



Administrative Approval Action

Case File / Name: ASR-0052-2022

DSLC - 2251 Charles Drive Multi-Family, Mixed-Use Apts

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Glenwood Avenue, west of Lead Mine Road, at 2251 Charles Drive.

REQUEST: This is an AA revision update to the previously signed Administrative Action (AA) Document for ASR-0052-2022 "2251 Charles Drive Multi-Unit Apartment," correcting the proposed building gross area for the proposed multi-module building types only.

A proposed development of an existing 4 parcels site, with multi-unit apartments (to be demolished), into a new 8-story, 364,656 gross floor area, mixed-use and apartment building type, structure for multi-unit residential and retail space (with multi-module building design/151,581 gfa apartment building module type & 213,075 gfa mixed-use building module type); consisting of 330 residential units with a designated 2,500 sf of retail space (within the mixed-use structure), and a 7-story enclosed parking garage (approximately ~165,059 sf/445 spaces). A previously approved preliminary plan for this site, ASR-0047-2019 "Crabtree North Apartments," has been withdrawn and resubmitted as a new plan, ASR-0052-2022 "2251 Charles Drive," mixed-use retail development & apartments.

Z-7-12 Lead Mine Road and Charles Drive: Adopted 4/3/12. Effective 4/3/12. Site design & rezoning requirements for the Overture Crabtree Multi-Unit Apartments and Charles Drive redevelopment.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 14, 2023 by J DAVIS ARCHITECTS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General



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1. A detail design for all outdoor amenity area seating and eating areas is provided for both areas #1 & #2.
2. Any proposed retaining wall elevations plans are provided and submitted with the civil Site Permit Review plans set sheets, showing height and TW/BW grades, and demonstrates compliance with UDO Sec.7.2.8.D, for all proposed walls.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. A surety equal to 125% of the cost of the construction of the temporary stormwater control device and pumping operation and the permanent stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

10. A tree impact permit must be obtained for the installation of tree protection fence around all existing street trees that are to remain and for the removal of 8 existing street trees prior to issuance of a demolition permit or grading permit, whichever comes first.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Demonstrate compliance with building foundation landscaping, vegetative screening per UDO Sec.7.2.8.E, per plans set and permit plans.
2. A demolition permit shall be obtained.



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3. A recombination map shall be recorded, recombining the existing lots into a single tract.
4. Comply with all conditions of Z-7-12.

Urban Forestry

5. A public infrastructure surety for 6 street trees in tree lawns and 2 street trees in tree grates shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
6. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 2 street trees in tree grates and 5 street trees in tree lawns along Charles Drive and 1 street tree in a tree lawn along Marriott Drive for a total of 8 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.
2. All street lights and street signs required as part of the development approval are installed.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 14, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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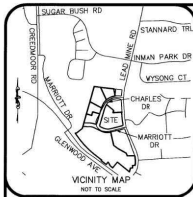
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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 06/14/2023
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

L0.1



I, RONALD T. FREDERICK, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM DEEDS, RECORDS, AND FIELD NOTES. THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AND DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE. THE INFORMATION FOUND IN BOOK AND PAGE IS CALCULATED TO BE 1:25,000. AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-37-01 AS AMENDED. MY ORIGINAL SIGNATURE, REGISTRATION NUMBER, AND SEAL THIS DAY OF January, A.D. 2016.

Ronald T. Frederick PLS L-4720

THIS PLAT OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

PLANNING DIRECTOR/WAKE COUNTY REVIEW OFFICER 1/24/16

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (1)(1)(b) THIS SURVEY CREATES SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

THIS PLAT IS TO BE RECORDED AFTER 1/24/16 THIS PLAT IS TO BE RETAINED FOR THE CITY LIMITS.

PLANNING DIRECTOR/WAKE COUNTY REVIEW OFFICER 1/24/16

NORTH CAROLINA - WAKE COUNTY
FILED FOR REGISTRATION

DATE: 1/24/16
LAURA M. RIDDICK
REGISTER OF DEEDS
WAKE COUNTY

BY: 1/24/16
ASSISTANT/DEPUTY
TIME: 1/24/16

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCELS OF LAND. THIS IS A RECOMBINATION PLAT, A RIGHT OF WAY ABANDONMENT PLAT, A RIGHT OF WAY DEDICATION PLAT, AND AN EASEMENT PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID AND 85.00.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: CDD 52.
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "V" AS DEFINED BY FEMA FIRM COMMUNITY PANEL 4370079001 DATED MAY 2, 2006.
- NO GRD MONUMENTS FOUND WITHIN 200' OF SITE.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 83 DATUM.
- ELEVATIONS OF SITE BEING USED AS A SOLID WASTE DUMP.
- NO PRIVATE STORM DRAINAGE EASEMENTS & STORMWATER MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION.

THIS CERTIFIES AND WARRANTS THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THE MAP OR PLAT AND ANY ACCOMPANYING SHEETS HAVING ACQUIRED THE PROPERTY IN FEE SIMPLE BY DEED(S) RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS (HAVE) THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE AND THAT THE DEDICATOR(S) HEREBY AGREE TO WARRANT AND DEFEND THE TITLE AGAINST ANY CLAIMS OF ALL PERSONS WHOSEVER EXCEPTED AS SPECIFICALLY LISTED HEREIN AND THAT BY RECORDING THIS PLAT OR MAP I (WE) DO IRREVOCABLY DEDICATE TO THE CITY OF RALEIGH FOR PUBLIC USE ALL STREETS, EASEMENTS, RIGHTS-OF-WAYS, PARKS AND GREENWAYS (AS THOSE INTERESTS ARE DEFINED IN THE CITY CODE) AND AS THE SAME ARE SHOWN ON THE PLAT FOR ALL LAWFUL PURPOSES TO WHICH THE CITY MAY DEVOTE OR ALLOW THE SAME TO USE AND UPON ACCEPTANCE THEREOF, IN ACCORDANCE WITH ALL CITY POLICES, ORDINANCES, REGULATIONS OR CONDITIONS OF THE CITY OF RALEIGH, FOR THE BENEFIT OF THE PUBLIC PROVIDED ANY DEDICATION OF EASEMENTS FOR STORM DRAINAGE NOT SPECIFICALLY LABELED CITY OF RALEIGH OR PUBLIC ARE NOT MADE TO THE CITY OF RALEIGH, BUT ARE IRREVOCABLY MADE TO THE SUBSEQUENT OWNERS OF ANY AND ALL PROPERTIES SHOWN HEREON FOR THEIR USE AND BENEFIT.

BOOK NO.: 15818
PAGE NO.: 141

SIGNATURE(S) OF PROPERTY OWNER(S): Debra Worley
CRABTREE APARTMENTS ASSOCIATES, LLC, a North Carolina Limited Liability Company

STATE OF: NC
COUNTY OF: Franklin

I certify that the following person(s) personally appeared before me this day, each acknowledging to me that he or she voluntarily signed the foregoing document for the purpose stated therein and in the capacity indicated: Debra Worley

Date: Jan 25, 2016
Signed: Debra Worley
Printed name: Debra Worley Notary Public
MY COMMISSION EXPIRES: 10/18/19

THIS CERTIFIES AND WARRANTS THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THE MAP OR PLAT AND ANY ACCOMPANYING SHEETS HAVING ACQUIRED THE PROPERTY IN FEE SIMPLE BY DEED(S) RECORDED IN THE COUNTY REGISTER OF DEEDS OFFICE WHERE THE PROPERTY IS LOCATED AND AS SUCH HAS (HAVE) THE RIGHT TO CONVEY THE PROPERTY IN FEE SIMPLE AND THAT THE DEDICATOR(S) HEREBY AGREE TO WARRANT AND DEFEND THE TITLE AGAINST ANY CLAIMS OF ALL PERSONS WHOSEVER EXCEPTED AS SPECIFICALLY LISTED HEREIN AND THAT BY RECORDING THIS PLAT OR MAP I (WE) DO IRREVOCABLY DEDICATE TO THE CITY OF RALEIGH FOR PUBLIC USE ALL STREETS, EASEMENTS, RIGHTS-OF-WAYS, PARKS AND GREENWAYS (AS THOSE INTERESTS ARE DEFINED IN THE CITY CODE) AND AS THE SAME ARE SHOWN ON THE PLAT FOR ALL LAWFUL PURPOSES TO WHICH THE CITY MAY DEVOTE OR ALLOW THE SAME TO USE AND UPON ACCEPTANCE THEREOF, IN ACCORDANCE WITH ALL CITY POLICES, ORDINANCES, REGULATIONS OR CONDITIONS OF THE CITY OF RALEIGH, FOR THE BENEFIT OF THE PUBLIC PROVIDED ANY DEDICATION OF EASEMENTS FOR STORM DRAINAGE NOT SPECIFICALLY LABELED CITY OF RALEIGH OR PUBLIC ARE NOT MADE TO THE CITY OF RALEIGH, BUT ARE IRREVOCABLY MADE TO THE SUBSEQUENT OWNERS OF ANY AND ALL PROPERTIES SHOWN HEREON FOR THEIR USE AND BENEFIT.

BOOK NO.: 11816
PAGE NO.: 871

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BOOK NO.: 15091
PAGE NO.: 687

SIGNATURE(S) OF PROPERTY OWNER(S): Debra Worley
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BOOK NO.: 14457
PAGE NO.: 1635

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BOOK NO.: 8158
PAGE NO.: 2003

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THE JOHN R. MCADAMS COMPANY, INC.
2005 Meridian Parkway
Durham, NC 27713
Phone: 919-286-1000
Fax: 919-286-1001
www.mcadams.com

MCADAMS

REVISIONS:

PROJECT NO.: GRE14000
SHEET 1 OF 3

FINAL PLAT

OVERTURE AT CRABTREE NORTH
RECOMBINATION PLAT, RIGHT OF WAY
DEDICATION PLAT, RIGHT OF WAY
ABANDONMENT PLAT, EASEMENT PLAT
RALEIGH, WAKE COUNTY, NORTH CAROLINA

REGISTERED BY: RTR
DRAWN BY: KMM
SCALE: 1"=100'
DATE: 2015-10-20

MCADAMS

ASR-0052-2022

RECORDED MAP

ADMINISTRATIVE SITE REVIEW

PROJECT:	RS-2022-140	DATE:	
ISSUE:	Administrative Site Review		06/27/2022
REVISIONS:			
1st Review Comments:			06/23/2022
2nd Review Comments:			05/06/2023
3rd Review Comments:			04/12/2023
4th Review Comments:			
5th Review Comments:			
6th Review Comments:			
7th Review Comments:			
8th Review Comments:			
9th Review Comments:			
10th Review Comments:			
DRAWN BY:	CHK		
CHECKED BY:	KT		
CONTENT:	RECORDED MAP		
	SHD16, PG00216		

L0.2

JDAVIS

2551 Charles Drive
2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716

FOR REFERENCE ONLY

ASR-0052-2022
REFERENCE: XXXXXXXX

BKBM2016PG00219

I HEREBY CERTIFY THAT THIS PLAN IS OF THE FOLLOWING TYPE:
63.47-30 (CIVIL). THIS SURVEY CREATES SUBDIVISION OF
LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT
HAS AN APPLICABLE MAP REQUIRING PASSAGE OF LAND.

RONALD F. FREDERICK PLS. L-4720

GENERAL NOTES

1. FOR GENERAL NOTES SEE SHEET 1

DEMOLITION PERMITS

2220 CHARLES DRIVE #18220
2228 CHARLES DRIVE #18222
2240 CHARLES DRIVE #18223
2225 CHARLES DRIVE #127646

LEGEND

- EXISTING IRON PIPE
- EXISTING CONCRETE MONUMENT
- EXISTING NAIL
- IRON PIPE SET
- CONCRETE MONUMENT SET
- CALCULATED POINT
- ADDRESS
- TEMPORARY SLOPE EASEMENT

LOT 1
ORIGINAL AREA 57,523 SF
R/W ABANDONED +11,195 SF
R/W DEDICATED -15,035 SF
AREA TO LOT 18 -2,925 SF
TOTAL (NEW AREA) 50,788 SF

LOT 2
ORIGINAL AREA 44,159 SF
R/W ABANDONED +2,745 SF
TOTAL (NEW AREA) 46,904 SF

LOT 3
ORIGINAL AREA 85,210 SF
R/W ABANDONED +187 SF
R/W DEDICATED -67 SF
TOTAL (NEW AREA) 85,330 SF

LOT 4
ORIGINAL AREA 42,963 SF
R/W DEDICATED 218 SF
TOTAL (NEW AREA) 42,745 SF

OKSABUK, LLC
ORIGINAL AREA 60,555 SF
AREA TO LOT 17 -465 SF
TOTAL (NEW AREA) 60,090 SF

NEW LOT 17
ORIGINAL AREA +24,937 SF
R/W DEDICATED +22,479 SF
TOTAL (NEW AREA) +47,416 SF

NEW LOT 24
ORIGINAL AREA 472,395 SF
AREA FROM LOT 1 +2,925 SF
R/W DEDICATED -2,422 SF
R/W ABANDONED +3,633 SF
R/W DEDICATED 221 SF
TOTAL (NEW AREA) 476,287 SF

4501 LEAD MINE RD 18,487 SF
FROM OKSABUK, LLC
TOTAL (NEW AREA) 177,888 SF

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	321.90	185.83	S 77°44'41" W	278.54
C2	208.71	188.13	S 05°12'04" W	163.62
C3	17.43	27.06	N 31°12'16" E	24.42
C4	147.83	139.50	N 77°02'15" W	269.77
C5	269.42	12.12	N 34°34'54" E	12.12
C6	929.82	151.53	S 08°43'27" E	151.36
C7	1851.67	530.38	S 42°18'10" E	528.54
C8	362.99	78.01	N 12°02'07" E	78.00
C9	373.62	99.64	N 04°30'15" E	99.34
C10	819.33	86.88	N 02°12'18" W	86.88
C11	286.50	61.39	S 01°29'01" W	61.27
C12	286.50	134.56	N 76°57'54" W	133.32
C13	213.50	80.11	N 41°54'34" W	74.64
C14	213.50	18.09	N 87°10'03" W	18.09
C15	323.90	193.72	S 04°04'33" W	190.80
C16	323.90	47.67	S 20°27'19" W	47.63
C17	24.00	40.88	S 02°02'38" W	36.12
C18	286.50	15.77	N 67°43'59" W	15.76
C19	286.50	100.12	N 78°16'55" W	99.81
C20	286.50	87.69	N 25°34'17" E	87.28
C21	937.00	137.84	S 08°10'55" E	137.81
C22	24.00	36.89	S 31°40'00" W	33.43
C23	213.50	151.56	N 83°50'50" W	148.40
C24	24.00	33.41	N 36°36'08" W	30.77
C25	323.90	131.82	N 36°36'08" E	130.91
C26	323.90	153.51	S 01°41'17" W	150.42
C27	323.90	1.61	N 24°48'51" E	1.61

THIS PLAN OR MAP IS NOT A SUBDIVISION, BUT A RECOMBINATION
OF PREVIOUSLY PLATTED PROPERTY, AND MEETS ALL STATUTORY
REQUIREMENTS FOR RECORDING.

PLANNING DIRECTOR/WAKE COUNTY REVIEW OFFICER DATE

SITE DATA TABLE				
LOT NO.	NEW AREA	ORIGINAL AREA	ROW ABANDONED	ROW DEDICATED
1	50,788	117	57,523	1.32
2	46,904	1,08	44,159	0.26
3	85,330	1,96	85,210	1.96
4	42,745	0.98	42,963	0.99
5	60,090	1.36	60,555	1.36
6	177,888	3.39	24,937	0.57
7	147,866	3.39	24,937	0.57
8	—	—	19,151	0.44
9	—	—	25,535	0.59
10	—	—	23,799	0.55
11	—	—	20,435	0.47
12	—	—	12,564	0.45
13	—	—	16,481	0.42
4501 LMR	—	—	472,395	10.85
24	476,280	10.83	472,395	10.85
TOTAL	909,972	26.89	937,308	21.62

GRAPHIC SCALE
1 inch = 100 ft

R-17-15
SP-06-2014
Z-7-12

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 73°47'57" W	7.24
L2	S 33°02'45" E	7.87
L3	N 13°28'08" W	8.31
L4	S 27°11'55" W	33.83
L5	S 33°52'51" E	31.07
L6	S 35°54'14" W	17.07
L7	S 30°19'17" E	20.39
L8	S 28°44'27" E	67.03
L9	S 51°19'31" E	64.53
L10	N 85°29'11" W	44.91
L11	N 03°25'49" W	51.11
L12	S 88°10'14" E	50.79
L13	N 12°19'53" W	37.95
L14	N 63°30'38" W	49.04
L15	N 63°30'38" W	56.11
L16	S 63°30'38" E	106.22

OVERTURE AT CRABTREE NORTH
RECOMBINATION PLAT, RIGHT OF WAY
DEDICATION PLAT, RIGHT OF WAY
ABANDONMENT PLAT, EASEMENT PLAT
RALEIGH, WAKE COUNTY, NORTH CAROLINA

PROJECT NO. GRE14000
DRAWN BY: RTF
CHECKED BY: KMM
SCALE: 1"=100'
DATE: 2015-10-20

McADAMS

THE JOHN R. McADAMS
COMPANY, INC.
200 S. Main Street
Durham, North Carolina 27713
License No. C-0265
(800) 755-6640 - JRA@mcadams.com

McADAMS

REVISIONS:

FINAL PLAT

SHEET 2 OF 3

ASR-0052-2022

RECORDED MAP

ADMINISTRATIVE SITE REVIEW

PROJECT:	RS-2022-140	DATE:	
ISSUE:	Administrative Site Review	DATE:	06/23/2022
REVISIONS:			
1st Review Comments:		DATE:	08/23/2022
2nd Review Comments:		DATE:	03/06/2023
3rd Review Comments:		DATE:	04/12/2023
DRAWN BY:	CHK		
CHECKED BY:	RT		
CONTENT:	RECORDED MAP		
	SHAD16, PG00219		

L0.3

RedGate
2251 Charles Drive
2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716

JDAVIS
210 South Western Avenue Raleigh, NC 27601
1710 East Franklin Street Durham, NC 27601
ASR-0052-2022
REFERENCE: XXXXXXXX

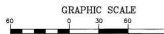
BKBM2016PG00220

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE:
S.S. 47-30 (CIVIL) AND SURVEY ORIGINALLY SUBDIVISION OF
LAND WITHIN THE AREA OF WAKE COUNTY, NORTH CAROLINA, THAT
WAS ABANDONED IN THE REGULAR PARCELS OF LAND
ON 12-20-2016
RONALD T. FREDERICK PLS L-4720

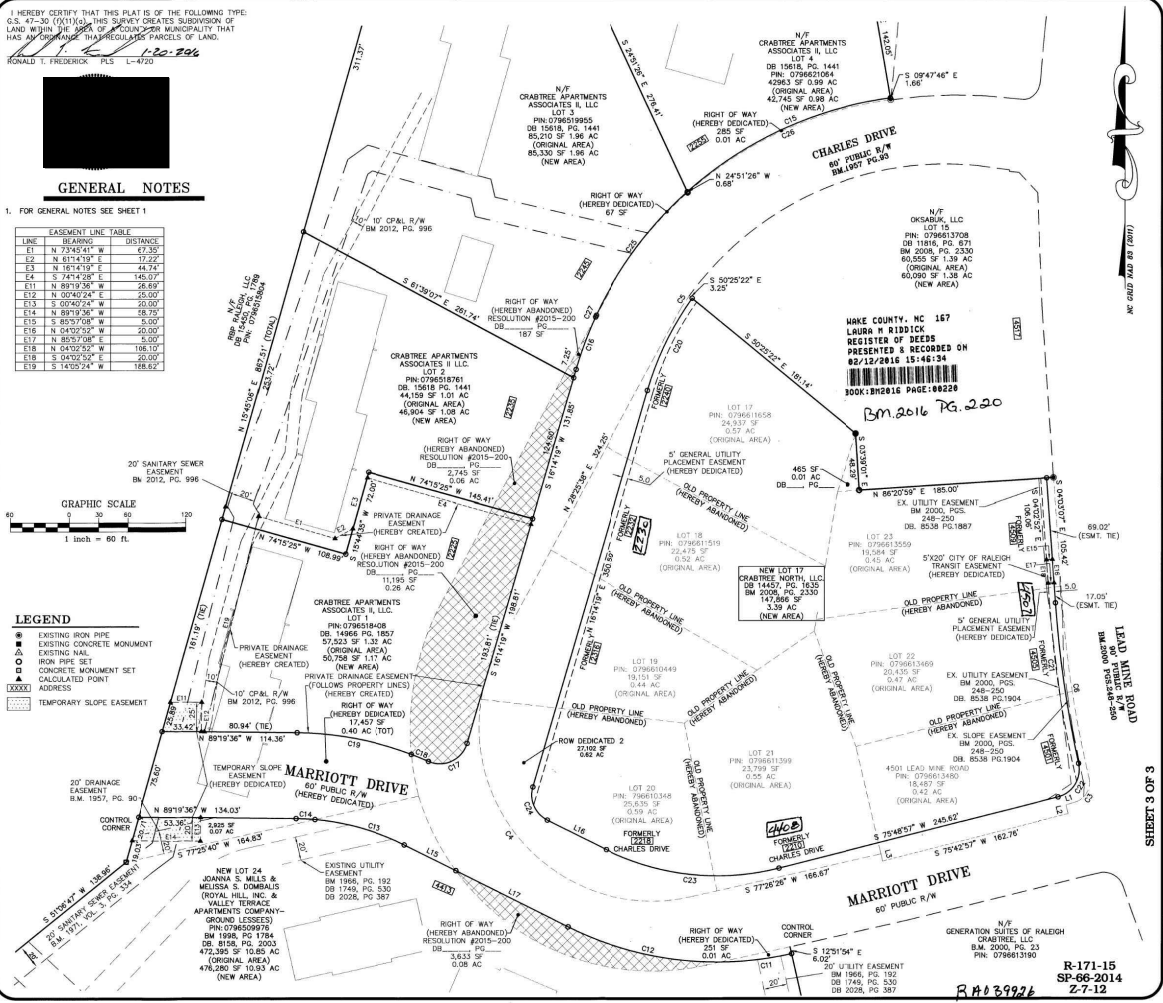
GENERAL NOTES

1. FOR GENERAL NOTES SEE SHEET 1

LINE	BEARING	DISTANCE
1	N 73°45'41" E	42.39
2	N 61°14'10" E	12.22
3	N 10°14'11" E	14.74
4	S 74°14'20" E	140.59
5	N 89°19'36" W	26.69
6	N 89°19'36" W	25.00
7	S 85°10'08" W	5.00
8	N 85°10'08" W	5.00
9	S 85°10'08" W	5.00
10	S 85°10'08" W	5.00
11	S 85°10'08" W	5.00
12	S 85°10'08" W	5.00
13	S 85°10'08" W	5.00
14	S 85°10'08" W	5.00
15	S 85°10'08" W	5.00
16	S 85°10'08" W	5.00
17	S 85°10'08" W	5.00
18	S 85°10'08" W	5.00
19	S 85°10'08" W	5.00
20	S 85°10'08" W	5.00



LEGEND
EXISTING IRON PIPE
EXISTING CONCRETE MONUMENT
EXISTING NAIL
IRON PIPE SET
CONCRETE MONUMENT SET
CALCULATED POINT
ADDRESS
TEMPORARY SLOPE EASEMENT



THE JOHN R. MCADAMS COMPANY, INC.
2005 Meridian Parkway
Durham, NC 27701
License No. C-0005
1800 735-5666 • C-0005

REVISIONS:

1	AS	12/20/2016	12/20/2016
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PROJECT NO. GRE14000
PLAT NAME: GRE14000-F1
PREPARED BY: JTF
DRAWN BY: KMM
SCALE: 1"=60'
DATE: 2015-10-20

FINAL PLAT

ASR-0052-2022

RECORDED MAP

JDAVIS
2015 South Westgate Drive Raleigh, NC 27601
1715 Glenwood Dr. Suite 100 Raleigh, NC 27601
ASR-0052-2022
REFERENCE: XXXXXXXX

RadGate
2251 Charles Drive
2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716

ADMINISTRATIVE SITE REVIEW		
FOR REFERENCE ONLY		
PROJECT:	ISSUE:	DATE
PROJ-2021-140	Administrative Site Review	06/27/2022
REVISIONS:		
1st Review Comments	06/23/2022	
2nd Review Comments	05/06/2023	
3rd Review Comments	04/12/2023	
DRAWN BY: CHK		
CHECKED BY: KT		
CONTENT: RECORDED MAP		
SHEET NO. PG00220		

L0.4

SITE PLAN NOTES

1. NON-UTILITY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADII OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE WIDTH OF THE DRIVEWAY SHALL NOT EXCEED THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 63 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
2. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL FAIRLY MINOR, SENSITIVE AREA THROUGHFARES.
3. WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SHOT OBSTRUCTION OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, BARRIER, BUSH OR OTHER OBSTACLE BETWEEN THE REQUIREMENTS OF ALL INDICES AND A VIEW ABOUT THE CURB LINE ELEVATION ON THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 62 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
4. MULTILANE STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTILANE STOP INSTALLATION WARRANTS CAN BE MET AND ORIGINATED BY CITY COUNCIL APPROVAL.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO COMPLETION. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
8. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER. BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
9. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW SLOPE CHANGES, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ASSESSMENTS DIRECTED ON THE PLANS.
10. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-432-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (E.G., POWER POLES, TELEPHONE POSTS, WATER METERS, ETC.).
12. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (DPW) 906-2400, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
15. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND A TERMINATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVING), 2010 ADA STANDARDS FOR ACCESSIBLE AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
16. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL PROVIDE HOW A TYPICAL PAVEMENT SECTION SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A REPAIR SECTION IS REQUIRED.
17. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
18. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
20. ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 30'x20' (3000 PSI) CONCRETE PAD.

RETAINING WALL NOTES

1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR INSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BEDS, AND THEIR CONSTRUCTION DOES NOT ENCLOSED IN TO ANY ADJACENT PROPERTIES DUE TO ANY WATER INCORPORATED IN THE DESIGN OF THE WALLS.
2. RETAINING WALLS ARE TO BE DESIGN BUILT PROJECTS IN THE CONTRACTOR IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
3. RETAINING WALLS SHALL BE DESIGNED TO BE MOORED WITH OFF-SITE BURNING MATERIAL, OR PROCEEDS TO FALL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER THAT ROCKY AVAILABLE ON SITE SOILS CAN BE USED.
4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISH GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALLS WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP CURB COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE DESIGN BY OTHERS.
6. ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
7. ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
8. STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 2905 PART 1206, SUBPART "P" APPLIED TO ALL EXCAVATIONS EXCEEDING 5' (6 FEET) DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-432-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
6. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
7. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
8. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (6:1) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE UTILITY TO VERIFY TYPE OF WORKING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND DRAINING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-136 FOR TYPE B FLEXIBLE PLASTIC. GASKETS UNLESS OTHERWISE NOTED.
6. THE INLET/OUT SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MOTOR MOPS TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBSTRUCTABLE MATERIAL. SAND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DERIVED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPANIED IMMEDIATELY AFTER PIPE IS Laid, THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBRACED/TRENCHES AFTER PIPE HAS BEEN PLACED.
11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NC DOT STANDARDS BY MANUFACTURER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
13. "KNOCK-OUT" BOXES OR RIDE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY THE CITY OF RALEIGH STORMWATER DEPARTMENT.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONTROL THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICE STAFF. CONTRACT ENGINEERING INSPECTION AT 10:00 AM TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM THE RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SET "RIGHT-OF-WAY CLOSURES" ON WWW.RALEDIGVOC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RGHOF@WATERSERVICES@RALEDIGVOC.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY TO RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND A TERMINATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVING), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

1. ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONURD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 180" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE. ALSO AS AN RESPONDING SEWER LINED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERRUGINOUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERBORN SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED TO THE OUTSIDE MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DUCT/TOE TO OUTSIDE DUCT/TOE.
 - c) WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MAINS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERBORN SPECIFICATIONS.
 - d) 5.0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE CRAULING HAVING 9" MIN. CLEARANCE (PER CONURD DETAILS 14-4.8 & 4-9).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FOREMANS. 4.0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
7. IF THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TOP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONURD HANDBOOK PROCEDURE.
8. INSTALL 4" DP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 100'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT, NOTE: IF THE APPLICANT'S RESPONSIBILITY TO PROPERLY SEE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES OR 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOH, USACE &/OR FEMA FOR ANY RIPARIAN BARRIER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
12. NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE LAYS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CONURD HOF PROGRAM COORDINATOR PRIOR TO OBTAINANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERT AT (919) 296-3346 OR STEPHEN.CALVERT@RALEDIGVOC.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT DIANE HARTLEY AT (919) 996-5923 OR DIANE.HARTLEY@RALEDIGVOC.GOV FOR MORE INFORMATION.

ADDITIONAL UTILITY NOTES

1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE, 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
2. ALL SEWER MAINS SHALL BE EITHER PIPE OR DUCTILE IRON PIPE, AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS SET FORTH IN THE LATEST EDITION OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).
3. ALL FIRE HYDRANTS ALONG PUBLIC R/W/ N/W LINES SHALL HAVE A 30'x20' CITY OF RALEIGH WATERLINE EASEMENT ON/O ADJACENT PROPERTY.
4. ALL SANITARY SEWER INTERCEPTOR LINES (12" & LARGER) AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 403 OR APPROVED EQUAL TO PREVENT HORIZONTAL SOURCE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED CONTROL AND APPLICATION METHODS.
5. IN ACCORDANCE WITH GENERAL SPECURE 87-122(6), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
8. ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
9. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-432-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
10. ALL UTILITY LINES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH A MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.

REVIEWS

NO.	DATE	REVISION DESCRIPTION
1	01.23.2023	RESPONSE TO CITY COMMENTS
2	03.05.2023	RESPONSE TO CITY COMMENTS
3	04.10.2023	RESPONSE TO CITY COMMENTS

PLAN INFORMATION

PROJECT NO.	RDG-22001
FILENAME	EVC18000-N1
CHECKED BY	LIV
DRAWN BY	CJJ
SCALE	N/A
DATE	06.27.2022
SHEET	

PROJECT NOTES

C0.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc.
2305 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsmo.com

CLIENT

REDGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

CRAFTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA, 27716



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-432-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

**CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA, 27716

REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	01.23.2022	RESPONSE TO CITY COMMENTS
2	03.02.2022	RESPONSE TO CITY COMMENTS
3	04.10.2022	RESPONSE TO CITY COMMENTS

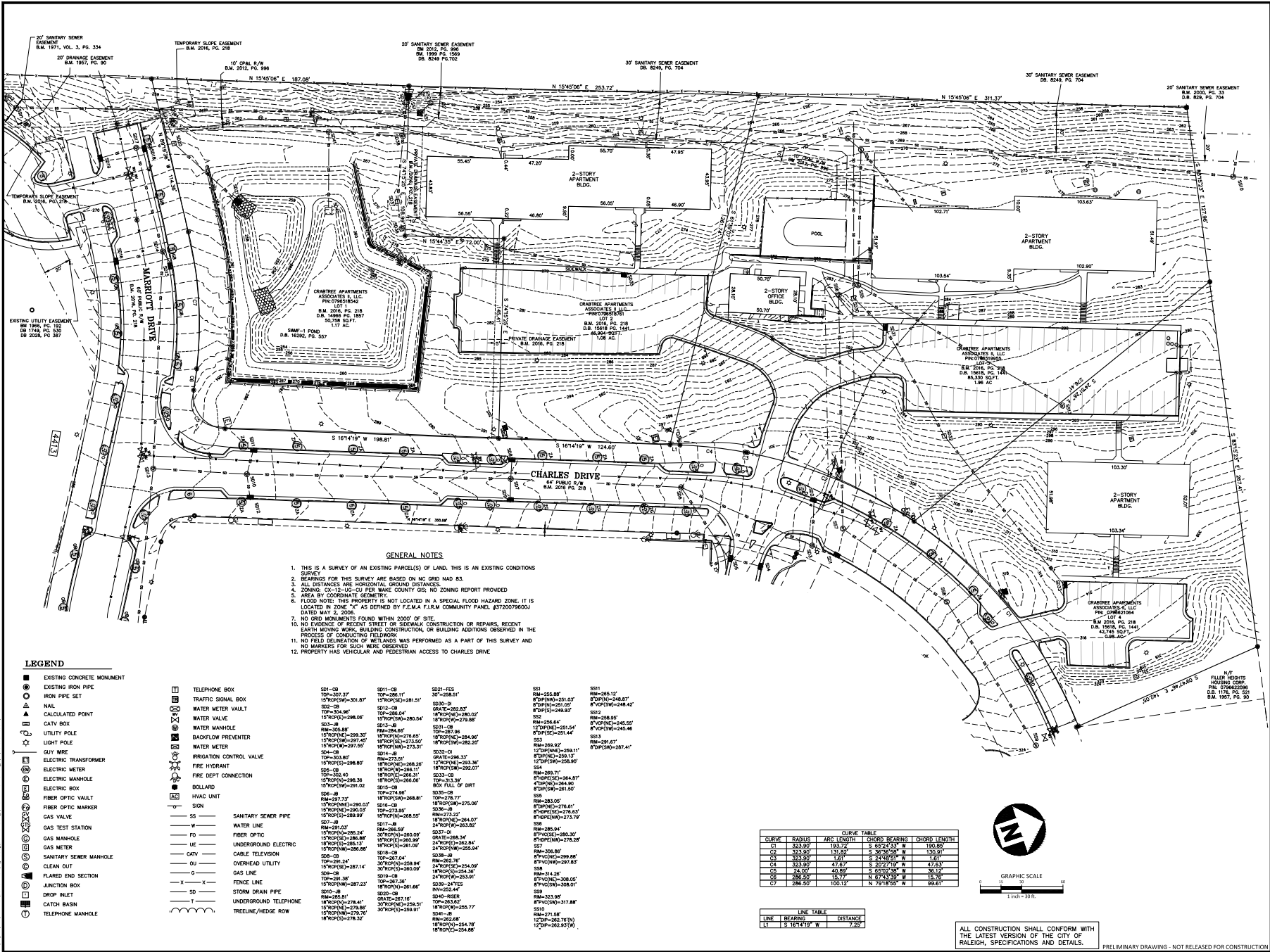
PLAN INFORMATION

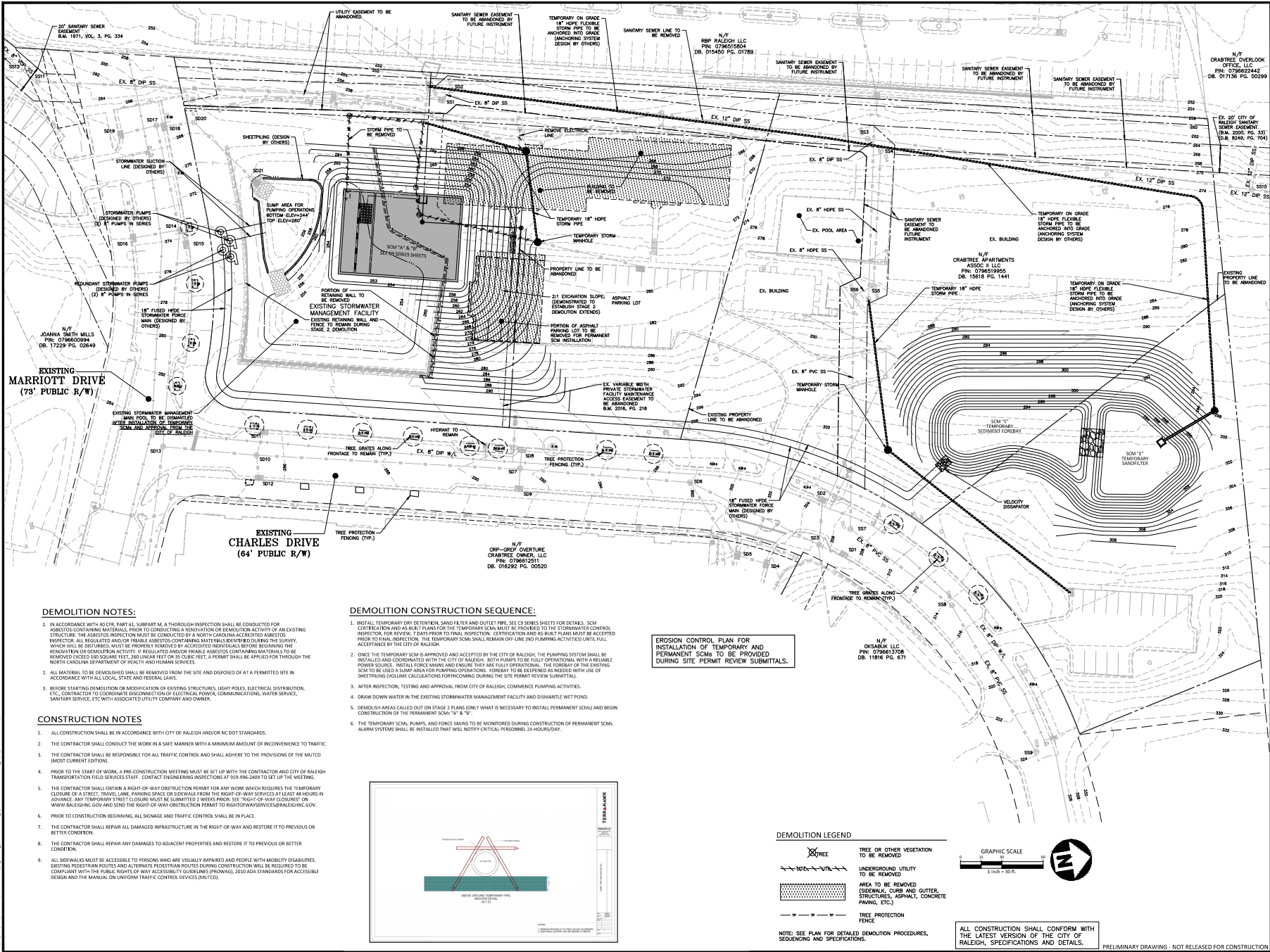
PROJECT NO.	RDG-22001
FILENAME	RDG-22001-XC1
CHECKED BY	LIV
DRAWN BY	CJH
SCALE	1"=30'
DATE	06.27.2022

SHEET

EXISTING CONDITIONS

C1.00





DEMOLITION NOTES:

1. IN ACCORDANCE WITH 40 CFR, PART 41, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA-REGISTERED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRAGILE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY A LICENSED INDIVIDUAL BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRAGILE ASBESTOS-CONTAINING MATERIALS TO BE REMOVED EXCEED 100 SQUARE FEET, 200 LINEAR FEET OR 15 CUBIC YARD, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
3. BEFORE STARTING DEMOLITION OR MODIFICATION OF EXISTING STRUCTURES, LIGHT POLES, ELECTRICAL DISTRIBUTION, ETC., THE CONTRACTOR TO COORDINATE DISCONNECTION OF ELECTRICAL, POWER, COMMUNICATIONS, WATER SERVICE, SANITARY SERVICE, ETC. WITH ASSOCIATED UTILITY COMPANY AND OWNER.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF CONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-3490 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET TRAVEL LANE. PARKING SPACE ON SIDEWALKS FROM THE RIGHT OF NEW SERVICES AT LEAST 60 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGH.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGH.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE CONFORMANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROXIMAL), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

DEMOLITION CONSTRUCTION SEQUENCE:

1. INSTALL TEMPORARY DRY DETENTION, SAND FILTER AND OUTLET PIPE. SEE C-2 SERIES SHEETS FOR DETAILS. SCM CERTIFICATION AND AS-BUILT PLANS FOR THE TEMPORARY SCM MUST BE PROVIDED TO THE STORMWATER CONTROL INSPECTOR FOR REVIEW, 7 DAYS PRIOR TO FINAL INSPECTION. CERTIFICATION AND AS-BUILT PLANS MUST BE ACCEPTED PRIOR TO FINAL INSPECTION. THE TEMPORARY SCM SHALL REMAIN OFF-LINE (NO PUMPING ACTIVITIES) UNTIL FULL ACCEPTANCE BY THE CITY OF RALEIGH.
2. ONCE THE TEMPORARY SCM IS APPROVED AND ACCEPTED BY THE CITY OF RALEIGH, THE PUMPING SYSTEM SHALL BE INSTALLED AND COORDINATED WITH THE CITY OF RALEIGH. BOTH PUMPS TO BE FULLY OPERATIONAL WITH A RELIABLE POWER SOURCE. INSTALL FORCE MAINS AND ENSURE THEY ARE FULLY OPERATIONAL. THE FOREBAY OF THE EXISTING SCUM TO BE USED AS PUMP AREA FOR PUMPING OPERATIONS. FOREBAY TO BE DEFINED AS NEEDED WITH USE OF SHEETPILES (VOLUME CALCULATIONS FORTHCOMING DURING THE SITE PERMIT REVIEW SUBMITTALS).
3. AFTER INSPECTION, TESTING AND APPROVAL FROM CITY OF RALEIGH, COMMENCE PUMPING ACTIVITIES.
4. DRAW DOWN WATER IN THE EXISTING STORMWATER MANAGEMENT FACILITY AND DISMANTLE WET POND.
5. DEMOLISH AREAS CALLED OUT ON STAGE 2 PLANS (ONLY WHAT IS NECESSARY TO INSTALL PERMANENT SCM) AND BEGIN CONSTRUCTION OF THE PERMANENT SCM "A" & "B".
6. THE TEMPORARY SCM, PUMPS, AND FORCE MAINS TO BE MONITORED DURING CONSTRUCTION OF PERMANENT SCM. ALARM SYSTEMS SHALL BE INSTALLED THAT WILL NOTIFY CRITICAL PERSONNEL 24 HOURS/DAY.

EROSION CONTROL PLAN FOR
INSTALLATION OF TEMPORARY AND
PERMANENT SCMs TO BE PROVIDED
DURING SITE PERMIT REVIEW SUBMITTALS.

DEMOLITION LEGEND

- ✂ TREE
TREE OR OTHER VEGETATION
TO BE REMOVED
- UNDERGROUND UTILITY
TO BE REMOVED
- AREA TO BE REMOVED
(SIDEWALK, CURB AND GUTTER,
STRUCTURES, ASPHALT, CONCRETE
PAVING, ETC.)
- TREE PROTECTION
FENCE

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES,
SEQUENCING AND SPECIFICATIONS.

ALL CONSTRUCTION SHALL CONFORM WITH
THE LATEST VERSION OF THE CITY OF
RALEIGH, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CLIENT
REDGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

**CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA, 27716

REVISIONS

NO. DATE REVISION DESCRIPTION
1 09.23.2022 RESPONSE TO CITY COMMENTS
2 11.01.2022 RESPONSE TO CITY COMMENTS

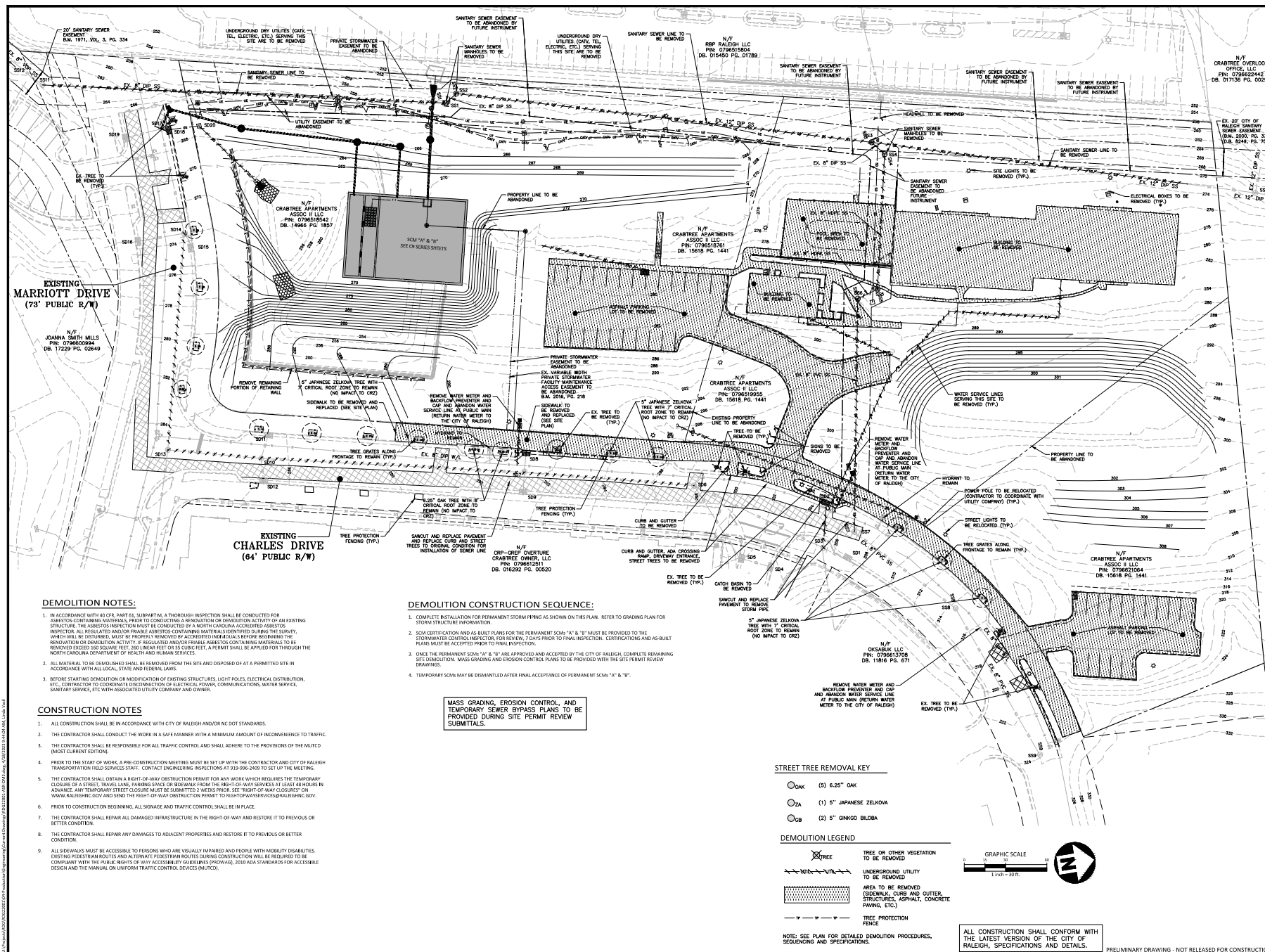
PLAN INFORMATION

PROJECT NO. RDG-22001
FILENAME: EVC18000-DM1
CHECKED BY: LJV
DRAWN BY: CJJ
SCALE: 1"=30'
DATE: 06.27.2022

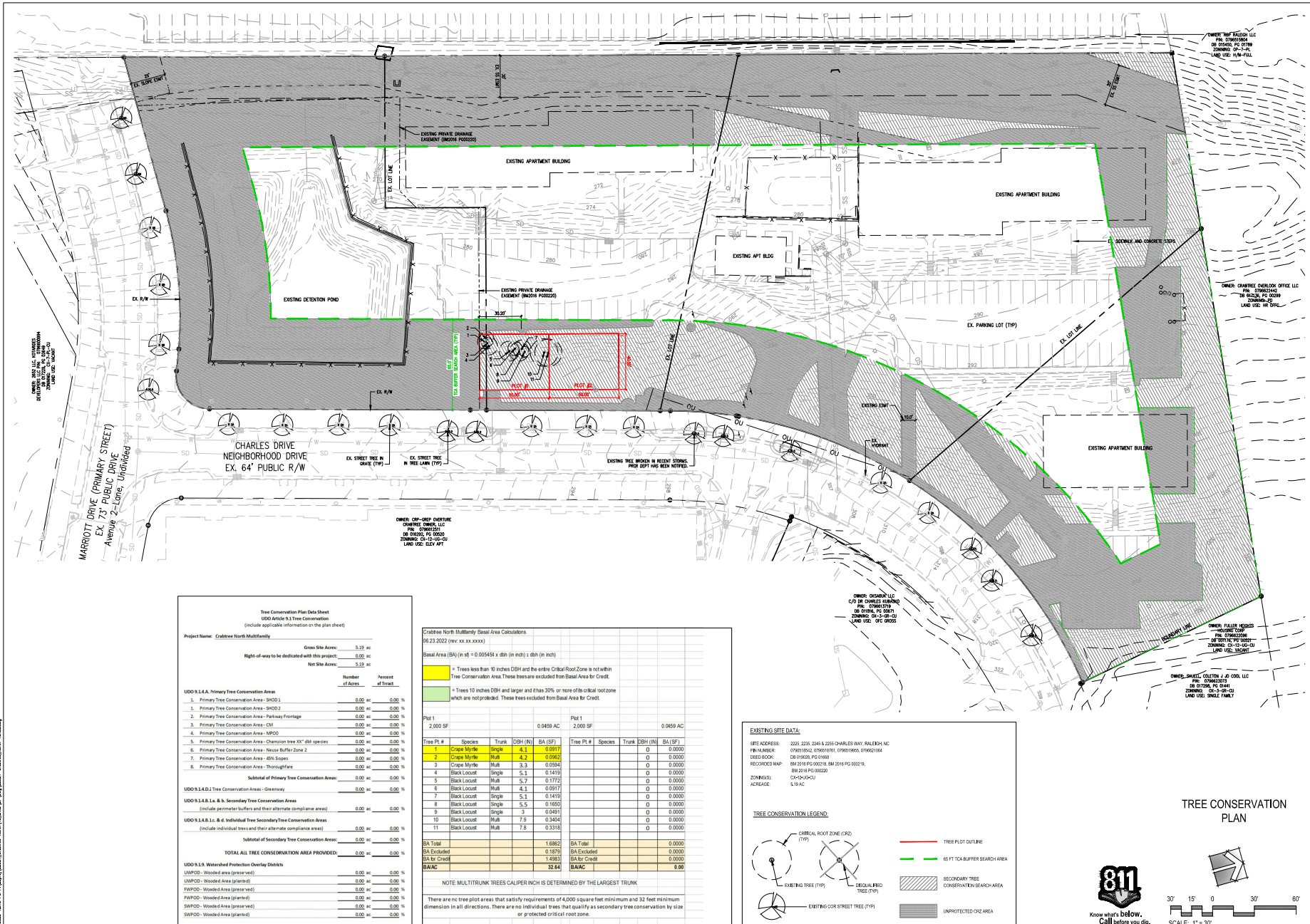
SHEET

**DEMOLITION PLAN -
STAGE 3**

C1.03



4/14/2023 12:43 PM P:\22005\2022_Crabtree North_Multi\CDP\Map\2022_Crabtree North-2002.dwg



ADMINISTRATIVE SITE REVIEW

PROJECT:	210-2022-140	DATE:	06/23/2022
ISSUE:	Administrative Site Review		
REVISIONS:			
1st Review Comments:	08/23/2022		
2nd Review Comments:	03/06/2023		
3rd Review Comments:	04/14/2023		
4th Review Comments:			
5th Review Comments:			
6th Review Comments:			
7th Review Comments:			
8th Review Comments:			
9th Review Comments:			
10th Review Comments:			
11th Review Comments:			
12th Review Comments:			
13th Review Comments:			
14th Review Comments:			
15th Review Comments:			
16th Review Comments:			
17th Review Comments:			
18th Review Comments:			
19th Review Comments:			
20th Review Comments:			

DRAWN BY: CHK
CHECKED BY: KT
CONTENT: TREE CONSERVATION PLAN

LT1.1

RedGate
Crabtree North
2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716



Site data table Project: Crabtree North Date: 06/27/2022 (updated 03/06/2023)			
5	Zoning	CX-12-45-GU	
6	Tract area		
	0796518542 (2225 Charles Dr.)	50,965 SF	1,170 AC
	0796512235 (Charles Dr.)	17,845 SF	1,060 AC
	0796519555 (2245 Charles Dr.)	85,378 SF	1,980 AC
	0796521094 (2255 Charles Dr.)	42,889 SF	0,980 AC
	Grass coverage	228,878 SF	5,190 AC
7	Proposed use		
	Building type	Art bldg type	MU bldg type
	Multi-unit living		Total
	1 BR	87 DU	122 DU
	2 BR	49 DU	66 DU
	3 BR	21 DU	9 DU
	Total DU	136 DU	194 DU
	Multi-unit SF	110,451 SF	170,631 SF
	Nonresidential		
	Retail sales SF		2,500 SF
	Total SF	110,451	173,131
	Zoning condition #3 limits density to 533 units. Overtune has 263 units, allowing 300 DU on this site and requires each site a minimum of 2,500 SF of retail.		
8	Gross square footage (excluding garage parking)		
	Proposed FAR (Net AC)	283,582	5.19 = 125.4%
	Building floor coverage (includes garage)	96,438	5.19 = 42.1%
	Proposed density (gross AC)	330	5.19 = 636.6 DU/AC
	Parking deck: GSIF (7 times total)		186,659 SF
9	Building height		
	Allowed height		12 Story
	Proposed height: See elevations for building heights		8 Story
	7 Neighborhood transition (UDO section 3.6)		n/a
	Build-up (dimensions shown in red or LS.1 Site Plan)		
	C1 Primary street build-to (min/max)		Marriott Dr.
	75%	±	217.1' = 151.9 LF
	73%	±	159.0 LF
	C4 Street street build-to (min/max)		Chares Dr.
	38%	±	725.9' = 518.1 LF
	35.3%	±	256.4 LF
	Primary street facing entrance required provided on Marriott Dr.		
10	Outdoor amenity area (UDO section 3.2.6.4)		
	Area required - 10% of net area		5.19 AC
	Parcel net area		10%
	10% required		0.52 AC
	Total required - 12% max	22,608 SF	10.2%
	Provide: OOA #1 (bench)		296 LF
	Provide: OOA #1 (seawalls)		439 LF
	Total provided		735 LF
	Required seating for OOA		
	Required 1/2" of seating	22,608	10 SF
	Provide: OOA #1 (seawalls)		452 LF
	Provide: OOA #1 (benches)		296 LF
	Provide: OOA #2 (seawalls)		439 LF
	Total provided		735 LF
	Required trees for OOA		
	Required trees (2" caliper min)	22,608	1000 SF
	Provide: OOA #1		23 EA
	Provide: OOA #2		12 EA
	Total provided		35 EA
11	Required parking (UDO section 7.1.3.4)		
	Multi-unit living		
	1 BR maximum allowed	209 ±	1.50 = 314 SP max
	2 BR maximum allowed	115 ±	2.25 = 269 SP max
	3 BR maximum allowed	6 ±	3.00 = 18 SP max
	Retail maximum allowed 1/200	2,500 ±	200 = 13 SP max
	Total MAXIMUM allowed		603 SP max
	Parking provided		
	Surface parking		
	Standard space		5 SP
	HC space		2 SP
	Total surface space		7 SP
	Structured parking		
	Standard space		425 SP
	HC space - standard space	17 SP	
	- ten space	3 SP	
	Total HC space		20 SP
	Total structured space		445 SP
	Total parking spaces provided (EV spaces are not included)		
			452 SP
	EV space (includes (5) ADA Van space)		23 SP
	Zoning condition #12 requires 36 EV spaces minimum Overtune has 6 EV spaces and this AS3 provides 23 EV spaces for 31 total.		
12	Required bicycle parking (UDO section 7.1.2)		
	Short term		
	Multi-unit living (1 space per 20 units, min. 5)	230 ±	20 = 17 SP
	Retail (1 per 30,000 SF - 4 min)	5,800 ±	50,000 = 21 SP
	Total short-term bicycle parking required		37 SP
	Long term		
	Zoning condition #13 requires 100 covered bike parking spaces		100 SP
	Total bicycle parking required		121 SP
	Total bicycle parking provided		
	Total short term (on street)		22 SP
	Total long term (parking deck & bldg)		99 SP
	Total provided		122 SP
	Zoning condition #13 requires 100 covered bike parking spaces.		
	This project provides 100 covered bike parking spaces.		
13	Notes		
	None		

Site data table Project: Crabtree North Date: 06/27/2022 (updated 03/06/2023)			
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	Proposed density (gross AC)	330	5.19 = 636.6 DU/AC
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9	Building height		
	Allowed height		12 Story
	Proposed height: See elevations for building heights		8 Story
	7 Neighborhood transition (UDO section 3.6)		n/a
	Build-up (dimensions shown in red or LS.1 Site Plan)		
	C1 Primary street build-to (min/max)		Marriott Dr.
	75%	±	217.1' = 151.9 LF
	73%	±	159.0 LF
	C4 Street street build-to (min/max)		Chares Dr.
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	Provide: OOA #2 (seawalls)		439 LF
	Total provided		735 LF
	Required trees for OOA		
	Required trees (2" caliper min)	22,608	1000 SF
	Provide: OOA #1		23 EA
	Provide: OOA #2		12 EA
	Total provided		35 EA
11	Required parking (UDO section 7.1.3.4)		
	Multi-unit living		
	1 BR maximum allowed	209 ±	1.50 = 314 SP max
	2 BR maximum allowed	115 ±	2.25 = 269 SP max
	3 BR maximum allowed	6 ±	3.00 = 18 SP max
	Retail maximum allowed/1,000	2,500 / 1	200 = 13 SP max
	Total MAXIMUM allowed		603 SP max
	Parking provided		
	Surface parking		
	Standard space		5 SP
	HC space		2 SP
	Total surface space		7 SP
	Structured parking		
	Standard space		425 SP
	HC space - standard space	17 SP	
	- ten space	3 SP	
	Total HC space		20 SP
	Total structured space		445 SP
	Total parking spaces provided (EV spaces are not included)		
			452 SP
	EV space (includes (5) ADA Van space)		23 SP
	Zoning condition #12 requires 36 EV spaces minimum Overtune has 6 EV spaces and this AS3 provides 23 EV spaces for 31 total.		
12	Required bicycle parking (UDO section 7.1.2)		
	Short term		
	Multi-unit living (1 space per 20 units, min. 5)	230	20 = 17 SP
	Retail (1 per 30,000 SF - 4 min)	5,800	50,000 = 21 SP
	Total short-term bicycle parking required		37 SP
	Long term		
	Zoning condition #13 requires 100 covered bike parking spaces		100 SP
	Total bicycle parking required		121 SP
	Total bicycle parking provided		
	Total short term (on street)		22 SP
	Total long term (parking deck & bldg)		99 SP
	Total provided		122 SP
	Zoning condition #13 requires 100 covered bike parking spaces. This project provides 100 covered bike parking spaces.		
13	Notes		
	None		

SITE DATA

ADMINISTRATIVE SITE REVIEW

PROJECT:	PROJ NUMBER	DATE
ISSUE:	Administrative Site Review	06-27-2022
REVISIONS:	1st Review Comments	09-23-2022
	2nd Review Comments	03-06-2023
	3rd Review Comments	04-14-2023
DRAWN BY:	CHK	
CHECKED BY:	KT	
CONTENT:	SITE DATA	

LS1.2

RedGate
2251 Charles Drive
2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716



510 South Wilmington Street | Raleigh, NC 27601 | Tel 919.335.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel 215.545.0121

ASR-0052-2022

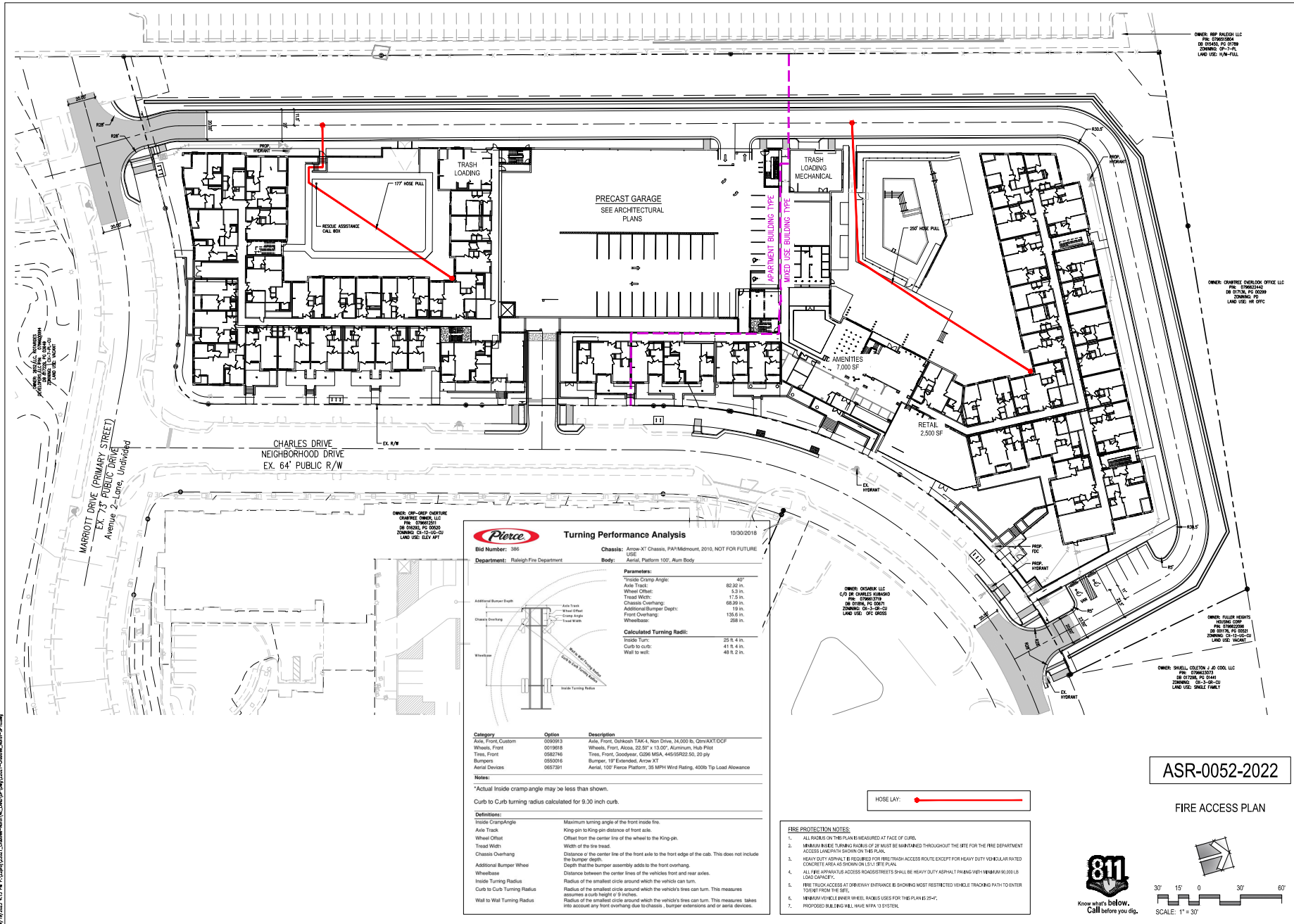
REFERENCE: XXXXXXX

3. Main Street, Parallel Parking

General	
Walkway type	Sidewalk
Planting type	Tree grade
Tree spacing	40' o.c. neg.
Minimum area	Parallel

BLOCK PERIMETER AND CROSS ACCESS:
THE EXISTING BLOCK PERIMETER IS 4,550 LF, THE SITE IS ZONED CX WHICH HAS A MINIMUM BLOCK PERIMETER OF 2,500 LF AND THE SITE EXCEEDS THE MINIMUM SITE AREA OF 3 AC.
PER 83.2.2.4, THE SITE IS EXEMPT FROM BLOCK PERIMETER BECAUSE THE EXISTING IMPROVEMENTS ON PARCELS 079052242 (NORTH) AND 079515854 (WEST) EXCEED THE VALUE OF THE LAND.
PER 83.2.4.2, CROSS ACCESS TO PARCELS 079052242 (NORTH) AND 079515854 (WEST) IS NOT REQUIRED BECAUSE THE EXISTING IMPROVEMENTS EXCEED THE VALUE OF THE LAND
PER 83.2.4.2, CROSS ACCESS TO PARCELS 079052242 (NORTH) AND 079515854 (WEST) IS NOT REQUIRED BECAUSE THE EXISTING IMPROVEMENTS EXCEED THE VALUE OF THE LAND
079051584 (WEST) LAND VALUE IS \$6,390,512 AND THE BUILDING VALUE IS \$51,299,355

4/19/2022 4:15 PM P:\2021\2022_Corbin\North\LS2.2.dwg (P:\2021\2022_Corbin\North\LS2.2.dwg)



ADMINISTRATIVE SITE REVIEW	
PROJECT:	RIS-2021-140
ISSUE:	Administrative Site Review
DATE:	06-27-2022
REVISIONS:	
1st Review Comments:	08-23-2022
2nd Review Comments:	03-06-2023
3rd Review Comments:	04-14-2023
DRAWN BY: CHK	
CHECKED BY: KT	
CONTENT: FIRE ACCESS PLAN	
LS2.2	

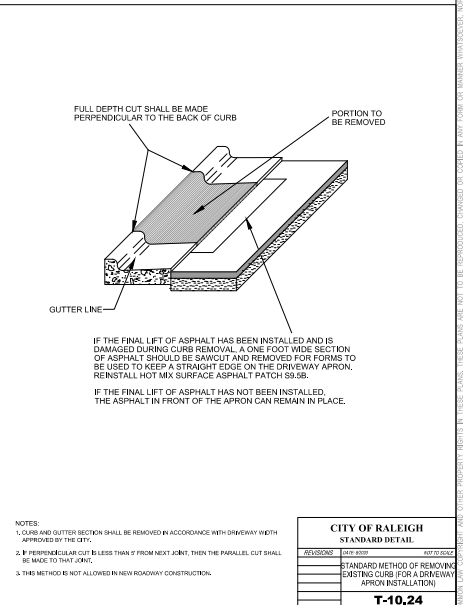


RedGate
2251 Charles Drive
2225, 2235, 2245 & 2255 Charles Drive
Raleigh, North Carolina 27716

ADMINISTRATIVE SITE REVIEW

PROJECT:	RG-2021-140	DATE:
ISSUE:	Administrative Site Review	06-27-2022
	-	-
	-	-
	-	-
	-	-
REVISIONS:	1st Review Comments	06-23-2022
	2nd Review Comments	03-06-2023
	3rd Review Comments	04-14-2023
	-	-
	-	-
	-	-
DRAWN BY:	KT, CHK	
CHECKED BY:	KT	
CONTENT:	LOTS AND EASEMENTS PLAN	

LS2.3



CLIENT

REDGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

CRABTREE NORTH APARTMENTS ADMINISTRATIVE SITE REVIEW RALEIGH, NORTH CAROLINA, 27716

NO.	DATE	REVISION DESCRIPTION
1	06.23.2022	RESPONSE TO CITY COMMENTS
2	08.05.2022	RESPONSE TO CITY COMMENTS
3	04.19.2023	RESPONSE TO CITY COMMENTS

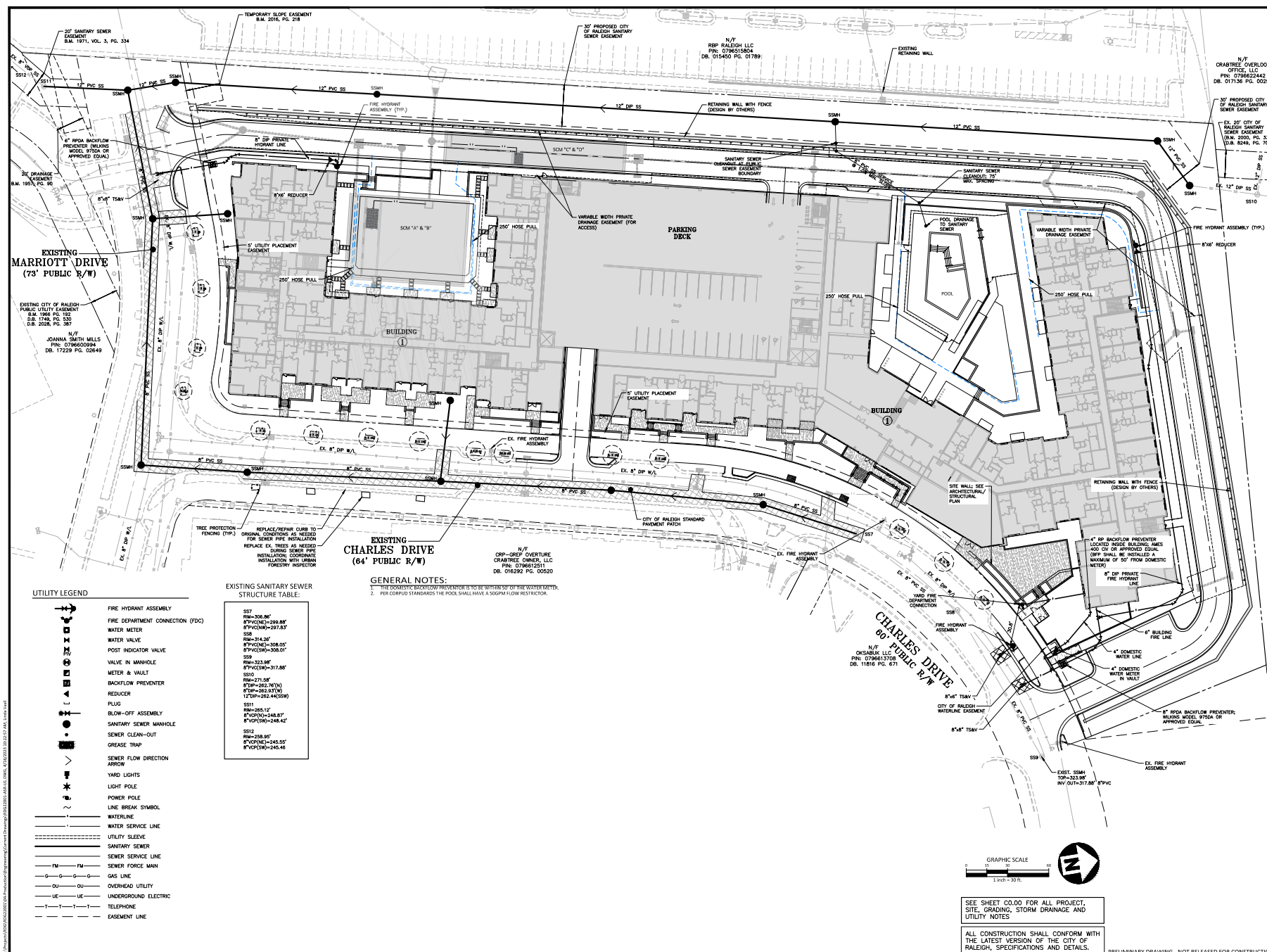
PLAN INFORMATION

PROJECT NO. RDG-22001
FILENAME: RDG22001-01
CHECKED BY: LJV
DRAWN BY: CJJ
SCALE: 1"=30'
DATE: 06.27.2022

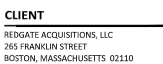
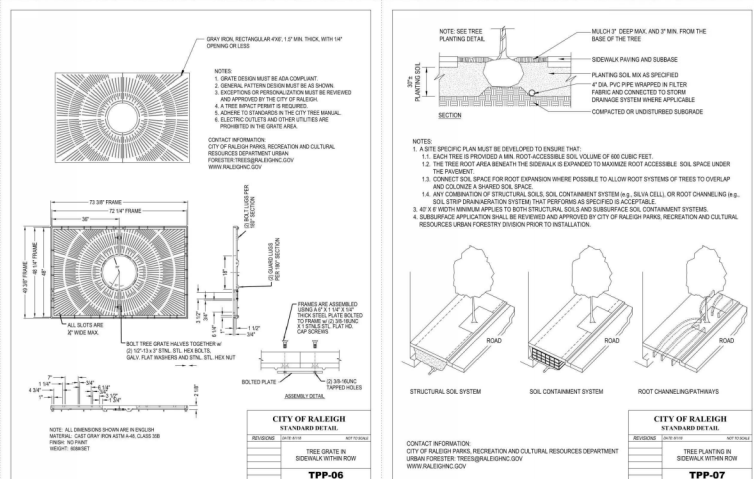
SHEET

UTILITY PLAN

C4.00



C:\Users\jmcadams\OneDrive\Documents\Crabtree North Apartments\RDG22001-01\Utility Plan\Utility Plan.dwg (J. McAdams) 06/27/2022 10:27:27 AM



NO.	DATE	REVISION DESCRIPTION
1	09.23.2022	RESPONSE TO CITY COMMENTS
2	03.06.2023	RESPONSE TO CITY COMMENTS
3	04.19.2023	RESPONSE TO CITY COMMENTS

PLAN INFORMATION

PROJECT NO.	RDG-22001
FILENAME	EYC18000-D1
CHECKED BY	LJV
DRAWN BY	CJJ
SCALE	N/A
DATE	06. 27. 2022
SHEET	

SITE DETAILS

C8.0

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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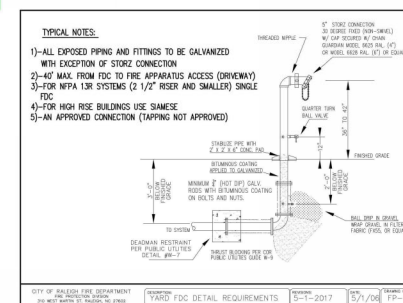
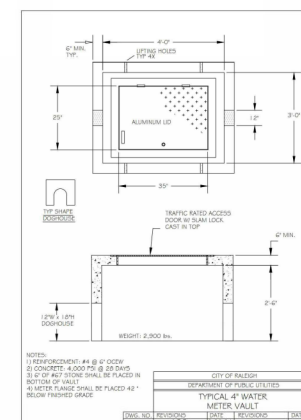
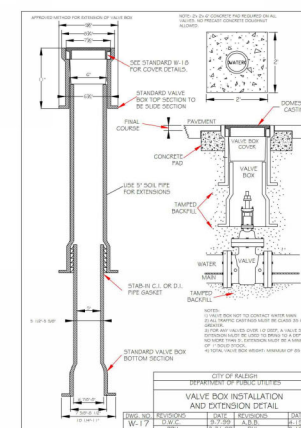
REDGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA 27716

NO.	DATE	REVISION DESCRIPTION
1	09.23.2022	RESPONSE TO CITY COMMENTS
2	03.06.2023	RESPONSE TO CITY COMMENTS
3	04.19.2023	RESPONSE TO CITY COMMENTS

PROJECT NO.	RDG-22001
FILENAME	EYC18000-D1
CHECKED BY	LJV
DRAWN BY	CJJ
SCALE	N/A
DATE	06. 27. 2022
SHEET	

C8.02



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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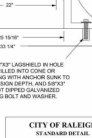
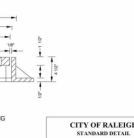
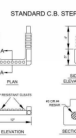
CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA 27716

SHEET

DETAILS

C8.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



1. Projects (R02) (R02:2501\04\Production\Engineering\Current Drawings\R0220051-ASB-01.dwg, 4/18/2003 10:12:44 AM, Linda Vuill



phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

REDGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA, 27716

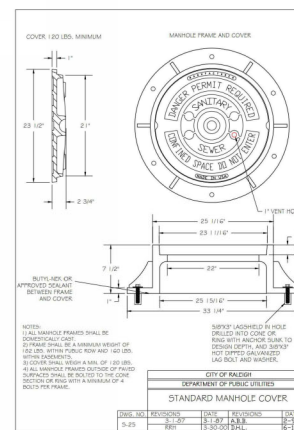
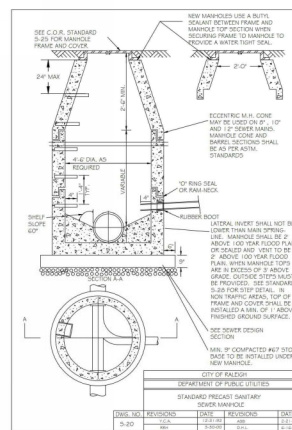
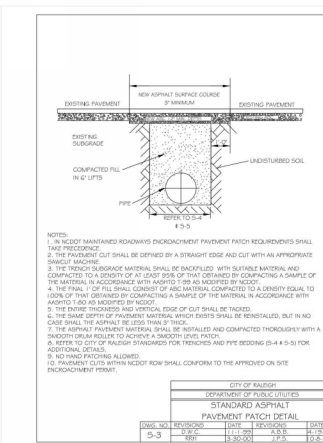


NO.	DATE	REVISION DESCRIPTION
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2	03.06.2023	RESPONSE TO CITY COMMENTS
3	04.19.2023	RESPONSE TO CITY COMMENTS

PROJECT NO.	RDG-22001
FILENAME	EYC18000-D1
CHECKED BY	LJV
DRAWN BY	CJJ
SCALE	N/A
DATE	06.27.2022

SANITARY SEWER DETAILS

C8.04



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

STORMWATER CONTROL MEASURE CONSTRUCTION SPECIFICATIONS

GENERAL NOTES

- PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
- PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THE AREA SHALL BE UNCOVERED AND TESTED TO THE ENGINEER AND OWNER'S APPROVAL AT THE CONTRACTOR'S EXPENSE.
- THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
- PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO INSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL DEGRADE/REPLACE, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DEPOSITION) DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA.
- ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
- ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (STORMFILTER VAULT, CMP SECTIONS, CONCRETE VAULT, JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES MADE FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE ORDERING AND/ OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. McADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
- ALL PIPE / RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE UNDERGROUND SCM SYSTEM SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE UNDERGROUND SCM SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA OR OTHER AREAS AS NECESSARY, THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SUCH DURING ENGINEER WALK-THROUGH INSPECTION.
- ALL PIPE REINFORCEMENTS THROUGH A CONCRETE STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATER TIGHT USING NON-SHRINK CEMENTITIOUS GROUT.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

STORMWATER MANAGEMENT SYSTEM MATERIAL SPECIFICATIONS

- THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS TO BE DESIGNED BY OTHERS, ANY CHANGES TO THE PLANS SHALL BE PROVIDED TO THE DESIGN ENGINEER FOR REVIEW. PRIOR TO INSTALLATION, SHOP DRAWINGS OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROVIDED TO THE DESIGN ENGINEER AND TO THE CITY OF RALEIGH FOR REVIEW.
- FILTER CARTRIDGES SHALL BE CONTEXT STORMFILTERS WITH PHOSPHORUS MEDIA. INSTALLATION OF THE STORMWATER DEVICE SHALL BE PER THE MANUFACTURER'S INSTALLATION GUIDELINES AND SPECIFICATIONS.
- ACCESS RISERS SHALL BE INSTALLED PER STRUCTURAL SPECIFICATIONS. ACCESS STEPS / LADDERS SHALL BE ATTACHED TO THE RISERS TO ALLOW FOR ACCESS INTO THE STORMWATER MANAGEMENT SYSTEM.
- THE 24" RCP OUTLET BARREL OF THE DETENTION SYSTEM SHALL BE CLASS II RCP, MODIFIED BELL AND SPIGOT, MEETING THE REQUIREMENTS OF ASTM C1363. THE RCP JOINTS SHALL BE TYPE-A.
- GEOTEXTILE FABRIC FOR THE 24" RCP OUTLET BARREL JOINTS SHALL BE MBR1818R OR ENGINEER APPROVED EQUIV. (NON-WOVEN FABRIC). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
- THE CONTRACTOR SHALL INSTALL THE STORMFILTER SYSTEM PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO PROVIDE A LETTER FROM MATERIAL SUPPLIER'S STORING MATERIALS MEET THE SPECIFIED STANDARDS PRIOR TO INSTALLATION.
- COVER AND REVIEW OF SITE CONDITIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE SYSTEM TO BE THE RESPONSIBILITY OF THE MANUFACTURER.

STATEMENT OF RESPONSIBILITY

- ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.

SYSTEM TESTING NOTES

- PRIOR TO PLACEMENT OF THE BACKFILL MATERIAL AND STORM FILTER CARTRIDGES, CONTRACTOR SHALL TEST FOR WATER TIGHTNESS. ENTRANCES AND EXITS SHALL BE PLUGGED AND THE SYSTEM COMPLETELY FILLED WITH WATER TO DEMONSTRATE WATER TIGHTNESS. WATER TIGHTNESS MEANS NO SIGNIFICANT FOR A PERIOD OF 24 HOURS. SIGNIFICANT LEAKAGE TO BE DETERMINED BY THE CERTIFYING ENGINEER. CONTRACTOR SHALL CALL AND SCHEDULE THE FIELD TESTING OF THE SYSTEM (WATER TIGHTNESS) WITH THE ENGINEER AT LEAST 7 WORKING DAYS PRIOR TO THE TEST. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE ENGINEER VERIFYING THE WATER TIGHTNESS OF THE STORMWATER VAULT.

FOUNDATION NOTES

- ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM, THE ONSITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DEEMS THE FOUNDATION SOILS AS UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIAL SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE IMBIBITION OF FINE, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THE GEOTEXTILE FABRIC IF USED IS TO BE SPECIFIED BY THE ON SITE GEOTECHNICAL ENGINEER.
- PLEASE NOTE THAT IF THE CONTRACTOR CONTRACTS AND COVERS UP THE EXCAVATION FOR THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
- THE FOUNDATION SUBGRADE SHALL BE GRADDED TO A UNIFORM OR SLIGHTLY SLOPING GRADE PRIOR TO PLACEMENT OF THE BEDDING MATERIAL. IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD OF TIME DURING CONSTRUCTION, THEN IT SHOULD BE GRADDED TO A SLOPE SUCH THAT SATURATION OF THE SUBGRADE DOES NOT OCCUR.
- THE BEDDING MATERIAL FOR THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM SHALL BE SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. TYPICALLY, A WELL-SORTED GRANULAR MATERIAL WILL BE USED FOR THE BEDDING. PLEASE NOTE THAT IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. ENGINEERED FABRIC, STIFF GEOTEXTILE, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION. IT IS BEST TO BEGIN THE CONSTRUCTION OF THE DETENTION SYSTEM AT THE DOWNSIDE END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR WATER TO ESCAPE.
- THE ONSITE GEOTECHNICAL ENGINEER SHALL DETERMINE IF FOUNDATION DRAINS ARE REQUIRED FOR THE UNDERGROUND SCM SYSTEM. THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO THIS DETERMINATION. IF REQUIRED, THE FOUNDATION DRAINS ARE TO BE DESIGNED ENTIRELY BY THE ONSITE GEOTECHNICAL ENGINEER. THE FOUNDATION DRAIN SYSTEMS SHALL TIE TO THE NEAREST STORM SEWER INLET / JUNCTION BOX WITH INLET LOWER THAN THE INVERT OF THE FOUNDATION DRAIN. FOUNDATION DRAIN SYSTEM SHALL NOT TIE INTO THE UNDERGROUND SCM AT ANY POINT.

BEDDING NOTES

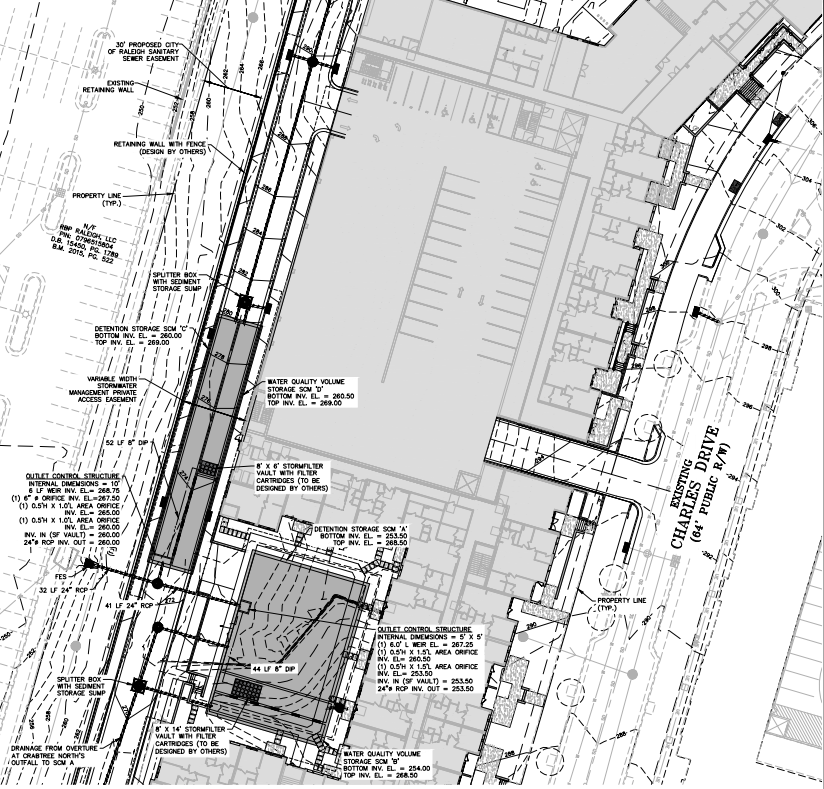
- THE EXCAVATION SUB GRADE MUST BE TRANSIT LEVEL.
- THE EXCAVATION SHALL BE LINED ON THE BOTTOM AND ALL FOUR SIDES WITH A NON-WOVEN GEO-TEXTILE (GEOTEXTILE OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
- THE SUBGRADE FOR THE DETENTION SYSTEM CAN BE A CONCRETE SLAB, OR CLEAN GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 3/4". THE BEDDING SHALL BE FREE FROM ROCK FORBIDDINGS, PROTRUDING STONES, FROZEN LUMPS, ROOTS, AND OTHER FOREIGN MATERIAL.
- PREPARE THE SUBGRADE PER THE ONSITE GEOTECHNICAL ENGINEER'S DIRECTION (APPROXIMATELY 5" BELOW GRADE ON WHICH SLAB WILL SET). THE BEDDING MATERIAL SHOULD BE DETENTION SYSTEM WITHOUT DIFFERENTIAL SETTLEMENT BETWEEN PIECES.
- IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. STIFF GEOTEXTILE, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.

BACKFILL MATERIAL NOTES

- THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE STORMWATER MANAGEMENT SYSTEM.
- THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE Voids.
- HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
- THE BACKFILL MATERIAL SHOULD BE PLACED IN 6" LAYER LIFTS AND COMPACTED TO 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). THE FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN +/- TWO PERCENT OF ITS OPTIMUM MOISTURE CONTENT.
- ANY MATERIAL STOCKPILING ON TOP OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER OR DETENTION SYSTEM MANUFACTURER.

STORMFILTER VAULT CONSTRUCTION NOTES

- STORMFILTER VAULT CONFIGURATION IS TO BE DESIGNED AND PROVIDED BY OTHERS.
- ABSOLUTELY NO RUNOFF SHALL ENTER THE STORMFILTER VAULT UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- MANHOLE ACCESS SHALL BE PROVIDED FOR THE STORMFILTER VAULTS. MANHOLES WITH CITY OF RALEIGH STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS (OR MINIMUM OSHA REQUIREMENTS APPLICABLE AT TIME OF CONSTRUCTION). CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.



STORMWATER CONTROL MEASURE PLAN VIEW

1" = 30'



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS
The John R. McAdams Company, Inc.
2305 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
REDGATE ACQUISITIONS, LLC
265 FRANKLIN STREET
BOSTON, MASSACHUSETTS 02110

CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA, 27716

REVISIONS	
NO. DATE	REVISION DESCRIPTION
1 08.23.2022	RESPONSE TO CITY COMMENTS
2 08.23.2022	RESPONSE TO CITY COMMENTS
3 04.10.2023	RESPONSE TO CITY COMMENTS

PLAN INFORMATION
PROJECT NO. RDG-22001
FILENAME RDG22001-SW
CHECKED BY JES
DRAWN BY MCT
SCALE 1"=30'
DATE 06.27.2022

SHEET
STORMWATER CONTROL
MEASURE PLAN VIEW

C9.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



CRABTREE NORTH APARTMENTS
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA, 27716

NO.	DATE	REVISION DESCRIPTION
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3	04.19.2023	RESPONSE TO CITY COMMENTS

PROJECT NO.	RDG-22001
FILENAME	RDG22001-SW
CHECKED BY	JES
DRAWN BY	MCT
SCALE	N.T.S.
DATE	06. 27. 2022

SHEET
STORMFILTER VAULT
DETAILS

C9.01

6" PLUG VALVE. THE
ECCENTRIC VALVE OR
VALVE SHALL BE IN
SHALL BE OPERABLE
VIA A HANDWHEEL.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

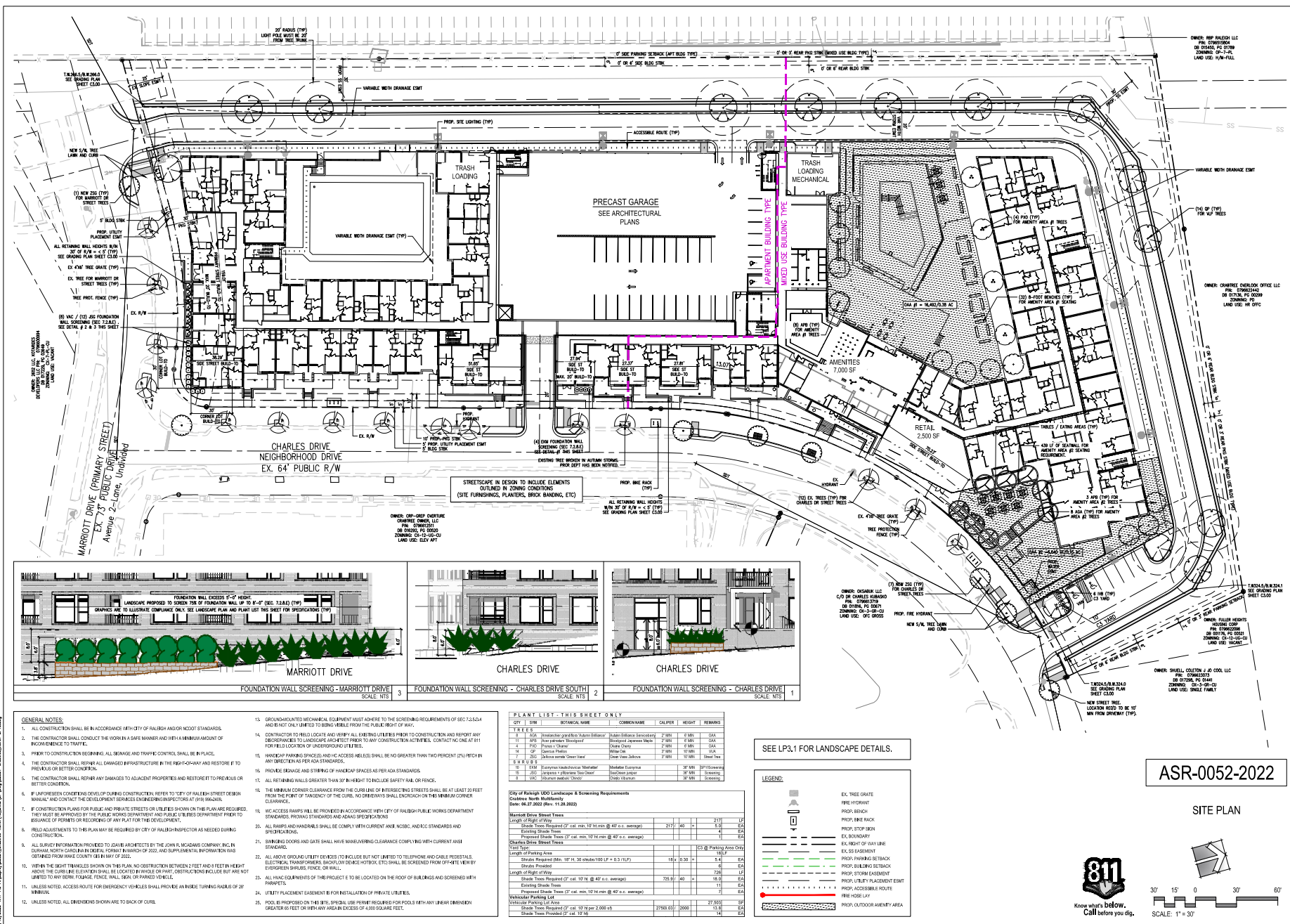


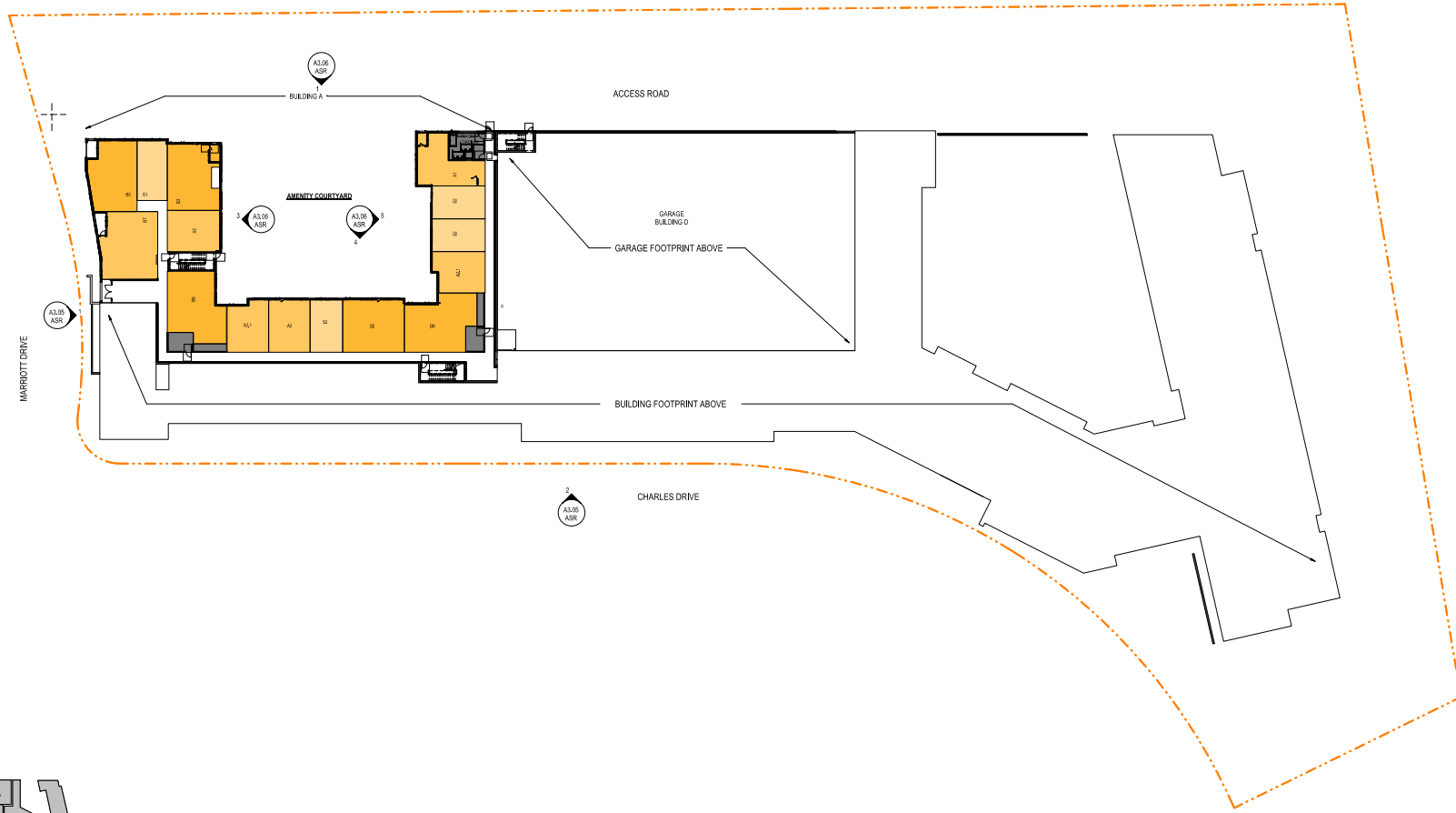
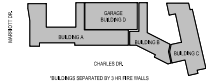
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2	03.05.2023	RESPONSE TO CITY COMMENTS
3	04.19.2023	RESPONSE TO CITY COMMENTS

PROJECT NO.	RDG-22001
FILENAME	RDG22001-SWE
CHECKED BY	JES
DRAWN BY	MCT
SCALE	AS NOTED
DATE	06.27.2022

**SAND FILTER
PLAN & DETAILS**
C9.03





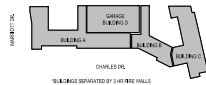
01_LEVEL_01 - ASR 1
1" = 30'-0"

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PROJECT		2021	DATE
ISSUE			10-17-2022
REVISIONS			
DRAWN BY		Author	
CHECKED BY		Checker	
CONTENT			
		FIRST FLOOR PLAN	

REDGATE
CRABTREE NORTH
2251 CHARLES DRIVE RALEIGH, NC 27612

A1.01
ASR



02_LEVEL_02 - ASR 1
1" = 30'-0"

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PROJECT		2021	15-11-2022
ISSUE			
REVISIONS			
DRAWN BY		Author	
CHECKED BY		Checker	
CONTENT		SECOND FLOOR PLAN	

REDGATE
CRABTREE NORTH
251 CHARLES DRIVE RALEIGH, NC 27612

A1.02
ASR

REDGATE
CRABTREE NORTH
2251 CHARLES DRIVE RALEIGH, NC 27612

		DATE
PROJECT	22021	10-17-21
ISSUE		
REVISIONS		
DRAWN BY:	Author	
CHECKED BY:	Checker	
CONTENT:	THIRD FLOOR PLAN	

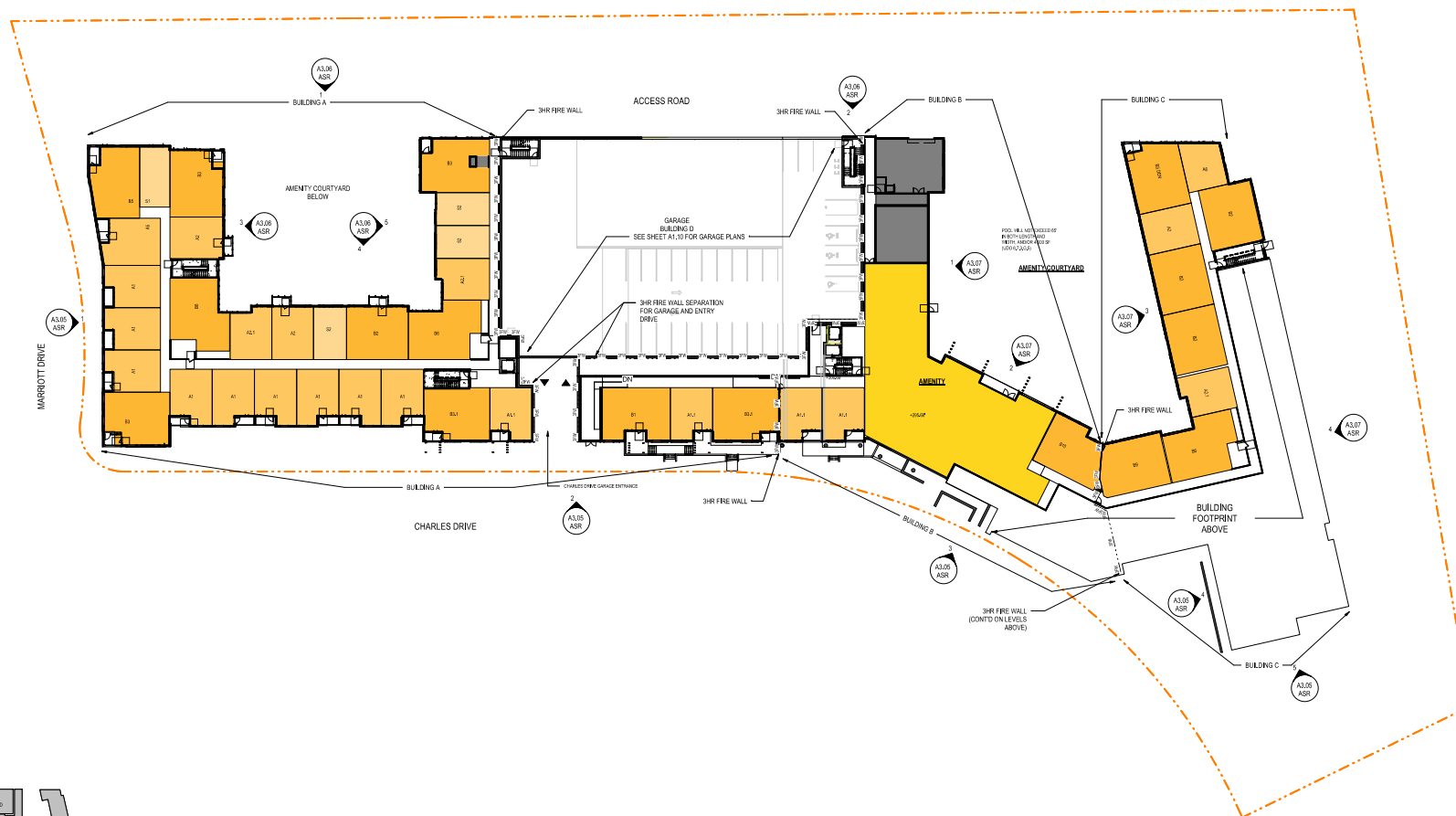
DRAWN BY:	Author
CHECKED BY:	Checker

GT REPLY (RPT) GT REPLY	GT REPLY
CONTENT:	

THIRD FLOOR PLAN

UNITED STATES	

A1.03
ASR



03-LEVEL_03 - ASR

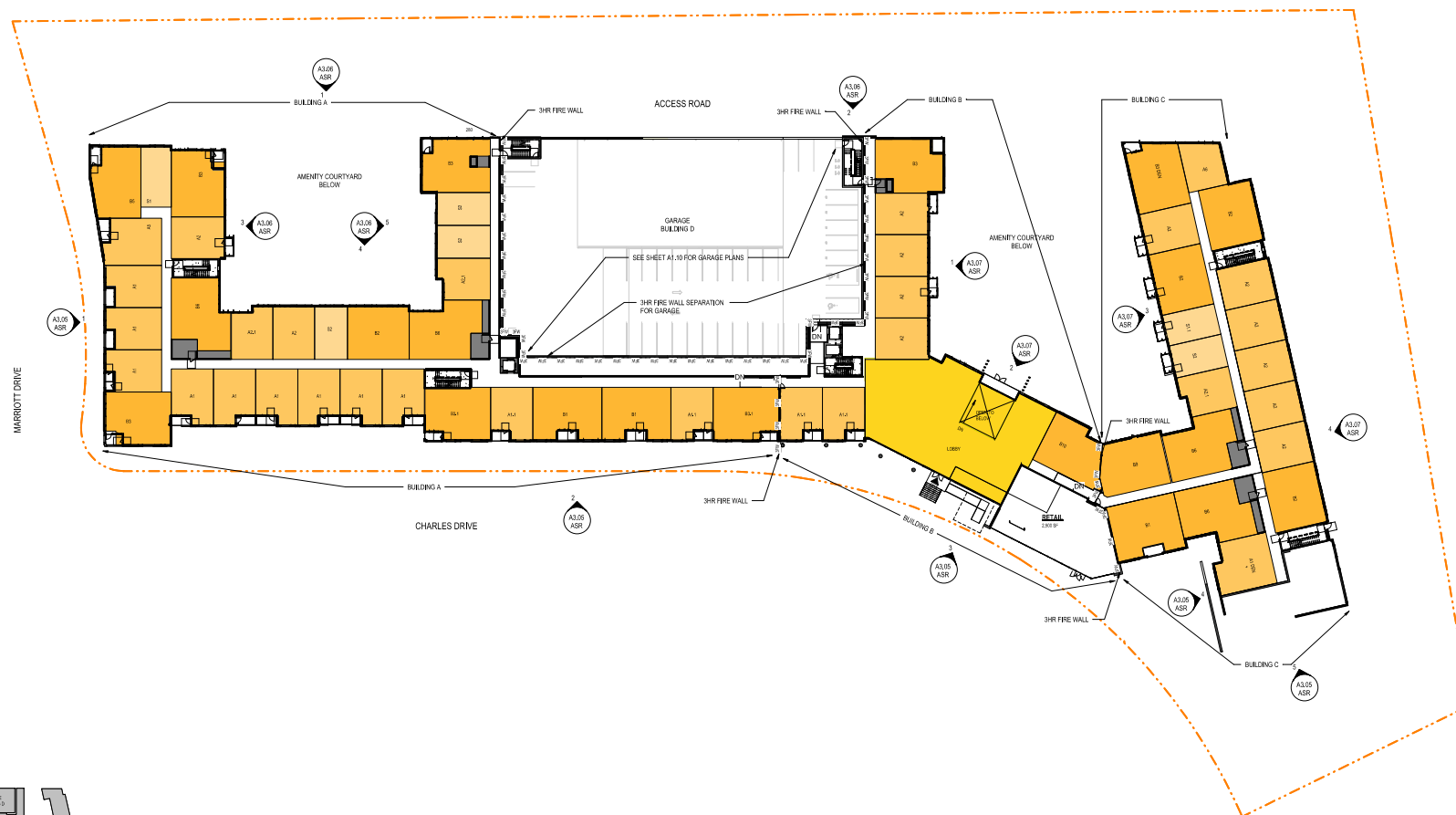
 $1^{\circ} = 30' - 0''$

1

REDGATE
CRABTREE NORTH
2251 CHARLES DRIVE RALEIGH, NC 27612

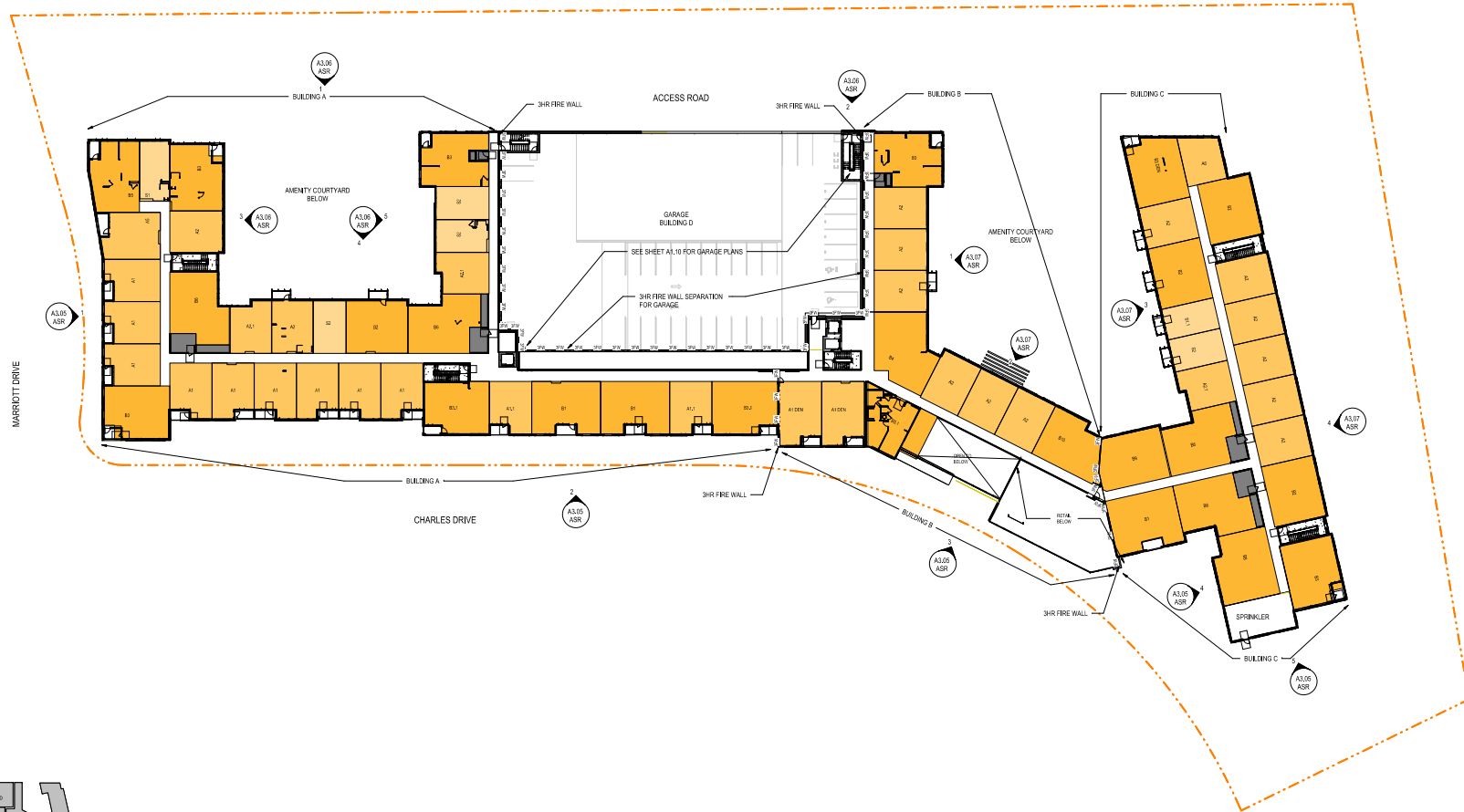
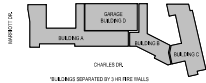
		DATE
PROJECT	22021	10-17-21
ISSUE		
REVISIONS:		
DRAWN BY:	Author	
CHECKED BY:	Checker	
CONTENT:	FOURTH FLOOR PLAN	

A1.04
ASR

04_LEVEL_04 - ASR
1° = 30'-0"

1° = 30'-0"

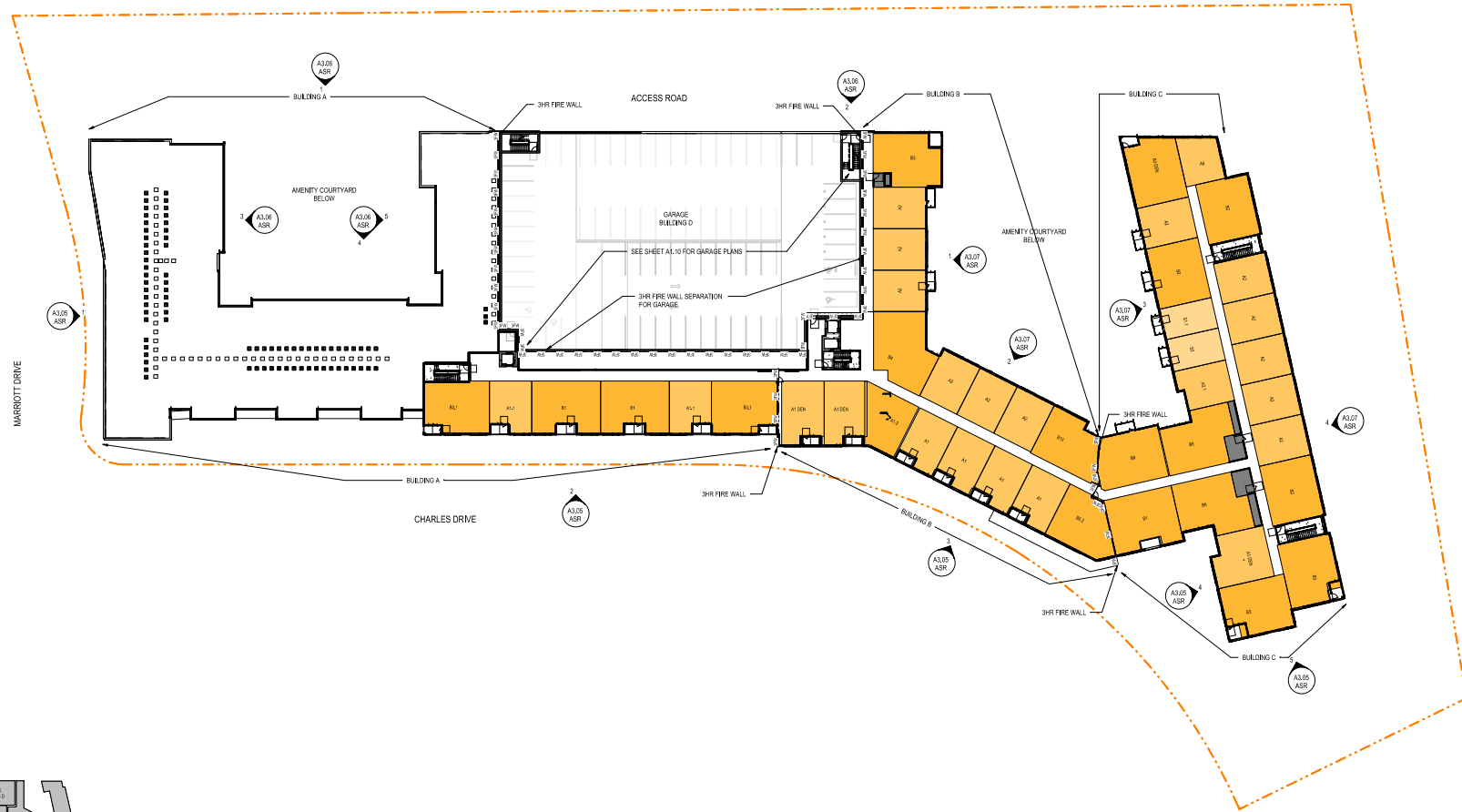
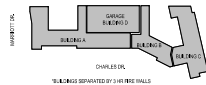
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05_LEVEL_05 - ASR 1
1" = 30'-0"

PROJECT		2021	15-11-2022
ISSUE			
REVISIONS			
DRAWN BY		Author	
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CONTENT			
FIFTH FLOOR PLAN			

REDGATE
CRABTREE NORTH
2251 CHARLES DRIVE RALEIGH, NC 27612



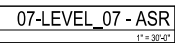
06_LEVEL_06 - ASR 1
1" = 30'-0"

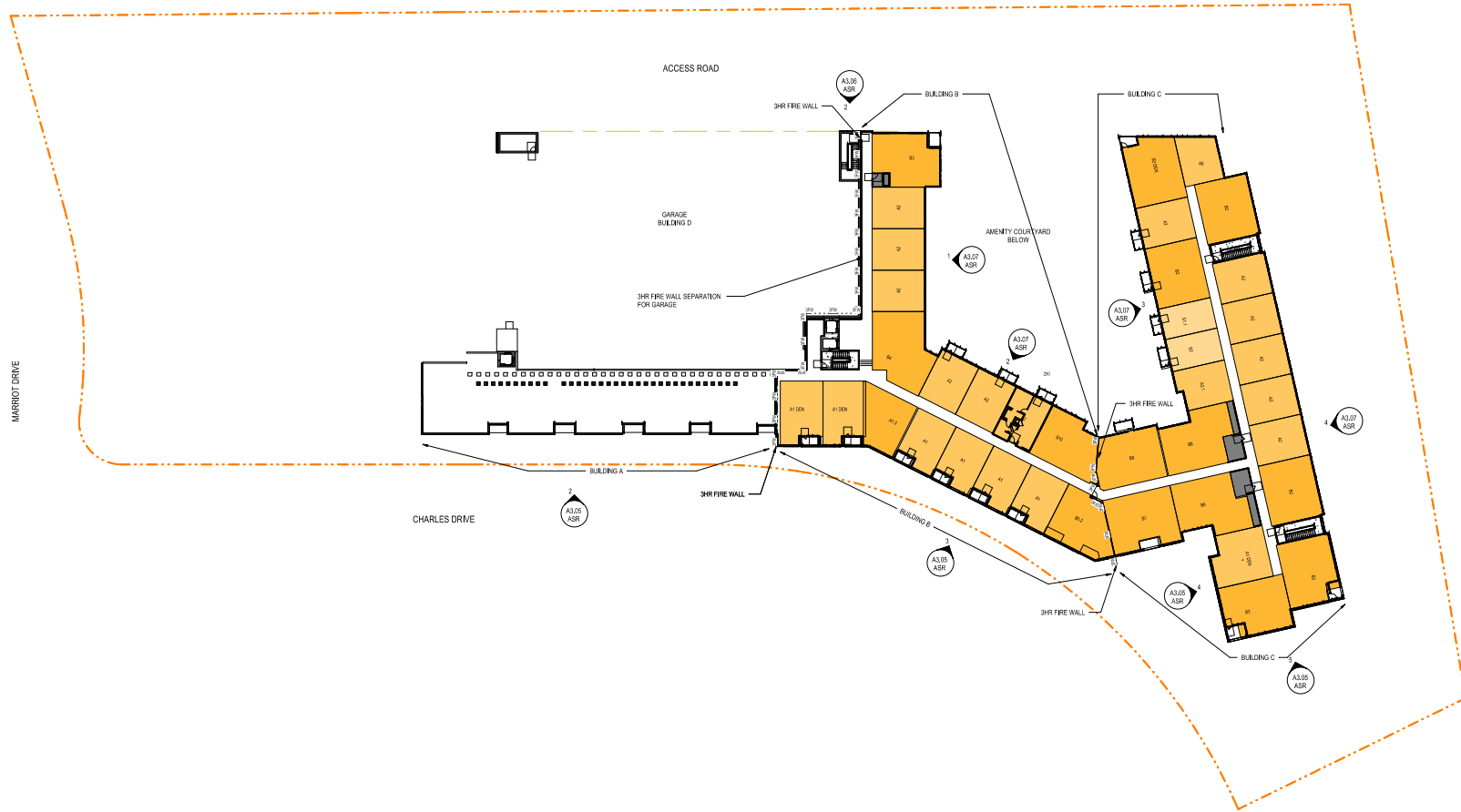
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PROJECT		2021	10-11-2022
ISSUE			
REVISIONS			
DRAWN BY		Author	
CHECKED BY		Checker	
CONTENT		SIXTH FLOOR PLAN	

REDGATE
CRABTREE NORTH
2251 CHARLES DRIVE RALEIGH, NC 27612

A1.06
ASR





08_LEVEL_08 - ASR 1
1" = 30'-0"

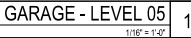
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PROJECT		2021	DATE
ISSUE			10-11-2022
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CONTENT			
		EIGHTH FLOOR PLAN	

REDGATE
CRABTREE NORTH
2251 CHARLES DRIVE RALEIGH, NC 27612

A1.08
ASR

CBC 1106:
 2% OF TOTAL SPACES
 OR
 1 FOR EACH TYPE OF A UNIT
 330 RESIDENTIAL UNITS
 2% TO BE TYPE A UNITS = 17 TYPE A UNITS
 17 ACCESSIBLE PARKING SPACES REQUIRED, 3 OF WHICH WOULD BE VAN SPACES





Elevation: Charles Dr (Overall)			
Material	Area	% of Total	% of Total w/o Glazing
Brick	23366	47.4%	
Panel	3588	7.0%	33%
Cladding	17993	35.1%	
Meta/Wood	2629	4.6%	8%
Total	47976		

Elevation: Marriott Drive (Overall)			
Material	Area	% of Total	% of Total w/o Glazing
Brick	17993	35.1%	
Panel	3588	7.0%	33%
Cladding	2629	4.6%	8%
Meta/Wood	2629	4.6%	8%
Total	2629		

UDO TRANSPARENCY	
Transparency	Mixed Use
Ground story (min)	30%
Upper story (min)	20%
Blank wall (max)	20%

Elevation: South Courtyard (NORTH ELEVATION)			
Material	Area	% of Total	% of Total w/o Glazing
Brick	2430	33.5%	54%
Panel	2389	29.0%	45%
Glazing	2594	37.5%	
Metal/Wood	0	0.0%	
Total	7393		



ASR- SOUTH COURTYARD - NORTH

1/16" = 1'-0"

5

Elevation: South Courtyard (EAST ELEVATION)			
Material	Area	% of Total	% of Total w/o Glazing
Brick	3220	35.8%	56%
Panel	2500	27.8%	44%
Glazing	3265	36.3%	
Metal/Wood	0	0.0%	
Total	8985		



ASR- SOUTH COURTYARD - EAST ELEVATION

1/16" = 1'-0"

4

Elevation: South Courtyard (SOUTH ELEVATION)			
Material	Area	% of Total	% of Total w/o Glazing
Brick	2512	39.2%	59%
Panel	1765	27.6%	41%
Glazing	2121	33.2%	
Metal/Wood	0	0.0%	
Total	6398		



ASR- SOUTH COURTYARD - SOUTH ELEVATION

1/16" = 1'-0"

3

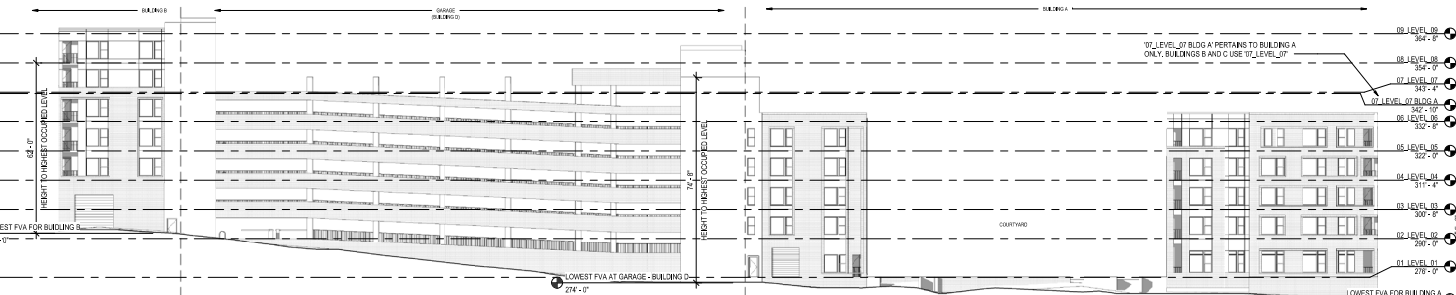
Elevation: West (Overall)-Garage			
Material	Area	% of Total	% of Total w/o Glazing
Brick	6183	38.8%	52%
Panel	3480	21.8%	35%
Glazing	5941	37.2%	
Precast Conc.	0	0.0%	0%
Metal	350	2.2%	3%
Total	15354		



ASR- WEST ELEVATION - NORTH

1/16" = 1'-0"

2



ASR- WEST ELEVATION - SOUTH

3/64" = 1'-0"

1

RALEIGH UDO - SECTION 1.5.3.B.3.4

In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).

Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

RALEIGH UDO - TRANSPARENCY

TRANSPARENCY

MIXED USE

Ground story (min)

Upper story (min)

Blank wall (min)

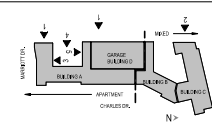
50%

20%

20%

UDO TRANSPARENCY

N.T.S.



KEY PLAN A3.06

N.T.S.

PROJECT		2021	DATE	15-11-2022
ISSUE				
REVISIONS				
DRAWN BY		Author		
CHECKED BY		Checker		
CONTENT				
BUILDING ELEVATIONS				

A3.06
ASR

REDGATE

CRABTREE NORTH

2251 CHARLES DRIVE RALEIGH, NC 27612

JDAVIS

110 South Main Street, Raleigh, NC 27601 | 919.835.4333
1218 Charlotte Street, 7th Floor | Providence, RI 02907 | 401.275.6512

Material	Area	% of Total	% of Total w/o Glazing
Brick	3197	30.5%	53%
Panel	2593	24.8%	43%
Glazing	4476	42.7%	
Metal/Wood	210	2.0%	
Total	10476		



Material	Area	% of Total	% of Total w/o Glazing
Brick	2680	32.1%	52%
Panel	2430	29.1%	48%
Glazing	3250	38.9%	
Metal/Wood		0.0%	
Total	8360		



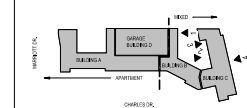
Elevation: North			
Material	Area	% of Total	% of Total w/o Glazing
Brick	5725	35.1%	54%
Panel	4877	29.5%	46%
Glazing	5572	34.2%	
Metal/Wood	120	0.7%	
Total	16294		



ASR- NORTH ELEVATION	1/16" = 1'-0"
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<u>RALEIGH LIDO - TRANSPARENCY</u>	<u>MIXED USE</u>
Transparency	
Ground story (min)	50%
Upper story (min)	20%
Blank wall (max)	20'

	$1/4^* = 1/2^*$
--	-----------------



KEY PLAN A3.07
1/4" = 1'-0"