

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

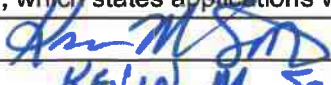
Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan <input type="checkbox"/>	
<b>Building Type</b>	<b>Site Transaction History</b>
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic
Subdivision case #: _____ Scoping/sketch plan case #: <u>SCOPE-0034-2021</u> Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____	
<b>GENERAL INFORMATION</b>	
Development name: 6129 Glenwood Restaurant	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): <b>6129 Glenwood Avenue, Raleigh, NC, 27612</b>	
Site P.I.N.(s): 0786769542	
Please describe the scope of work. Include any additions, expansions, and change of use. Project includes the demolition of an existing parking area and construction of a commercial restaurant development and associated infrastructure.	
Current Property Owner/Developer Contact Name: Thalhimer Realty Partners <b>NOTE: please attach purchase agreement when submitting this form.</b>	
Company: Thalhimer Realty Partners	Title: Kevin South, Principal
Address: 11100 W Broad St, Glen Allen, VA, 23060	
Phone #: 804-344-7181	Email: kevin.south@thalhimer.com
Applicant Name: Tim Carter, E.I.	
Company: Kimley-Horn and Associates, LLC	Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601
Phone #: 919-677-2197	Email: tim.carter@kimley-horn.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PL	Existing gross floor area (not to be demolished): 12,540
	Existing gross floor area to be demolished: 0
Gross site acreage: 2.30	New gross floor area: 2,160 square feet
# of parking spaces required: 104	Total sf gross (to remain and new): 14,700 square feet
# of parking spaces proposed: 119	Proposed # of buildings: 2
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Restaurant	
Proposed use (UDO 6.1.4): Restaurant	

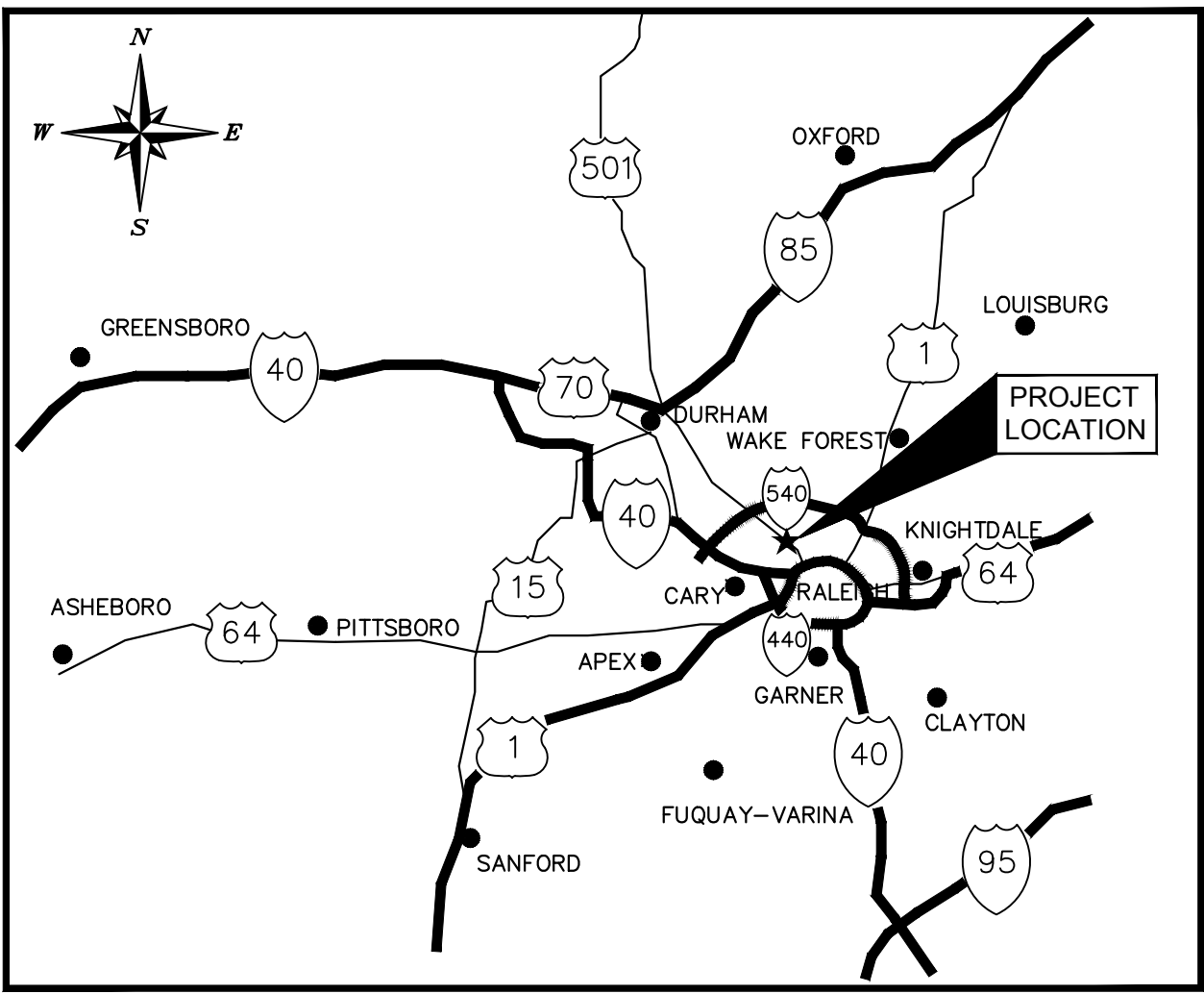
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>1.81</u> Square Feet: <u>78,844</u>	Proposed Impervious Surface: Acres: <u>1.77</u> Square Feet: <u>77,101</u>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Kimley-Horn and Associates, Inc.</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: 	Date: <u>6/15/2021</u>
Printed Name: <u>KEVIN M. SOUTH</u>	



Plotted By: Schaad, Zachary, Sheet: 6129 GLENWOOD RESTAURANT, Layout: CO.0 COVER SHEET, September 24, 2021, 01:35:28pm, K:\RAL\LD\X\013864000\_glenwood\_restaurant\Planning phase\p15\_cad files\plan sheets\CO.0 COVER SHEET.dwg  
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## PROJECT LOCATION NTS

### RIGHT-OF-WAY OBSTRUCTION NOTES:

- STREET, LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL, SIGNAGE, AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

EXEMPT FROM BLOCK PERIMETER PER UDO  
8.3.2.A.2 (BLOCK STANDARDS).

### SOLID WASTE SERVICES NOTE:

DEVELOPER HAS REVIEWED AND SITE IS IN COMPLIANCE  
WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE  
DESIGN MANUAL.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL  
CITY OF RALEIGH AND/OR NCDOT STANDARDS AND  
SPECIFICATIONS.

### SURVEY NOTE:

EXISTING INFORMATION SHOWN TAKEN FROM A TOPOGRAPHIC  
SURVEY PROVIDED BY CHANDLER LAND SURVEYING, 309  
SOUTH FUQUAY AVENUE, FUQUAY-VARINA, NC 27526,  
PHONE: 919-291-9163.

## PROJECT OWNER AND CONSULTANT

SITE DEVELOPER: THALHIMER REALTY PARTNERS  
11100 WEST BROAD ST  
GLEN ALLEN, VA 23060  
PHONE: (804) 648-5881  
ATTN: KEVIN SOUTH  
kevin.south@thalhimer.com

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 677-2197  
ATTN: TIM CARTER  
tim.carter@kimley-horn.com

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 678-4170  
ATTN: MATT GROSS  
matt.gross@kimley-horn.com

SURVEYOR: CHANDLER LAND SURVEYING,  
309 SOUTH FUQUAY AVENUE  
FUQUAY-VARINA, NC 27526  
PHONE: (919) 291-9163  
ATTN: JOHN CHANDLER, PLS

# ASR SUBMITTAL FOR 6129 GLENWOOD RESTAURANT ASR-0052-2021 SCOPE-0034-2021

6129 GLENWOOD AVENUE  
RALEIGH, NORTH CAROLINA 27612

A DEVELOPMENT BY: THALHIMER REALTY PARTNERS

11100 WEST BROAD ST  
GLEN ALLEN, VA 23060

ALL FUTURE & EXISTING PARKING REQUIREMENTS FOR THE EXISTING OR PROPOSED USES MUST DEMONSTRATE COMPLIANCE WITH SEC. 7.1.2.C. ALL FUTURE SEATING PLANS, FOR RESTAURANT PRINCIPAL USES, MUST DEMONSTRATE, COMPLY AND PROVIDE ADDITIONAL EXCESS PARKING SPACES FOR THAT USE IF ADDITIONAL PARKING SPACES ARE REQUIRED, PRIOR TO BUILDING PLANS APPROVAL & BUILDING PERMIT ISSUANCE.

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Site Plan Tier: Tier Two Site Plan ☒ Tier Three Site Plan ☐

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic

### GENERAL INFORMATION

Development name: 6129 Glenwood Restaurant  
Inside City limits? Yes ☒ No ☐  
Property address(es): 6129 Glenwood Avenue, Raleigh, NC, 27612

Site P.I.N.(s): 0786769542

Please describe the scope of work. Include any additions, expansions, and change of use.  
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Page 1 of 2

REVISION 11.18.20

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Zoning district (if more than one, please provide the acreage of each): CX-3-PL	Existing gross floor area (not to be demolished): 12,540 Existing gross floor area to be demolished: 0
Gross site acreage: 2.30	New gross floor area: 2,190 square feet
# of parking spaces required: 99	Total sf gross (to remain and new): 14,730 square feet
# of parking spaces proposed: 109	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Restaurant	
Proposed use (UDO 6.1.4): Restaurant	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.81 Square Feet: 78,844	Proposed Impervious Surface: Acres: 1.73 Square Feet: 75,267
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide:	
Alluvial soils:	
Flood study:	
FEMA Map Panel #:	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

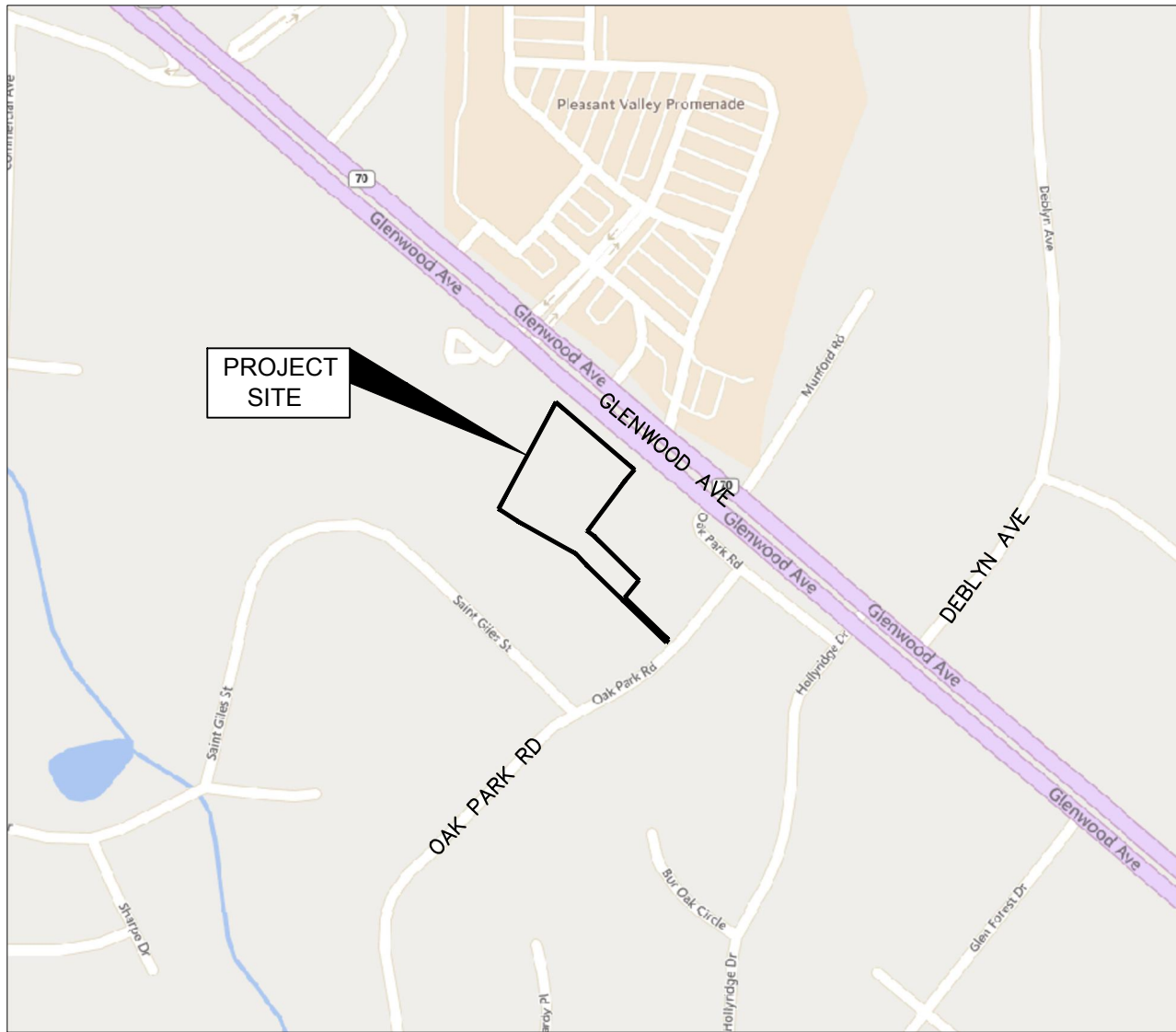
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Signature: Kevin M. South	Date: 6/15/2021
Printed Name: KEVIN M. SOUTH	

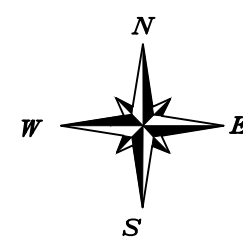
Page 2 of 2

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VICINITY MAP



SCALE: 1" = 500'

## Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	NCDOT APPROVAL LETTER
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C2.1	BUILD-TO DIMENSION PLAN
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
L1.0	TREE CONSERVATION PLAN
L2.0	LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS
A5-A6	BUILDING ELEVATIONS
LT1.0	LIGHTING PLAN

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SEAL:

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JUNE 17, 2021

JOB NUMBER:

013864000

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
#-0102

PRELIMINARY  
NOT FOR CONSTRUCTION

KHA PROJECT  
013864000  
DATE  
06/17/2021  
SCALE AS SHOWN  
DESIGNED BY TRC  
DRAWN BY TRC  
CHECKED BY COB

COVER SHEET

6129 GLENWOOD  
RESTAURANT  
PREPARED FOR  
THALHIMER REALTY PARTNERS  
CITY OF RALEIGH

SHEET NUMBER  
C0.0

NC CERTIFICATE OF AUTHORIZATION: F-0102

Kimley»Horn

421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601

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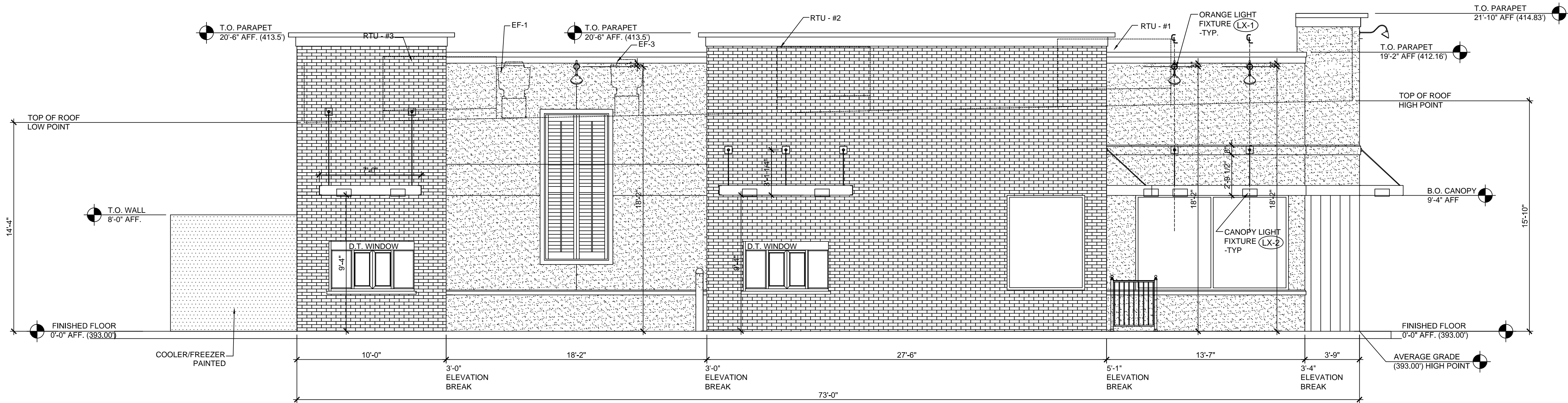






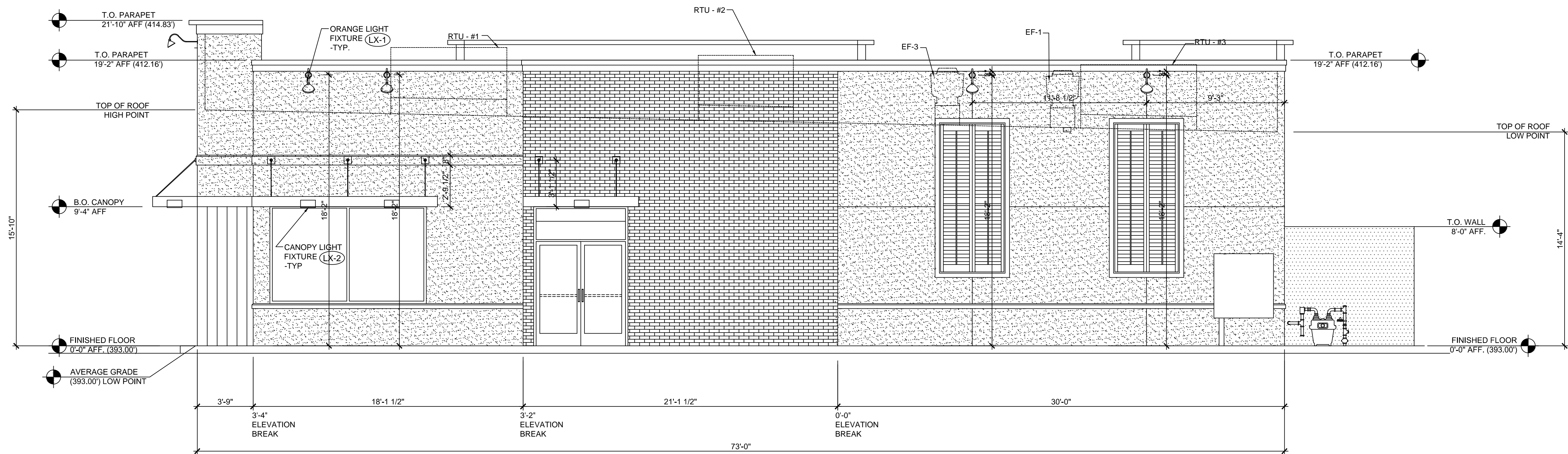






1  
A6  
1/4"=1'-0"

**EAST ELEVATION**



2  
A6  
1/4"=1'-0"

**WEST ELEVATION**