rd (South Creek Development)_23-0000\23-0000\Tasking\DWG_C11.dwg

ESP Associates, Inc.
2300 Gables Centre Blvd.
Murrysville, PA 17140
800-825-8879
www.espsurvey.com

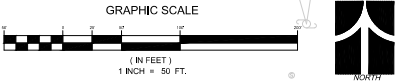
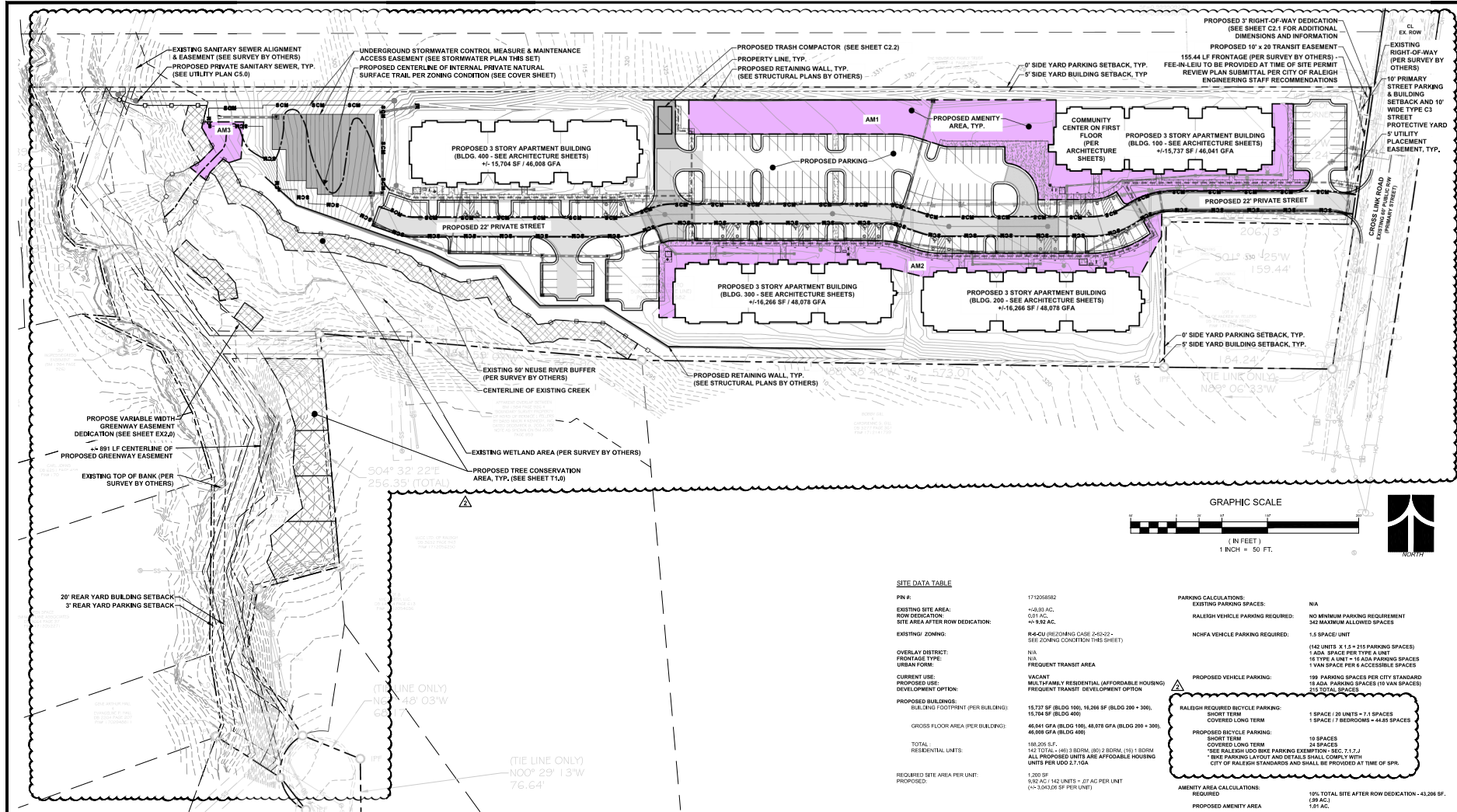
PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	DATE	REVISION
1	2/20/2024	CITY OF RALEIGH COMMENTS
2	2/20/2024	CITY OF RALEIGH COMMENTS

PROJECT INFORMATION

PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	23-0010
CHEERLAL DATE:	2/26/2023
SHEET:	C1.1

PRELIMINARY DEMOLITION PLAN
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
 SOUTH CREEK DEVELOPMENT
 RALEIGH, NORTH CAROLINA



- GENERAL NOTES:**
- CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDD STANDARDS AND SPECIFICATIONS AS APPLICABLE.
 - PLAN IS SUBJECT TO REVISIONS DURING CONSTRUCTION DRAWING APPROVAL PROCESS.
 - THE PLAT IS DERIVED FROM INFORMATION GATHERED BY AN ACTUAL FIELD SURVEY MADE BY THE OFFICE BETWEEN JANUARY 13, 2020 AND JANUARY 20, 2020.
 - HORIZONTAL DATUM USED FOR THIS PROJECT IS NAD 83 (11 US SURVEY FEET). VERTICAL DATUM USED FOR THIS PROJECT IS NAVD 83.
 - BOUNDARY INFORMATION PER DEEDS AND PLATS OF THE WAKE COUNTY REGISTRY AS SHOWN.
 - THE GROUND CONTROL COORDINATES ARE LOCATED COORDINATES BASED ON STATE PLANE COORDINATES FOR ESP VRS BEING THE FOLLOWING: NAD 83 (11 US SURVEY FEET) COORDINATE VALUES: NORTHING: 727,311,543.92 EASTING: 2,121,743,341.16 ELEVATION: 282.09 (NAVD 83).
 - PROJECT COMBINED GRID FACTOR USED IS 0.9999916808 (GROUND TO GRID).
 - UNLESS OTHERWISE NOTED ALL COORDINATES SHOWN ARE GROUND COORDINATES.
 - ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS UNLESS OTHERWISE NOTED.
 - ALL AREAS COMPUTED BY COORDINATE COMPUTATION METHOD.
 - THE PROJECT CONTROL WAS ESTABLISHED BY ESP ASSOCIATES, INC. USING THE NCOS VRS SYSTEM.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL FACTS AND EASEMENTS WHICH MAY BE DISCLOSED WITHIN AN ACCURATE AND COMPLETE TITLE REPORT.
 - THE PROJECT SITE IS NOT LOCATED IN A FLOOD ZONE. REFER TO DFBM MAP NUMBER 370012700K WITH A DATE OF 07/18/2022.

- SITE NOTES:**
- ALL RADI DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
 - SHADED CURB & GUTTER INDICATES LOCATION FOR SPILL CURBS.
 - MINIMUM CROSS SLOPE ON ALL ASPHALT TO BE 1/4" PER FOOT.
 - MINIMUM SLOPE ON CURB AND GUTTER SHALL BE 0.30%, UNLESS SPILL CURBS INDICATED.
 - ALL HANDICAP ACCESS RAMP SHALL COMPLY WITH THE LATEST EDITION OF THE ADA ACCESSIBILITY GUIDELINES.
 - SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION ON THE NEAREST TRAVELED WAY IF NO CURBS EXIST.
 - NO OBSTRUCTIONS, PLANTINGS, OR FENCING SHALL BE PERMITTED WITHIN SIGHT TRIANGLES. STORM DRAINAGE EASEMENTS (SIDE) AND SANITARY SEWER EASEMENTS.
 - ALL SITE CONCRETE (SIDEWALKS, CURB & GUTTER, ETC.) SHALL NOT BE LESS THAN 3000 PSI STRENGTH AT 28 DAYS.
 - LIGHTING PLAN TO BE DESIGNED BY OTHERS.
 - SIGNAGE & ENTRY MONUMENTS IS AN TO BE DESIGNED AND PERMITTED BY OTHERS.
 - ANY AND ALL FENCES MUST BE OUTSIDE OF EASEMENTS.
 - ALL SIDEWALKS SHALL HAVE A MAX. CROSS-SLOPE OF 2%.
 - MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM POINT OF TANGENCY.
 - PLAN SHOWN FOR DIMENSIONAL AND MATERIAL PURPOSES ONLY.

AMENITY CALCULATIONS:

REQUIRED: 10% OF TOTAL SITE AFTER ROW DEDICATION = 10% OF 9.32 AC (432,115.20 SF) = 0.932 AC (43,211.52 SF)

PROVIDED:

AM 1	AREA	14,294 SF - 0.33 AC
AM 2	AREA	27,803 SF - 0.64 AC
AM 3	AREA	2,023 SF - 0.05 AC
TOTAL	AREA PROVIDED	44,114.00 SF - 1.01 AC

SITE DATA TABLE

PIN #:	171206082
EXISTING SITE AREA:	+0.93 AC
ROW DEDICATION SITE AREA AFTER ROW DEDICATION:	+9.32 AC
EXISTING ZONING:	R-4CU (REZONING CASE 240-22 - SEE ZONING CONDITION THIS SHEET)
OVERLAY DISTRICT:	NA
FRONTAGE TYPE:	URBAN FORM
CURRENT USE:	VACANT
DEVELOPMENT OPTION:	MULTIFAMILY RESIDENTIAL (AFFORDABLE HOUSING) / FREQUENT TRANSIT DEVELOPMENT OPTION
PROPOSED BUILDINGS:	BUILDING FOOTPRINT (PER BUILDING): 15,737 SF (BLDG 100), 16,266 SF (BLDG 200 + 300), 15,734 SF (BLDG 400)
GROSS FLOOR AREA (PER BUILDING):	46,841 GFA (BLDG 100), 48,078 GFA (BLDG 200 + 300), 46,008 GFA (BLDG 400)
TOTAL RESIDENTIAL UNITS:	188,206 S.F., 143 TOTAL (44) 1-BDRM, (80) 2-BDRM, (16) 1-BDRM
REQUIRED SITE AREA PER UNIT:	1,300 SF / 92 AC / 142 UNITS = 0.7 AC PER UNIT (+0.203,028 SF PER UNIT)
BLOCK PERIMETER:	2,580 LF. MAX EXCEPTION PER UDO 8.3.2.A.1.B.1.
CROSS ACCESS:	NA
PRIMARY STREET DESIGNATION:	CROSS LINK ROAD. (DEVELOPMENT COMPLIES WITH PRIMARY STREET BUILDING SETBACK PER UDO 2.2.1 SUPPLEMENT)
FOOTNOTE #S:	PRIVATE STREET SHOWN ON SITE PLAN. ADDRESS TO BE CONFIRMED AT TIME OF SITE PERMIT REVIEW PER APPROVED STREET NAME.
PROPOSED ADDRESS:	

PARKING CALCULATIONS:

EXISTING PARKING SPACES:	NA
RALEIGH VEHICLE PARKING REQUIRED:	NO MINIMUM PARKING REQUIREMENT 342 MAXIMUM ALLOWED SPACES
NA VEHICLE PARKING REQUIRED:	1.5 SPACE / UNIT (142 UNITS X 1.5 = 213 PARKING SPACES)
PROPOSED VEHICLE PARKING:	188 PARKING SPACES PER CITY STANDARD 18 ADA PARKING SPACES (10 VAN SPACES) 20 TOTAL SPACES
RALEIGH REQUIRED BICYCLE PARKING:	SHORT TERM 1 SPACE / 20 UNITS = 7.1 SPACES COVERED LONG TERM 1 SPACE / 7 BEDROOMS = 44.85 SPACES
PROPOSED BICYCLE PARKING:	SHORT TERM 10 SPACES COVERED LONG TERM 24 SPACES
AMENITY AREA CALCULATIONS:	REQUIRED 10% TOTAL SITE AFTER ROW DEDICATION - 43,266 SF, 1.01 AC. PROVIDED 44,114 SF, 1.01 AC.
NA VEHICLE PARKING REQUIRED:	32,897 SF, (8%) OF OUTDOOR AMENITY AREA UNABLE TO PROVIDE TRASH AND ADA ACCESSIBLE AS REQUIRED PER CDR UDO SEC.1.5.3.B.2 OUTDOOR AMENITY AREA.
NA VEHICLE PARKING REQUIRED:	NA

RALEIGH REQUIRED BICYCLE PARKING:

SHORT TERM 1 SPACE / 20 UNITS = 7.1 SPACES COVERED LONG TERM 1 SPACE / 7 BEDROOMS = 44.85 SPACES

PROPOSED BICYCLE PARKING:

SHORT TERM 10 SPACES COVERED LONG TERM 24 SPACES

AMENITY AREA CALCULATIONS:

REQUIRED 10% TOTAL SITE AFTER ROW DEDICATION - 43,266 SF, 1.01 AC. PROVIDED 44,114 SF, 1.01 AC.

NA VEHICLE PARKING REQUIRED:

32,897 SF, (8%) OF OUTDOOR AMENITY AREA UNABLE TO PROVIDE TRASH AND ADA ACCESSIBLE AS REQUIRED PER CDR UDO SEC.1.5.3.B.2 OUTDOOR AMENITY AREA.

NA VEHICLE PARKING REQUIRED:

NA

ESP ASSOCIATES, INC.
2200 Gateway Center Bldg
Raleigh, NC 27609
919-876-9170
www.ESP Associates.com

PRELIMINARY SITE PLAN (OVERALL)
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS

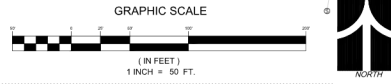
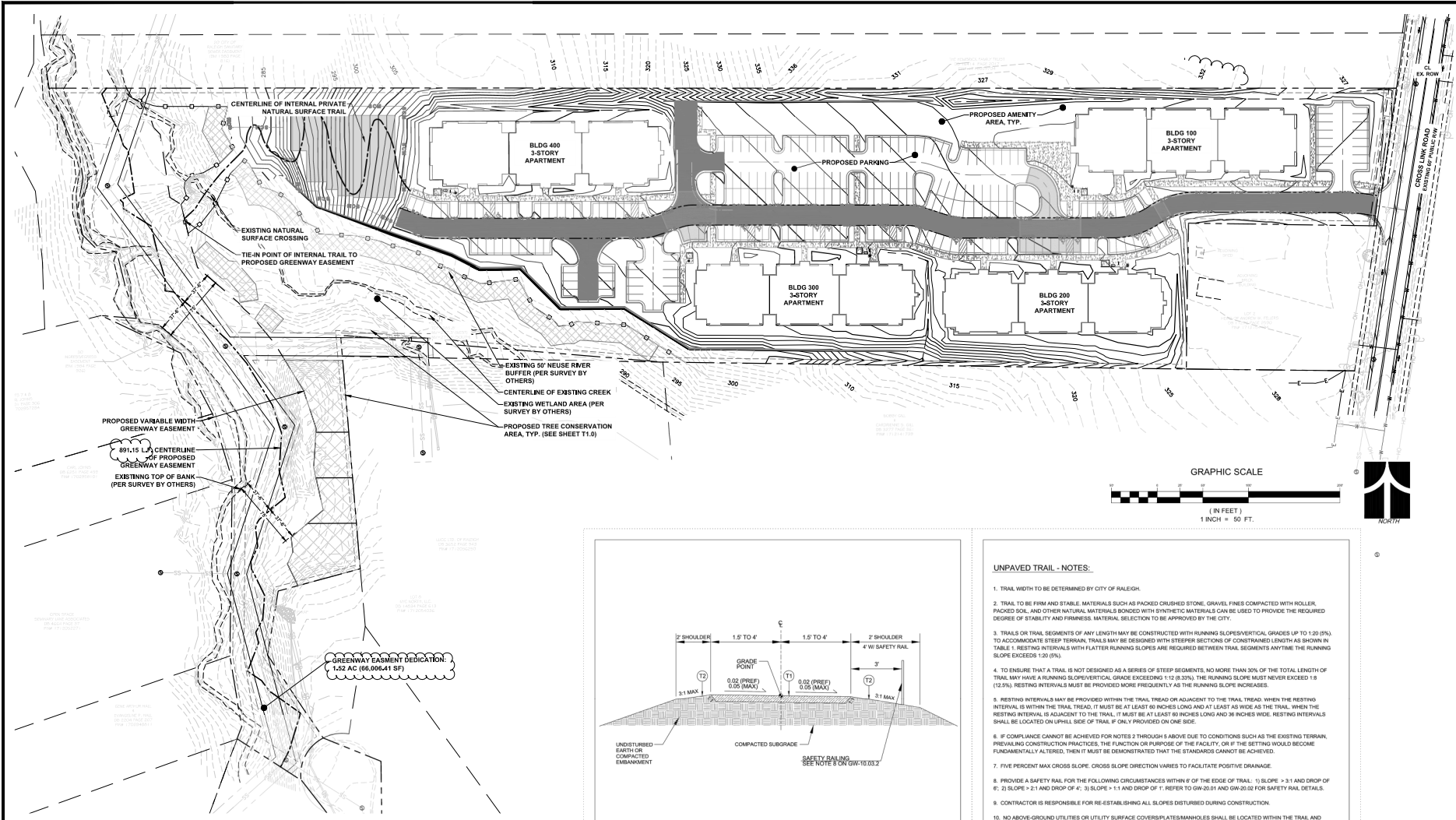
PRELIMINARY NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	ER
1	EXPOSED			
2	EXPOSED			

PROJECT INFORMATION

PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	350910
CORRELATION DATE:	09/08/2023
SHEET:	C2.0

811
Call before you dig.

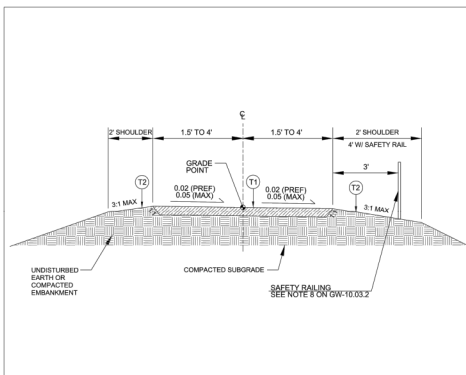


GREENWAY EASEMENT DEDICATION
1.52 AC (66,006.41 SF)

GREENWAY CALCULATIONS:
TOTAL EASEMENT DEDICATION: 1.52 AC (66,006.41 SF)
CENTERLINE OF EASEMENT: 891.15 LF
GREENWAY TRAIL CONSTRUCTION AREA ALLOWANCE (L X W): 891.15 LF x 25' = 0.51 AC (22,278.75 SF)

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

Plans and Sketches 105-11-2023 CrossLink Site Sketch ER/ERSketch-05112023.pdf
UNPAVED TRAIL



- UNPAVED TRAIL - NOTES:**
- TRAIL WIDTH TO BE DETERMINED BY CITY OF RALEIGH.
 - TRAIL TO BE FIRM AND STABLE. MATERIALS SUCH AS PACKED CRUSHED STONE, GRAVEL FINES COMPACTED WITH ROLLER, PACKED SOIL, AND OTHER NATURAL MATERIALS BONDED WITH SYNTHETIC MATERIALS CAN BE USED TO PROVIDE THE REQUIRED DEGREE OF STABILITY AND FINISHNESS. MATERIAL SELECTION TO BE APPROVED BY THE CITY.
 - TRAILS OR TRAIL SEGMENTS OF ANY LENGTH MAY BE CONSTRUCTED WITH RUNNING SLOPES/VERTICAL GRADES UP TO 1:20 (5%) TO ACCOMMODATE STEEP TERRAIN. TRAILS MAY BE DESIGNED WITH STEEPER SECTIONS OF CONSTRAINED LENGTH AS SHOWN IN TABLE 1. RESTING INTERVALS WITH FLATTER RUNNING SLOPES ARE REQUIRED BETWEEN TRAIL SEGMENTS ANYTIME THE RUNNING SLOPE EXCEEDS 1:20 (5%).
 - TO ENSURE THAT A TRAIL IS NOT DESIGNED AS A SERIES OF STEP SEGMENTS, NO MORE THAN 30% OF THE TOTAL LENGTH OF TRAIL MAY HAVE A RUNNING SLOPE/VERTICAL GRADE EXCEEDING 1:10 (9.33%). THE RUNNING SLOPE MUST NEVER EXCEED 1:8 (12.5%). RESTING INTERVALS MUST BE PROVIDED MORE FREQUENTLY AS THE RUNNING SLOPE INCREASES.
 - RESTING INTERVALS MAY BE PROVIDED WITHIN THE TRAIL TREAD OR ADJACENT TO THE TRAIL TREAD. WHEN THE RESTING INTERVAL IS WITHIN THE TRAIL TREAD, IT MUST BE AT LEAST 60 INCHES LONG AND AS WIDE AS THE TRAIL. WHEN THE RESTING INTERVAL IS ADJACENT TO THE TRAIL IT MUST BE AT LEAST 80 INCHES LONG AND 36 INCHES WIDE. RESTING INTERVALS SHALL BE LOCATED ON UPHILL SIDE OF TRAIL IF ONLY PROVIDED ON ONE SIDE.
 - IF COMPLIANCE CANNOT BE PROVIDED FOR NOTES 2 THROUGH 5 ABOVE DUE TO CONDITIONS SUCH AS THE EXISTING TERRAIN, PREVAILING CONSTRUCTION PRACTICES, THE FUNCTION OR PURPOSE OF THE FACILITY, OR IF THE SETTING WOULD BECOME FUNDAMENTALLY ALTERED, THEN IT MUST BE DEMONSTRATED THAT THE STANDARDS CANNOT BE ACHIEVED.
 - FIVE PERCENT MAX CROSS SLOPE. CROSS SLOPE DIRECTION VARIES TO FACILITATE POSITIVE DRAINAGE.
 - PROVIDE A SAFETY RAIL FOR THE FOLLOWING CIRCUMSTANCES WITHIN 4' OF THE EDGE OF TRAIL: 1) SLOPE > 3:1 AND DROP OF 4"; 2) SLOPE > 2:1 AND DROP OF 4"; 3) SLOPE = 1:1 AND DROP OF 1'; REFER TO DWG 0511 AND 0512 FOR SAFETY RAIL DETAILS.
 - CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED DURING CONSTRUCTION.
 - NO ABOVE-GROUND UTILITIES OR UTILITY SURFACE COVERS OR MANHOLES SHALL BE LOCATED WITHIN THE TRAIL AND SHALL BE A MINIMUM OF 2' FROM THE EDGE OF TRAIL. RAISED MANHOLES SHALL BE A MINIMUM OF 4' FROM THE EDGE OF TRAIL.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	ISSUED	NOTED BY

UNPAVED TRAIL

GW-10.03.1

TABLE 1 - MAXIMUM RUNNING SLOPE AND TRAIL SEGMENT LENGTH

STEEPER THAN	BUT NOT STEEPER THAN	MAX LENGTH OF SEGMENT
1:20 (5%)	1:12 (8.33%)	200 FT
1:12 (8.33%)	1:10 (10%)	30 FT
1:10 (10%)	1:8 (12.5%)	10 FT

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	ISSUED	NOTED BY

UNPAVED TRAIL

GW-10.03.2



ESP Associates, Inc.
2200 Gateway Center Bldg
Raleigh, NC 27601
919-876-0770
www.essgroup.com



PRELIMINARY NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	CHK'D
1	05/20/24	CITY OF RALEIGH COMMENTS	ER	ER
2	05/20/24	CITY OF RALEIGH COMMENTS	ER	ER

GREENWAY EXHIBIT
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
RALEIGH, NORTH CAROLINA
SOUTH CREEK DEVELOPMENT

PROJECT INFORMATION

PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	23-0010
CHECKAL DATE:	05/20/2023
SHEET:	EX2.0

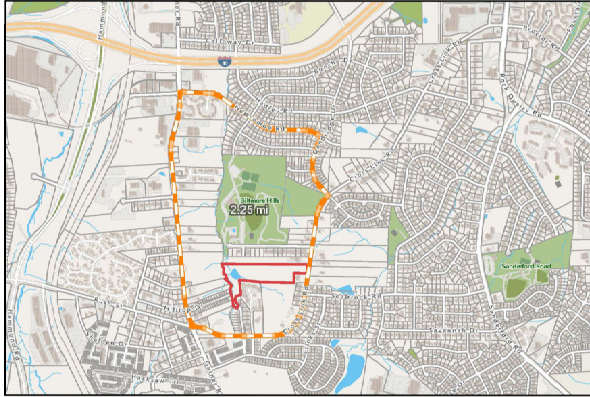


DIAGRAM 1: EXISTING BLOCK

DIAGRAM OBTAINED PER CITY OF RALEIGH GIS



DIAGRAM 2: BLOCK OPTION A

DIAGRAM OBTAINED PER CITY OF RALEIGH GIS

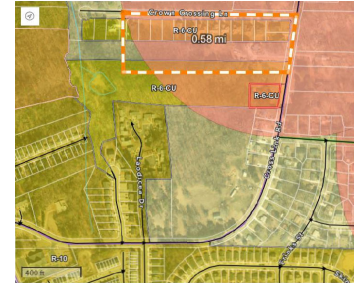
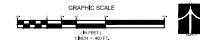


DIAGRAM 3: BLOCK OPTION A, ENLARGEMENT

DIAGRAM OBTAINED PER CITY OF RALEIGH GIS



BLOCK PERIMETER EXEMPTION CALCS:

SITE AREA 8,932 A.C. / 434,420 S.F.
 EXISTING BLOCK: 4,320 A.C. (1,841,180 S.F.) (SEE DIAGRAM 1: EXISTING BLOCK)
 REQUIRED BLOCK MAXIMUM FOR R-2 ZONING FOR 40,000+ S.F. SITE AREA = 8,000 S.F.
 BLOCK "STUB STREET" (SEE DIAGRAM 2: BLOCK OPTION A)

PROPOSED BLOCK = 0.20 MI L² / 0.33 MI L² (SEE DIAGRAM 3: BLOCK OPTION A, ENLARGEMENT)
 * EXEMPTION PER UZZI & ZIA (2011) STATING: "The resulting street connection, if completed, would result in a new block perimeter less than 50 percent of the maximum block perimeter length."
 - 50% OF 8,000 S.F. MAX = 4,000 S.F.
 - 3,043 S.F. < 4,000 S.F.

B:\01\2023\19496023\2023 - 0000 - 04 - road and block name development\3_23\02\09\0000\2000\12\14\0001.dwg, PLOT: BLOCK PERIMETER.dwg



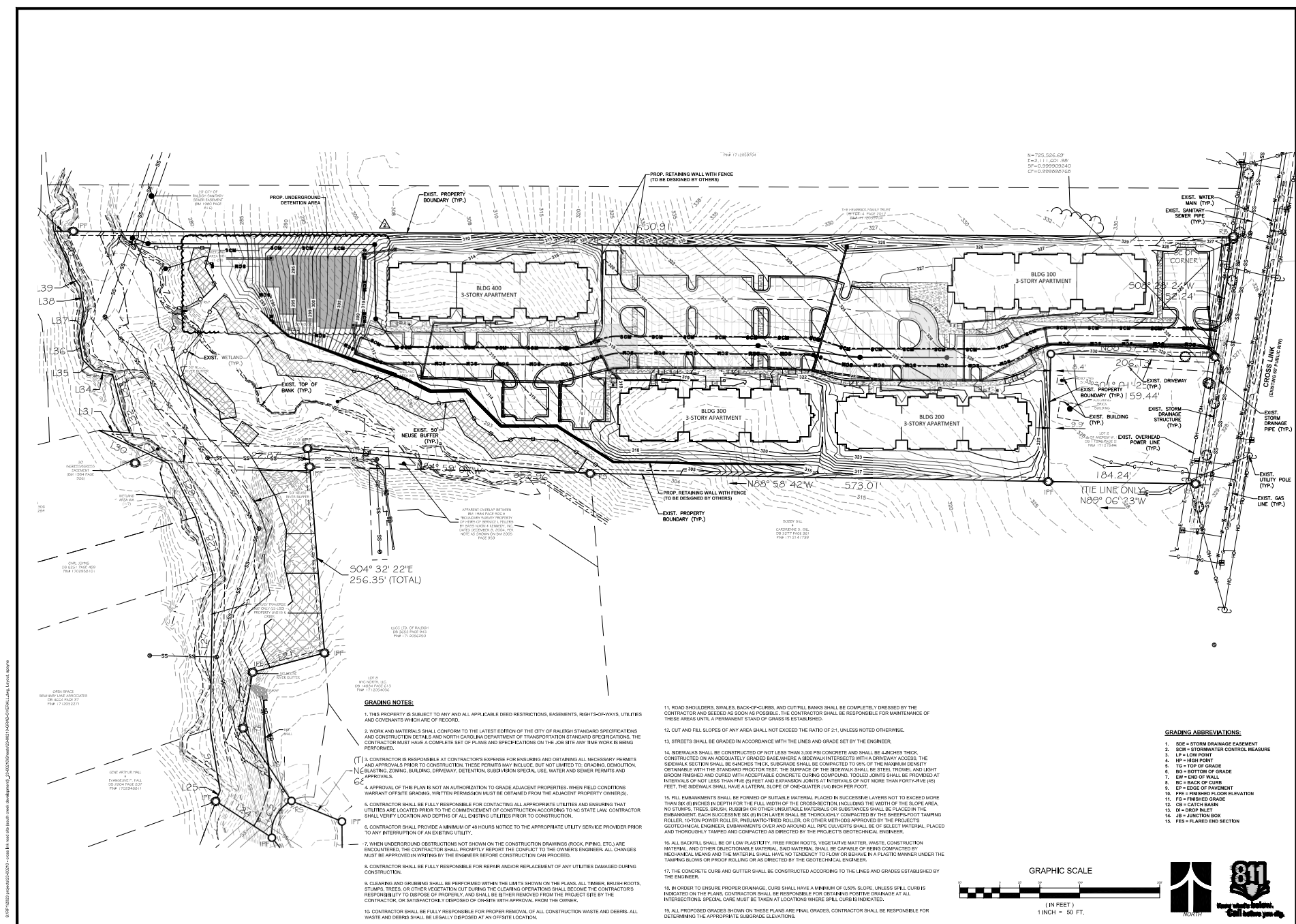
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

NO.	DATE	REVISION	BY	ER
1	10/20/24	CITY OF RALEIGH COMMENTS	ER	
2	10/20/24	CITY OF RALEIGH COMMENTS	ER	

BLOCK PERIMETER EXHIBIT
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
 SOUTH CREEK DEVELOPMENT
 RALEIGH, NORTH CAROLINA

PROJECT INFORMATION	
PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	23-0010
ORIGINAL DATE:	09/08/2023
SHEET:	

EX3.0



- GRADING NOTES:**
1. THIS PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, UTILITIES AND COVENANTS WHICH ARE OF RECORD.
 2. WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE ANY TIME WORK IS BEING PERFORMED.
 3. CONTRACTOR IS RESPONSIBLE AT CONTRACTOR'S EXPENSE FOR ENSURING AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THESE PERMITS MAY INCLUDE, BUT NOT LIMITED TO, GRADING, DEMOLITION, CELEBRATING, ZONING, BUILDING, DRIVEWAY, DETENTION, SIGNAGE, SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
 4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES, WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. WRITTEN PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNERS.
 5. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE UTILITIES AND ENSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACCORDING TO NC STATE LAW. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 6. CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE APPROPRIATE UTILITY SERVICE PROVIDER PRIOR TO ANY INTERRUPTION OF AN EXISTING UTILITY.
 7. WHEN UNDERGROUND OBSTRUCTIONS NOT SHOWN ON THE CONSTRUCTION DRAWINGS (ROCK, PILING, ETC.) ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY REPORT THE CONTACT TO THE OWNER'S ENGINEER. ALL CHANGES MUST BE APPROVED IN WRITING BY THE ENGINEER BEFORE CONSTRUCTION CAN PROCEED.
 8. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
 9. CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE LIMITS SHOWN ON THE PLANS. ALL TRIMMER, BRUSH ROOTS, STUMPS, TREES, OR OTHER VEGETATION CUT DURING THE CLEARING OPERATIONS SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY TO REMOVE FROM THE PROJECT SITE. CONTRACTOR OR SATISFACTORILY DESIGNED OF CONCRETE WITH APPROVAL FROM THE OWNER.
 10. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROPER REMOVAL OF ALL CONSTRUCTION WASTE AND DEBRIS. ALL WASTE AND DEBRIS SHALL BE LEGALLY DEPOSITED AT AN OFF-SITE LOCATION.

11. ROAD SHOULDERS, DRALES, BACK-OF-CURBS AND CUT-FILL BANKS SHALL BE COMPLETELY DRESSED BY THE CONTRACTOR AND SEEDED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THESE AREAS UNTIL A PERMANENT STAND OF GRASS IS ESTABLISHED.
12. CUT AND FILL SLOPES OF ANY AREA SHALL NOT EXCEED THE RATIO OF 2:1 UNLESS NOTED OTHERWISE.
13. STREETS SHALL BE GRADED IN ACCORDANCE WITH THE LINES AND GRADE SET BY THE ENGINEER.
14. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3.00" PCC CONCRETE AND SHALL BE ANCHORED TO THE SIDEWALK SECTION SHALL BE FINISHED TO THE SURFACE OF THE SIDEWALK SHALL BE FINISHED TO 90% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACES OF THE SIDEWALK SHALL BE STREETS, TROTTES, AND LIGHT BROOM FINISHED AND CURED WITH ACCEPTABLE CONCRETE CURING COMPOUND. TOGGLED JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN FIVE FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN FORTY FIVE FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF ONE-QUARTER (1/4) INCH PER FOOT.
15. FILL EMBANKMENTS SHALL BE FORMED OF SUITABLE MATERIAL PLACED IN SUCCESSIVE LAYERS NOT TO EXCEED MORE THAN SIX INCHES IN DEPTH FOR THE FULL WIDTH OF THE CROSS-SECTION INCLUDING THE WIDTH OF THE SLOPE AREA. NO STUMPS, TREES, BRUSH, RUBBER OR OTHER UNSUITABLE MATERIALS OR SUBSTANCES SHALL BE PLACED IN THE EMBANKMENT. EACH SUCCESSIVE EMBANKMENT SHALL BE THOROUGHLY COMPACTED BY THE ENGINEER'S TAMPING ROLLER, 10-TON POWER ROLLER, PNEUMATIC-TIRED ROLLER, OR OTHER METHOD APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER. EMBANKMENTS OVER AND AROUND ALL PIPE CULVERTS SHALL BE OF SELECT MATERIAL, PLACED AND THOROUGHLY TAMPED AND COMPACTED AS DIRECTED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
16. ALL BACKFILL SHALL BE OF LOW PLASTICITY, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, AND OTHER OBSTRUCTIVE MATERIAL. SAND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
17. THE CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO THE LINES AND GRADES ESTABLISHED BY THE ENGINEER.
18. IN ORDER TO ENSURE PROPER DRAINAGE, CURBS SHALL HAVE A MINIMUM OF 0.5% SLOPE UNLESS SPILL CURBS IS INDICATED ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING POSSIBLE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN AT LOCATIONS WHERE SPILL CURBS IS INDICATED.
19. ALL PROPOSED GRADES SHOWN ON THESE PLANS ARE FINAL GRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE SUBGRADE ELEVATIONS.

GRAPHIC SCALE

1 INCH = 50 FT.

GRADING ABBREVIATIONS:

1. SDE = STORM DRAINAGE EASEMENT
2. SCM = STORMWATER CONTROL MEASURE
3. LP = LOW POINT
4. HP = HIGH POINT
5. TG = TOP OF GRADE
6. BG = BOTTOM OF GRADE
7. EW = END OF WALL
8. BC = BACK OF CURB
9. EP = EDGE OF PAVEMENT
10. FE = FINISHED FLOOR ELEVATION
11. FG = FINISHED GRADE
12. CB = CATCH BASIN
13. DI = DROP INLET
14. JB = JUNCTION BOX
15. FE = FINISHED END SECTION

ESP Associates, Inc.
2200 Gateway Center Bldg
Raleigh, NC 27601
919-876-9100
www.espassociates.com

**PRELIMINARY
NOT FOR
CONSTRUCTION**

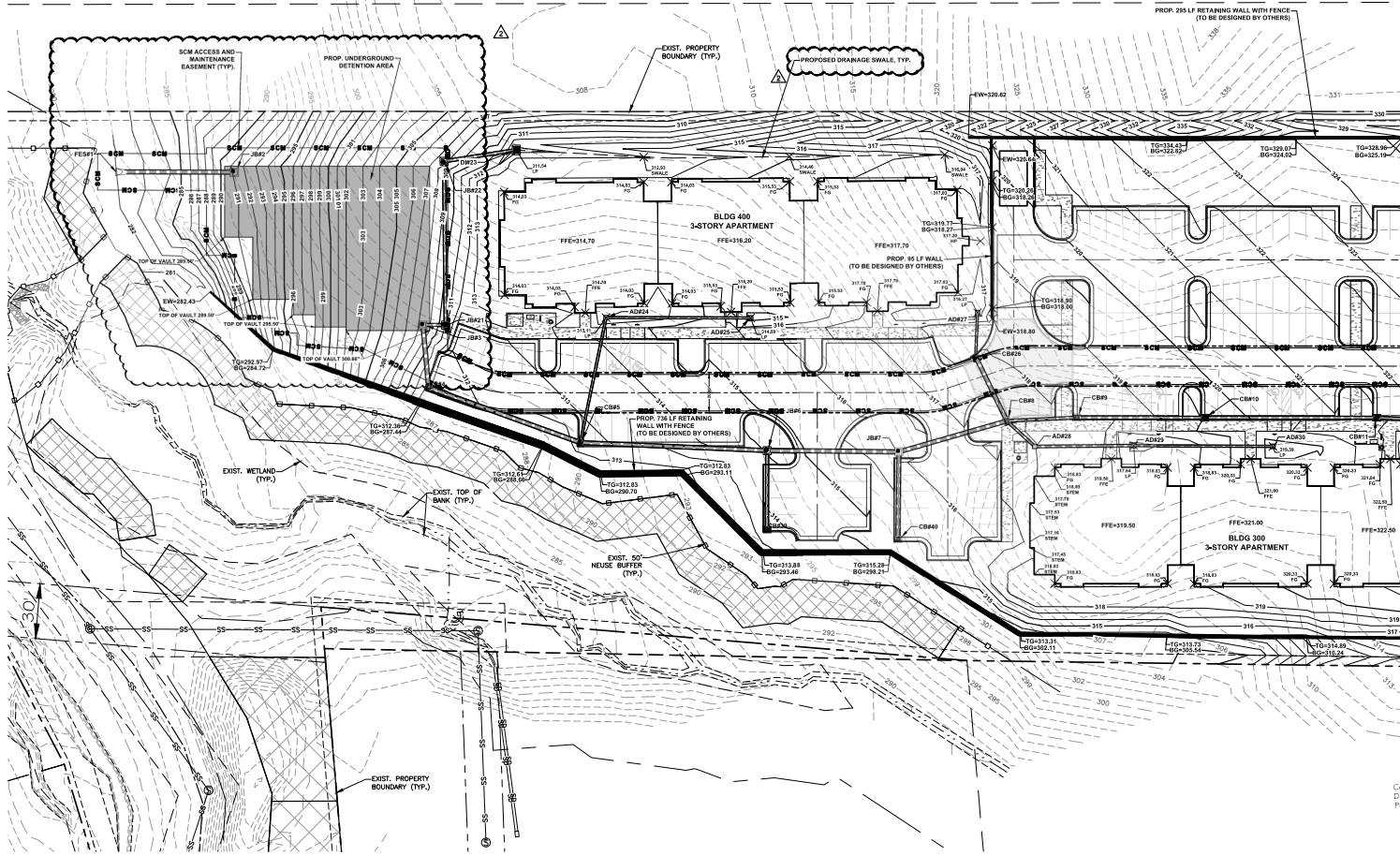
NO.	DATE	REVISION	BY	CHKD.
1	10/20/24	ISSUED FOR PERMITS	ER	ER
2		FOR COMMENTS	ER	ER

PROJECT INFORMATION

DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	250910
CHECKAL DATE:	09/09/2023
SHEET:	C3.0

**PRELIMINARY OVERALL
GRADING & DRAINAGE PLAN
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS**

SOUTH CREEK DEVELOPMENT
RALEIGH, NORTH CAROLINA



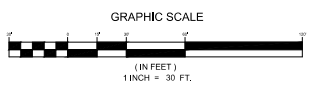
GRADING NOTES:

1. THIS PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, UTILITIES AND COVENANTS WHICH ARE OF RECORD.
2. WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE ANY TIME WORK IS BEING PERFORMED.
3. CONTRACTOR IS RESPONSIBLE AT CONTRACTORS EXPENSE FOR ENSURING AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THESE PERMITS MAY INCLUDE, BUT NOT LIMITED TO GRADING, DEMOLITION, BLASTING, ZONING, BUILDING, DRAINAGE, DETENTION, SUBSIDENCE SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFER GRADING, WRITTEN PERMISSION MUST BE OBTAINED FROM THE ADJACENT PROPERTY OWNER(S).
5. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE UTILITIES AND ENSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACCORDING TO NC STATE LAW. CONTRACTOR SHALL VERIFY LOCATION AND DEPTHS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE APPROPRIATE UTILITY SERVICE PROVIDER PRIOR TO ANY INTERRUPTION OF AN EXISTING UTILITY.
7. WHEN UNDERGROUND OBSTRUCTIONS NOT SHOWN ON THE CONSTRUCTION DRAWINGS (ROCK, PIPING, ETC.) ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY REPORT THE DISCOVERY TO THE OWNER'S ENGINEER. ALL CHANGES MUST BE APPROVED IN WRITING BY THE ENGINEER BEFORE CONSTRUCTION CAN PROCEED.
8. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
9. CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE LIMITS SHOWN ON THE PLANS. ALL TIMBER, BRUSH, ROOTS, STUMPS, TREES OR OTHER VEGETATION CUT DURING THE CLEARING OPERATIONS SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY TO DISPOSE OF PROPERLY, AND SHALL BE EITHER REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR OR SATISFACTORILY REPOSESSED OF CONCRETE FROM THE OWNER.
10. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROPER REMOVAL OF ALL CONSTRUCTION WASTE AND DEBRIS. ALL WASTE AND DEBRIS SHALL BE LEGALLY DEPOSITED AT AN OFF-SITE LOCATION.

11. ROAD SHOULDERS, CHALKS, BACK-OF-CURBS, AND CUT-BACK BANS SHALL BE COMPLETELY DRESSED BY THE CONTRACTOR AND SEEDED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THESE AREAS UNTIL A PERMANENT STAND OF GRASS IS ESTABLISHED.
12. CUT AND FILL SLOPES OF ANY AREA SHALL NOT EXCEED THE RATIO OF 2:1, UNLESS NOTED OTHERWISE.
13. STREETS SHALL BE GRADED IN ACCORDANCE WITH THE LINES AND GRADE SET BY THE ENGINEER.
14. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3000 PSI CONCRETE AND SHALL BE 4-INCHES THICK. CONSTRUCTED ON AN UNGRAVELLED GRADE BASE WHERE A SIDEWALK INTERSECTS WITH A DRIVEWAY ACCESS, THE SIDEWALK SECTION SHALL BE 4-INCHES THICK. SUBGRADE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE SURFACE OF THE SIDEWALK SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURED WITH ACCEPTABLE CONCRETE CURING COMPOUND. JOINTS SHALL BE PROVIDED AT INTERVALS OF NOT LESS THAN FIVE (5) FEET AND EXPANSION JOINTS AT INTERVALS OF NOT MORE THAN FORTY-FIVE (45) FEET. THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF ONE-FOURTH (1/4) INCH PER FOOT.
15. FILL EMBANKMENTS SHALL BE FORMED OF SUITABLE MATERIAL PLACED IN SUCCESSIVE LAYERS NOT TO EXCEED MORE THAN 18 INCHES IN DEPTH FOR THE FULL WIDTH OF THE CROSSSECTION INCLUDING THE WIDTH OF THE SLOPE AREA. NO STUMPS, TREES, BRUSH, RUBBER OR OTHER UNSUITABLE MATERIALS OR SUBSTANCES SHALL BE PLACED IN THE EMBANKMENT. EACH EXCESSIVE RISE IN EACH LAYER SHALL BE THOROUGHLY COMPACTED BY THE SHEEPFOOT TAMPING ROLLER, 10-TON POWER ROLLER, PNEUMATIC-TYRED ROLLER, OR OTHER METHODS APPROVED BY THE PROJECT'S GEOTECHNICAL ENGINEER. EMBANKMENTS SHALL BE OF SELECT MATERIAL, PLACED AND THOROUGHLY TAMPED AND COMPACTED AS DIRECTED BY THE PROJECT'S GEOTECHNICAL ENGINEER.
16. ALL BACKFILL SHALL BE OF LOW PLASTICITY, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL, AND OTHER OBSTRUCTIVE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
17. THE CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO THE LINES AND GRADES ESTABLISHED BY THE ENGINEER.
18. IN ORDER TO ENSURE PROPER DRAINAGE, CURB SHALL HAVE A MINIMUM OF 0.50% SLOPE. UNLESS STILL CURB IS INDICATED ON THE PLANS, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING POSITIVE DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN AT LOCATIONS INSIDE STILL CURB & ROLLERS.
19. ALL PROPOSED GRADES SHOWN ON THESE PLANS ARE FINAL GRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE APPROPRIATE SUBGRADE ELEVATIONS.

GRADING ABBREVIATIONS:

1. SIDE = STORM DRAINAGE EASEMENT
2. SCM = STORMWATER CONTROL MEASURE
3. LP = LOW POINT
4. HP = HIGH POINT
5. TG = TOP OF GRADE
6. SB = BOTTOM OF GRADE
7. EW = END OF WALL
8. BC = BACK OF CURB
9. EP = EDGE OF PAVEMENT
10. FFE = FINISHED FLOOR ELEVATION
11. FG = FINISHED GRADE
12. CR = CATCH BASIN
13. DI = DRAIN INLET
14. AD = AREA DRAIN
15. JB = JUNCTION BOX
16. FES = FLARED END SECTION



MATCHLINE
SEE SHEET C3.1

ESP Associates, Inc.
2200 Gateway Center Bldg
Raleigh, NC 27601
919-876-9100
www.ESPassoc.com

PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	DATE	REVISION	BY	CHKD
1	EXPO2024	CITY OF RALEIGH COMMENTS	ER	ER
2	EXPO2024	CITY OF RALEIGH COMMENTS	ER	ER

**PRELIMINARY GRADING & DRAINAGE
PLAN ENLARGEMENT (EAST)**

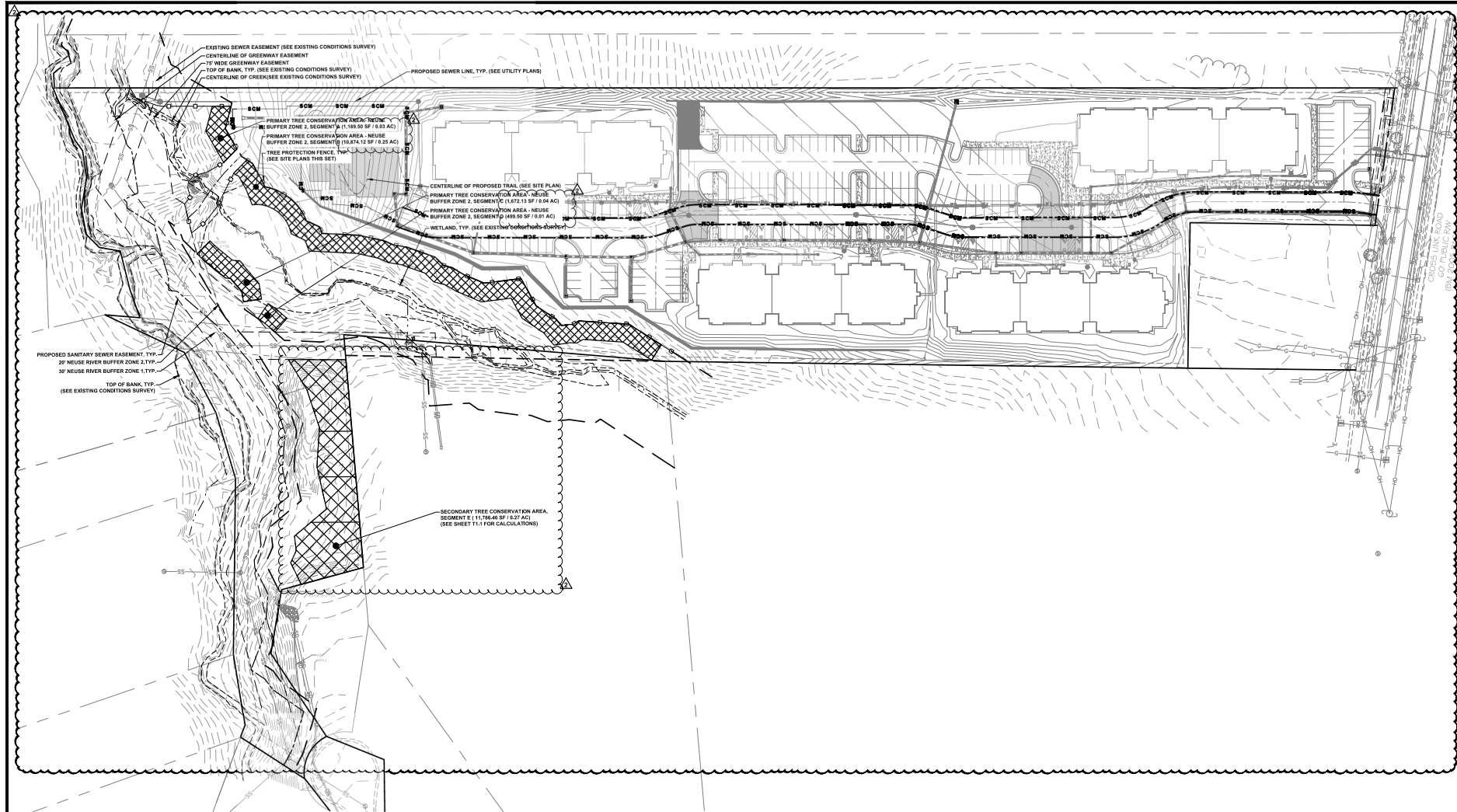
**CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS**

SOUTH CREEK DEVELOPMENT
RALEIGH, NORTH CAROLINA

PROJECT INFORMATION

PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	262910
SUBMITTAL DATE:	09/09/2023
SHEET:	C3.1

Call before you dig



TREE CONSERVATION AREA PLAN

GENERAL NOTES:
 1. SEE SHEET C2.0 FOR TREE PROTECTION FENCE LAYOUT

TREE CONSERVATION AREA CALCULATIONS:

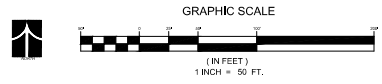
REQUIRED: 10% OF SITE AREA
 SITE AREA AFTER ROW DEDICATION: 9.92 ACRES
 9.92 X 10% = 0.99 ACRES REQUIRED

PROVIDED: 1.02 AC (44,289.16 SF)

PRIMARY TREE CONSERVATION AREAS:
 PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2 0.33 AC (14,235.25 SF)

GREENWAY TREE CONSERVATION AREA:
 GREENWAY EASEMENT 1.82 AC (80,006.41 SF)
 GREENWAY TRAIL CONSTRUCTION 25' X LENGTH OF GREENWAY
 (PER USC § 14.52.2a) 23.4 891.1514' X 8.05 AC (23,278.75 SF)
 GREENWAY TREE CONSERVATION AREA GREENWAY EASEMENT - EXCLUDED TCA AREAS - TRAIL CONSTRUCTION = 66,006.41 SF - 23,489.21 SF = 42,517.20 SF + 0.42 AC (18,387.85 SF)
 *EXCLUDED TCA AREAS INCLUDES PROPOSED 30" WIDE SEWER EASEMENT

SECONDARY TREE CONSERVATION AREAS:
 SECONDARY TREE CONSERVATION AREA 0.27 (11,786.46 SF)



B:\101\2023\1010023\1010023.dwg - Cross Link Road Site Plan - South Creek Development_C2.000 Tree Conservation Area Plan.dwg - 11/13/2023

ESP Associates, Inc.
 2200 Gateway Center Bldg
 Raleigh, NC 27603
 919.876.8700
 www.ESP Associates.com



**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

NO.	DATE	REVISION
1	10/20/2024	CITY OF RALEIGH COMMENTS
2	10/20/2024	CITY OF RALEIGH COMMENTS

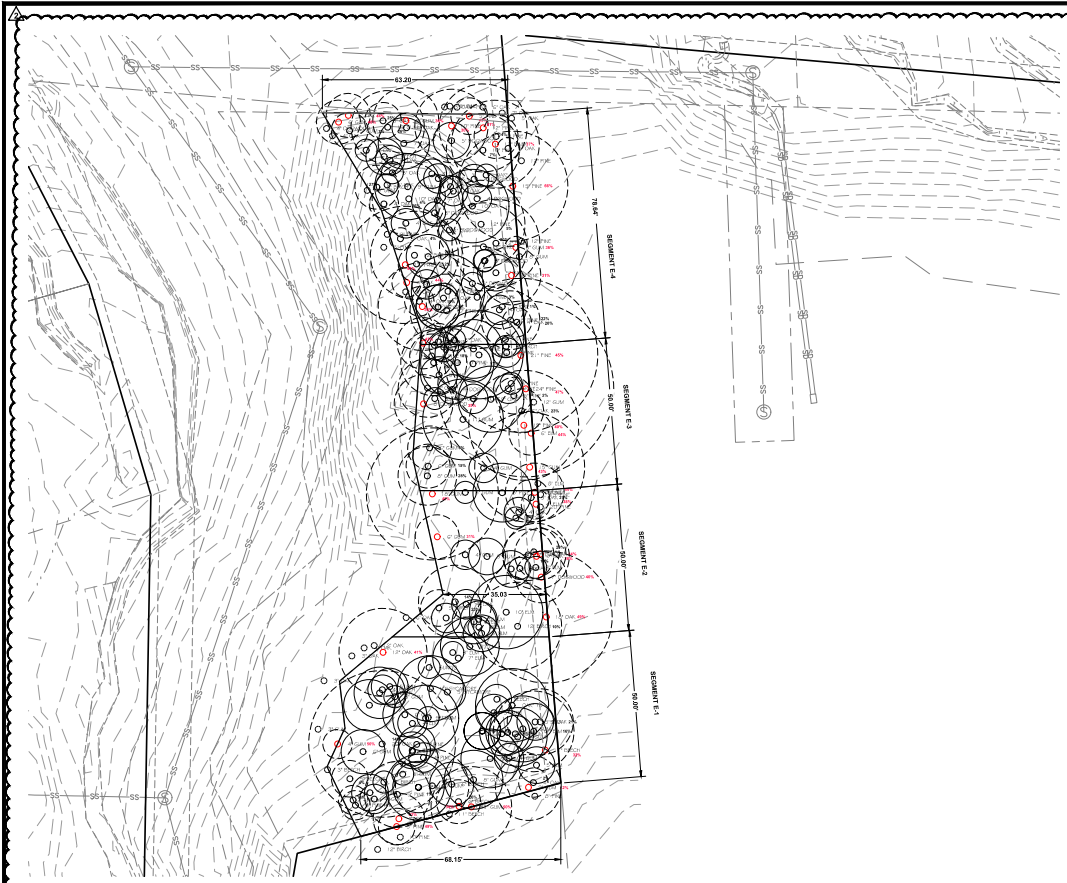
**TREE CONSERVATION AREA PLAN
 CROSS LINK RD (AFFORDABLE HOUSING)
 ADMINISTRATIVE SITE REVIEW PLANS**
 SOUTH CREEK DEVELOPMENT
 RALEIGH, NORTH CAROLINA

PROJECT INFORMATION

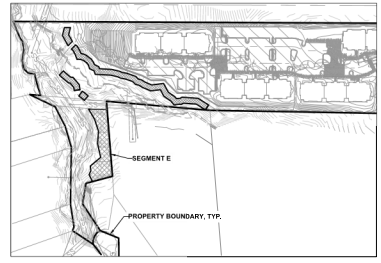
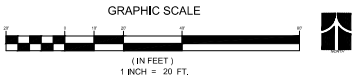
PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	254010
CHECKAL DATE:	09/09/2023
SHEET:	T1.0



S:\BP\2023\Inverness\2023\01\01\Drawings\230402\Tree\Conservation\Calculations.dwg



PROPOSED SECONDARY TREE CONSERVATION AREA SEGMENT E (1-4)
 ± 11.76466 SQ 0.27 AC
 VARIABLE WIDTH 32' MIN. WIDE PERIMETER BUFFER ADJACENT TO NON-VACANT PROPERTY
 (SEE TREE CONSERVATION REPORT PREPARED BY ESP DATED 03-20-2024)



OVERALL MAP
SCALE 1"= 200'

- GENERAL NOTES:**
- TREE SURVEY INFORMATION PROVIDED BY ACTUAL CAD DRAWING '1919 Cross Link Road - Tree Survey - 3-15-2024' PROVIDED BY PENNON DATED 3-15-2024
 - SEE SEPARATE TREE CONSERVATION REPORT PREPARED BY ESP DATED 03/20/2024 FOR CALCULATION OF EACH SEGMENT.
 - TREES NOTED IN RED ARE NOT INCLUDED IN BASAL AREA CALCULATION 50% OR MORE OF ITS CRITICAL ROOT ZONE DISTURBED PER UDD 9.1.4.C.3.
 - SEE SHEET C23 FOR TREE PROTECTION FENCE LAYOUT

- LEGEND:**
- CRITICAL ROOT ZONE OF TREES 3" DBH OR GREATER
 - TREE WITH IMPACT TO CRITICAL ROOT ZONE (SEE PLANS FOR CALCULATIONS)
 - TREE WITH 50% IMPACT OR GREATER (NOT INCLUDED IN BASAL AREA CALCULATIONS-SEE TREE REPORT)

Tree Conservation Plan Data Sheet
 UDD Article 9.1 Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: Cross Link RD Apartments
 Gross Site Acres: 9.53 ac
 Right-of-way to be dedicated with this project: .01 ac
 Net Site Acres: 9.52 ac

	Number of Acres	Percent of Total
UDD 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	NA	ac 0 %
1. Primary Tree Conservation Area - SHOD 2	NA	ac 0 %
2. Primary Tree Conservation Area - Parkway Frontage	NA	ac 0 %
3. Primary Tree Conservation Area - CM	NA	ac 0 %
4. Primary Tree Conservation Area - MPOD	NA	ac 0 %
5. Primary Tree Conservation Area - Champion Tree XXX" dbh species	NA	ac 0 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.33	ac 3.33 %
7. Primary Tree Conservation Area - 45% Slopes	NA	ac 0 %
8. Primary Tree Conservation Area - Thoroughfare	NA	ac 0 %
Subtotal of Primary Tree Conservation Areas:	0.33	ac 3.33 %
UDD 9.1.4.D.2 Tree Conservation Area - Greenway	0.42	ac 4.23 %
UDD 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Includes perimeter buffers and their alternate compliance areas)	0.27	ac 2.72 %
UDD 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Includes individual trees and their alternate compliance areas)	NA	ac 0 %
Subtotal of Secondary Tree Conservation Areas:	0.27	ac 2.72 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	1.02	ac 10.28 %
UDD 9.1.8. Watershed Protection Overlay Districts		
JWPPOD - Wooded Area (preserved)	NA	ac 0 %
JWPPOD - Wooded Area (planted)	NA	ac 0 %
PWPPOD - Wooded Area (preserved)	NA	ac 0 %
PWPPOD - Wooded Area (planted)	NA	ac 0 %
SWPPOD - Wooded Area (preserved)	NA	ac 0 %
SWPPOD - Wooded Area (planted)	NA	ac 0 %



**PRELIMINARY
NOT FOR
CONSTRUCTION**

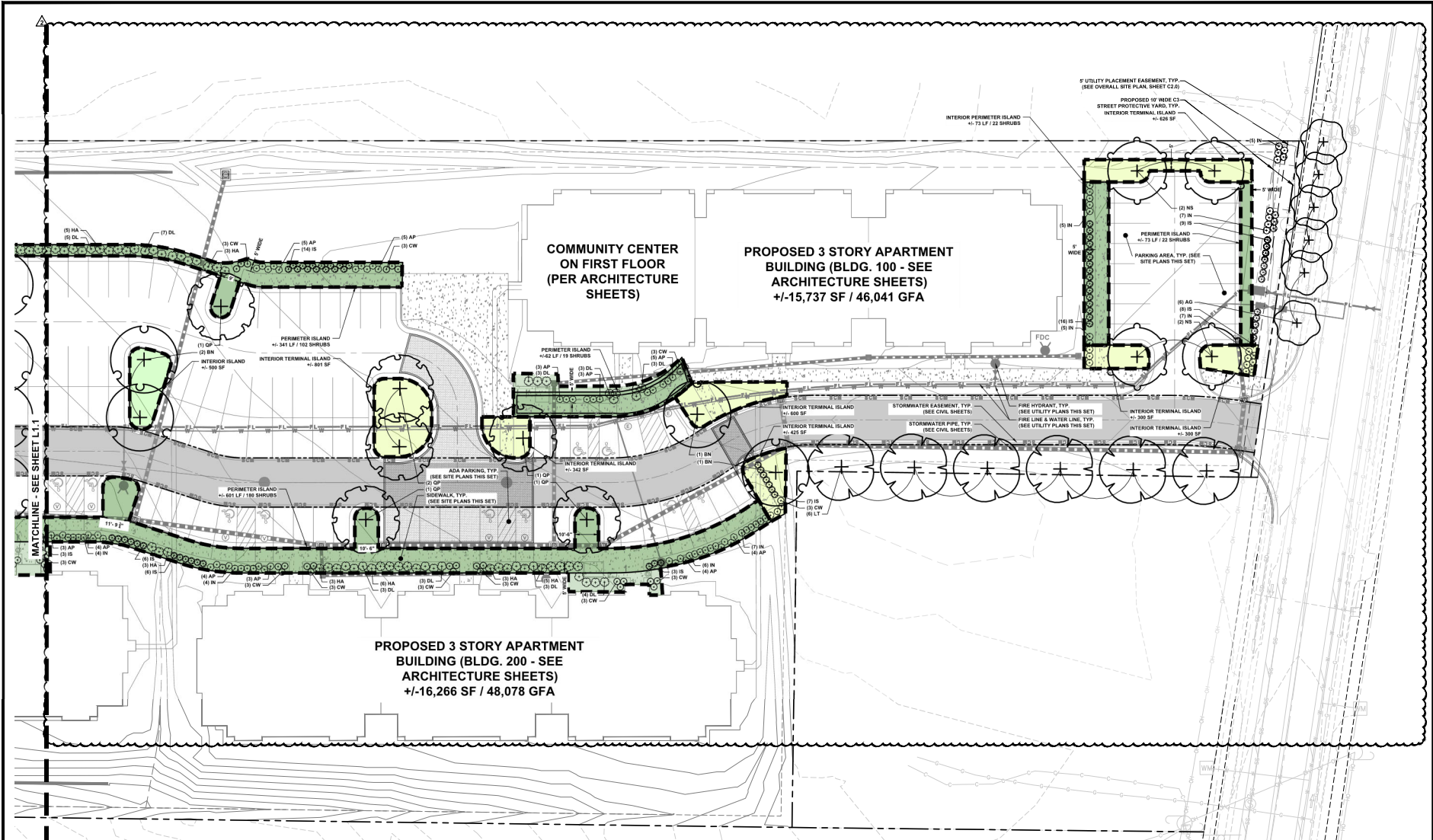
NO.	DATE	REVISION	BY	CHK
1	03/20/24	CITY OF RALEIGH COMMENTS	ER	ER
2	03/20/24	CITY OF RALEIGH COMMENTS	ER	ER

**TREE CONSERVATION CALCULATIONS
 CROSS LINK RD (AFFORDABLE HOUSING)
 ADMINISTRATIVE SITE REVIEW PLANS**
 SOUTH CREEK DEVELOPMENT
 RALEIGH, NORTH CAROLINA

PROJECT INFORMATION

PROJECT MANAGER:	ER
DESIGNED BY:	ER
DRAWN BY:	ER
PROJECT NUMBER:	23-00310
ORIGINAL DATE:	05/09/2023
SHEET:	





**COMMUNITY CENTER
ON FIRST FLOOR
(PER ARCHITECTURE
SHEETS)**

**PROPOSED 3 STORY APARTMENT
BUILDING (BLDG. 100 - SEE
ARCHITECTURE SHEETS)
+1-15,737 SF / 46,041 GFA**

**PROPOSED 3 STORY APARTMENT
BUILDING (BLDG. 200 - SEE
ARCHITECTURE SHEETS)
+1-16,266 SF / 48,078 GFA**

PLANTING PLAN (EAST)

PARKING CALCULATIONS

TERMINAL ISLANDS:	REQUIRED	AT END OF PARKING ROW
PROVIDED	300 SF MIN. 8' WIDTH MIN.	SEE PLAN FOR LOCATION & CALCULATIONS
INTERIOR ISLANDS:	REQUIRED	1 ISLAND / 10 PARKING SPACES
PROVIDED	300 SF MIN. 8' WIDTH MIN.	215 PARKING SPACES / 75 x 22'
	PROVIDED	SEE PLAN FOR LOCATION & CALCULATIONS
PARKING LOT PLANTING:	REQUIRED	1 CANOPY TREE / 2,000 S.F.
PROVIDED	PROPOSED	68,220 S.F. / 2,000 x 30'
	PROVIDED	30 CANOPY TREES

ADDITIONAL PLANTING CALCULATIONS

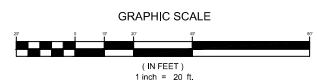
STREET TREES (CROSS LANE ROAD)	REQUIRED	ALONG FRONTAGE
PROVIDED	PROPOSED	22 INTERIOR ISLANDS
	PROVIDED	22 SHADE TREES
PERIMETER ISLAND PLANTING	REQUIRED	1 SHADE TREE PER INTERIOR ISLAND
PROVIDED	PROPOSED	22 INTERIOR ISLANDS
	PROVIDED	22 SHADE TREES

LEGEND

PERIMETER ISLAND	(Symbol)
INTERIOR ISLAND	(Symbol)
INTERIOR TERMINAL ISLAND	(Symbol)

PLANT SCHEDULE

SHADE TREES (CODE REQUIRED)	QTY	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT	NOTES
BN	0	BETULA NIGRA / YEWER BIRCH	1 1/2" MIN.	CONT.	15' MIN.	***
LT	0	LIRIODENDRON TULIPIFERA / TULIP POPLAR	3" MIN.	CONT.	10' MIN.	***
NS	6	NYSSA SYLVATICA / TUPPELO	3" MIN.	CONT.	10' MIN.	***
OP	10	QUERCUS PHellos / PINELOW OAK	3" MIN.	CONT.	10' MIN.	***
OS	15	QUERCUS SHUMARDII / SHUMARD OAK	3" MIN.	CONT.	10' MIN.	***
UNDERSTORY TREE (CODE REQUIRED)	QTY	BOTANICAL / COMMON NAME	CALIPER	ROOT	HEIGHT	NOTES
AG	0	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICE BERRY	1-1 1/2" MIN.	CONT.	6' MIN.	***
SHRUBS (CODE REQUIRED)	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT	NOTES
AP	117	AZALEA X HOOLEA / 'AUTUMN DANCE' ENCORES AZALEA	#5	CONT.	10'-24"	FULL & DENSE
DL	62	CAMELLIA SASANGUA 'GREEN OASIS' / OCTOBER MANGO WHITE SHIRAZ CAMELLIA	#5	CONT.	10'-24"	FULL & DENSE
DL	62	DRY TULIP 'WINTAGE JADE' / WINTAGE JADE DRY TULIP	#5	CONT.	10'-24"	FULL & DENSE
HA	66	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	#5	CONT.	10'-24"	FULL & DENSE
B	120	LEX GLABRA 'SHAMROCK' / SHAMROCK HIBERNICA HOLLY	#6	CONT.	10'-24"	FULL & DENSE
IN	65	LEX VOMITORIA 'NANA' / DWARF YAUPOK HOLLY	#5	CONT.	10'-24"	FULL & DENSE



ESP Associates, Inc.
2200 Gateway Center Bldg
Charlotte, NC 28202
Phone: 704.376.7900
www.espprojects.com

ESP

PRELIMINARY
NOT FOR
CONSTRUCTION

NO.	DATE	REVISION
1	10/20/24	CITY OF RALEIGH COMMENTS
2	10/20/24	CITY OF RALEIGH COMMENTS

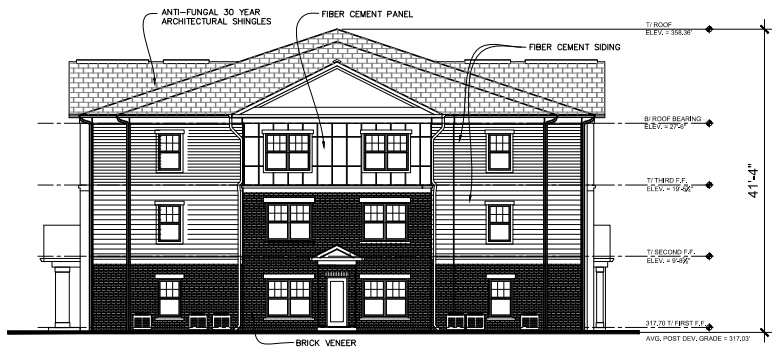
PLANTING PLAN ENLARGEMENT (EAST)
CROSS LINK RD (AFFORDABLE HOUSING)
ADMINISTRATIVE SITE REVIEW PLANS
SOUTH CREEK DEVELOPMENT
RALEIGH, NORTH CAROLINA

PROJECT INFORMATION

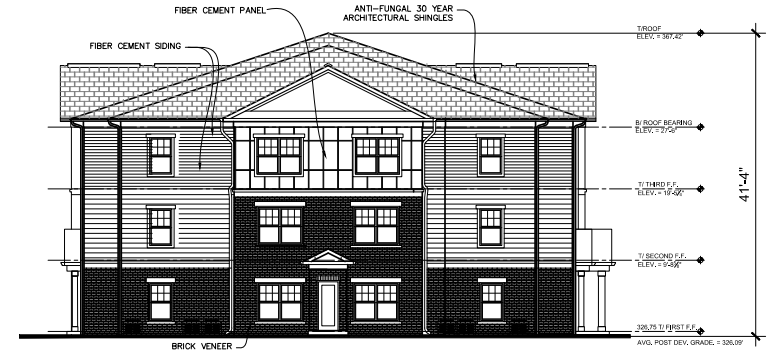
DESIGNED BY:	ER
DRAWN BY:	EP
PROJECT NUMBER:	150610
DRAWN DATE:	09/09/2023

811
Call before you dig.

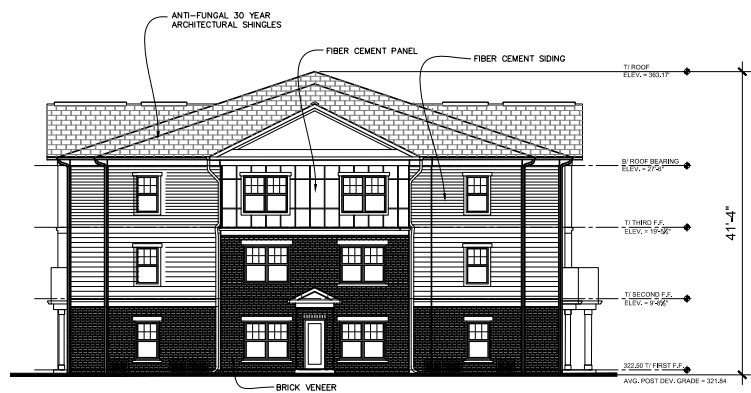
L1.0



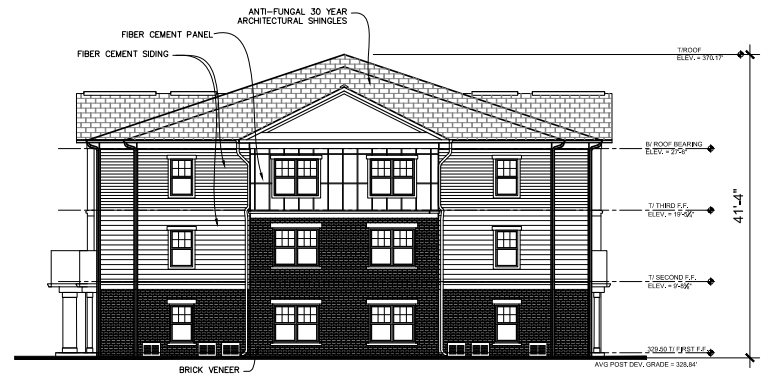
4 BUILDING 400 – SIDE ELEVATION – PLAN EAST
1/8" = 1'-0"



2 BUILDING 200 – SIDE ELEVATION – PLAN EAST
1/8" = 1'-0"



3 BUILDING 300 – SIDE ELEVATION – PLAN EAST
1/8" = 1'-0"



1 BUILDING 100 – SIDE ELEVATION – PLAN EAST
1/8" = 1'-0"

0 5'-0" 10'-0" 21'-4"
SCALE: 1/32" = 1'-0"

2022-208
01.25.2024
N/A, AKC
WPL

MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
100 CRESCENT CENTER PARKWAY SUITE 200 TUCKER GEORGIA 30084 404-373-2800
919 CROSS LINK RALEIGH, NORTH CAROLINA
BUILDINGS 100, 200, 300 & 400 – MAIN ELEVATIONS – EAST



A31

ASR SUBMITTAL 01/25/24