



Administrative Approval Action

Case File / Name: ASR-0051-2024

DSLCL - RAYDO BASKETBALL TRAINING FACILITY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 3.182-acre site consists of two existing parcels, 1707 and 1711 Roundrock Drive, identified as Lots 222 and 223 in the Roundrock Business Park. It is located north of Old Wake Forest Road, south of Gresham Lake Road, east of Litchford Road, and west of Sumner Boulevard. It is zoned IX-3.

REQUEST: The plan proposes developing the site for a basketball training facility, an indoor recreation use. The building will be 20,435 square feet and 50 parking spaces will be added. A 4,984 square foot outdoor basketball court is also proposed, accessory to the principal use and connected by sidewalks, which is included in the outdoor amenity area calculation on the plan. Both parcels have a floodway boundary, Neuse Riparian Buffer and designated Primary Tree Conservation Areas to the rear.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 12, 2025 by William C. Piver, PE.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

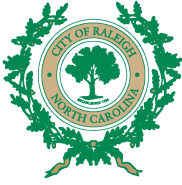
The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

4. Tree protection fence protecting recorded tree conservation areas located on site must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



Administrative Approval Action

Case File / Name: ASR-0051-2024

DSLCL - RAYDO BASKETBALL TRAINING FACILITY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
-------------------------------------	---

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Engineering

2. A cross access agreement among the lots identified as PINs 1727035730 and 1727035429 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



Administrative Approval Action

Case File / Name: ASR-0051-2024
DSLCL - RAYDO BASKETBALL TRAINING FACILITY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A plat showing the recombination of PIN 1727035730 and PIN 1727036846 into one lot shall be submitted, approved and recorded prior to the issuance of building permits.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry



Administrative Approval Action

Case File / Name: ASR-0051-2024
DSLCL - RAYDO BASKETBALL TRAINING FACILITY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

4. A public infrastructure surety for 5 street trees along Roundrock Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure
5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Roundrock Drive.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 5, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

Administrative Site Review Application

Planning and Development Services Center • Development Plaza, 1500 S. Salisbury, NC 27601 (919) 880-2823



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 102.2.8. Please check the appropriate building types and fill in the plan check at document when submitting.

Office Use Only: Case # _____ Planner (initials) _____

Please review UDO Section 102.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Development Plan Type	Water Pollution Mitigation
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny House <input type="checkbox"/> Open lot	<input type="checkbox"/> Medium Density <input type="checkbox"/> Single-Family <input type="checkbox"/> College Court <input type="checkbox"/> Frequent Transit Development Option

GENERAL INFORMATION

Development name: Raydo Basketball Training Facility

Inside City limits? Yes No

Property address(es): 1707 & 1711 Roundrock Drive, Raleigh, NC 27615

Site P.L.N. (s): 1727035730 & 1727036846

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Construction of 20,435 sq ft basketball training facility.

Current Property Owner(s): Matt Raydo
 Company: Westgate LLC Title: Managing Partner

Address: 7424 Dover Hills Drive, Wake Forest, NC 27587
 Phone #: (202) 744-1102 Email: matt@raydo@gmail.com

Applicant Name (if different from owner, see "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: William C. Piver, PE Address: 2709 Scottsdale Lane, Raleigh, NC 27615

RAYDO BASKETBALL TRAINING FACILITY

1707 & 1711 ROUNDROCK DRIVE

RALEIGH, NC

ASR- 0051-2024



October 26th, 2024

Justo Wiles
 102-946330
 Email: matt@raydo.com

At: Will Serve Letter for Raydo Basketball Training Facility at 1707 Roundrock Drive in Raleigh, North Carolina.

To: William C. Piver, PE

This letter is sent to the City of Raleigh that Patrick Sanitation Management will provide a public and certified service for the project known as the Raydo Basketball Training Facility at 1707 Roundrock Drive in Raleigh, North Carolina.

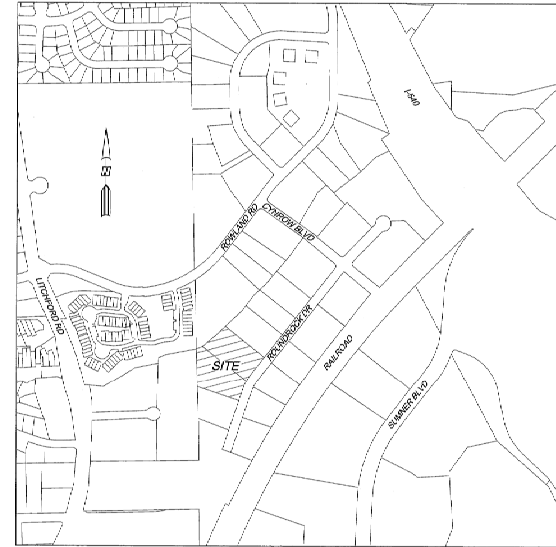
Service will be provided after construction is completed. When you are nearing the construction completion date, please call us to set up your account and schedule the service order.

Please call us for the address, please contact us at 551-775-8238. We look forward to working with you.

Sincerely,

Justo Wiles
 Justo Wiles
 Project Sanitation Manager

Patriot Sanitation Management, 1610 E. 10th Street, NC 27601 (919) 775-8238



VICINITY MAP
 SCALE: 1" = 500'

SHEETS:

- C-1 COVER
- C-2 EXISTING CONDITIONS
- C-3 SITE PLAN
- C-3.1 SITE DETAILS
- C-4 GRADING & STORMWATER PLAN
- C-4.1 SCM DETAILS
- C-5 UTILITY PLAN
- L-1 LIGHTING PLAN
- LA-1 LANDSCAPE PLAN
- A-1 FLOOR PLAN
- A-3 ELEVATIONS

THIS PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS UNDER UDO SECTION 9.1.2.

THIS PROJECT IS EXEMPT FROM STORMWATER DETENTION REQUIREMENTS UNDER UDO SECTION 9.2.2.E.2.e

THIS SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS DUE TO SITE AREA IN UDO SEC 8.3.2.A.2.B FOR THE X ZONING DISTRICT.

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.

OWNER / DEVELOPER:

WESTGATE LLC
 MATT RAYDO
 7424 DOVER HILLS DRIVE
 WAKE FOREST, NC 27587
 202-744-1102
 matt@raydo@gmail.com

ENGINEER

WILLIAM C. PIVER, PE
 2709 SCOTTSDALE LANE
 RALEIGH, NC 27613
 PHONE: (919) 880-4217
 bill_piver@yahoo.com

ARCHITECT:

FGA ASSOCIATES PLLC
 11 S MAIN STREET
 WENDELL, NC 27591
 PHONE: (919) 819-4635
 frank@frankgarchitect.com

LANDSCAPE ARCHITECT

COALY DESIGN
 300/200 PARHAM STREET, SUITE G
 RALEIGH, NC 27601
 PHONE: (919) 539-0012
 kimberly@coalydesign.com

SURVEYOR:

RWK, PA
 101 WEST MAIN STREET #202
 GARNER, NC 27529
 PHONE: (919) 779-4854
 cpiratzky@nc.r.com

Public Improvement Quantity Table

Phase Number (s)	Phase 1
Number of Lot (s)	1
Lot Number (s) by Phase	1
Number of Units	1
Usable Buildings	0
Open Space?	No
Number of Open Space Lots	0
Public Water (LF)	0
Public Sewer (LF)	0
Public Street (LF) - FULL	0
Public Street (LF) - PARTIAL	0
Public Sidewalk (LF) - FULL	0
Public Sidewalk (LF) - PARTIAL	340
Street Signs (LF)	0
Water Service Stubs	1
Sewer Service Stubs	0

Phone #: (919) 880-4217 Email: bill_piver@yahoo.com

NOTE: please attach purchase agreement or contract, lease or assessment when submitting this form.

Developer Contact: Matt Raydo
 Company: Westgate, LLC Title: Managing Partner
 Address: 7424 Dover Hills Drive, Wake Forest, NC 27587
 Phone #: (202) 744-1102 Email: matt@raydo@gmail.com

Applicant Name: Bill Piver
 Company: William C. Piver, PE Address: 2709 Scottsdale Lane, Raleigh, NC 27615
 Phone #: (919) 880-4217 Email: bill_piver@yahoo.com

DEVELOPMENT TYPE + SITE DATA TABLE
 (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): UC-3, S-182 AC	Existing gross floor area (not to be demolished): N/A
Gross site acreage: 3.192	Existing gross floor area to be demolished: N/A
# of parking spaces proposed: 50	New gross floor area: 20,435 sq. ft.
Max # of parking permitted (71-2-C): N/A	Total gross (to remain and newly): 20,435 sq. ft.
Overlay District (Applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): basketball training	Proposed # of basements (UDO 1.6.7.A.4): N/A

STORMWATER INFORMATION

Impervious Area on Parcel(s)	Impervious Area for Compliance (Includes ROW)
Existing (sf) -> _____ Proposed total (sf) 83,100	Existing (sf) -1,620 Proposed total (sf) 82,200

RESIDENTIAL + GOVERNMENT DEVELOPMENTS

Total # of dwell units	Total # of attached bedrooms
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	Is your project a college court? <input type="radio"/> Yes <input checked="" type="radio"/> No
# of lots: _____	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160A-403(b)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

As my authorized agent, I hereby authorize the undersigned to act as my authorized agent for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160A-403(b)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160A-403(b).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-785(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application or review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____ Date: 10/16/24
 Printed Name: William C. Piver, PE
 Signature: _____ Date: _____
 Printed Name: _____

Revision 8/19/24
 raleighnc.gov

Revision 8/19/24
 raleighnc.gov

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	09-18-24
2	REVISED PER CITY COMMENTS	11-12-24
3	REVISED PER CITY COMMENTS	12-02-24
4	REVISED PER CITY COMMENTS	02-17-25

RAYDO BASKETBALL TRAINING FACILITY
 1707 & 1711 ROUNDROCK DRIVE
 RALEIGH, NC
 COVER SHEET



William C. Piver, PE
 2709 SCOTTSDALE LANE
 RALEIGH, NC 27613
 TELEPHONE: (919) 880-4217
 bill_piver@yahoo.com

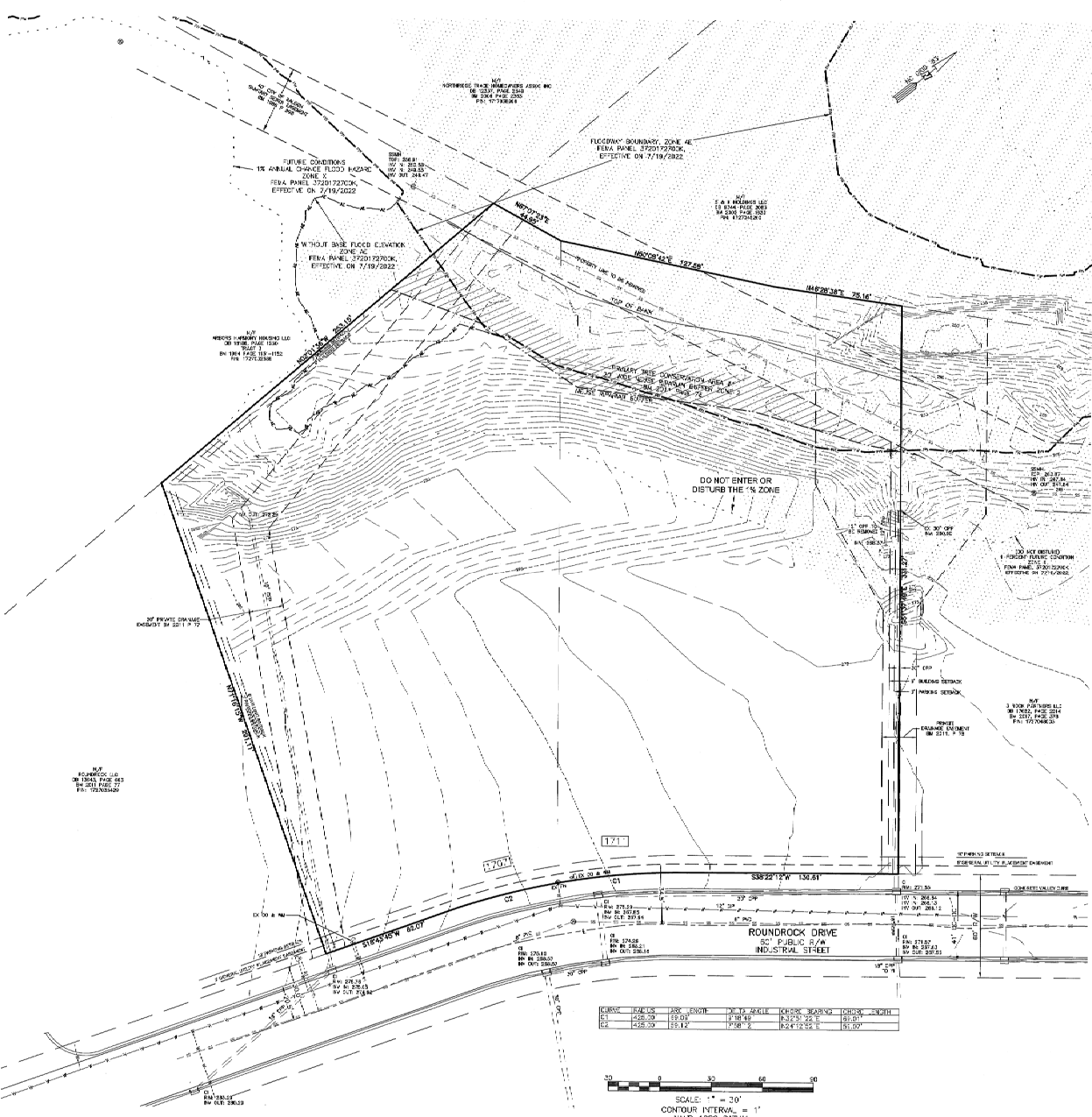
DATE: 07/19/24

DRAWN: TC

SHEET: C-1

© COPYRIGHT, 2025. ALL RIGHTS RESERVED.

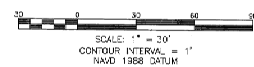
FOR PERMITTING
 NOT FOR CONSTRUCTION



- LEGEND**
- BC BACK OF CURB
 - C CURB INLET
 - CC CLEW CUT
 - FH FIRE HYDRANT
 - SSWH SANITARY SEWER MANHOLE
 - TR ELECTRIC TRANSFORMER
 - WM WATER METER
 - WV WATER VALVE

NOTE:
 1. NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND/OR RETRACTION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE QUESTIONED EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

CURVE	BEARING	ANGLE	CHORD	ARC LENGTH	CHORD BEARING	ARC CHORD
1	S88°22'12"W	130.61	117.33	117.33	S88°22'12"W	117.33
2	S88°22'12"W	130.61	117.33	117.33	S88°22'12"W	117.33



TOPOGRAPHIC SURVEY PROVIDED BY:
 RPK, PA ENGINEERING & SURVEYING
 101 W. MAIN ST., SUITE 202
 GARNER, NC 27529
 PHONE (919) 779-4054
 FAX (919) 779-4056
 RPK@RPEngineering.com

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	08-18-24
2	REVISED PER CITY COMMENTS	11-12-24
3	REVISED PER CITY COMMENTS	12-22-24
4	REVISED PER CITY COMMENTS	02-12-25

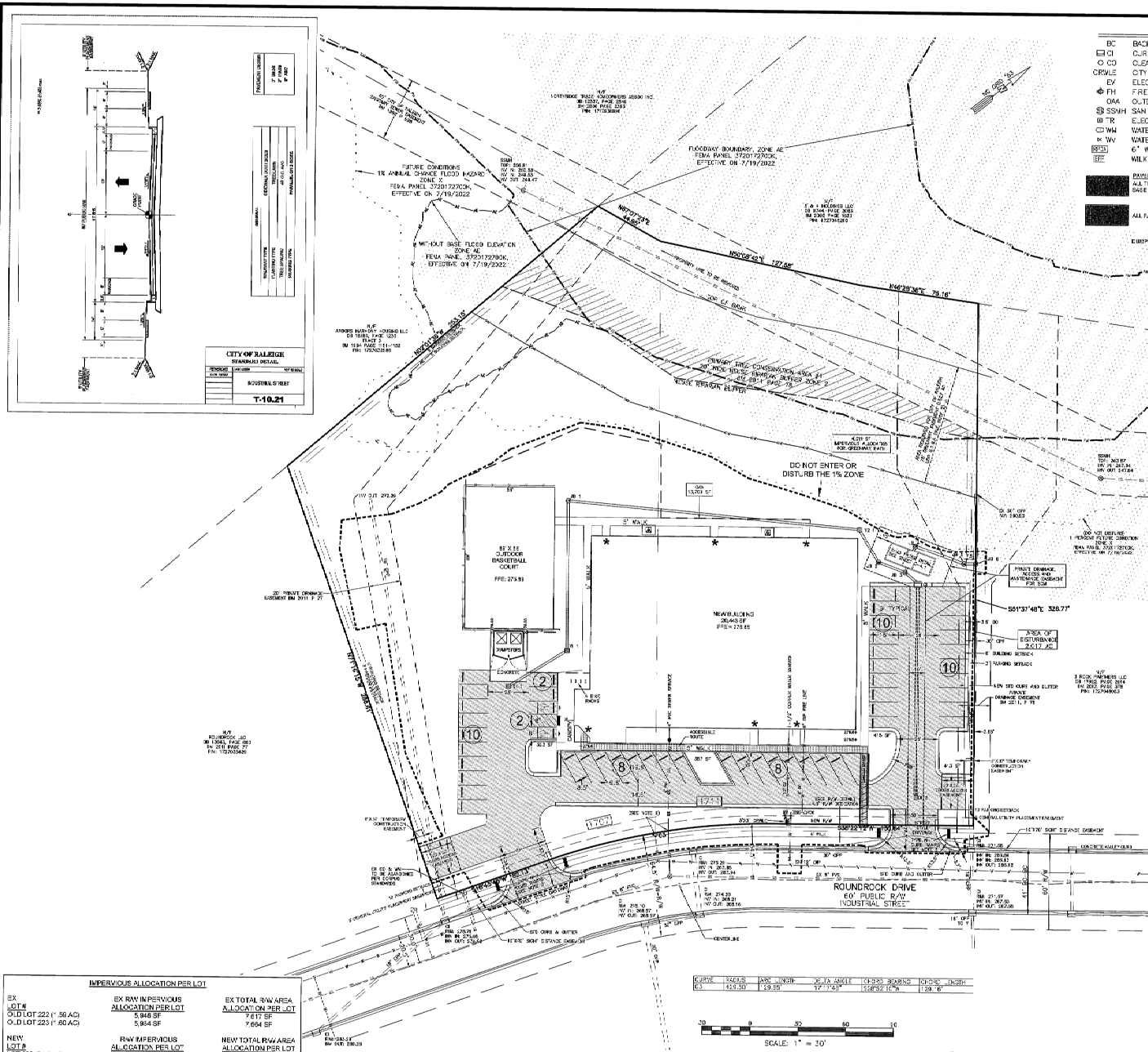
**RAYDO BASKETBALL
 TRAINING FACILITY
 1707 & 1711 ROUNDROCK DRIVE
 RALEIGH, NC
 EXISTING CONDITIONS**

William C. Piver, PE
 7000 WOODSIDE LANE, #2613
 RALEIGH, NC 27613
 TELEPHONE: (919) 860-4217
 bill_piver@yahoo.com

DATE: 07/19/24
 DRAWN: TC
 SHEET:

C-2
 ©COPYRIGHT, 2025
 ALL RIGHTS RESERVED

FOR PERMITTING
 NOT FOR CONSTRUCTION



LEGEND

- BC BACK OF CURB
 - CI CURB INLET
 - CO CLEAN OUT
 - CRWLE CITY OF RALEIGH WATERLINE EASEMENT
 - EV ELECTRIC VEHICLE CHARGING STATION
 - F RE - YARDWAY
 - OAA OUTDOOR AMENITY AREA
 - SSHH SANITARY SEWER MAINHOLE
 - UTR ELECTRIC TRANSFORMER
 - W WATER METER
 - WV WATER VALVE
 - W 6" WILKINS 47SDA
 - WILKINS RP2 MODEL375XL IN A HOT BOX
- RAISED: ALL TOWNSHIPS SHALL BE 8" COMPACTED AGC STONE BASE WITH 3" ASPHALT.
 DRIVEWAY PAD SHALL BE 4" CONCRETE (3000 PSI).

SITE DATA
 OWNER/DEVELOPER
 WESTBATE LLC
 7401 LOWER HILLS DRIVE
 WALKER CREEK RD #2537
 222744-1183
 #769094991@comcast.net
 SITE ADDRESS
 1707 & 1711 ROUNDROCK DRIVE
 RALEIGH, NC 27618-0141
 PINS
 LOT 222 17023303 & 17023304
 PLAT # 2018
 ZONING R-3
 PROPOSED LAND USE VACANT
 PROPOSED BLDG USE INDOOR RECREATION FACILITY

AREAS
 EX STMS 16,000 SF 1,006 AC
 LOT 223 16,000 SF 1,006 AC
PROPOSED
 LOT 222 137,000 SF 1,843 AC
 ROUNDROCK 1,427 SF 0.208 AC
TOTAL
 150,427 SF 2,055 AC
 NEW AREA 127,668 SF 1,843 AC

1% OUTDOOR AMENITIES REQUIRED: 15,706 SF
OUTDOOR AMENITIES AREA PROVIDED: 15,706 SF

BUILDING SETBACKS
 FRONT 20' OR 5'
 REAR 20' OR 5'
 SIDE 20' OR 5'
 CORNER 20' OR 5'

PARKING REQUIREMENTS
 VEHICLE PARKING MINIMUM 20 SPACES
 PARKING PROVIDED 50 SPACES
 NO PARKING REQUIRED 2 SPACES
 NO PARKING PROVIDED 20 SPACES
 SHORT TERM BICYCLE STORAGE 20 SPACES
 20 435 SF 5 603 SF 4 800 VEHICLE RACKS

INDIVIDUAL AREAS
 BALCONY 23,639 SF
 PAVEMENT 21,999 SF
 SIDEWALK 3,668 SF
 WALKWAYS 1,866 SF
 DRIVEWAY ALLOCATION 4,805 SF
 TOTAL 51,977 SF
 67,653 SF / 97,289 SF = 69.2% IMPERVIOUS

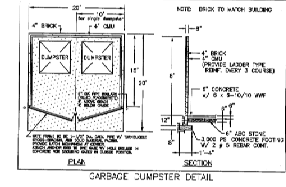
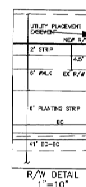
- NOTES**
1. 100 YEAR FLOOD, HOUSE BARRIAR BUFFER AND FLOODWAY SHALL BE FROM PANEL SET 17272700 AND TEMPORARY OR PERMANENT ELEVATIONS INCLUDING BUT NOT LIMITED TO CLEANING, GRADING, FENCING AND THE INSTALLATION OF RETENTION WALLS OR OTHER STRUCTURES ARE PERMITTED WITH IN THE DRIVEWAY EASEMENT AND WITHIN THE FRONT APPROVAL BY THE CITY OF RALEIGH.
 2. BEARINGS TO LOT 222 AND DIMENSIONS FROM FLOOR PLAN.
 3. ALL UTILITIES TO BE SHOWN.
 4. EXISTING UTILITIES TO BE REMOVED, FURNISH TO THE RANGERS CURB WITH THE RANGERS PER CON STD 2017-1-1.
 5. SOLID WASTE COLLECTION BY PRIVATE CONTRACTOR.
 6. EXISTING CURB AND RAMP TO BE REMOVED, FURNISH TO THE RANGERS CURB WITH THE RANGERS PER CON STD 2017-1-1.
 7. SEE LANDSCAPE PLAN FOR TREES AND SCREENING.
 8. EXISTING HYDROLOGY AND CLEANOUTS AS SHOWN.

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	09-16-24
2	REVISED PER CITY COMMENTS	11-22-24
3	REVISED PER CITY COMMENTS	12-22-24
4	REVISED PER CITY COMMENTS	02-12-25

RAYDO BASKETBALL TRAINING FACILITY
1707 & 1711 ROUNDROCK DRIVE
RALEIGH NC
SITE PLAN

IMPERVIOUS ALLOCATION PER LOT		
EX LOT #	EX RW IMPERVIOUS ALLOCATION PER LOT	EX TOTAL RW AREA ALLOCATION PER LOT
O.D. LOT 222 (1.56 AC)	5,948 SF	7,417 SF
O.D. LOT 223 (1.86 AC)	5,964 SF	7,694 SF
NEW LOT #	RW IMPERVIOUS ALLOCATION PER LOT	NEW TOTAL RW AREA ALLOCATION PER LOT
LOT 222 (3.18 AC)	11,832 SF	15,081 SF
TOTAL (3.18 AC)	11,832 SF	15,081 SF

CURB	WALKWAY	DRIVE	WALKWAY	DRIVE	WALKWAY	DRIVE	WALKWAY	DRIVE
0.3	113.50	19.15	17.745	128.62	15.76			



FOR PERMITTING
NOT VALID FOR CONSTRUCTION

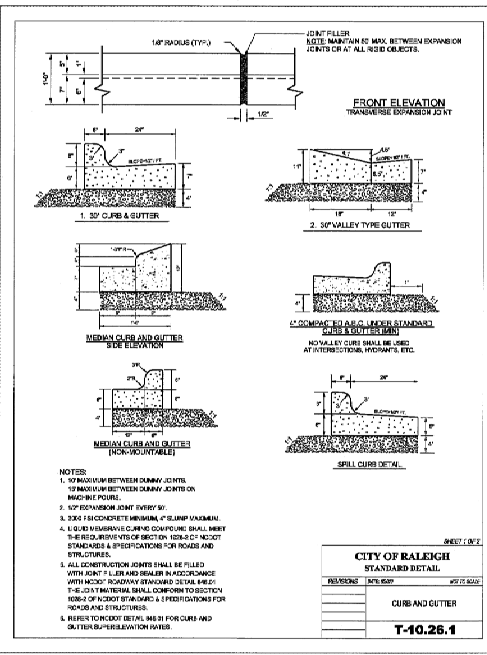
William C. River, PE
 2709 SCOTTSDALE LANE
 RALEIGH, NORTH CAROLINA 27613
 TELEPHONE: (919) 860-4217
 bill_river@yahoo.com

DATE: 07/19/24

DRAWN: TC

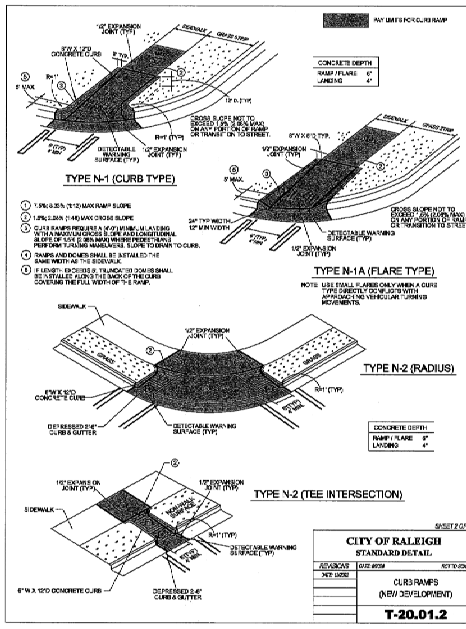
SHEET:

C-3
 ©COPYRIGHT, 2025.
 ALL RIGHTS RESERVED



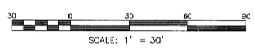
- NOTES:
1. 1/8\"/>

CITY OF RALEIGH STANDARD DETAIL	
REVISION	DATE
CURB AND GUTTER	
T-10.26.1	



1. TYPE N-1 CURB RAMP FLARE
2. TYPE N-1 CURB RAMP FLARE WITH SIDEWALK CURB
3. TYPE N-1 CURB RAMP FLARE WITH SIDEWALK CURB AND SLOPE
4. TYPE N-1 CURB RAMP FLARE WITH SIDEWALK CURB AND SLOPE WITH CURB
5. TYPE N-1 CURB RAMP FLARE WITH SIDEWALK CURB AND SLOPE WITH CURB AND SLOPE WITH CURB

CITY OF RALEIGH STANDARD DETAIL	
REVISION	DATE
CURB RAMP NOTES	
T-20.01.2	



CITY OF RALEIGH CURB RAMPS GENERAL NOTES

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT-OF-WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1% (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48". ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH-NONSLIP SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH STANDARD DETAIL	
REVISION	DATE
CURB RAMP NOTES	
T-20.01.8	

NO.	REVISION	DATE	1.	11-22-24
			2.	12-23-24
			3.	09-17-25
			REVISOR	

RAYDO BASKETBALL
TRAINING FACILITY
1707 & 1711 ROUNDROCK DRIVE
RALEIGH NC
SITE DETAILS

William C. Piver, PE
2709 SCOTTSDALE LANE
RALEIGH, NC 27613
TELEPHONE: (919) 880-3217
bill_piver@raydo.com

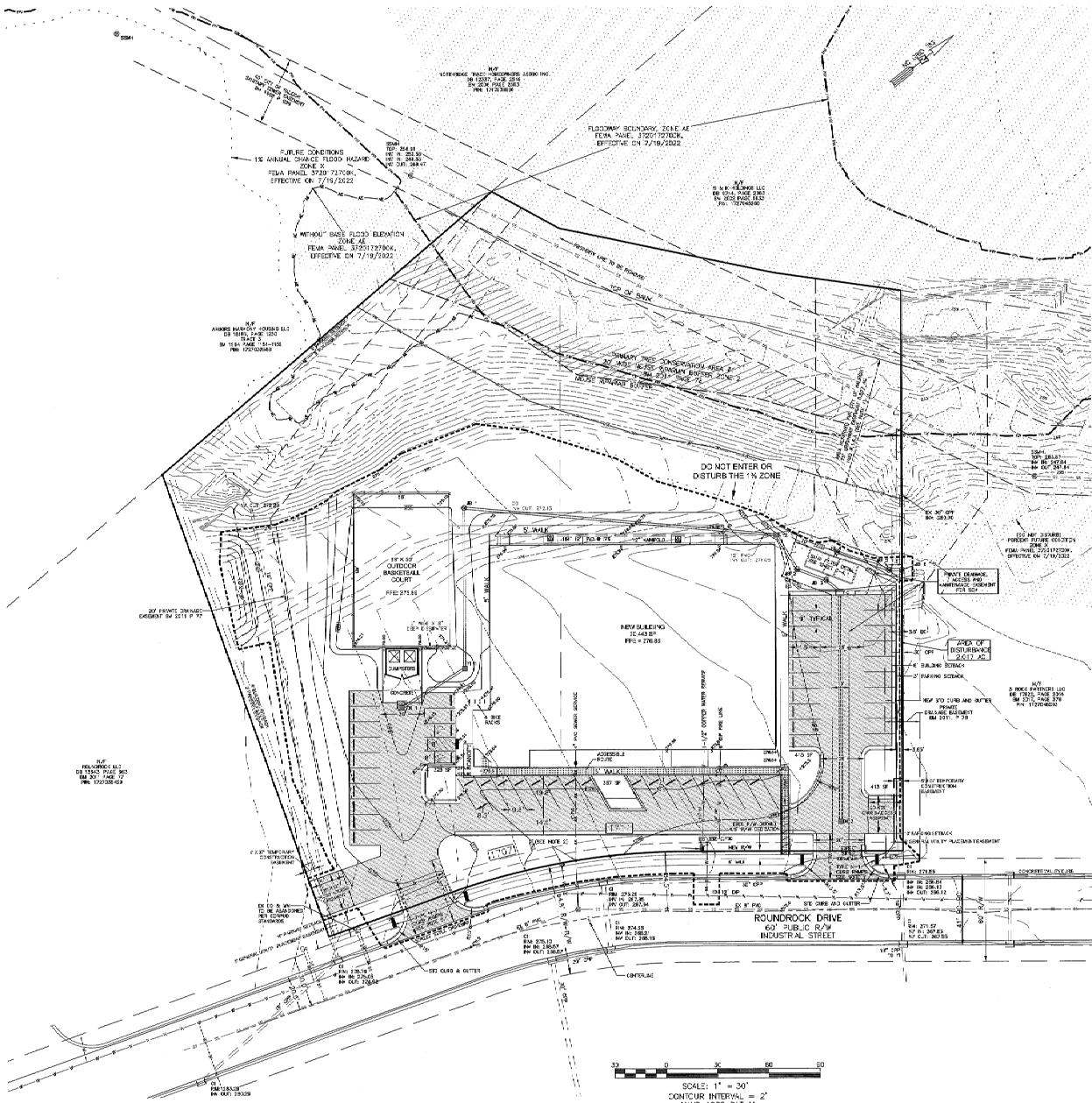
DATE: 09/18/24

DRAWN: TC

SHEET:

FOR PERMITTING
NOT FOR CONSTRUCTION
C-3.1

© COPYRIGHT 2025
ALL RIGHTS RESERVED



FOR SUMMARY OF PIPES
FOR STORM DRAINAGE
SEE SHEET C-4.1

- LEGEND**
- BC BACK OF CURB
 - CI CURB INLET
 - CO CLEAN CUT
 - FD FIRE HYDRANT
 - SSNH SANITARY SEWER MANHOLE
 - ET ELECTRIC TRANSFORMER
 - WM WATER METER
 - WV WATER VALVE
 - 6" ALUMINUM 755CA
 - 8" ALUMINUM 755CA
 - 8" ALUMINUM RPE MODEL 375EXL IN A H-CI BOX

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

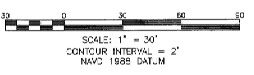
TOTAL DISTURBED AREA: 2.079 AC

THIS SITE DISCHARGES TO A FEMA FLOODPLAIN. DETENTION IS NOT PROPOSED FOR THIS SITE BY REASON OF NO DOWNSTREAM BENEFIT DUE TO THE PROXIMITY TO THE FEMA FLOODPLAIN. (UDD SECTION 9.2.2.2.2.4)

AVERAGE GRADE TABLE		
LOWEST	HIGHEST	AVERAGE
276.6	276.6	276.6

- NOTE:**
1. NO TEMPORARY OR PERMANENT EROSION CONTROL INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR GROUCHES SHALL BE PERMITTED WITHIN THE GREENWAY EQUIPMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
 2. EXISTING HYDRANT AND CLEANOUT MOVED AS SHOWN.

THIS BUILDING AND ALL ATTENDANT MECHANICAL, ELECTRICAL, HEATING, VENTILATION, AND AIR CONDITIONING EQUIPMENT, AS WELL AS OTHER SERVICE FACILITY EQUIPMENT, SHALL BE FLOOD PROTECTED TO ELEVATION



NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	09-18-24
2	REVISED PER CITY COMMENTS	11-12-24
3	STANDARD LUD, JSA, GSS/JAR	12-23-24
4	REVISED PER CITY COMMENTS	02-12-25

**RAYDO BASKETBALL TRAINING FACILITY
1707 & 1711 ROUNDROCK DRIVE
RALEIGH, NC
GRADING & STORMWATER PLAN**

William C. Piver, PE
2709 SCOTTSDALE LANE
RALEIGH, NORTH CAROLINA 27613
TELEPHONE: (919) 860-4217
Bill_Piver@piver.com

DATE: 07/19/24
DRAWN: TC
SHEET:

C-4
© COPYRIGHT, 2025
ALL RIGHTS RESERVED

FOR PERMITTING
NOT FOR CONSTRUCTION

WQV ELEVATIONS AND VOLUMES

SCM 233 CF / 264 SF = .88 FT MINIMUM DEPTH
 PEAK FLOW Q2 = 7.61 CFS ELEVATION: 239.92 VOLUME: 199 CF
 PEAK FLOW Q10 = 9.58 CFS ELEVATION: 270.08 VOLUME: 227 CF
 PEAK FLOW Q25 = 10.88 CFS ELEVATION: 270.13 VOLUME: 244 CF
 PEAK FLOW Q100 = 12.95 CFS ELEVATION: 270.21 VOLUME: 270 CF

WQV = (P)(R)(A)(I)²

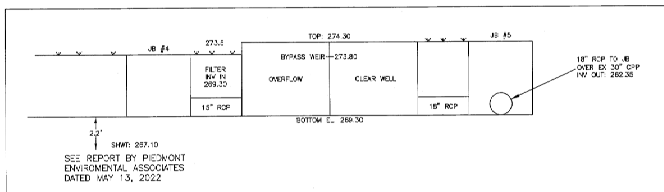
WQV = Water quality volume in ac-ft
 P = 1 inch rainfall
 R = 0.05(1+0.0001) where 1 = the percent impervious cover
 A = drainage area in acres

A =	3.18 Total impervious area of new development	139,824 SF
I =	1.50	3.18 Ac Total area
R =	48.83%	1.56 Ac New Impervious
Rv =	0.0288054	67,860 SF

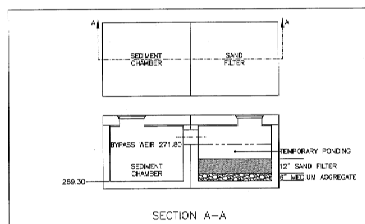
WQV = 0.0276391 ac-ft = 233.278 c.f.

Assuming 75% sand filter factor yields 250 c.f. Required Storage

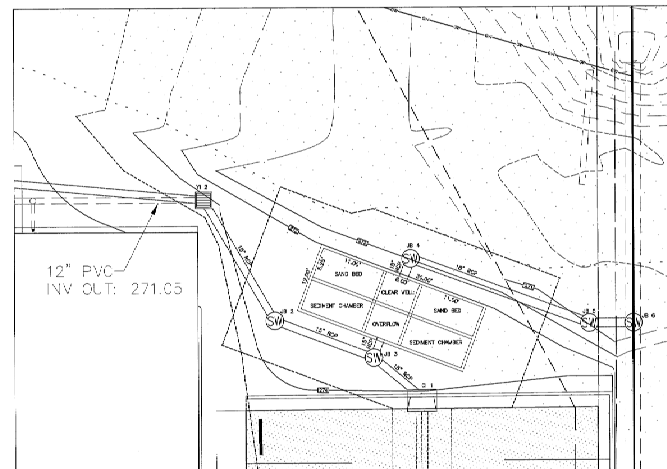
Use 4-6000' precast sand filter system x 1' pond depth



SAND FILTER
 CENTER LINE CROSS SECTION
 NOT TO SCALE



SECTION A-A
 CENTER LINE TREATMENT CELL
 NOT TO SCALE



SAND FILTER
 PLAN VIEW

SCALE: 1" = 10'

Raydo Basketball Training Facility
 Stormwater Drainage

System #	Area (Acres)	Invert (feet)	From	To	Length (ft)	Material (ft)	Slope (%)	Top (ft)	Bottom (ft)	Invert (ft)	Q25 (cfs)	Q50 (cfs)	Cover (ft)
020	0.66	271.80	18"	45	15	RCP	0.48	270.83	270.00	271.80	271.80	2.68	1.76
051	0.06	271.80	18"	50	15	RCP	0.60	271.90	271.00	271.80	271.80	3.05	1.98
030	0.00	271.80	18"	143	15	RCP	0.30	278.90	274.00	270.72	288.90	3.60	4.50
031	0.00	271.80	18"	20	15	RCP	1.25	273.40	271.50	284.60	288.90	2.68	2.21
030	0.00	271.80	18"	18	15	RCP	0.70	273.90	273.00	288.50	288.90	3.60	3.60
030	0.00	271.80	SCM	3	15	RCP	1.25	273.40	271.50	288.50	288.90	3.60	3.60
021	0.00	271.80	18"	104	15	RCP	1.40	272.70	271.40	271.00	288.50	1.50	1.50
021	0.00	271.80	18"	11	15	RCP	1.00	272.40	271.00	288.90	288.50	3.60	1.80
021	0.00	271.80	SCM	3	15	18"	1.40	272.50	271.00	288.50	288.50	3.60	1.80
021	0.00	271.80	SCM	3	18	RCP	5.71	273.50	273.00	288.50	288.50	0.00	6.11
021	0.00	271.80	18"	33	18	RCP	7.42	273.50	273.00	288.50	284.10	0.00	6.11
021	0.00	271.80	18"	7	18	RCP	7.00	273.50	271.00	288.50	284.10	0.00	6.11

* The amount of cover does not have to be accurate by 0.05 feet of the pipe.

Page 1 of 1

William C. Piver, PE

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	08-18-24
2	REVISED PER CITY COMMENTS	11-12-24
3	REVISED PER CITY COMMENTS	12-23-24
4	REVISED PER CITY COMMENTS	02-17-25

RAYDO BASKETBALL
 TRAINING FACILITY
 1707 & 1711 ROUNDROCK DRIVE
 RALEIGH NC
 SCM DETAILS

William C. Piver, PE
 2709 SCOTTSDALE LANE
 RALEIGH, NORTH CAROLINA 27613
 TELEPHONE: (919) 880-4217
 Bill_piver@pivco.com

DATE: 07/19/24

DRAWN: TC

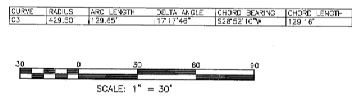
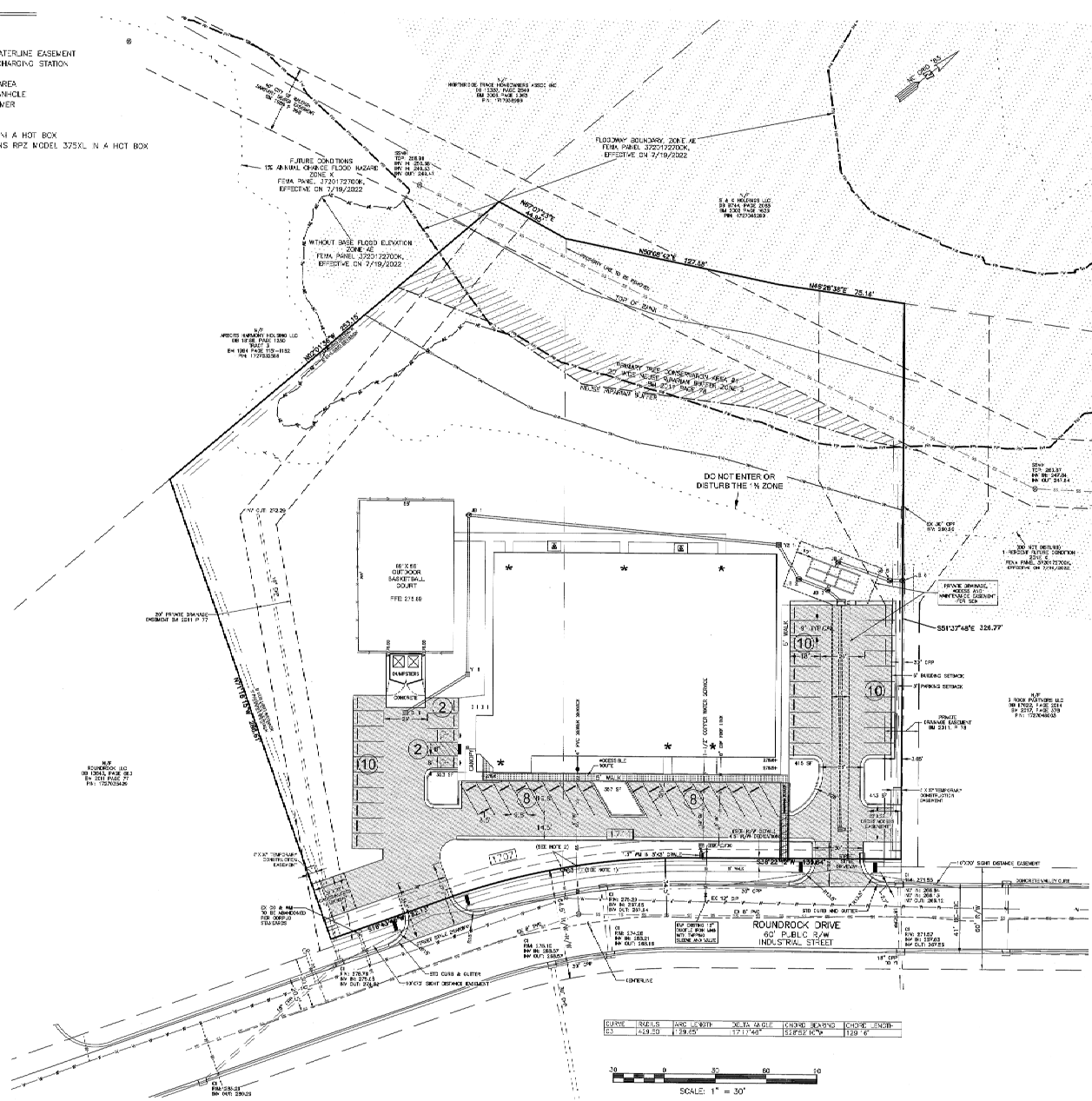
SHEET:

FOR PERMITTING
 NOT FOR CONSTRUCTION

C-4.1

©COPYRIGHT, 2025.
 ALL RIGHTS RESERVED

- LEGEND**
- BC BACK OF CURB
 - CI CURB INLET
 - OC CLEAN OUT
 - CRLE CITY OF RALEIGH WATERLINE EASEMENT
 - EV ELECTRIC VEHICLE CHARGING STATION
 - PH FIRE HYDRANT
 - OA OUTDOOR AMENITY AREA
 - SSBH SECONDARY SEWER MANHOLE
 - TR ELECTRIC TRANSFORMER
 - WM WATER METER
 - WV WATER VALVE
 - WVH WALKING 475CA IN A HOT BOX
 - WVH HIGH HAZARD WALKING RPZ MODEL 375XL N A HOT BOX



- STANDARD UTILITY NOTES:**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current editions)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer main, the horizontal separation between utilities shall be 18". This separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a water main, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 50' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all water main & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
 - SEWER BACKUP PROTECTIVE** - A backup plan created by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. This operations and equipment shall comply with the Public Utilities Handbook.
 - 5.0' minimum cover is required on all water mains & sewer facilities with 18" min. vertical separation is required on all cross mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedures.
 - Install 1-1/2" copper water service with meter located at ROW or within a 3x3' Waterline Easement immediately adjacent. NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 4" PVC sewer service @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backflow valves are required on all sanitary sewer services having building drains lower than 18" above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCDWR, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main relocations & service taps) within state or railroad ROW prior to construction.
 - Cross-section / OVI Water Separation calculations & installation specifications shall be approved by the ROW Program Council prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or eggs@raleigh.gov for more information.
 - Cross-section control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
 - The device shall meet the American Society of Sanitary Engineering (ASSE) standards and be on the University of Southern California approval list.
 - The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
 - The device shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleigh.gov for more information.
 - NOTE: for projects that involve an over-sized main or urban main replacement, Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	11-19-24
2	REVISED PER CITY COMMENTS	12-29-24
3	REVISED PER CITY COMMENTS	02-22-25

RAYDO BASKETBALL TRAINING FACILITY
1707 & 1711 ROUNDROCK DRIVE
RALEIGH NC
UTILITY PLAN

William C. Piver, PE
2706 SCOTTSDALE LANE
RALEIGH, NC 27613
TELEPHONE: (919) 880-4273
bill_piver@yahoo.com

DATE: 09/18/24
DRAWN: TC
SHEET: C-5


FOR PERMITTING
NOT FOR CONSTRUCTION

© COPYRIGHT, 2024
ALL RIGHTS RESERVED

Drawing No: _____ Title: _____
 Prepared By: _____ Date: _____

ZONE™ Large (ZNL)

Outdoor Sports Light



Lumen Range: 80,000 - 176,000
 Voltage Range: 276 - 648
 Mean Beam Candlepower (MBCP): 174 - 545
 Mounting Height: 60 - 120 ft
 Control Options: PHOT, DALI, 0-10V

QUICK LINKS

[Ordering Guide](#) | [Performance](#) | [Photometrics](#) | [Dimensions](#)

FEATURES & SPECIFICATIONS

- Construction**
- Rugged die-cast aluminum housing contains factory prewired driver and control unit. Cast aluminum wiring access door located underneath.
 - Housing is finished with Silver Anodized™ aluminum powder coat finishing process. The Durable Finish maintains extreme weather condition without cracking or peeling. Or standard LB finish available. Consult factory.
 - Shipping weight: 68 lbs in carton.
- Optical System**
- State-of-the-art nine piece aluminum optics meet industry leading optical control with patented system to provide 98% beam spill.
 - Proprietary silicone reflector cuts optical dispersion coverage and uniformity in distribution (beam cut) and PF.
 - Silicone optical refractive does not yellow or crack with age and provides a typical light transmission of 95%.
 - Zero spillage.**
 - Achieves 8000K, 4000K, and 3000K color temperatures per ANSI C7837.
 - Minimum CRI of 70.
 - Integral lower (L) and integral half lower (HL) options available for enhanced beam-light control.
- Electrical**
- High-performance driver features over-voltage, under-voltage, surge-current and over-temperature protection.
 - 0-10V dimming (0% - 100%) handheld.
 - Standard Universal Voltage (220-277 VAC) input. 50/60 Hz or optional high voltage (247-480 VAC).
- LED**
- LED Coated Life=70,000 Hours (See Lumen Maintenance on Page 3)
 - Total harmonic distortion < 40%
 - Operating temperature: JCB and SGL: -40°C to +35°C (40°F to +95°F), JCB and SGL: -40°C to +40°C (-40°F to +104°F)
 - Power factor > 90
 - Input power stays constant over life.
 - Field replaceable 10V surge protection device made of 100% pure Copper C Line composition (see ANDREWE CR24.1).
 - High-efficiency LED mounted on metal-core circuit board to maximize heat dissipation.
 - Driver is fully enclosed in potting material for moisture resistance and corrosion with PCC standards. Driver and key electronic components are readily accessible.
- Controls**
- Optional integral silicone heated blue-beam programmable motion and protocol sensor. Protocol supports independently and centrally controlled via USB or Android configuration app.
 - LEDs are low-voltage control systems to allow for programming and easy control and including energy and performance costs and optimizing light quality (see controls section for more details).
 - Designed to mount to square or round poles.
 - A single tether secures the tripod stand, underneath the housing and provides quick & easy access to the electrical compartment.
 - Included terminal block (accepts up to 12 ga. wire).
- Warranty**
- LEDs and Power leads included when Field Mounting Studs are ordered.
 - Ultraviolet bulb and ball ball contains for easy removal of LED products. (See page 17 in order manual).
 - LEDs include carry a 3-year limited warranty. Refer to <https://www.luminaire.com/industry-education/industry-education> for more information.
- Lighting**
- Listed by UL 1855 and UL 8750.
 - Meets City American Act requirements.
 - Dark Sky compliant with 3000K color temperature selection.
 - The S4 Compliance: see local ordinance for application information.
 - Factory for wet locations.
 - IP65 rated Luminaire per IEC 60529.
 - 30 rated for ANSI C83.31 high vibration applications (see technical manual).
 - IP66 rated Luminaire per IEC 60529 mechanical IP66 code.
 - Class II (Type C) qualified product. For all versions of this product, please refer to the product qualification product list at <https://www.luminaire.com/industry-education/industry-education> to confirm which version are qualified.
 - Approved Silicone Optics (US Patent No. 7,917,068 B2)

L&L Industries Inc., 10000 Ashcroft Rd., Cincinnati, OH 45244 • (513) 379-3500 • www.luminaire.com
 © Luminaire, All Rights Reserved. All dimensions and drawings are subject to change without notice. Luminaire and the Luminaire logo are trademarks of Luminaire Inc.

ZONE Large Outdoor Sports Light

Drawing No: _____ Title: _____
 Prepared By: _____ Date: _____

ORDERING GUIDE

TYPICAL ORDER EXAMPLE: ZNL 60L CT UNV 50 ALD55L BUX 1H

Profile	Mount	Mounting	Color	Voltage	Color Temperature
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	3000K
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	4000K
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	5000K

Accessories

Accessories	Part Number	Quantity	Notes
Field Mounting Stud	MS10	1	See technical manual for details.
Field Mounting Bracket	MS11	1	See technical manual for details.
Field Mounting Bracket	MS12	1	See technical manual for details.
Field Mounting Bracket	MS13	1	See technical manual for details.
Field Mounting Bracket	MS14	1	See technical manual for details.
Field Mounting Bracket	MS15	1	See technical manual for details.
Field Mounting Bracket	MS16	1	See technical manual for details.
Field Mounting Bracket	MS17	1	See technical manual for details.
Field Mounting Bracket	MS18	1	See technical manual for details.
Field Mounting Bracket	MS19	1	See technical manual for details.
Field Mounting Bracket	MS20	1	See technical manual for details.
Field Mounting Bracket	MS21	1	See technical manual for details.
Field Mounting Bracket	MS22	1	See technical manual for details.
Field Mounting Bracket	MS23	1	See technical manual for details.
Field Mounting Bracket	MS24	1	See technical manual for details.
Field Mounting Bracket	MS25	1	See technical manual for details.
Field Mounting Bracket	MS26	1	See technical manual for details.
Field Mounting Bracket	MS27	1	See technical manual for details.
Field Mounting Bracket	MS28	1	See technical manual for details.
Field Mounting Bracket	MS29	1	See technical manual for details.
Field Mounting Bracket	MS30	1	See technical manual for details.

PHOTOMETRICS

Luminaire photometry has been concluded for a NVLAP accredited testing laboratory in accordance with IESNA LM-79-06. As specified by IESNA LM-79-06 the entire luminaire is tested to ensure meeting a minimum efficiency of 100%.

See the individual product page on <https://www.luminaire.com> for detailed photometric data.

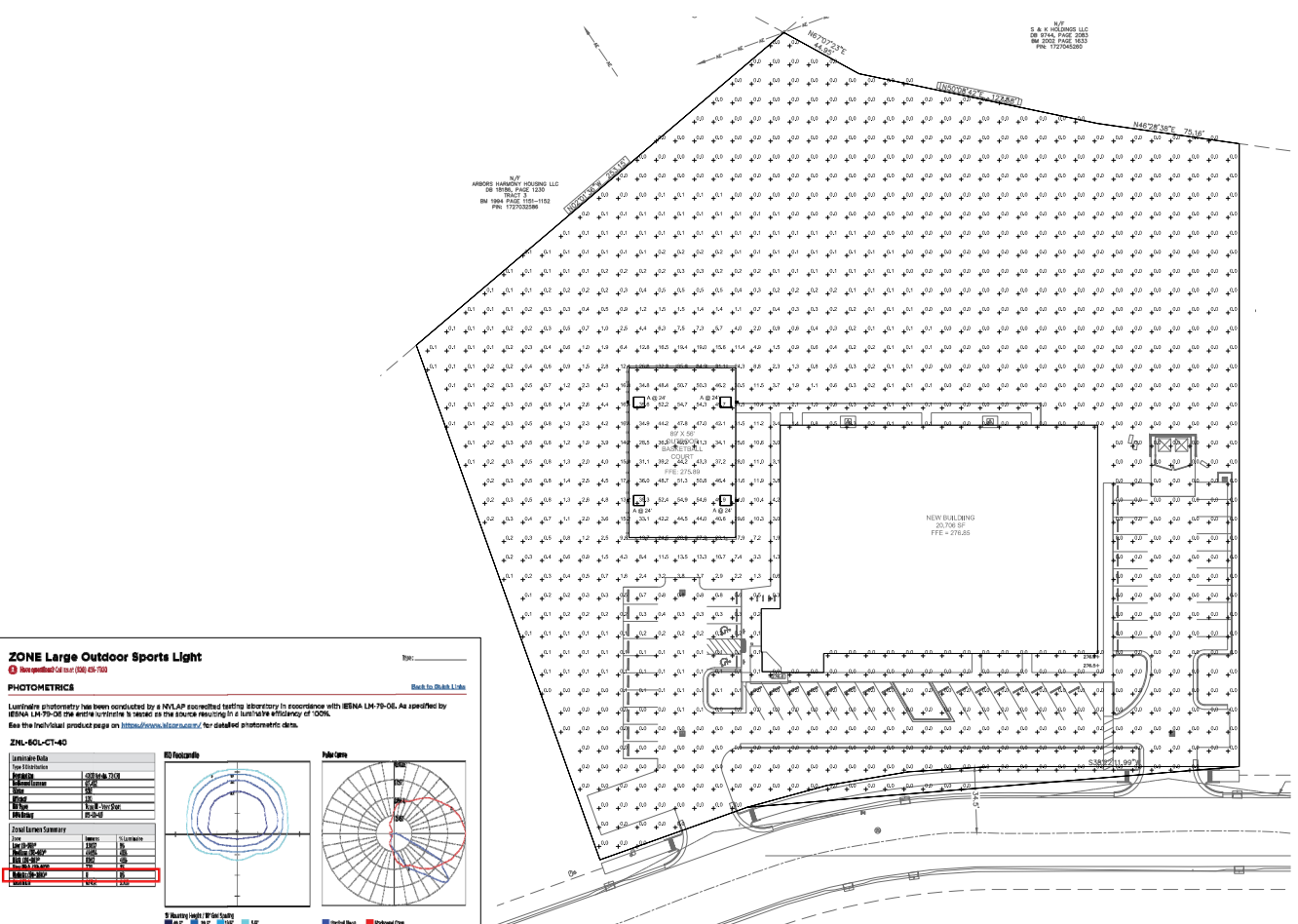
ZNL-60L-CT-40

Profile	Mount	Mounting	Color	Voltage	Color Temperature
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	3000K
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	4000K
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	5000K

ZNL-65L-FT-40

Profile	Mount	Mounting	Color	Voltage	Color Temperature
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	3000K
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	4000K
3H - 3/4" top	HL - 1000mm	HL - 1000mm	0000	276-648V	5000K

L&L Industries Inc., 10000 Ashcroft Rd., Cincinnati, OH 45244 • (513) 379-3500 • www.luminaire.com
 © Luminaire, All Rights Reserved. All dimensions and drawings are subject to change without notice. Luminaire and the Luminaire logo are trademarks of Luminaire Inc.



BASKETBALL COURT LIGHTING PLAN
 SCALE: 9/256" = 1'-0"

Schedule

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number	Lot/L	LF	Foot	Notes
□	A	4	L&L INDUSTRIES, INC.	ZNL-FT-CT-40	OUTDOOR SPORTS LIGHT	1	17902	1	648	MOUNTED AT 24' SQUARE POLE

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE	+	0.67	0.23	0.02	NA	NA
BASKETBALL COURT	+	45.5	23.7	26.8	2.61	1.61

NO. _____ DATE _____

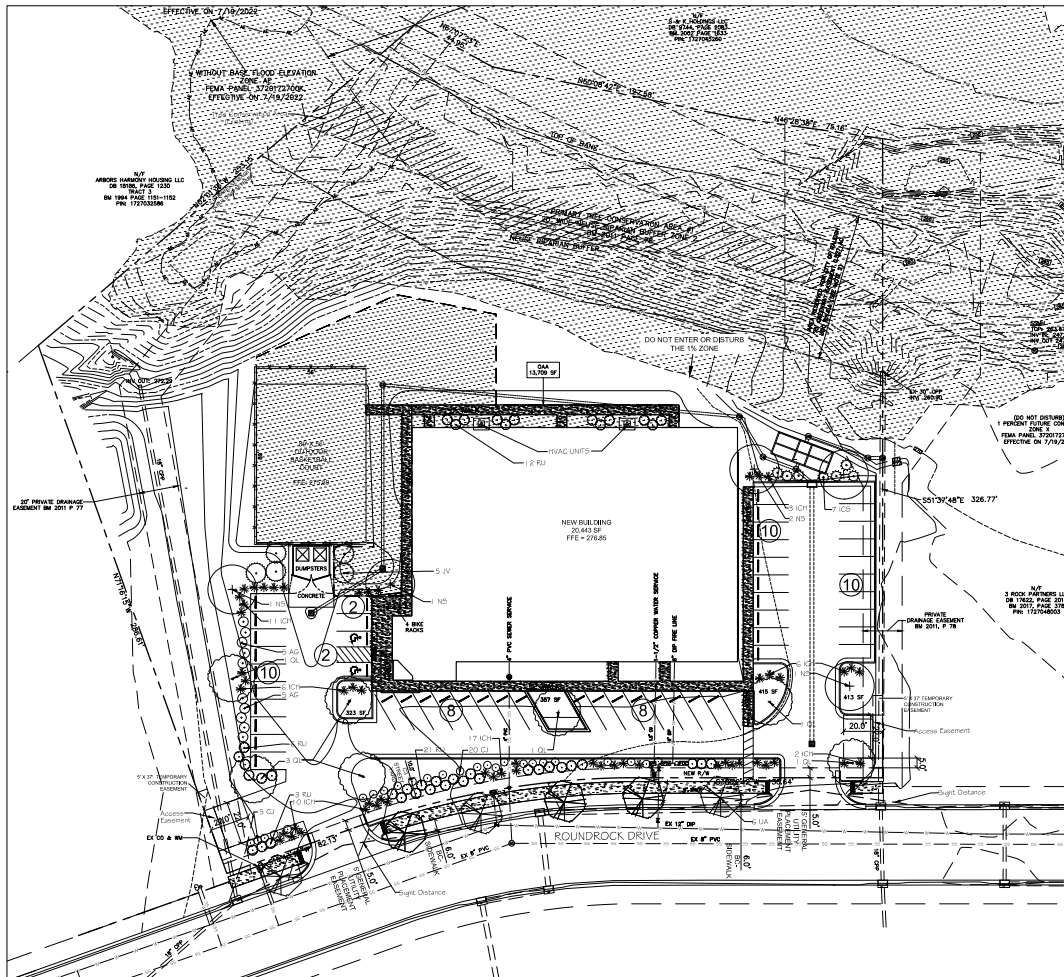
REVISION _____

RAYDO BASKETBALL TRAINING FACILITY
 1707 & 1711 ROUNDROCK DRIVE
 RALEIGH NC
 LIGHTING PLAN

ANGUS CLARK
 ENGINEERING PC
 P.O. Box 1807
 CARY NORTH CAROLINA 27513
 919.669.2874

DATE: 08/09/24
 DRAWN: RW
 SHEET:
L-1
 © COPYRIGHT 2024 ALL RIGHTS RESERVED

FOR PERMITTING
 NOT FOR CONSTRUCTION



City of Raleigh Planting Requirements:

- 1) VEHICLE SURFACE AREA:**
 Required : Canopy tree at terminus of each parking row
 1 tree / 2,000 sf of vehicle surface area
 Provided: 12 trees and continuous row of evergreen shrubs
 Provided: C3 Streetlight to screen parking from ROW
 257 LF total / 100 = 2.57 x 30 shrubs = 77 shrubs total required
 80 shrubs provided (CJ, RU, and ICH)
- 2) STREET TREES: ROUNDROCK DRIVE**
 Required : 1/ large maturing tree / -40 ft - 6.0' (EX. BC - Sidewalk)
 Provided: 6 trees (UA)

Street trees shall be installed and maintained in accordance with the requirements of Chapter 2 of the City Tree Manual.

PLANTING NOTES:

- All plant materials to comply with American Standard for Nursery Stock ANSI Z60.
- Plant locations to be approved in field prior to installation.
- Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
- Establish plant bed configurations. Landscape Architect to approve bed layout in field.
- Install plants and mulch beds with 4" of pinestraw.
- Areas disturbed by grading to be seeded and strawed.
- Landscape Contractor to maintain plant materials for a one year period following substantial completion per specifications
- Areas damaged from plant relocation or other activities of Landscape Contractor to be re-seeded and established at no additional cost to the owner.
- All plant material shown is minimum required by the City Code.

QTY	KEY	BOTANICAL / COMMON NAME	SIZE AT INSTALL	ROOT	SPACING	MATURE HEIGHT / CROWN SPREAD
10	AG	ABELIA X GRANDIFLORA EDWARD GOUCHER / GLOSSY ABELIA	24" HT.	CONT.	4' O.C.	5' X 5'
42	RU	RHAPHIOPETIS UNDELLATA VINCIG / INDIAN HAWTHORN	42" HT.	CONT.	4' O.C.	5' X 5'
55	ICH	SEX OZONATA HELLEN / HELDER HOLLY	42" HT.	CONT.	4' O.C.	5' X 5'
25	CJ	CRYPTOMERIA JAPONICA GLOSSOSA MAKI / CEDAR	42" HT.	CONT.	4' O.C.	5' X 5'
5	JV	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	9" HT.	CONT.	10' O.C.	10' X 10'
7	QL	QUERCUS LAURATA THURBERG / OVERCUP OAK	2" DIA / 10" HT.	SMB	As shown	50' / 40'
6	UA	ULMUS AMERICANA PRINCEPIS / AMERICAN Elm	1" DIA / 10" HT.	SMB	30' X 20' O.C.	30' / 35'
5	NS	NYSSA SYLVATICA WHIPPET / BLACK SOAK	2" DIA / 10" HT.	SMB	As shown	40' / 30'
7	ICS	SEX OZONATA STEEDER / STEEDS JAPANESE HOLLY	30" HT.	CONT.	5' O.C.	5' X 7'



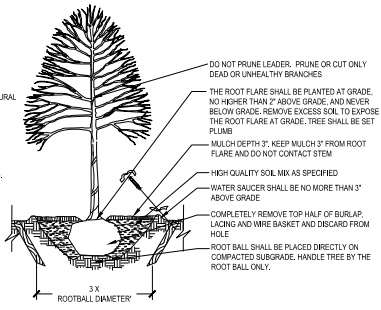
- NOTES:**
- SOIL MIX=1/3 ORGANIC MATTER, 2/3 EXIST. SOIL
 - WIDTH OF PLANT PIT - SANDY SOIL, 24" WIDER THAN PLANT BALL - CLAY SOIL, 12" WIDER THAN PLANT BALL
 - FOR PLANTING AREAS WHERE SOIL HAS BEEN COMPACTED BY EQUIPMENT, CONTACT LA PRIOR TO PLANTING.
 - FOR CAMELIAS, RHODOS, AZALEAS, AND LAURELS: SOIL MIX=2/3 ORGANIC AND 1/3 EXISTING SOIL.
 - SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID PRIOR TO DIGGING.
 - REMOVE ALL METAL/PLASTIC CONT. PRIOR TO PLANTING. SLICE FIBER ROOTS IN THREE PLACES TO ALLOW ROOT GROWTH.
 - LOOSEN BURLAP AT STEM/ALLOW IT TO REMAIN ON BALL

SHRUB PLANTING

LA-1

CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
 TREES@RAL.EOHNC.GOV
 WWW.RALEIGHNC.GOV

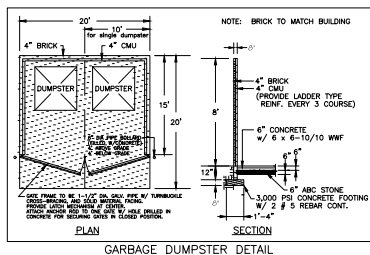
- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSTIVE DRAINAGE AWAY FROM PIT)
 - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
 - PLANTING SEASON OCTOBER-APRIL.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.



TREE PLANTING DETAIL

LA-1

CITY OF RALEIGH STD DETAIL TPP-03



GARBAGE DUMPSTER DETAIL

PLANTING PLAN



FOR PERMITTING
 NOT FOR CONSTRUCTION

NO	REVISION	DATE
1	CITY COMMENTS	09.24.24
2	CITY COMMENTS	11.15.24
3	CITY COMMENTS	12.26.24

RAYDO BASKETBALL TRAINING FACILITY
 1707 & 1711 ROUNDROCK DRIVE
 RALEIGH NC
 LANDSCAPE PLAN

LANDSCAPE ARCHITECTURE
 517 E. Murray Avenue
 WELLSBORO, OH 43986

Coaly
 DESIGN

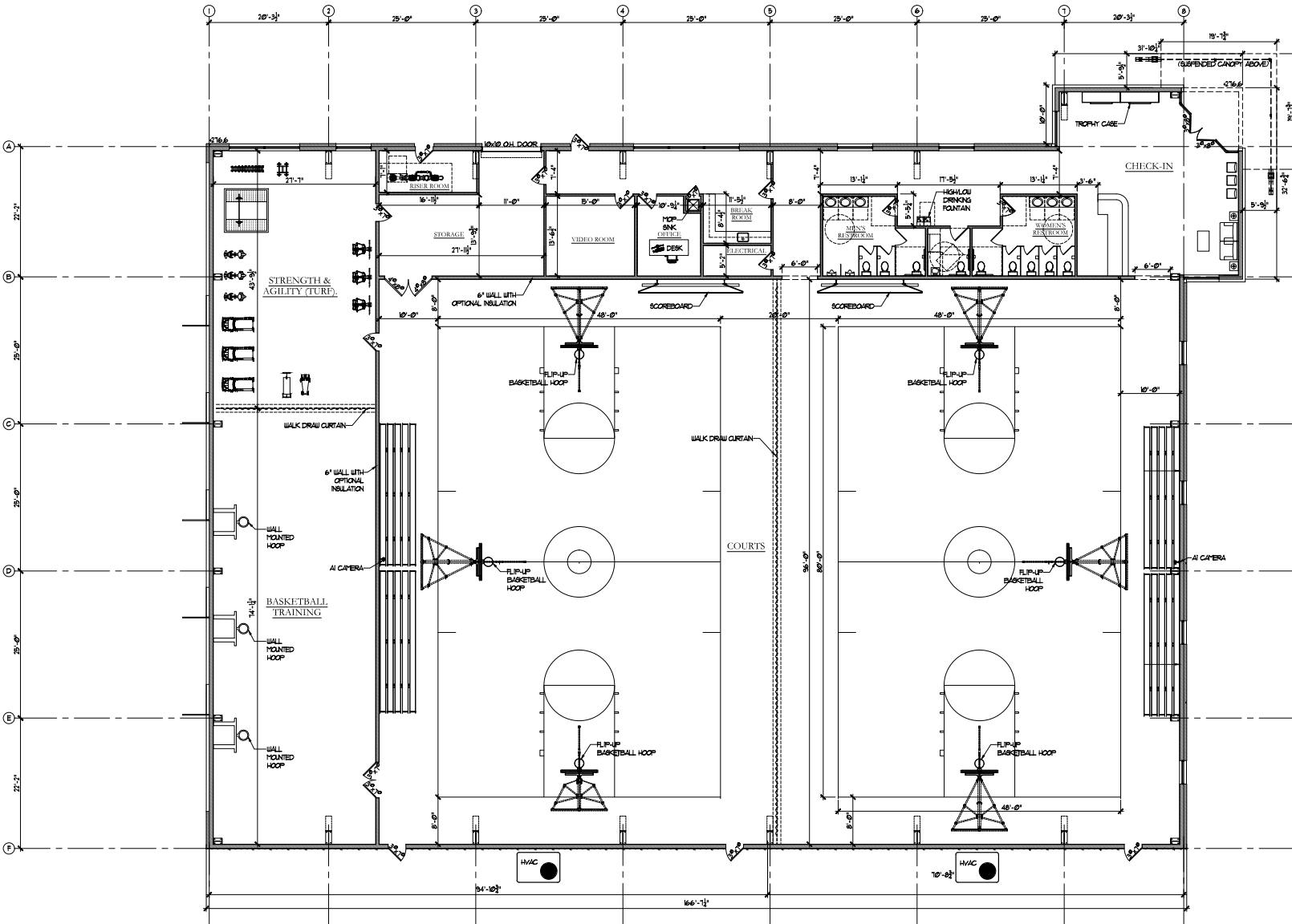
DATE: 07/19/24

DRAWN: KJS

SHEET:

LA-1

© 2019 COPYRIGHT, 2024 ALL RIGHTS RESERVED



1 FLOOR PLAN
1/8"=1'-0"



This plan is the property of Frank Gallucci, R.A. Architect. No part of this drawing may be reproduced or forwarded in any form, by any electronic or mechanical means, without the written consent of Frank Gallucci, R.A.

FGA ASSOCIATES, PLLC
FRANK GALLUCCI, ARCHITECT
11 S. MAIN ST.
WENDELL, N.C. 27591
Frank@FrankGAarchitect.com
919-819-4635

RAYDO BASKETBALL
TRAINING FACILITY
1707, 1711 ROUNDROCK DR.
RALEIGH, N.C. 27615.

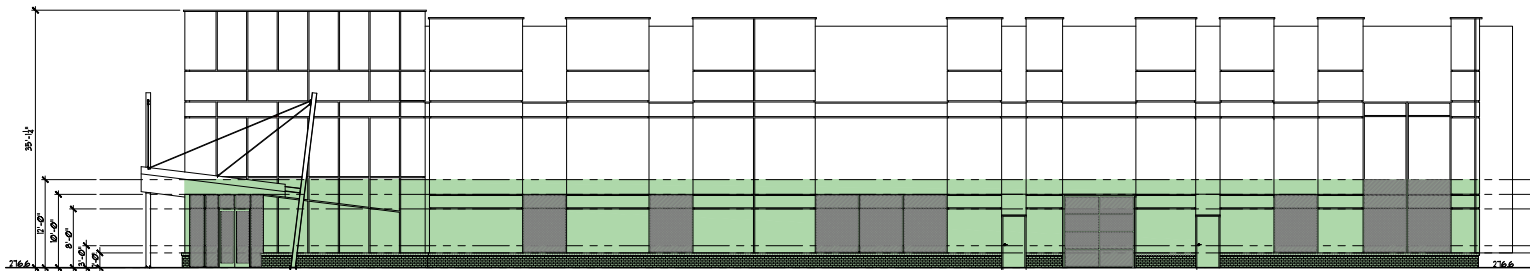
REVISION/ISSUE
11-01-2024 ZONING SUBMISSION

DATE: 11-01-2024
DRAWN BY: AA
JOB NUMBER: 24-59

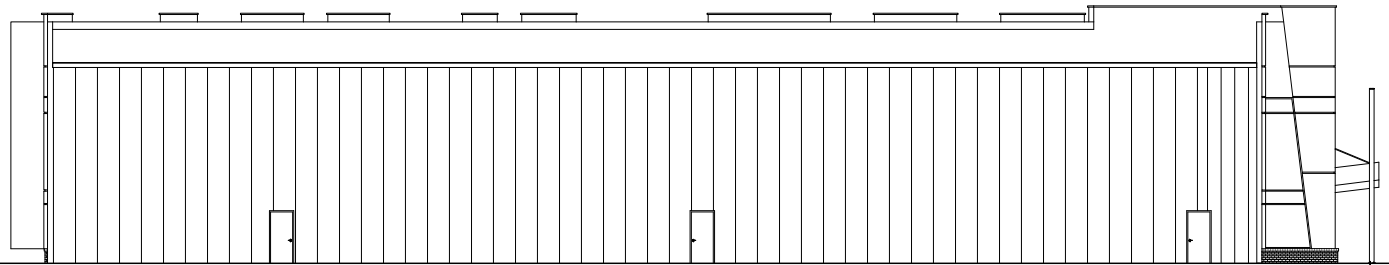
FLOOR PLAN

SHEET

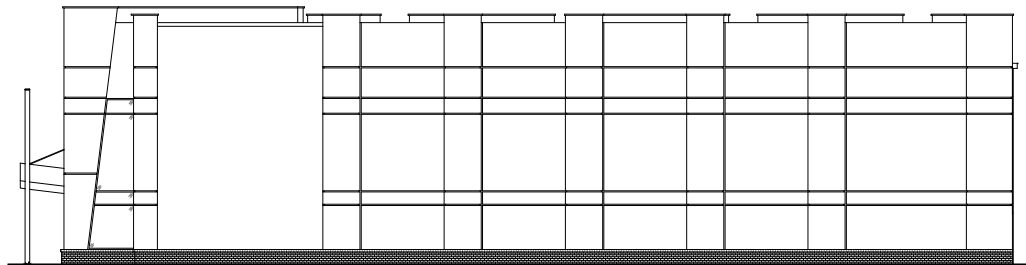
A-1



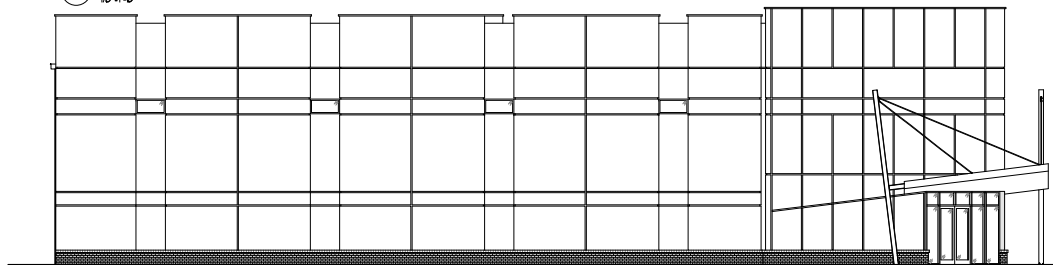
① SOUTHEAST (FRONT) ELEVATION
1/8"=1'-0"



② NORTHWEST (REAR) ELEVATION
1/8"=1'-0"



③ NORTHEAST (RIGHT) ELEVATION
1/8"=1'-0"



④ SOUTHWEST (LEFT) ELEVATION
1/8"=1'-0"

SECTION	DESCRIPTION	REQ.	PROVIDED
332.A	BUILDING HEIGHT	50'-0"	33'-11"
323.E1	FLOOR HEIGHT	11'-0"	12'-0"
323.E2	FLOOR HEIGHT	9'-0"	N/A (BUILDING IS ONE FLOOR)
323.F1	TRANSPARENCY (GROUND FLOOR)	20%	278.0 SF of 432 = 64.3% SF MIN. REQ.
			TOTAL AREA = 524.4 SF
			432.8 / 2 = 216.4 SF MIN. REQ. (3'x18')
			50% (3'x18') = 305 SF
323.F3	BLANK WALL	50'-0"	31'-7"

FINISH FLOOR ELEVATION: 216.85



This plan is the property of Frank Gallucci, R.A. Architect. No part of this drawing may be reproduced or forwarded in any form, by any electronic or mechanical means, without the written consent of Frank Gallucci, R.A.

FGA ASSOCIATES, PLLC

FRANK GALLUCCI, ARCHITECT

U.S. MAIN ST.
WENDELL, N.C. 27591
Frank@FrankGAarchitect.com
919-819-4635



RAYDO BASKETBALL
TRAINING FACILITY
1707, 1711 ROUNDROCK DR.
RALEIGH, N.C. 27615.

REVISION/ISSUE
11-01-2024 ZONING SUBMISSION

DATE: 11-01-2024
DRAWN BY: AA
JOB NUMBER: 24-59

ELEVATIONS

SHEET

A-3