



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____


Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

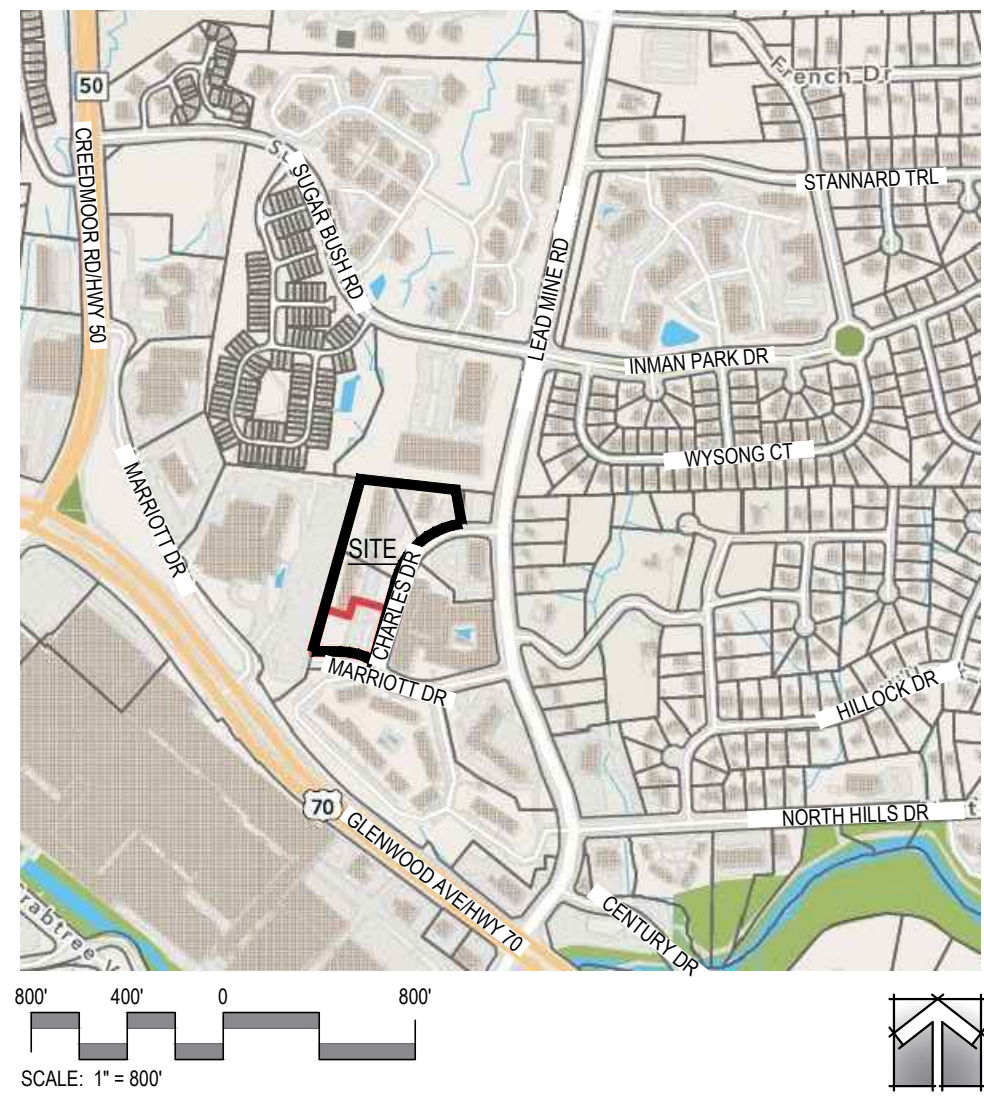
Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-0017-2012</u>	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: Crabtree North Multifamily			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): 2225, 2235, 2245 & 2255 Charles Drive, Raleigh, NC			
Site P.I.N.(s): 0796518542, 0796518761, 0796519955, 0796621064			
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of new mixed use building with wrapped parking deck consisting of 330 dwelling units, approximately 2,500 sf of retail space and associated parking and amenities.			
Current Property Owner/Developer Contact Name: 2251 CHARLES DRIVE OWNER LLC c/o Lizbeth Bello NOTE: please attach purchase agreement when submitting this form.			
Company: Redgate		Title: Senior Vice President	
Address: 2251 CHARLES DRIVE OWNER LLC, 265 FRANKLIN ST., STE 602, BOSTON MA 02110-3113			
Phone #: (617) 904-7000		Email: lizbeth.bello@redgate-re.com	
Applicant Name: Ken Thompson			
Company: JDavis Architects		Address: 510 S. Wilmington St.	
Phone #: 919-612-6997		Email: Kent@jdavisarchitects.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-UG-CU	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 57,717 SF
Gross site acreage: 5.19 AC	New gross floor area: 502,800
# of parking spaces required: 601 space max (TC-11-21)	Total sf gross (to remain and new): 502,800
# of parking spaces proposed: 522 spaces	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 8
Existing use (UDO 6.1.4): Multi-unit living	
Proposed use (UDO 6.1.4): Multi-unit living & retail	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.61 AC Square Feet: 70,066 SF	Proposed Impervious Surface: Acres: 4.38 AC Square Feet: 190,921 SF
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 330	Total # of hotel units: n/a
# of bedroom units: 1br 211 2br 133 3br 6 4br or more 0	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>Ken Thompson</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	June 27, 2022
Printed Name: Ken Thompson	



REFERENCE: Z-007-12

ASR-0052-2022

Administrative Site Review

1st Submittal: June 27, 2022
2nd Submittal: September 23, 2022

2251 Charles Drive

2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716

SEE ZONING CONDITIONS ON SHEET L0.1

PER TC-5A-18 & SEC.1.5.4.C, THE PRIMARY STREET DESIGNATIONS SHALL BE MARRIOTT DRIVE.



Sheet Index

COVER	0.0	SITE DETAILS	LS3.1	BUILDING THIRD FLOOR PLAN	A1.03
ZONING CONDITIONS	L0.1	GRADING PLAN	C3.00	BUILDING FOURTH FLOOR PLAN	A1.04
RECORDED MAP (BM2016, PG00218)	L0.2	UTILITY PLAN	C4.00	BUILDING FIFTH FLOOR PLAN	A1.05
RECORDED MAP (BM2016, PG00219)	L0.3	SITE DETAILS	C8.00	BUILDING SIXTH AND SEVENTH FLOOR PLAN	A1.06
RECORDED MAP (BM2016, PG00220)	L0.4	SITE DETAILS	C8.01	BUILDING SEVENTH FLOOR PLAN	A1.07
EXISTING CONDITIONS PLAN	C1.00	WATER DETAILS	C8.02	BUILDING EIGHTH FLOOR PLAN	A1.08
DEMOLITION PLAN	C1.01	STORM DETAILS	C8.03	BUILDING ROOF PLAN	A1.09
TREE CONSERVATION PLAN	LT1.1	SEWER DETAILS	C8.04	BUILDING GARAGE PLANS	A1.10
SITE PLAN	LS1.1	SCM DETAIL	C9.00	BUILDING ELEVATIONS	A3.05
SITE DATA	LS1.2	LANDSCAPE PLAN (CODE COMPLIANT)	LP1.1	BUILDING ELEVATIONS	A3.06
TRANSPORTATION PLAN	LS2.1	LANDSCAPE DETAILS	LP3.1	BUILDING ELEVATIONS	A3.07
FIRE ACCESS PLAN	LS2.2	BUILDING FIRST FLOOR PLAN	A1.01		
LOTS AND EASEMENTS PLAN	LS2.3	BUILDING SECOND FLOOR PLAN	A1.02		

Block Perimeter and Cross Access Notes

BLOCK PERIMETER AND CROSS ACCESS
THE EXISTING BLOCK PERIMETER IS 4' 9,500 LF. THE SITE IS ZONED CX WHICH HAS A MAXIMUM BLOCK PERIMETER OF 2,500 LF AND THE SITE EXCEEDS THE MINIMUM SITE ACREAGE OF 3 AC.

PER 8.3.2.2.1.via THE SITE IS EXEMPT FORM BLOCKERPERIMETR BECAUSE THE EXITING IMPROVEMENTS ON PARCELS 0796622442 (NORTH) AND 0796515804 (WEST) EXCEED THE VALUE OF THE LAND.

PER 8.3.5.D.5.b.i CROSS ACCESS TO PARCELS 0796622442 (NORTH) AND 0796515804 (WEST) IS NOT REQUIRED BECAUSE THE EXISTING IMPROVEMENTS EXCEED THE VALUE OF THE LAND

0796622442 (NORTH) LAND VALUE IS \$4,646,147 AND THE BUILDING VALUE IS \$27,225,617
0796515804 (WEST) LAND VALUE IS \$6,990,512 AND THE BUILDING VALUE IS \$51,266,355

Notes

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
 - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
 - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
 - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
 - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
 - ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY THE JOHN R. MCADAMS COMPANY, INC. IN DURHAM, NORTH CAROLINA IN DIGITAL FORMAT IN MARCH OF 2022, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN MAY OF 2022.
 - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28 MINIMUM.
 - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
 - GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACES AND HC ACCESS AISLES SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
 - ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
 - SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT ANSI STANDARD.
 - ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL HVAC EQUIPMENTS OF THIS PROJECT E TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS.
 - UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
 - POOL IS PROPOSED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER 65 FEET OR WITH ANY AREA IN EXCESS OF 4,000 SQUARE FEET.
- TREE CONSERVATION NOTE**
- THIS PROJECT SITE IS MORE THAN 2 ACRES. TREE CONSERVATION IS REQUIRED PER UDO SEC. 9.1.2.
- TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES**
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
 - THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
 - A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
 - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
 - ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
 - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.
- FIRE DEPARTMENT NOTES**
- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFA 13R) OR 250 FEET (NFA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCF 503.1.1).
 - FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
 - ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
 - FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF, SECTION 507.3.
- SOLID WASTE INSPECTION STATEMENTS**
- SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
 - THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
 - THIS PROJECT HAS DUMPSTERS FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

Project Team

OWNER 2251 Charles Drive Owner, LLC 256 Franklin Street, Suite 602 Boston, MA 02110 617.904.7000 garretson.browne@redgate-re.com	DEVELOPER 2251 Charles Drive Owner, LLC 256 Franklin Street, Suite 602 Boston, MA 02110 617.904.7000 garretson.browne@redgate-re.com	LANDSCAPE ARCHITECT JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) kent@jdavisarchitects.com	ARCHITECT JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) laurentc@jdavisarchitects.com	ENGINEER McAdams One Glenwood, Suite 201 Raleigh, North Carolina 27603 919.287.0780 padia@mcadamscsco.com	SURVEYOR McAdams One Glenwood, Suite 201 Raleigh, North Carolina 27603 919.287.0780 padia@mcadamscsco.com
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Administrative Site Review Application

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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case TC-14-10, to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #:
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:
		Zoning Case #: Z-0017-2012
		Administrative Alternate #:

GENERAL INFORMATION

Development name: 2251 Charles Drive
Inside City limits? Yes No

Property address(es): 2225, 2235, 2245 & 2255 Charles Drive, Raleigh, NC

Site P.I.N.(s): 0796518542, 0796518761, 0796519955, 0796621064

Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of new mixed use building with wrapped parking deck consisting of 330 dwelling units, approximately 2,500 sf of retail space and associated parking and amenities.

Current Property Owner/Developer Contact Name: 2251 CHARLES DRIVE OWNER LLC c/o Lizbeth Bello
NOTE: please attach purchase agreement when submitting this form.

Company: Redgate Title: Senior Vice President
Address: 2251 CHARLES DRIVE OWNER LLC 265 FRANKLIN ST. STE 602 BOSTON MA 02110-3113

Phone #: (617) 904-7000 Email: lizbeth.bello@redgate-re.com

Applicant Name: Ken Thompson
Company: JDavis Architects Address: 510 S. Wilmington St.
Phone #: 919-612-6997 Email: Ken@jdavisarchitects.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-UG-CU	Existing gross floor area (not to be demolished): 0
Gross site acreage: 5.19 AC	Existing gross floor area to be demolished: 57,717 SF
# of parking spaces required: 598 space max (TC-11-21)	New gross floor area: 502,800
# of parking spaces proposed: 476 spaces maximum	Total sf gross (to remain and new): 502,800
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Multi-unit living	Proposed # of stories for each: 8
Proposed use (UDO 6.1.4): Multi-unit living & retail	Parking deck = 165,059 GSF / 7 levels total

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 1.87 AC Square Feet: 70,868 SF	Proposed Impervious Surface: Acres: 4.38 AC Square Feet: 190,921 SF
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: Flood study: FEMA Map Panel #:	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 330	Total # of hotel units: na
# of bedroom units: 1br 210 2br 120 3br 0 4br or more 0	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Ken Thompson will serve as the agent regarding this application, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:
Printed Name: Ken Thompson

(50)
2-BIKE
RACKS

JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121
 ASR-0052-2022
 REFERENCE: XXXXXX

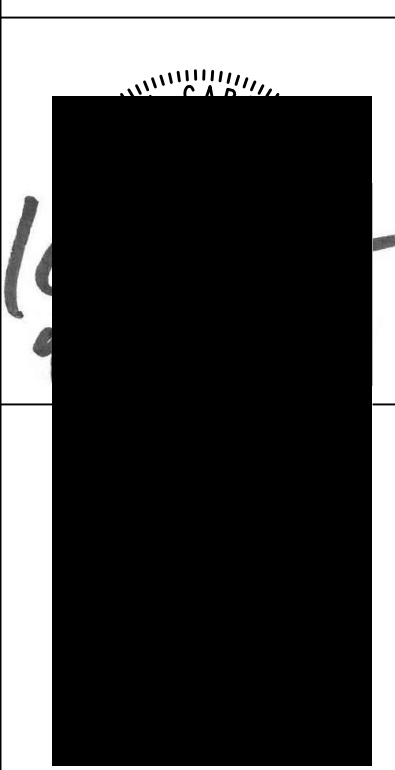
RedGate
 2251 Charles Drive
 2225, 2235, 2245 & 2255 Charles Drive
 Raleigh, North Carolina 27716

ADMINISTRATIVE SITE REVIEW

PROJECT:	RG-22021-140	DATE:	
ISSUE:	Administrative Site Review	DATE:	06.27.2022
REVISIONS:	1st Review Comments	DATE:	09.23.2022
DRAWN BY:	CHK	CHECKED BY:	KT
CONTENT:	COVER		

0.0

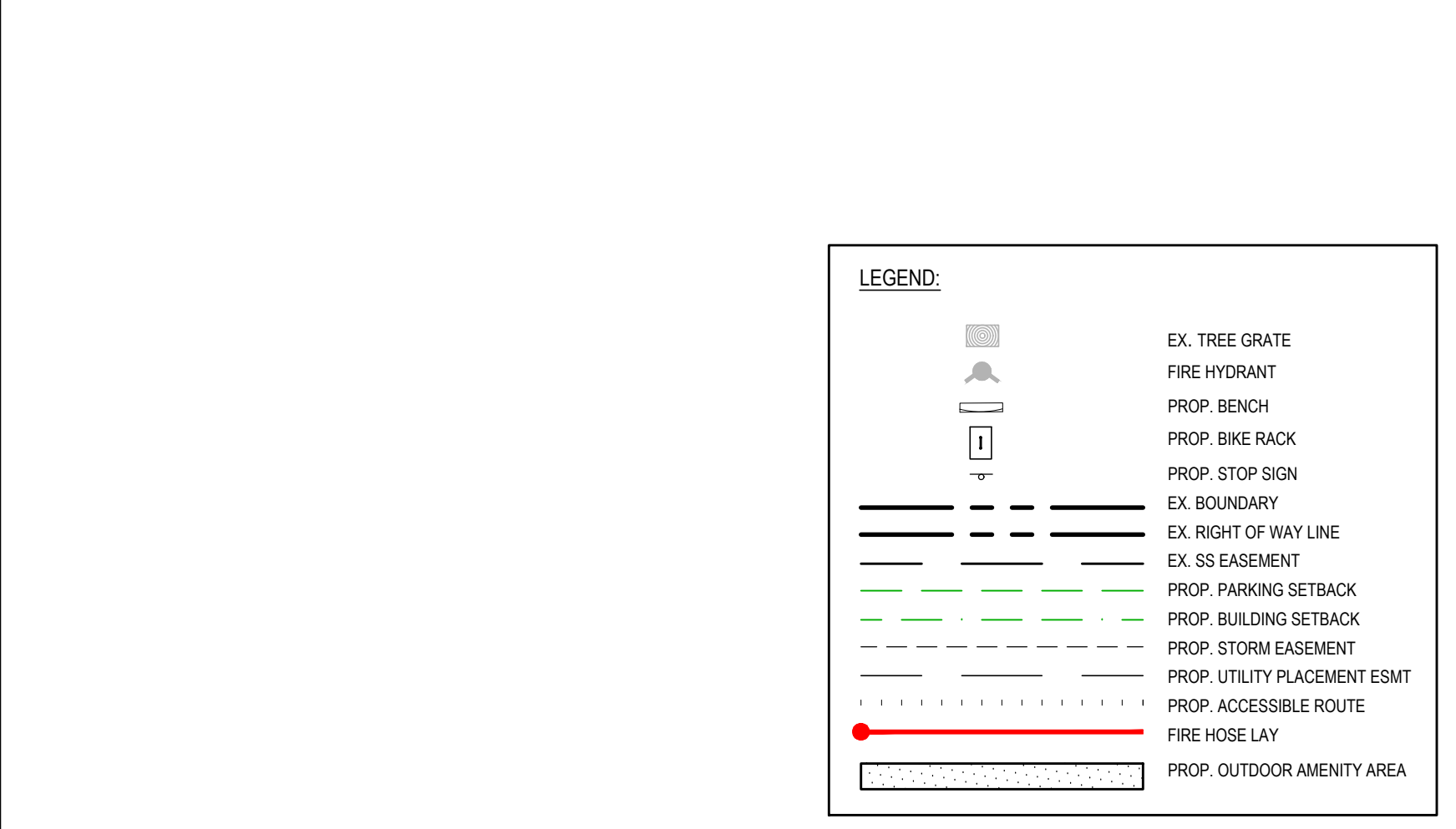
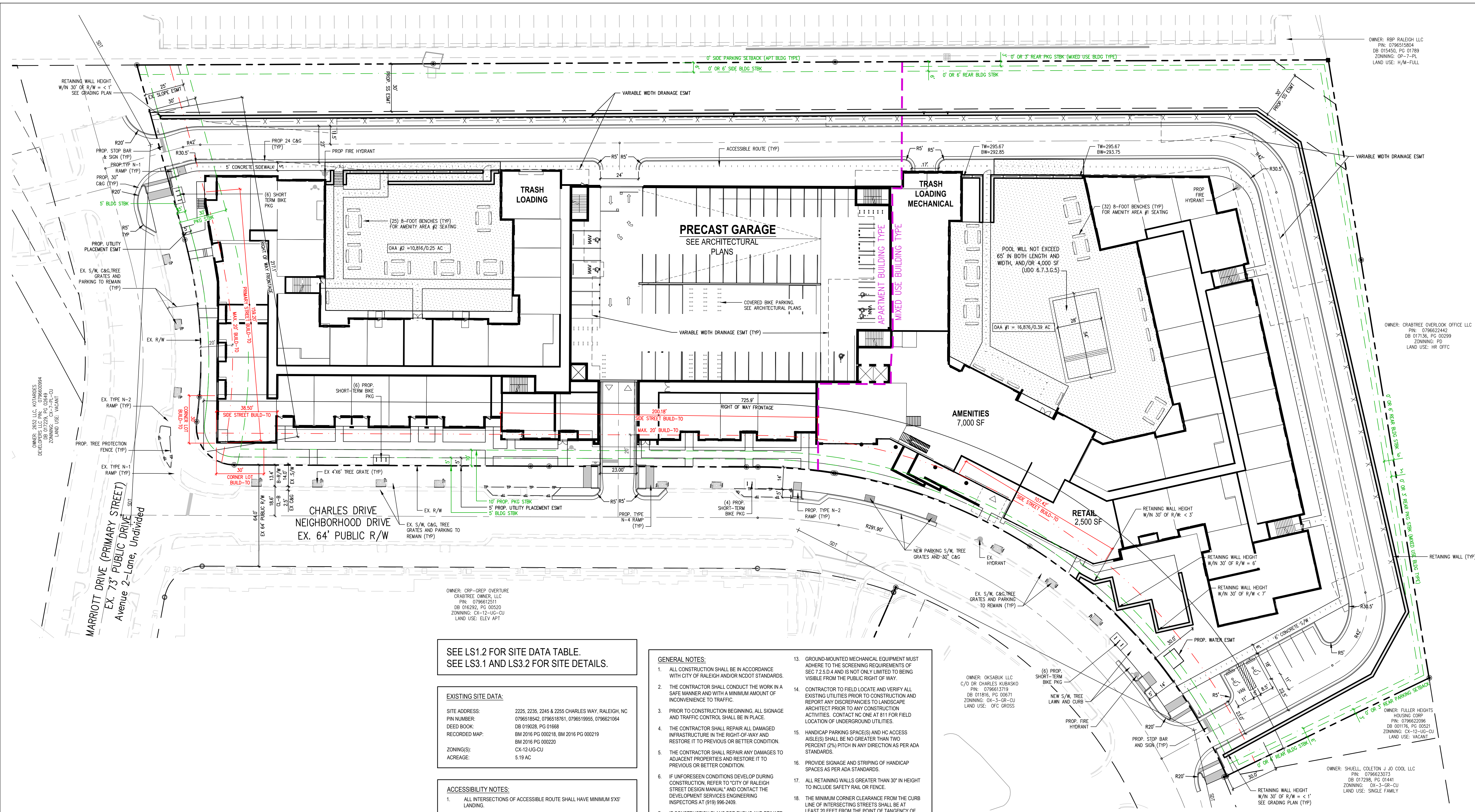
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PROJECT:	RG-22021-140	DATE:	
ISSUE:	Administrative Site Review	DATE:	06.27.2022
REVISIONS:	1st Review Comments	DATE:	09.23.2022
DRAWN BY:	KT, CHK		
CHECKED BY:	KT		
CONTENT:	SITE PLAN		

ADMINISTRATIVE SITE REVIEW

©2022 JDAVIS ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, PLLC.



SEE LS1.2 FOR SITE DATA TABLE.
 SEE LS3.1 AND LS3.2 FOR SITE DETAILS.

EXISTING SITE DATA:
 SITE ADDRESS: 2225, 2235, 2245 & 2255 CHARLES WAY, RALEIGH, NC
 PIN NUMBER: 0796518542, 0796518761, 0796519955, 0796621064
 DEED BOOK: DB 019028, PG 01688
 RECORDED MAP: BM 2016 PG 000218, BM 2016 PG 000219
 ZONING(S): CX-12-UG-CU
 ACREAGE: 5.19 AC

ACCESSIBILITY NOTES:

- ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5X5' LANDING.
- MINIMUM LANDINGS AT ACCESSIBLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
- ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 6:31. RAMP MUST HAVE BETWEEN 34" AND 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5%, AND MINIMUM 5X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5X5' TURN PLATFORM/LANDING IS REQUIRED.
- ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
- ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
- ACCESSIBLE ENTRANCES WILL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
- EV CHARGING STATIONS OPERABLE PART SHALL BE AT 48 INCHES AFF MAXIMUM. MINIMUM 36 INCH WIDTH ACCESSIBLE ROUTE SHALL BE PROVIDED FROM PARKING TO OPERABLE PARTS AND AN ACCESSIBLE ENTRANCE/ROUTE TO THE REMAINDER OF THE SITE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.

HC RAMPS:

- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
- POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

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 - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
 - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
 - GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 12.5.4 AND IS NOT LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
 - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
 - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
 - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
 - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
 - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
 - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
 - ALL RAMPS AND HANDRAILS SHALL BE COMPLY WITH CURRENT ANS, INCSB, AND ICC STANDARDS AND SPECIFICATIONS.
 - SWINGING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCE COMPLYING WITH CURRENT ANS STANDARD.
 - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOUSING, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
 - ALL HVAC EQUIPMENTS OF THIS PROJECT E TO BE LOCATED ON THE ROOF OF BUILDINGS AND SCREENED WITH PARAPETS.
 - UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
 - POOL IS PROPOSED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER THAN 55 FEET OR WITH ANY AREA IN EXCESS OF 4000 SQUARE FEET.

PRIMARY STREET DETERMINATION (SEC. 1.5.4.C.1)

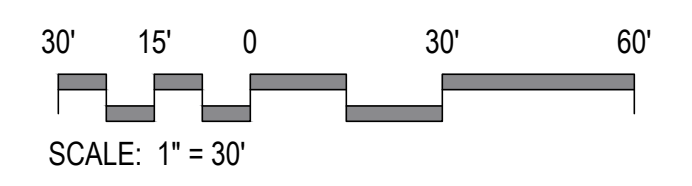
A LOT DEVELOPED WITH THE APARTMENT, GENERAL, MIXED-USE OR CIVIC BUILDING TYPES SHALL DESIGNATE ITS PRIMARY STREET USING THE CRITERIA SHOWN IN (A) THROUGH (G) BELOW. IF NO STREET MEETS CRITERIA (A) THROUGH (D), THEN THE STREET THAT THAT SATISFIES MORE OF CRITERIA (E) THROUGH (G) WILL BE DESIGNATED AS PRIMARY. IF THE CRITERIA DO NOT APPLY OR DO NOT PRODUCE A CLEAR RESULT, THEN ANY STREET MAY BE DESIGNATED AS PRIMARY BY THE

	MARRIOTT DR	CHARLES DR	THURGOOD DR
A. THE STREET WITH TRANSIT SERVICE:	NO	(50) 2-BIKE RACKS	
B. THE STREET DESIGNATED AS A MAIN STREET OR URBAN THOROUGHFARE ON THE URBAN FORM MAP:	NO	NO	
C. ANY STREET DESIGNATED AS A RETAIL STREET IN THE DOWNTOWN SECTION OF THE COMPREHENSIVE PLAN.	NO	NO	
D. THE STREET DESIGNATED AS A MIXED-USE STREET ON THE RALEIGH STREET PLAN MAP:	NO	NO	
E. THE STREET DESIGNATED AS A MAJOR STREET ON THE RALEIGH STREET PLAN MAP.	NO	NO	
F. THE STREET WITH ON-STREET PARKING.	YES	YES	
G. THE STREET WITH THE HIGHER CLASSIFICATION ON THE RALEIGH STREET PLAN MAP.	YES	NO	

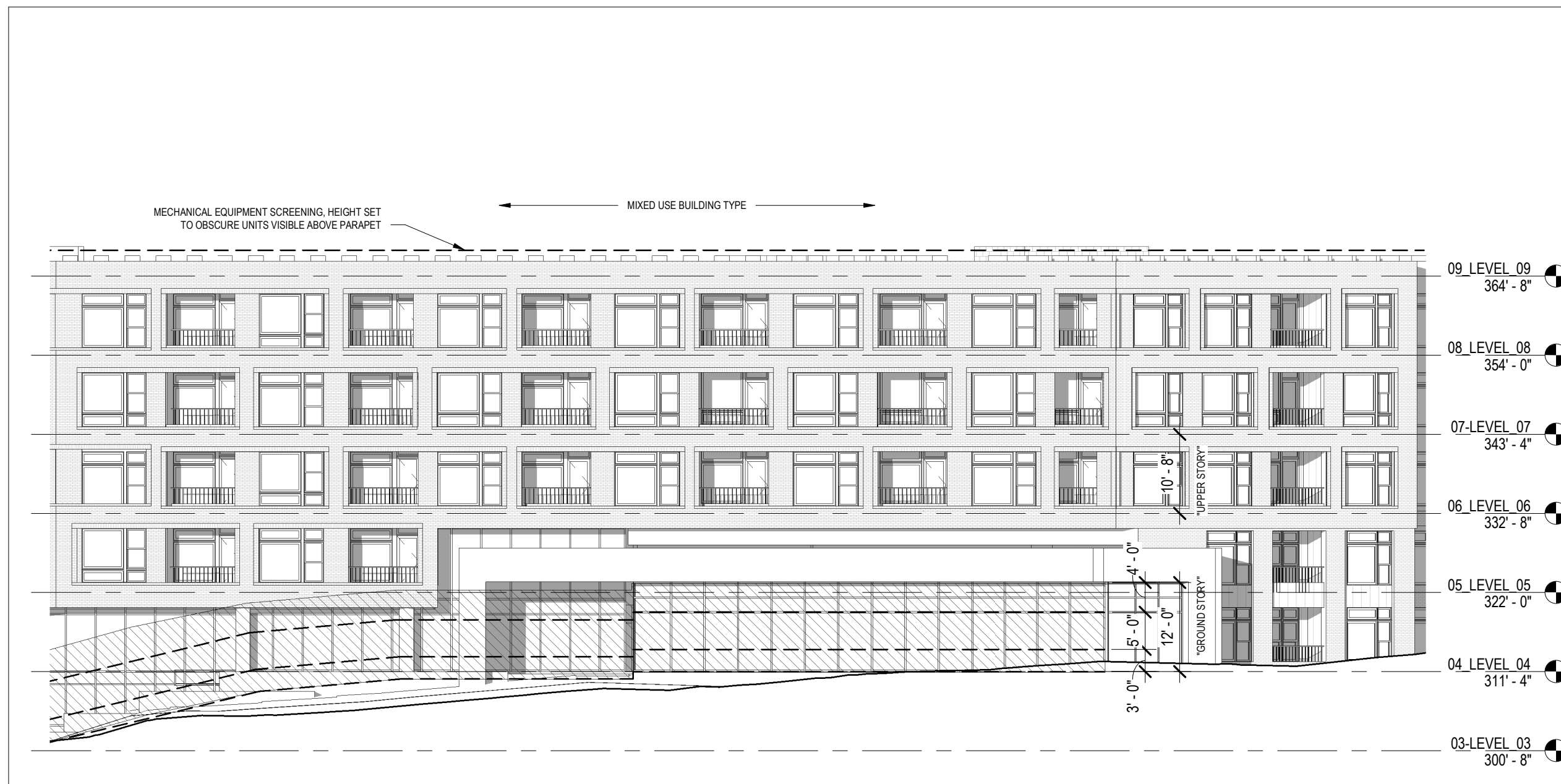
RESPONSE: BASED ON THE ABOVE, MARRIOTT DRIVE IS THE PRIMARY STREET.

ASR-0052-2022

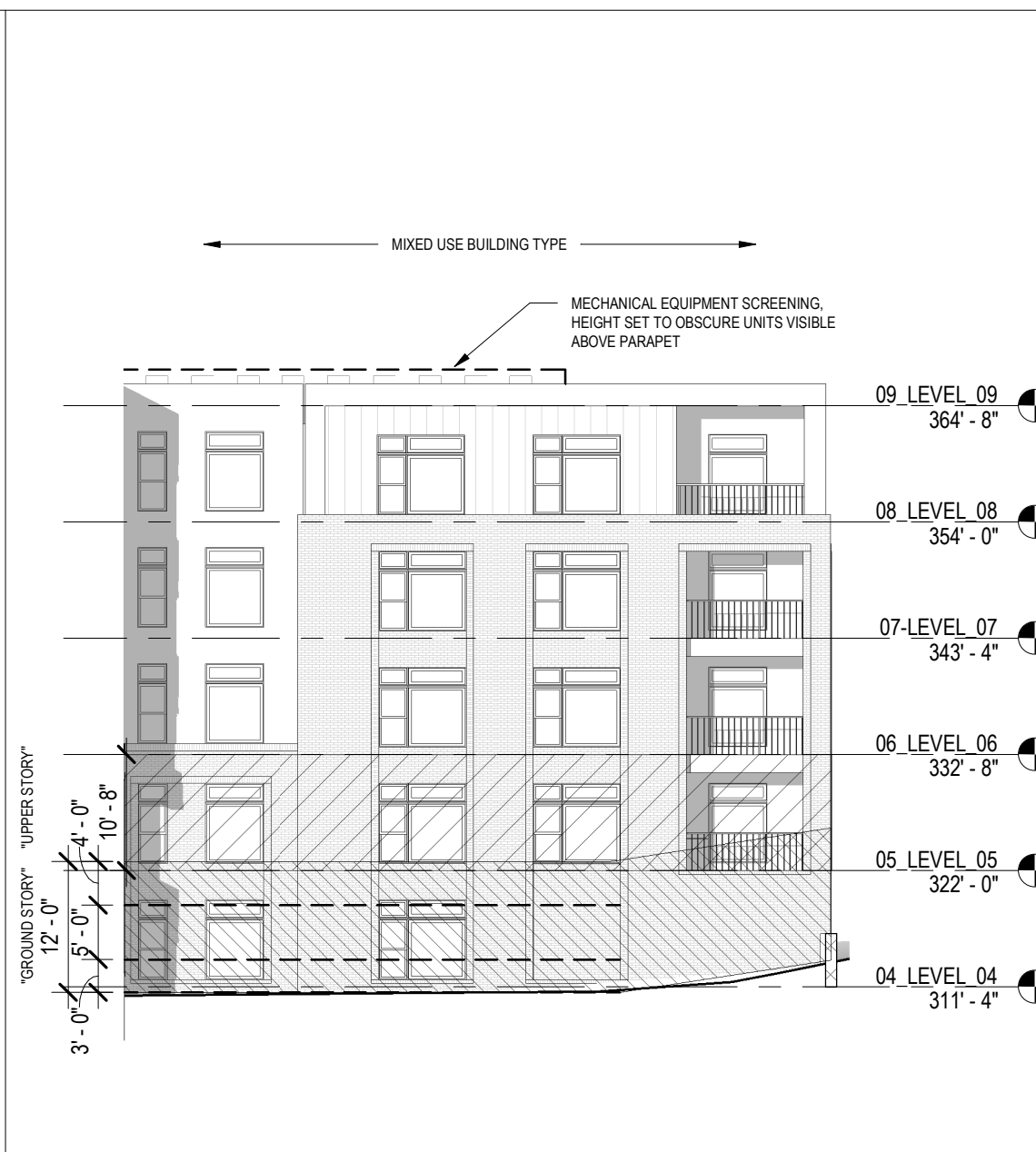
SITE PLAN



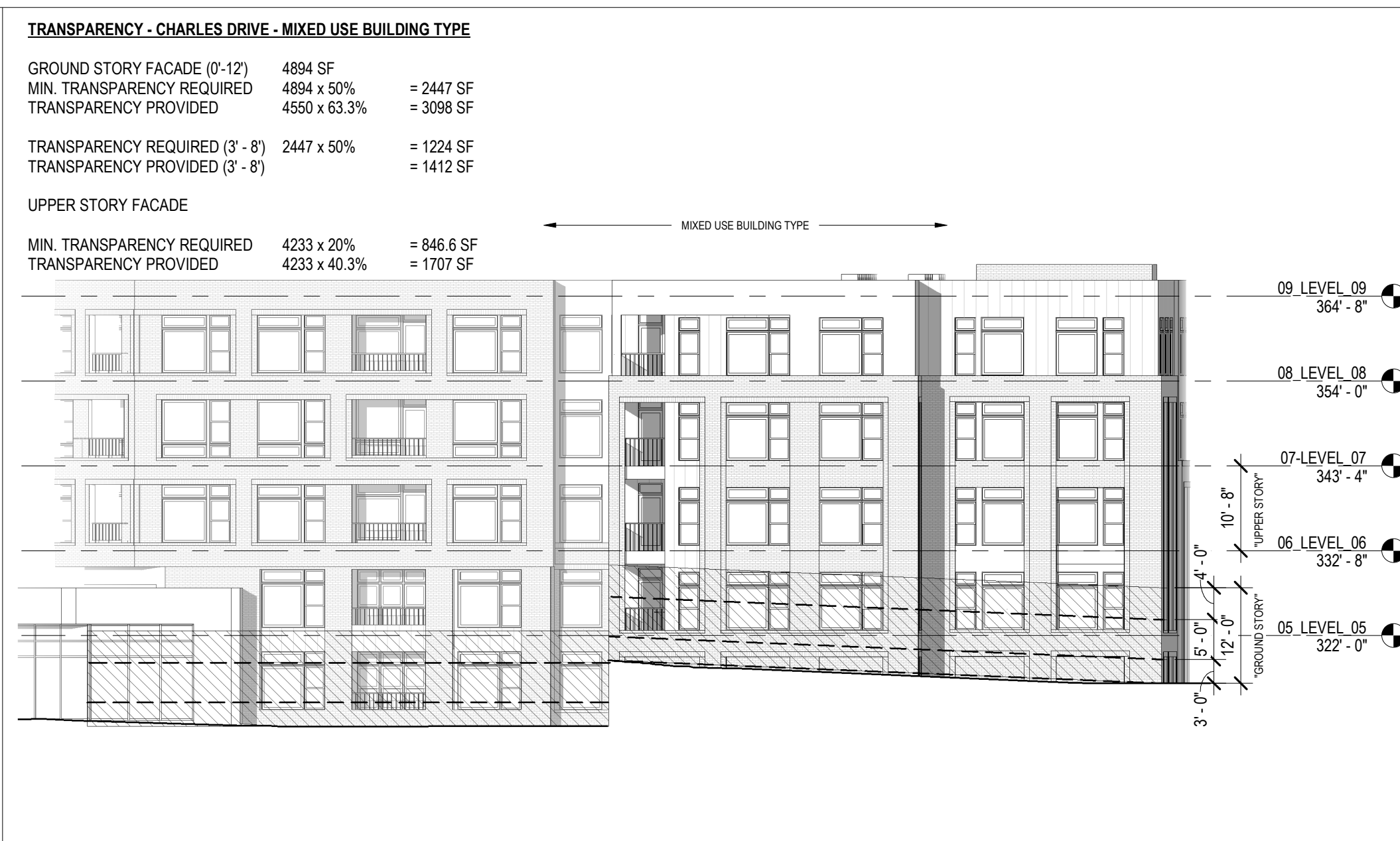
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EAST ELEVATION (CHARLES DR.) - CENTER
1/16" = 1'-0" 3



S ELEVATION (CHARLES DR.) - UPPER
1/16" = 1'-0" 4



EAST ELEVATION (CHARLES DR.) - UPPER
1/16" = 1'-0" 5

TRANSPARENCY - CHARLES DRIVE - MIXED USE BUILDING TYPE

GROUND STORY FACADE (0'-12')	4894 SF	= 2447 SF
MIN. TRANSPARENCY REQUIRED	4894 x 50%	= 2447 SF
TRANSPARENCY PROVIDED	4550 x 63.3%	= 3098 SF
TRANSPARENCY REQUIRED (3' - 8')	2447 x 50%	= 1224 SF
TRANSPARENCY PROVIDED (3' - 8')	4233 x 40.3%	= 1412 SF
UPPER STORY FACADE		
MIN. TRANSPARENCY REQUIRED	4233 x 20%	= 846.6 SF
TRANSPARENCY PROVIDED	4233 x 40.3%	= 1707 SF

Elevation: Charles Dr (Overall)

Material	Area	% of Total	% of Total w/o Glazing
Brick	21000	47.6%	80%
Panel	3358	7.5%	1%
Glazing	17693	40.1%	
Metal/Wood	2020	4.6%	8%
Total	44081		

TRANSPARENCY - CHARLES DRIVE - APARTMENT

GROUND STORY FACADE (0'-12')	4550 SF	= 910 SF
MIN. TRANSPARENCY REQUIRED	4550 x 20%	= 910 SF
TRANSPARENCY PROVIDED	4550 x 33%	= 1504 SF
TRANSPARENCY REQUIRED (3' - 8')	910 x 50%	= 455 SF
TRANSPARENCY PROVIDED (3' - 8')		= 890 SF
UPPER STORY FACADE		
MIN. TRANSPARENCY REQUIRED	4045 x 15%	= 607 SF
TRANSPARENCY PROVIDED	4045 x 46.9%	= 1898 SF



EAST ELEVATION (CHARLES DR.) - LOWER
1/16" = 1'-0" 2



SOUTH ELEVATION (MARRIOTT DR.) - LOWER
1/16" = 1'-0" 1

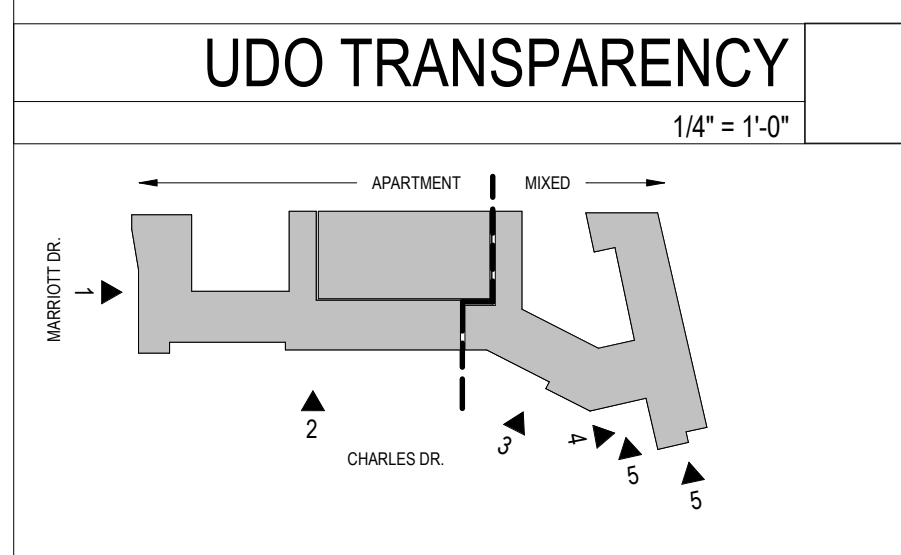
RALEIGH UDO - SECTION 1.5.9.B.3 - 4

In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space)

Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

RALEIGH UDO - TRANSPARENCY

	MIXED USE	APARTMENT
Transparency		
Ground story (min)	50%	20%
Upper story (min)	20%	15%
Blank wall (max)	20'	35'



TRANSPARENCY - MARRIOTT DRIVE - APARTMENT

GROUND STORY FACADE (0'-12')	2040 SF	= 408 SF
MIN. TRANSPARENCY REQUIRED	2040 x 20%	= 408 SF
TRANSPARENCY PROVIDED	2040 x 23.3%	= 475 SF
TRANSPARENCY REQUIRED (3' - 8')	408 x 50%	= 204 SF
TRANSPARENCY PROVIDED (3' - 8')		= 257 SF
UPPER STORY FACADE		
MIN. TRANSPARENCY REQUIRED	1811 x 15%	= 271.65 SF
TRANSPARENCY PROVIDED	1811 x 34.1%	= 618 SF

Elevation: Marriott Drive (SOUTH ELEVATION)

Material	Area	% of Total	% of Total w/o Glazing
Brick	5740	58.3%	92%
Panel	500	5.1%	
Glazing	3600	36.6%	8%
Metal/Wood	0	0.0%	
Total	9840		

BUILDING ELEVATIONS

BUILDING	PRIMARY STREET FRONT	LOW	HIGH	AVG
BUILDING A	MARRIOTT DRIVE	288.5	288.5	276.95

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Elevation: South Courtyard (NORTH ELEVATION)

Material	Area	% of Total	% of Total w/o Glazing
Brick	2410	33.5%	54%
Panel	2089	29.0%	46%
Glazing	2694	37.5%	
Metal/Wood	0	0.0%	
Total	7193		



SOUTH COURTYARD - NORTH
1/16" = 1'-0" 5

Elevation: South Courtyard (EAST ELEVATION)

Material	Area	% of Total	% of Total w/o Glazing
Brick	3220	35.8%	56%
Panel	2500	27.8%	44%
Glazing	3265	36.3%	
Metal/Wood	0	0.0%	
Total	8985		



SOUTH COURTYARD - EAST ELEVATION
1/16" = 1'-0" 4

Elevation: South Courtyard (SOUTH ELEVATION)

Material	Area	% of Total	% of Total w/o Glazing
Brick	2512	39.3%	59%
Panel	1765	27.6%	41%
Glazing	2121	33.2%	
Metal/Wood	0	0.0%	
Total	6398		



SOUTH COURTYARD - SOUTH ELEVATION
1/16" = 1'-0" 3

Elevation: West (Overall)-Garage

Material	Area	% of Total	% of Total w/o Glazing
Brick	6183	38.8%	62%
Cemt. Panel	3480	21.8%	35%
Glazing	5941	37.2%	
Precast Conc.		0.0%	0%
Metal	350	2.2%	3%
Total	15954		



WEST ELEVATION - NORTH
1/16" = 1'-0" 2



WEST ELEVATION - SOUTH
3/64" = 1'-0" 1

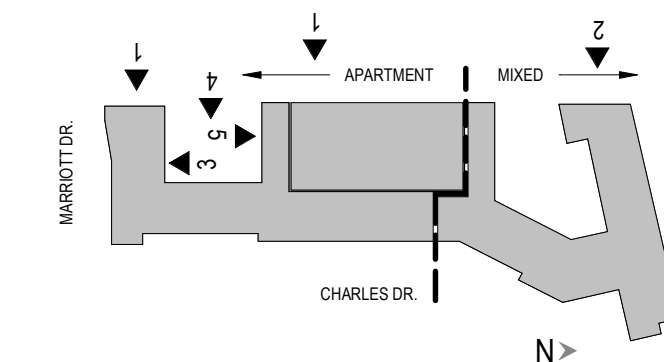
RALEIGH UDO - SECTION 1.5.9.B.3-4
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Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

Transparency	MIXED USE	APARTMENT
Ground story (min)	50%	20%
Upper story (min)	20%	15%
Blank wall (max)	20'	35'

UDO TRANSPARENCY

N.T.S.



KEY PLAN A3.06
N.T.S.

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CONTENT:	BUILDING ELEVATIONS

A3.06

CRABTREE NORTH
RALEIGH, NC

J.DAVIS

510 South Winston St. | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Chestnut Street, 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

Elevation: North Courtyard (N)

Material	Area	% of Total	% of Total w/o Glazing
Brick	4440	35.2%	55%
Panel	3635	28.8%	45%
Glazing	4530	35.9%	
Metal/Wood		0.0%	
Total	12605		



NORTH COURTYARD - NORTH ELEVATION 3
 1/16" = 1'-0"

Elevation: North Courtyard (E)

Material	Area	% of Total	% of Total w/o Glazing
Brick	3197	30.5%	53%
Panel	2593	24.8%	43%
Glazing	4476	42.7%	
Metal/Wood	210	2.0%	
Total	10476		



NORTH COURTYARD - EAST ELEVATION 2
 1/16" = 1'-0"

Elevation: North Courtyard (S)

Material	Area	% of Total	% of Total w/o Glazing
Brick	2680	32.1%	52%
Panel	2430	29.1%	48%
Glazing	3250	38.9%	
Metal/Wood		0.0%	
Total	8360		



NORTH COURTYARD - SOUTH ELEVATION 1
 1/16" = 1'-0"

Elevation: North

Material	Area	% of Total	% of Total w/o Glazing
Brick	5725	35.1%	54%
Panel	4877	29.9%	46%
Glazing	5572	34.2%	
Metal/Wood	120	0.7%	
Total	16294		



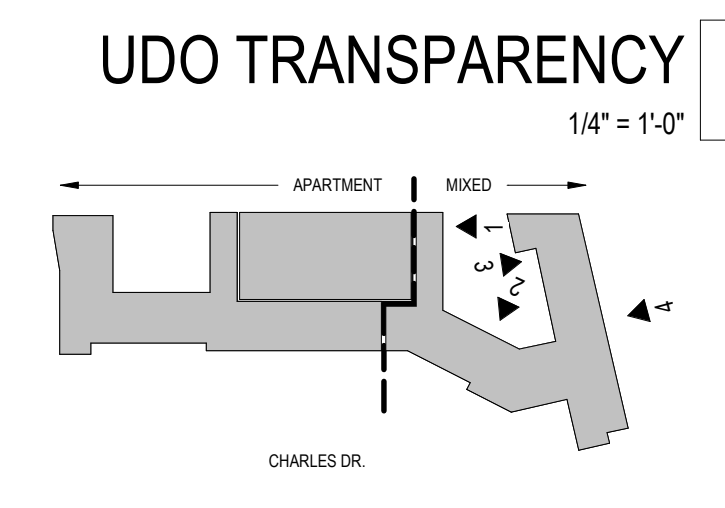
NORTH ELEVATION 4
 1/16" = 1'-0"

RALEIGH UDO - SECTION 1.5.9.B.3 - 4
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RALEIGH UDO - TRANSPARENCY

	MIXED USE	APARTMENT
Transparency		
Ground story (min)	50%	20%
Upper story (min)	20%	15%
Blank wall (max)	20'	35'



KEY PLAN A3.07
 1/4" = 1'-0"

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A3.07