



Administrative Approval Action

Case File / Name: ASR-0052-2020
1609 Old Louisburg Road

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the northeast corner of Atlantic Avenue and Old Louisburg Road at 1609 Old Louisburg Rd.

REQUEST: Development of a 0.62 acre (26,987 sf) tract zoned IX-3 with .05 acres (2,213 sf) of right-of-way dedication for a net area of .57 acres (24,774 sf) into a proposed new 9,856 sf Indoor Recreation building.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 5, 2021 by Site Collaborative.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

2. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Cross Access Agreements Required

Utility Placement Easement Required

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



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Engineering

1. A cross access agreement among the lots identified as PINs 1714174354, 1714174596, and 1714175389 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. A fee-in-lieu for sidewalk along Atlantic Ave shall be paid to the City of Raleigh (UDO 8.1.10).
3. A public infrastructure surety for 3 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along Old Louisburg Road.

The following are required prior to issuance of building occupancy permit:



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Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 12, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

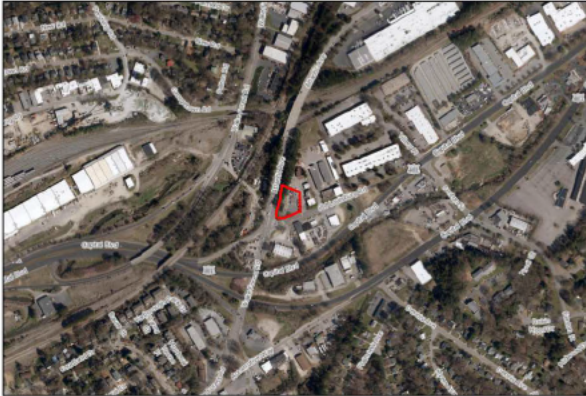
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Alysin Bailey Taylor* Date: 01/13/2021
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

1609 OLD LOUISBURG ROAD ADMINISTRATIVE SITE REVIEW SUBMITTAL

| SITE DATA SUMMARY | |
|-------------------------|-------------------------|
| PROJECT NAME | 1609 OLD LOUISBURG ROAD |
| EXISTING STREET ADDRESS | 1609 OLD LOUISBURG ROAD |
| LOT AREA (CURRENT) | 26,987 SF (0.62 AC) |



VICINITY MAP

SCALE: AS SHOWN



1. DETOUR AND TRAFFIC CONTROL PLAN MUST BE APPROVED AND PERMITS ISSUED WHEN THE SIDEWALK AND DRIVEWAY ARE REMOVED.
2. PRIOR TO THE ISSUANCE OF SITE PERMITS, AN INDOOR RECREATION PERMIT MUST BE APPROVED AND ANY COMMENTS MUST BE INCORPORATED INTO THE SITE DRAWINGS TO THE CITY OF RALEIGH.

RALEIGH, NC 27627
CONTACT: SEAN DOLLE
PHONE: 919.438.3694
EMAIL: SEAN@GROUNDED-ENGINEERING.COM

| | |
|---------------------|------------|
| WATER SERVICE STUBS | 1 EXISTING |
| SEWER SERVICE STUBS | 1 EXISTING |

| DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments) | |
|---|--|
| SITE DATA | BUILDING DATA |
| Zoning district (if more than one, please provide the acreage of each): DC-3 | Existing gross floor area (not to be demolished): 0 s.f. Existing gross floor area to be demolished: 0 s.f. |
| Gross site acreage: 0.62 ac (736,087 sq ft) | New gross floor area: 0 sq ft of (0.75 ac) |



| VEHICLE PARKING | | | |
|-----------------|---|-----------------------|-------|
| | USE | AREA (SF/AC) | DESC |
| EXISTING | VACANT | NA | |
| PROPOSED | INDOOR RECREATION (GYM + MARTIAL ARTS STUDIO) | 9,856 sq ft (0.23 ac) | 1,000 |

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2556



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

| Building Type | | Site Transaction History | |
|------------------------------------|---|--|--|
| <input type="checkbox"/> Detached | <input checked="" type="checkbox"/> General | Subdivision case # _____ | |
| <input type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Scoping/sketch plan case # _____ | |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot | Certificate of Appropriateness # _____ | |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic | Board of Adjustment # _____ | |
| | | Zoning Case # _____ | |
| | | Administrative Alternate # _____ | |

GENERAL INFORMATION

Development name: 1609 Old Louisburg Road
 Inside City limits? Yes No
 Property address(es): 1609 Old Louisburg Road
 Site P.I.N. #: 1714174354
 Please describe the scope of work, include any additions, expansions, and change of use.
 New site construction to coincide with a new building for indoor recreation use as a martial arts and health club.

Current Property Owner/Developer Contact Name: Brandon Garner
NOTE: please attach purchase agreement when submitting this form.
 Company: Garner Holdings Inc. Title: Chief Executive Officer
 Address: 1609 Old Louisburg Road, Raleigh, NC 27609
 Phone # 205.536.6008 Email: bobocorpinvestments@gmail.com
 Applicant Name: Graham Smith
 Address: _____ Road, Raleigh, NC 27604
 Email: _____@_____ative.com

| REQUIREMENTS | |
|--|--|
| REQUIRED | PROVIDED (if) |
| PRIMARY STREET SIDE STREET | 3' FROM PRIMARY STREET 3' FROM SIDE STREET |
| PRIMARY STREET SIDE STREET REAR LOT LINE | 10' FROM PRIMARY STREET 10' FROM SIDE STREET 3' FROM REAR LOT LINE |
| REAR LOT LINE | |
| 20% | 20% |
| 20% | |

07.17.2020
 REV #1 - 10.13.2020
 REV #2 - 11.16.2020
 REV #3 - 01.05.2021

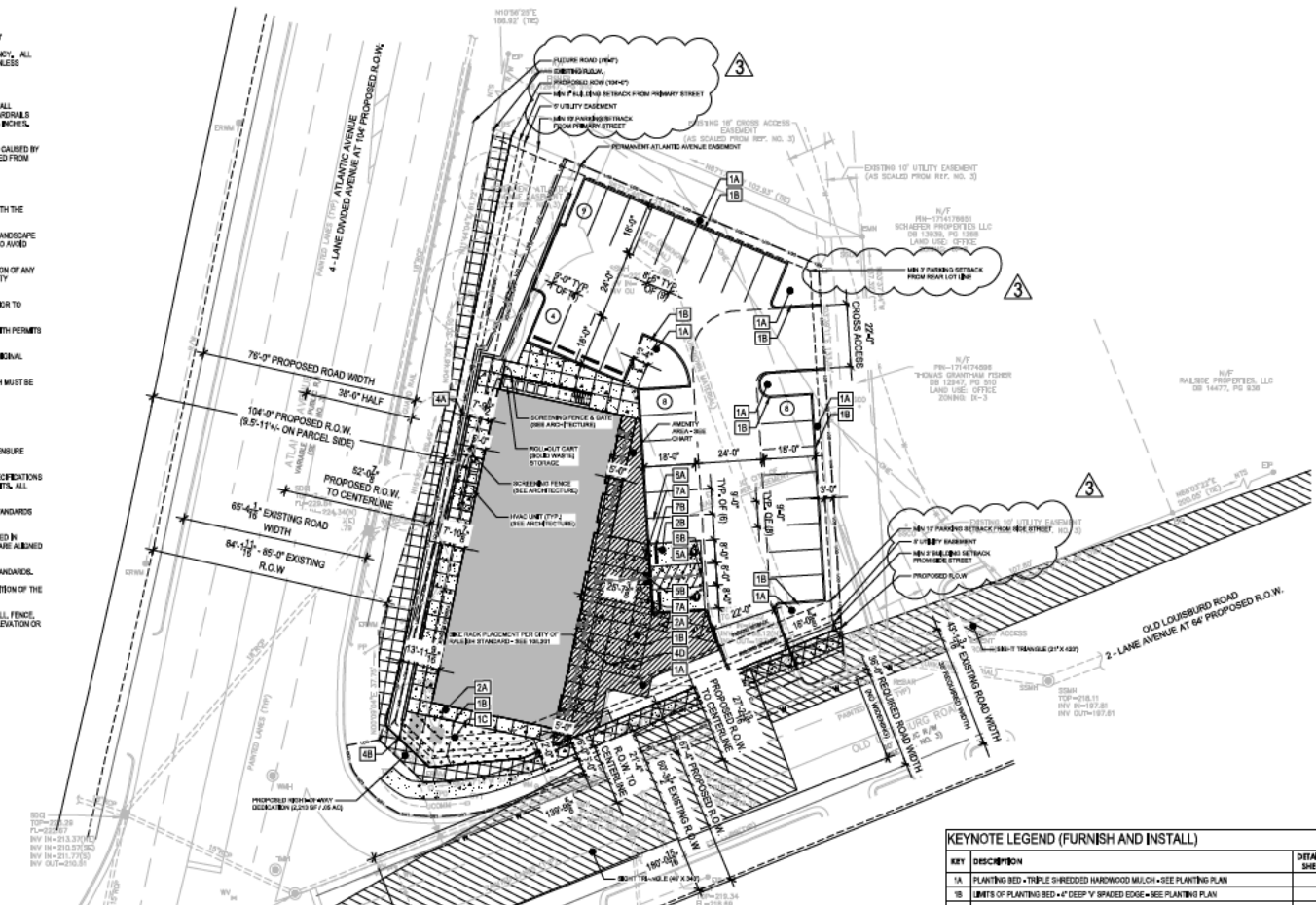
COVER SHEET

Raleigh
 Seaman Planning

GENERAL SITE NOTES

- ALL CONSTRUCTION IN RIGHT-OF-WAY PER CITY OF RALEIGH STANDARD.
- SIDEWALKS ALONG RIGHT-OF-WAY ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO COMPLY WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS SHOWING OF WATER IS PROHIBITED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLAN. IF NOT SHOWN ON PLAN = MAX SPACING @ 17'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED, NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING AND PUBLIC-ROADWAY STAKE OUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED BENCHMARKS IN HEIGHT. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE. GUARDRAILS SHALL HAVE BALUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES FROM 24 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE. A 4 INCH DIAMETER SPHERE SHALL NOT PASS.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICES PROPOSED FOR CONNECTION OR USE ON THIS PROJECT, THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES ALONG WITH ANY PERMITS PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN UTILITIES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROL FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH MUTCD SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAPPED WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY (ORBIK LINE).
- ALL SIGNAGE AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND MUTCD STANDARDS.
- ALL SIGNS SHALL USE FLUORESCENT SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
- WITHIN THE AREA OF ABOVE DEFINED RIGHT-OF-WAY, THERE SHALL BE NO SIGN OBSTRUCTION OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BARRIERS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 34 INCHES AND 80 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

| SITE DATA SUMMARY | |
|------------------------------------|---|
| PROJECT NAME | 1609 OLD LOUISBURG ROAD |
| EXISTING STREET ADDRESS | 1609 OLD LOUISBURG ROAD |
| LOT AREA (CURRENT) | 26,867 SF (0.62 AC) |
| CURRENT ZONING | IK-3 |
| OVERLAY DISTRICT(S) | NONE |
| PARCEL NUMBER | 1714174354 |
| REAL ID NUMBER | 0022449 |
| DEED BOOK / DEED PAGE | 8M 017862 / PG 00259 |
| EXISTING GROSS BUILDING AREA | N/A |
| EXISTING BUILDING USE | N/A |
| PRIMARY STREET DESIGNATION | ATLANTIC AVENUE |
| LOT AREA (AFTER R.O.W. DEDICATION) | 24,774 SF (0.57 AC) |
| PROPOSED GROSS BUILDING AREA | 9,956 SF (0.23 AC) |
| PROPOSED BUILDING USES | INDOOR RECREATION (4,828 SF MARTIAL ARTS + 4,828 SF MEATH CLUB) |
| EXISTING IMPERVIOUS AREA | 9,427 SF (0.21 AC) |
| PROPOSED IMPERVIOUS AREA | 19,363 SF (0.46 AC) |
| NET CHANGE IN IMPERVIOUS AREA | (3,273) SF (0.08 AC) - REDUCTION |
| TOTAL AREA DISTURBED | 25,717 SF (0.59 AC) |
| RIGHT-OF-WAY DEDICATION | 2,219 SF (0.05 AC) |



| BUILDING REQUIREMENTS | | |
|------------------------|--|--|
| TYPE | REQUIRED | PROVIDED (IF) |
| BUILDING SETBACK (S/F) | 3' FROM PRIMARY STREET 3' FROM SIDE STREET | 3' FROM PRIMARY STREET 3' FROM SIDE STREET |
| PARKING SETBACK (S/F) | 10' FROM PRIMARY STREET 10' FROM SIDE STREET 3' FROM REAR LOT LINE | 10' FROM PRIMARY STREET 10' FROM SIDE STREET 3' FROM REAR LOT LINE |
| BUILDING HEIGHT (MAX) | SET BY DISTRICT | |
| GROUND STORY (MAX) | 25% | 25% |
| UPPER STORY (MAX) | 35% | |

| AMENITY AREA REQUIREMENTS | | | | |
|---------------------------|------------------------|----------------------|---------------|---------------|
| ZONING | LOT AREA (SF/AC) - NET | REQUIRED PERCENT (%) | REQUIRED (SF) | PROVIDED (SF) |
| IK-3 | 24,774 SF (0.57 AC) | 10 | 2,477.40 | 2,476.00 |

| BICYCLE PARKING | | | | |
|-----------------|---------------------------------|----------|----------|---|
| AREA (SF/AC) | DESCRIPTION | REQUIRED | PROVIDED | |
| SHORT-TERM | 1 space / 1,000 SF MINIMUM OF 4 | 4 | 4 | |
| LONG-TERM | N/A | N/A | 0 | 0 |

| VEHICLE PARKING | | | | | | |
|-----------------|--------|--|--------------------|-----------------|----------|----------|
| EXISTING | VACANT | USE | AREA (SF/AC) | DESCRIPTION | REQUIRED | PROVIDED |
| | | | N/A | N/A | N/A | N/A |
| | | INDOOR RECREATION (GYM - MARTIAL ARTS/MEATH) | 9,956 SF (0.23 AC) | 1 space / 300SF | 32.65 | 29 |

| KEYNOTE LEGEND (FURNISH AND INSTALL) | | |
|--------------------------------------|--|----------------|
| KEY | DESCRIPTION | DETAIL / SHEET |
| 1A | PLANTING BED - TRIPLE SHREDED HARDWOOD MULCH - SEE PLANTING PLAN | |
| 1B | LIMITS OF PLANTING BED + 4" DEEP V-SHADED EDGE - SEE PLANTING PLAN | |
| 1C | ARTISANAL TURF | |
| 2A | 4" THICK CONCRETE PAVING (3,000 PSI - MEDIUM BROOM FINISH) PERPENDICULAR TO PATH OF TRAVEL UNLESS OTHERWISE NOTED. | 05.201 |
| 3A | 6" THICK CONCRETE PAVING (3,000 PSI - MEDIUM BROOM FINISH) | 05.201 |
| 3B | CONCRETE CURB, 6" VERTICAL ABOVE GRADE X 6" WIDE X 1" DEPTH | 05.201 |
| 3C | 20" DIAMETER PVC SLEEVES (TYP) | |
| 4A | MODULAR BLOCK RETAINING WALL - SEE GRADING PLAN FOR HEIGHT | 05.201 |
| 4B | PHENIX DECORATIVE METAL FENCE | |
| 4C | TWO-WAY TUBE RACK (4 SPACES) | 05.201 |
| 5A | ACCESSIBLE ROUTE - 5% MAX. LONGITUDINAL SLOPE, 2% MAX. CROSS SLOPE | |
| 5B | ACCESSIBLE CURB RAMP WITH WARNING DETECTION DEVICE | |
| 6A | 4" WIDE PARKING STRIP (TYP) AS SHOWN ON PLAN | 05.201 |
| 6B | ADVANCECAP ACCESSIBLE PAVEMENT MARKINGS WITH WHITE THERMOPLASTIC PAINT IF WIDE STRIPES AT 45 DEGREES | 05.201 |
| 7A | ACCESSIBLE PARKING SIGN - PER MUTCD AND CITY OF RALEIGH STANDARD. | 05.201 |
| 7B | PRECAST CONCRETE WHEELSTOPS PER CITY OF RALEIGH STANDARDS. | 05.201 |



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1609 OLD LOUISBURG ROAD
GARNER HOLDINGS, INC.
 1609 Old Louisburg Road, Raleigh, North Carolina

PROJECT NUMBER: 19085
 PROJECT PHASE: ADMIN SITE REVIEW
 DATE: 07.17.2020
 REV #1 - 10.13.2020
 REV #2 - 11.16.2020
 REV #3 - 01.05.2021

SHEET TITLE: LAYOUT & MATERIALS PLAN
 SHEET NUMBER:

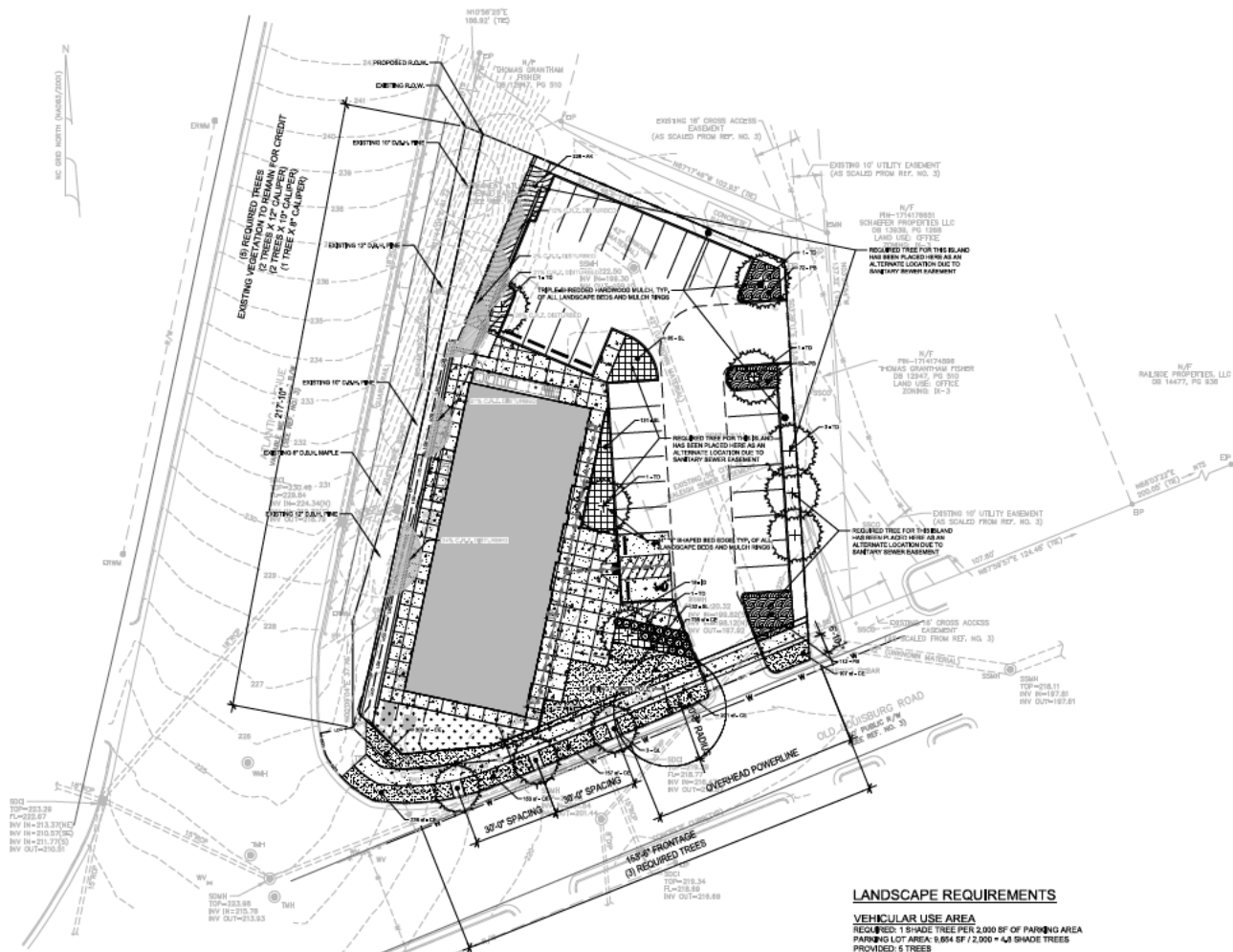
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PLANTING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELLED FLOWS AROUND THE SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NONNATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING. CREATION OF PLANTING AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3% OR GREATER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COVER FABRIC WITH 1" SQUARE OPENINGS PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE REINSTALLED PER ENGINEER'S DESIGN IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES. MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION (SEEKING AND STANDED 20A).
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES SHOWN ON THE PLANT LEGEND ARE FOR CONTRACTOR CONFORMANCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT UTILITIES. IF CONFLICT ARISES WITH PLANS, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNER PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANCERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VISIBLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- ANY PLANT MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNER AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO SUBSTITUTION. NOTICE WHEN REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT THE TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY BURLAPPED WITH NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN B&B AND SHIPPER AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK AND ONLY.
 - ROOT BALLS SHALL BE PROPERLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH #10 S AND HEAVY NONSYNTHETIC TIE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DEGRADE FROM PLANTING SITE.
 - DO NOT MANEUVER BY TRUNK, HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN B&B AND SHIPPER AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK AND ONLY.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION:
 - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL, TILLED TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING 4" APPROVED TOPSOIL. IT IS TO BE PREFERRED FROM OWNERS STOCKS IF FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS. IF OWNERS TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- MULCH TO BE DELIVERED TO BE FREE OF WEEDS, NONNATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.
- SEEDING/SODDING BED PREPARATION: ALL AREAS TO BE SEEDING/SODDING ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. SEEDING/SODDING NOTES SHALL BE TILLED INTO:
 - ALL DIRT, ROCKS, ETC. LARGER THAN 1/4" ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING. A DEPTH OF 4" OF SOIL IS TO BE INTERMIXED WITH THE TILLED SOIL.
 - APPROVED TOPSOIL IS TO BE PREFERRED FROM OWNERS STOCKS FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS. IF OWNERS TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.

SEEDING/SODDING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELLED FLOWS AROUND THE SITE.
- ALL SEEDING/SODDING AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOIL.
- NO SEEDING/SODDING AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADING.
- SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
 - ROOTS ARE THOROUGHLY KNIT TO THE SOIL.
 - ABSENCE OF WIND EROSION.
 - ALL AREAS SHOW A UNIFORM STAND OF SPECIES GRASS IN HEALTHY CONDITION.
 - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUANTITY GUARANTEE:
 - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND SOOD DENSITY, AND FREE FROM WEEDS, DISEASES, AND OTHER VISIBLE IMPROPERITIES AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
 - SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND SOOD DENSITY, AND FREE FROM WEEDS, DISEASES, AND OTHER VISIBLE IMPROPERITIES AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY PREPARED DURING THE GROW-UP PERIOD AND SHALL BE RESPONSIBLE IF THE SOD SUPPLIES IRREPARABLE HARM.
- SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE. ANY WORK AND SOD WHICH THE LANDSCAPE ARCHITECTS OR CLIENT FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.
- SOD STANDARDS:
 - GENERAL HEALTHY 1-1/4" THICK TURP HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL, FREE OF OBJECTIVE WEEDS, UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY.
 - HEALTHY, VIGOROUS ROOT SYSTEM, INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
 - EACH PEG SHOULD HAVE SMOOTH, CLEAN SOLE BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
 - THICKNESS SHALL BE 1-1/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
 - THATCH NOT TO EXCEED 1/2" UNCOMPRESSED.
 - SIZE: CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:
 - SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOF SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARDS PRACTICES AND ABLE TO WITHSTAND BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
 - PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD SHADY AND UNDER SHADE OR COVERED WITH WETTED BURLAP.
 - DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
 - DO NOT UNROLL MORE SOD THAN CAN BE INSTALLED WITHIN 24 HOURS.
 - DO NOT STACK SOD MORE THAN 3 FEET DEEP.



| PLANT SCHEDULE | | | | | | | | | |
|-----------------|------|---------------------|-------------------|--------|---------------|------------|--------------|---------|--|
| TREES | QTY | BOTANICAL NAME | COMMON NAME | HEIGHT | CANOPY AT 20' | DBH | DBH OR CONT. | REMARKS | |
| OL | 1 | Quercus laevis | Downy Oak | 12' | 10% | POB | B&B | | |
| TD | 1 | Thuja occidentalis | White Cedar | 12' | 10% | POB | B&B | | |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | HEIGHT | SPREAD | DBH | DBH OR CONT. | REMARKS | |
| SD | 10 | Artemisia biennis | Overblown Thistle | 12' | 10% | | | | |
| GRASSING/COVERS | QTY | BOTANICAL NAME | COMMON NAME | HEIGHT | SPREAD | CONT. SIZE | SPACING | REMARKS | |
| AC | 100 | Andropogon furcatus | Switch Grass | 12' | 10% | | 12' x 12' | | |
| CE | 1000 | Cynodon dactylon | Bermuda Grass | 12" | 10% | | 12" x 12" | | |
| CR | 100 | Cynodon dactylon | Bermuda Grass | 12" | 10% | | 12" x 12" | | |
| IL | 100 | Imperata cylindrica | Imperata Grass | 12" | 10% | | 12" x 12" | | |

*SEE SHEET L441 FOR DETAILS

LANDSCAPE REQUIREMENTS

VEHICULAR USE AREA
 REQUIRED: 1 SHADE TREE PER 400 SF OF PARKING AREA
 PARKING LOT AREA: 9,654 SF / 2,000 + 4/8 SHADE TREES
 PROVIDED: 5 TREES

STREET TREES (OLD LOUISBURG ROAD)
 REQUIRED: 1 SHADE TREE PER 40' OF FRONTAGE OR 1 UNDERSTORY TREE PER 20' OF FRONTAGE DUE TO OVERHEAD UTILITY LINE
 FRONTAGE: 153'-8"
 EXISTING TREES: NA
 PROVIDED: 3 TREES

STREET TREES (ATLANTIC AVENUE)
 REQUIRED: 1 SHADE TREE PER 40' OF FRONTAGE
 FRONTAGE: 217'-11"
 EXISTING TREES: 5 TREES
 PROVIDED: 5 TREES



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1609 OLD LOUISBURG ROAD
 RALEIGH, NC 27603
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 WWW: www.sitecollaborative.com

1609 OLD LOUISBURG ROAD
GARNER HOLDINGS, INC.
 1609 Old Louisburg Road, Raleigh, North Carolina

PROJECT NUMBER: 19085
 PROJECT PHASE: ADMIN SITE REVIEW

DATE: 07.17.2020
 REV #1 - 10.13.2020
 REV #2 - 11.16.2020
 REV #3 - 01.05.2021

PLANTING PLAN

SHEET NUMBER:

L400

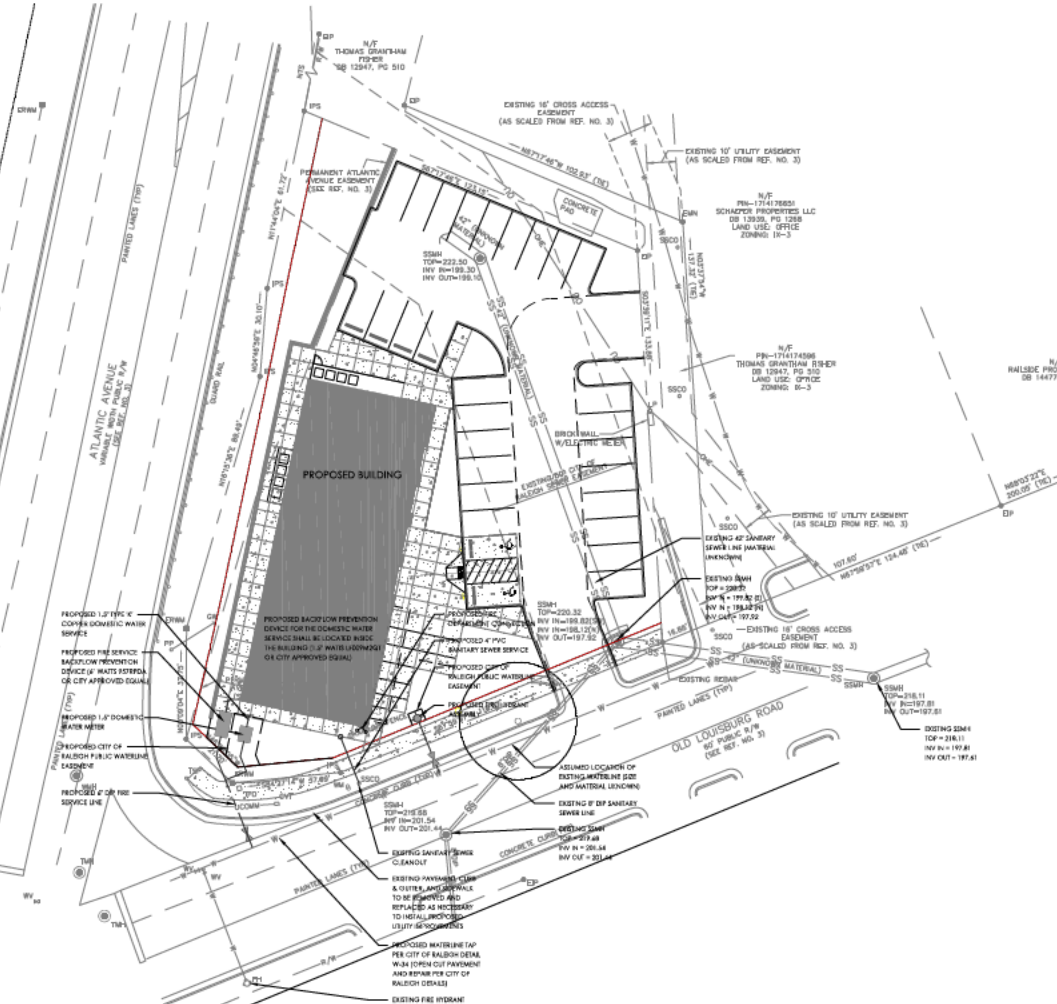
ALL CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.



727 N. Hargett Street, Ste. 101
Raleigh, NC 27603
919.202.3566

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1609 OLD LOUISBURG ROAD
GARNER HOLDINGS, INC.
1609 OLD LOUISBURG ROAD, RALEIGH, NORTH CAROLINA



CITY OF RALEIGH STANDARD UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFER TO: COMPU-D HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a. A DISTANCE OF 10'0" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNBUNDLED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, REBORND SANITARY SEWER PIPES SHALL BE SPECIFIED & INSTALLED TO MAINTAIN SEPARATION. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2'0" FROM A PRIVATE WELL OR 1'0" FROM A PUBLIC WELL.
 - b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 1'0". IF THE SEPARATION CANNOT BE MAINTAINED DUE TO TRENCH CONDITIONS, THE WATER MAIN SHALL BE SEPARATED FROM THE SEWER WITH THE ELEVATION OF THE WATER MAIN AT LEAST 1'0" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANTIMONY SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT DRENDED 1'0" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO MAINTAIN SEPARATION.
 - d. 3/4" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER COMPU-D DETAILS W-41 & S-491.
 - f. ALL OVER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3/4" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 42" MINIMUM COVER IS REQUIRED ON ALL RESIDE MAINS.
6. IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OR A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OF EASEMENT PER COMPU-D HANDBOOK PROCEDURE.
7. INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL SANITARY SEWER SERVICES @ 1/16" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 40 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM MCDM AND USE & FOR FEMA FOR ANY BRIBAN RIVER, WETLANDS & RCP (COORP) IMPACTS (SPECFIC 111) PRIOR TO CONSTRUCTION.
11. MCDM / RALEIGH ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE LAPS) WITHIN STATE OR RALEIGH ROW FROM ROW CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR USING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY COMPU-D PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TM BEASLEY AT (919) 966-2334 OR TONY@RALEIGHENGINEERING.COM FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE AT THE MINIMUM REQUIREMENTS. THE DEVICES IN ALL WEST-MERICAN SOCIETY OF SANITARY ENGINEERING (WSE) STANDARDS OR BY THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE WATLEY AT (919) 966-2334 OR JOANNE.WATLEY@RALEIGHENGINEERING.COM FOR MORE INFORMATION.

LEGEND

| | |
|--------|----------------------------------|
| — W — | EXISTING WATERLINE |
| — SS — | EXISTING SANITARY SEWER |
| — C — | EXISTING LIGHT/UTILITY POLE |
| — FV — | EXISTING FIRE HYDRANT |
| — V — | EXISTING WATERLINE VALVE |
| — — — | PROPOSED WATERLINE SERVICE |
| — — — | PROPOSED SANITARY SEWER SERVICE |
| ○ | PROPOSED SANITARY SEWER CLEANOUT |
| C.O. | |

ATTENTION CONTRACTORS
THE CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF WATER, SEWER, AND/OR GAS LINES AS SHOWN ON THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM THE PUBLIC UTILITIES DEPARTMENT AT (919) 966-2334 AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 966-2334 AT LEAST SEVENTY-FIVE (75) DAYS PRIOR TO BEGINNING ANY OF THESE CONSTRUCTION.
FAILURE TO OBTAIN SUCH PERMITS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY PENALTY AND PREVENT REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THESE NOTIFICATION LINES.
FURNISH TO CALL FOR INSPECTION. INITIAL A DOWNSHIFTMENT FINE MAY BE IMPOSED IF THE CONTRACTOR DOES NOT SHOW UP FOR INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF RALEIGH.

811
Know what's below.
Call before you dig.

NORTH

20 10 0 20 40
GRAPHIC SCALE

PROJECT NUMBER:
17085

PROJECT PHASE:
ADMIN SITE REVIEW

DATE:
07.17.2020
10.13.2020 - PER COR
11.16.2020 - PER COR

SHEET TITLE:
SITE UTILITY PLAN

SHEET NUMBER:
C700

NOT FOR
CONSTRUCTION.
SITE PLAN
REVIEW

PROJECT TYPE: New Building
1609 Old Louisburg Road
Raleigh, NC

DATE 09.05.20
DR. mm
CH. mm
PROJ. #

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |

Floor Plans &
Exterior Views

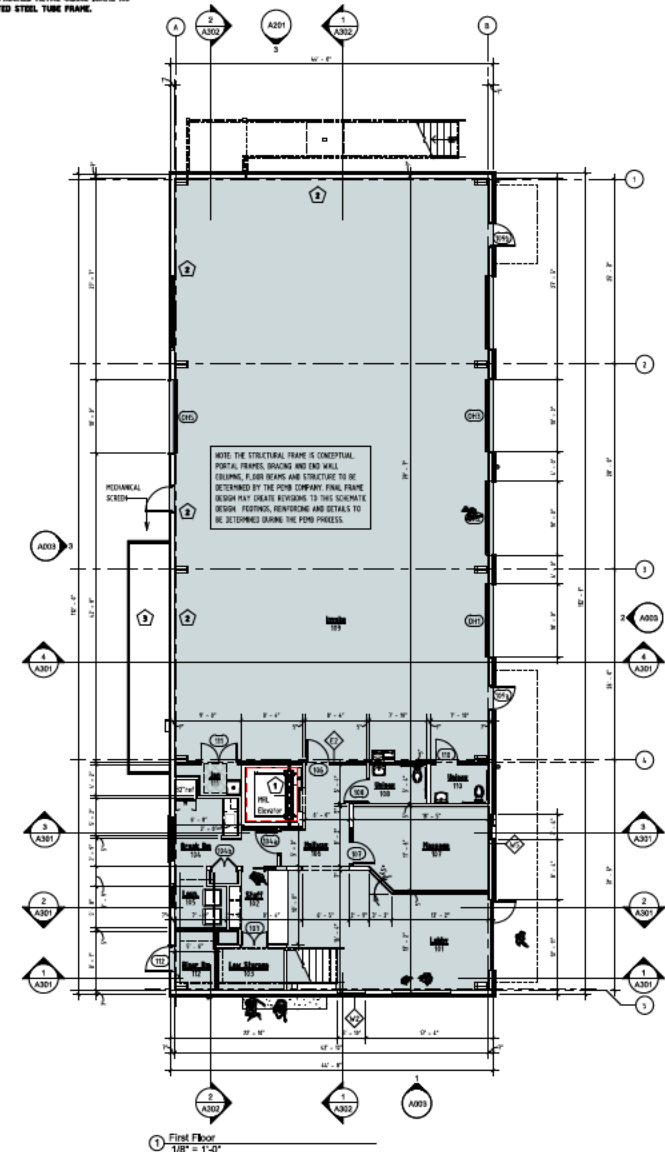
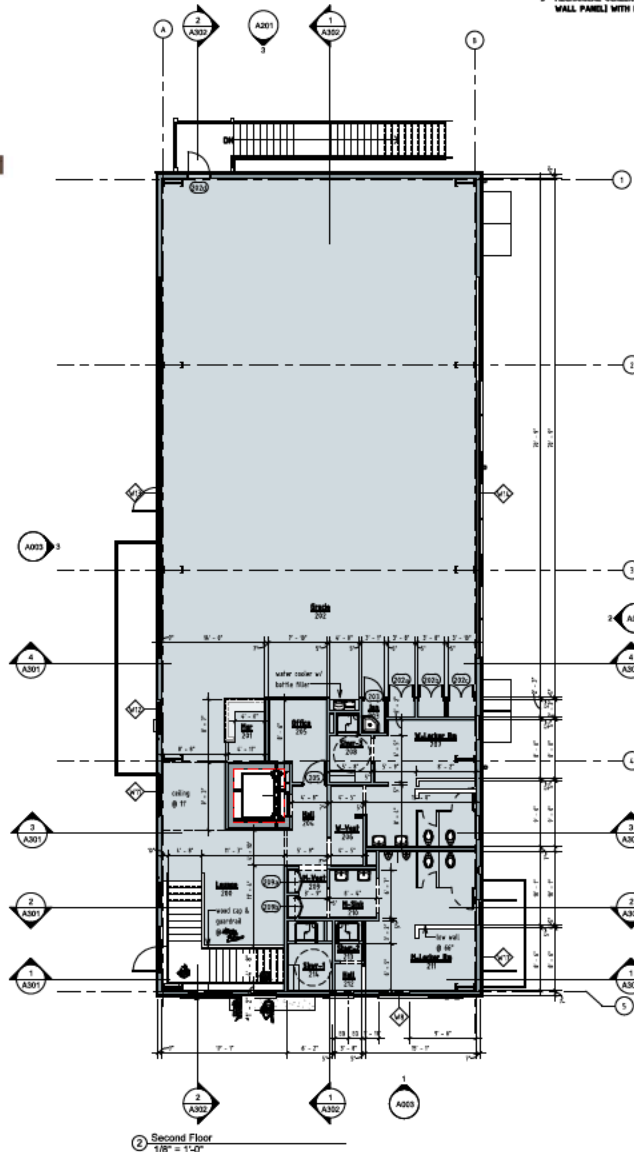
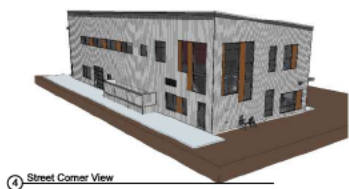
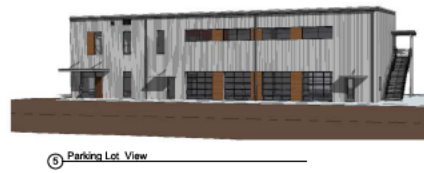
A101

PLAN NOTES:

- THE ELEVATOR SHOWN IS A MACHINE ROOM-LESS ELEVATOR. SCHINDLER 300A, 2000, 3000PL. UPON BC SELECTION AND PRICING EVALUATION THE FINAL ELEVATOR SPICES WILL BE DETERMINED AND THE NEED FOR THE ELEVATOR CONTROLLER OR MACHINE ROOM FOR A HYDRAULIC PISTON ELEVATOR.
- HORIZONTAL BLOCCING FOR EQUIPMENT OPTIONS:
 - WALL GIRTS AS PART OF PERIB BUILDING PACKAGE
 - 2 X 2 WOOD STUD BLOCCING
- MECHANICAL SCREENS PREFERRED METAL SIDING ISAME AS WALL PANELS WITH PAINTED STEEL TUBE FRAME.

WALL KEY:

- 6" STUD WALL WITH 5/8" GYP. BD, R-19 FG BATT, 1/2" NON-COMB DENGLASS SHEATHING, 15" R-7S CONTINUOUS INSULATION, DRAMABLE WRAP AND FURRING AS REQUIRED BY THE SELECTED METAL CLADDING
- 6" STUD WALL WITH 5/8" GYP. BD, R-19 FG BATT, 1/2" NON-COMB DENGLASS SHEATHING, 15" R-7S CONTINUOUS INSULATION, DRAMABLE WRAP AND HORIZONTAL CLADDING FINISHING IF REQ'D
- TYPICAL 3.5" METAL STUD PARTITION WITH GYP. BD, EACH SIDE UNLESS NOTED OTHERWISE. FINISH WILL VARY DEPENDING ON LOCATION AND FINAL WALL FINISH



NOTE: THE STRUCTURAL FRAME IS CONCEPTUAL. PORTAL FRAMES, BRACING AND END WALL COLUMNS, FLASH BEAMS AND STRUCTURE TO BE RECEIVED BY THE POOR COMPANY. FINAL FRAME DESIGN MAY CREATE REVISIONS TO THIS SCHEMATIC DESIGN. FOOTINGS, REVISIONS AND DETAILS TO BE DETERMINED DURING THE PERM PROCESS.

NOT FOR
CONSTRUCTION.
SITE PLAN
REVIEW

PROJECT TYPE: New Building
1609 Old Louisburg Road
Raleigh, NC

DATE 09.05.20
DR. mm
CIT. mm
PROJ. #

REVISIONS

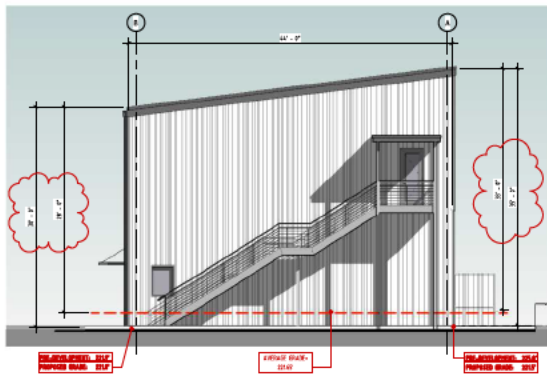
| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | REVISIONS | |

 REVISED 9.25.20
 REVISED 11.18.20
 REVISED 01.04.21

ASR-0052-2020

UDO Exterior
Elevation
Compliance
Drawings

A201

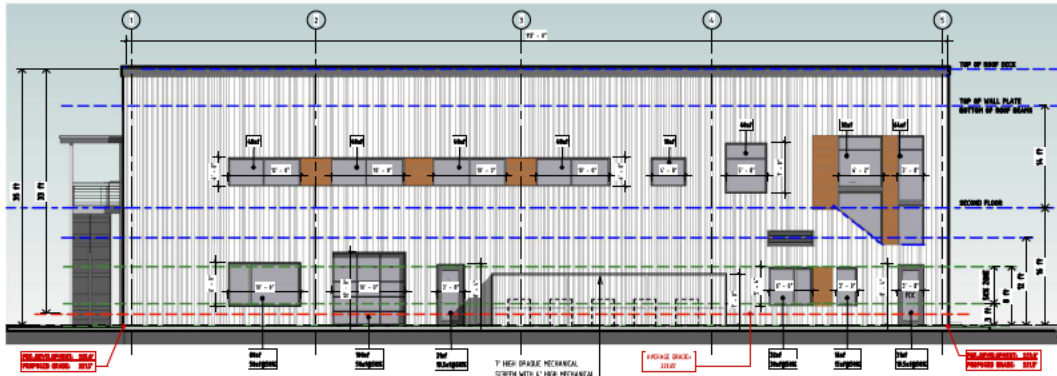


3 Rear Elevation - North
1/8" = 1'-0"



4 Side Elevation - East
1/8" = 1'-0"

| TRANSPARENCY | | | |
|--------------|-----------------------------------|---------------------|----------|
| 4 | SIDE ELEVATION - EAST | REQUIRED | PROVIDED |
| | GROUND FLOOR - 1344 SF [112'x12'] | 20% = 269 SF | 587 SF |
| | GROUND FLOOR - [BETWEEN 3'-8"] | 50% OF 269 = 135 SF | 301 SF |
| | UPPER FLOOR - 1129 SF [112'x10'] | 20% = 226 SF | 241 SF |



2 Side Elevation - West
1/8" = 1'-0"

| TRANSPARENCY | | | |
|--------------|-----------------------------------|---------------------|----------|
| 2 | SIDE ELEVATION - WEST | REQUIRED | PROVIDED |
| | GROUND FLOOR - 1344 SF [112'x12'] | 20% = 269 SF | 270 SF |
| | GROUND FLOOR - [BETWEEN 3'-8"] | 50% OF 269 = 135 SF | 184 SF |
| | UPPER FLOOR - 1548 SF [112'x14'] | 20% = 310 SF | 314 SF |



1 Front Elevation - South
1/8" = 1'-0"

| TRANSPARENCY | | | |
|--------------|---------------------------------|--------------------|----------|
| 1 | STREET FRONT ELEVATION - SOUTH | REQUIRED | PROVIDED |
| | GROUND FLOOR - 528 SF [44'x12'] | 20% = 106 SF | 109 SF |
| | GROUND FLOOR - [BETWEEN 3'-8"] | 50% OF 106 = 53 SF | 59 SF |
| | UPPER FLOOR - 524 SF [44'x12'] | 20% = 105 SF | 153 SF |

Notes:
As per UDO 15.9-B.4: Glass shall be considered transparent where it has a transparency higher than 80% and an external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

Key

- Area of Transparency
- Area of Transparency between 3' and 8'
- Rear Level
- Line of Transparency for calculation
- Line of Transparency between 3' & 8'
- Average Grade
- Spot Elevations & Average Grade

| Pre-Development Grade | | | Proposed Average Grade | | | | |
|---|-------------------------|----------------------------|------------------------|---|-------------------------|---------------------------|----------------|
| DWG | Elevation | Spot Elevations | Average | DWG | Elevation | Spot Elevations | Average |
| 1 | Front Elevation - South | 223 + 2218 = 444.8 / 2 = | 222.4' | 1 | Front Elevation - South | 2215 + 2218 = 443.3 / 2 = | 221.65' |
| 2 | Side Elevation | 225 + 223 = 448 / 2 = | 224' | 2 | Side Elevation - West | 2215 + 2215 = 443 / 2 = | 221.5' |
| 3 | Rear Elevation - North | 225 + 2219 = 446.9 / 2 = | 223.5' | 3 | Rear Elevation - North | 2215 + 2218 = 443.3 / 2 = | 221.65' |
| 4 | Side Elevation - East | 221.9 + 2218 = 443.7 / 2 = | 221.85' | 4 | Side Elevation - East | 2218 + 2218 = 443.6 / 2 = | 221.8' |
| OVERALL PRE DEVELOPMENT AVERAGE GRADE LINE = | | | 222.94' | HIGHEST RESTRICTIVE GRADE LINE = | | | 221.65' |

| Building Type: General Building IX-3 [UDO 3.2.5] | |
|--|--|
| UDO 15.7 | Building Height [D] |
| UDO 3.2.5 | Maximum [D] Provided [D] |
| | 3 stories - 50' 2 stories - 38' |
| UDO 15.9 | Transparency [D] |
| Ground Floor | 20% [0'-12"]; 50% of req'd [3'-8"]; see elevations |
| Upper Story | 20% see elevations |
| UDO 3.2.5.F | Blank Wall [D] Maximum = 20' |
| | no elevation has more than 20' of blank wall |
| UDO 7.2.5.D | Screening: Mechanical Equipment. see elevations |
| | 7' H opaque metal mechanical screen wall |

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