



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>ASR-0053-19</u>		Planning Coordinator: <u>Mike Waters</u>
Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: _____
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Sketch transaction #: _____
<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: <u>Home2 + Tru Raleigh</u>		
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Property address(es): <u>603 S. Wilmington St., Raleigh, NC 27601</u>		
Site P.I.N.(s): <u>1703763353, 1703764322, 1703764352</u>		
Please describe the scope of work. Include any additions, expansions, and change of use. <u>190 room hotel with proposed office space and parking deck with associated site improvements.</u>		
Current Property Owner/Developer Contact Name: <u>Devan Patel</u>		
NOTE: please attach purchase agreement when submitting this form.		
Company: <u>Narsi Development Raleigh, LLC</u>		Title: <u>Principal</u>
Address: <u>10020 Sellona St., Suite 100, Raleigh, NC 27617</u>		
Phone #: <u>919-827-8522</u>		Email: <u>deven.patel@narsi.com</u>
Applicant Name: <u>Andy Padiak</u>		
Company: <u>McAdams</u>		Address: <u>One Glenwood Ave., Suite 201, Raleigh, NC 27603</u>
Phone #: <u>919-823-4300 x415</u>		Email: <u>padiak@mcadamsco.com</u>

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): DX-12-UG-CU	Existing gross floor area (not to be demolished): Existing gross floor area to be demolished: 3,606
Gross site acreage: 0.51	New gross floor area: 207,034
# of parking spaces required: 95	Total sf gross (to remain and new): 207,034
# of parking spaces proposed: 184	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 12
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4): Hotel and Office	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.40 Square Feet: 17,424	Proposed Impervious Surface: Acres: 0.51 Square Feet: 22,216
Is this a flood hazard area? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS


Total # of dwelling units:	Total # of hotel units: 190
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots: 1	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Andy Padiak to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 07-10-19
Printed Name: <u>Andy Padiak</u>	

Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- ☒ Yes, my project meets the mailed notification requirement and my letters are provided with this application.
☐ The mailed notification is not applicable for my project.

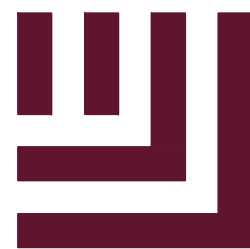
GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Demolition plan: Clearly indicate items to be removed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B.)</i>)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Proposed stormwater plan: include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Architectural Elevations showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

NOTE: Revisions to previously approved site plans must contain the following minimum information:

REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. List date of previously approved site plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide updated site data table including building square footages, parking calculations, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Provide documented history of impervious surfaces with dates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



McAdams

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Durham, NC 27713

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CONTACT

LINDA VASIL
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919. 361. 5000

CLIENT

DUDA PAINE ARCHITECTS
333 LIGGETT STREET
DURHAM, NORTH CAROLINA 27701
919. 688. 5133



PROJECT DIRECTORY

ARCHITECT
DUDA PAINE ARCHITECTS
333 LIGGETT STREET
DURHAM, NORTH CAROLINA 27701
PHONE: 919. 688. 5133

LAND PLANNING + CIVIL ENGINEER
MCADAMS COMPANY
2905 MERIDIAN PARKWAY
DURHAM, NORTH CAROLINA 27713
PHONE: 919. 361. 5000

STRUCTURAL ENGINEER
SCALENE DESIGN
555 FAYETTEVILLE ST, SUITE 300
RALEIGH, NORTH CAROLINA 27601
PHONE: 919.825.0295

MECHANICAL, ELECTRICAL, PLUMBING
BARRETT, WOODYARD & ASSOCIATES
2301 REXWOOD DR #108
DURHAM, NORTH CAROLINA 27713
PHONE: 919. 747. 9884

REVISIONS

NO.	DATE
1	11-05-2019 REVISED PER CITY OF RALEIGH COMMENTS
2	

ADMINISTRATIVE SITE REVIEW FOR:

HOME2 + TRU
RALEIGH, NORTH CAROLINA 27601
PROJECT NUMBER: DPA-17010

HOME2 + TRU RALEIGH

603 S WILMINGTON ST
RALEIGH, NORTH CAROLINA 27601

ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH CASE# ASR-0053-2019

PROJECT NUMBER: DPA-17010

DATE: JULY 15, 2019

REVISED: NOVEMBER 5, 2019

ZONING CONDITIONS

Z-42-14 - SOUTH WILMINGTON STREET/EAST LENOIR STREET: SOUTHEAST QUADRANT OF THE INTERSECTION, AND EXTENDING EASTWARD ON THE SOUTH SIDE OF EAST LENOIR STREET, BEING WAKE COUNTY PINS 1703763353, 1703764322, AND 1703764352. APPROXIMATELY 0.51 ACRE REZONED TO DOWNTOWN MIXED USE-12 STORIES-URBAN GENERAL-CONDITIONAL USE (DX-12-UG-CU).

CONDITIONS DATED: JUNE 25, 2015

- THE FOLLOWING USES SHALL BE PROHIBITED: EMERGENCY SHELTER - ALL TYPES; ADULT ESTABLISHMENT; OUTDOOR RECREATION - ALL TYPES; PASSENGER TERMINAL - ALL TYPES; FOOD TRUCK; PAWN SHOP; VEHICLE SALES/REPAIR - ALL TYPES; DETENTION CENTER, JAIL, PRISON; LIGHT MANUFACTURING - ALL TYPES; SELF-SERVICE STORAGE - ALL TYPES; VEHICLE REPAIR - ALL TYPES; VEHICULAR FUEL SALES; VEHICLE PARTS/ACCESSORIES; REMOTE PARKING FACILITY; ANY DRIVE-THRU OR DRIVE-IN FACILITIES NOT INCLUDING A PORTE COCHERE IN CONNECTION WITH A HOTEL.
PROJECT COMPLIANCE: NO USES AS DESCRIBED ABOVE ARE PROPOSED WITH THIS PROJECT.
- ANY BUILDING ON THE PROPERTY AT LEAST EIGHT (8) STORIES OR ONE HUNDRED FEET (100') IN HEIGHT SHALL INCORPORATE ON THAT EASTERN MOST BUILDING FAÇADE FACING THAT ADJOINING PARCEL DESCRIBED IN THAT DEED RECORDED IN BOOK 14479, PAGE 2287 AND WITH THE ADDRESS OF 118 E. LENOIR STREET A TWELVE FOOT (12') BUILDING STEPBACK ABOVE THE SECOND STORY AND BELOW THE FIFTH STORY.
PROJECT COMPLIANCE: THE EASTERN MOST BUILDING FAÇADE SIDE PROPOSES A 12' STEPBACK FROM THE PROPERTY LINE FACING THE ADJOINING PARCEL.
- THE MAXIMUM BLANK WALL AREA ON THAT EASTERN MOST BUILDING FAÇADE FACING THAT ADJOINING PARCEL DESCRIBED IN THAT DEED RECORDED IN BOOK 14479, PAGE 2287 AND WITH THE ADDRESS OF 118 E. LENOIR STREET BELOW THE STEPBACK REQUIRED IN CONDITION 2 SHALL BE FIFTEEN FEET (15') FOR ANY BUILDING ON THE PROPERTY AT LEAST EIGHT (8) STORIES OR ONE HUNDRED FEET (100') IN HEIGHT.
PROJECT COMPLIANCE: A SERIES OF REVEALS AND TEXTURES ON THE EASTERN MOST BUILDING FAÇADE IS INCORPORATED IN THE ELEVATIONS SUCH THAT BLANK WALLS DO NOT EXCEED 15' IN BOTH THE HORIZONTAL AND VERTICAL DIRECTION.
- AFTER THE EFFECTIVE DATE OF THIS REZONING ORDINANCE, ANY BUILDING ON THE PROPERTY AT LEAST FIVE (5) STORIES OR SEVENTY FIVE FEET (75') IN HEIGHT SHALL PROVIDE ONE OR MORE OF THE FOLLOWING: A GALLERY, AWNING, OR CORNICE ALONG A MINIMUM OF 50% OF THOSE BUILDING FACES ADJOINING S. WILMINGTON STREET AND E. LENOIR STREET.
PROJECT COMPLIANCE: A GALLERY IS PROVIDED ALONG LENOIR STREET THAT SPANS 72% OF THE BUILDING FACE, AS WELL AS AN AWNING ALONG S. WILMINGTON STREET SPANNING 89% OF THE BUILDING FACE.

- ANY VISIBLE PORTION OF AN EXTERIOR ELEVATION OF A PARKING STRUCTURE ABOVE THE GROUND LEVEL SHALL BE CLAD WITH THE SAME BUILDING MATERIALS AS THE PRINCIPAL BUILDING AND, EXCEPT FOR SUCH EXTERIOR TREATMENT AS PRESCRIBED BY THE UDO, SHALL INCLUDE A SOLID WALL AT LEAST FORTY TWO INCHES (42") IN HEIGHT AS MEASURED FROM THE TOP OF EACH PARKING SURFACE. IF THE PARKING STRUCTURE IS ABOVE THE OPEN AREA BETWEEN THE TOP OF THE SOLID WALL MEASURING AT LEAST FORTY TWO INCHES (42") IN HEIGHT AND THE NEXT LEVEL OF PARKING SHALL BE SCREENED WITH A WALL, LOUVER OR SIMILAR SCREENING.
PROJECT COMPLIANCE: THE PARKING STRUCTURE INCLUDES A 42" HIGH WALL FOR EACH LEVEL. A SERIES OF LOUVERS OR METAL MESH WILL BE USED TO SCREEN THE OPEN AREA.

- PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT, A TRANSIT EASEMENT SHALL BE DEED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RELOCATION OF THE TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED FIFTEEN FEET (15') IN DEPTH AND TWENTY FEET (20') IN WIDTH) AND LOCATION OF THE EASEMENT ALONG WILMINGTON STREET SHALL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND THE EASEMENT DOCUMENT APPROVED BY THE CITY ATTORNEY'S OFFICE. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY AND AT THE REQUEST OF THE PUBLIC WORKS DEPARTMENT, A TRANSIT SHELTER SHALL BE CONSTRUCTED UPON THE TRANSIT EASEMENT. IN LIEU OF DEEDING AN EASEMENT AND CONSTRUCTION OF A TRANSIT SHELTER, WITH THE CONSENT OF THE PUBLIC WORKS DEPARTMENT AND SUBJECT TO THE APPROVAL OF THE RALEIGH CITY COUNCIL OR NC DEPARTMENT OF TRANSPORTATION, A TRANSIT SHELTER MAY BE CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY AT THE SOLE EXPENSE OF THE OWNER OF THE REZONED LAND IN SATISFACTION OF THIS CONDITION.
PROJECT COMPLIANCE: A PROPOSED TRANSIT EASEMENT AND SHELTER IS LOCATED ALONG S. WILMINGTON STREET.

- PRIOR TO ANY EXCAVATION ON THE SUBJECT PROPERTIES, DEMOLITION OF ANY BUILDING OR PORTION THEREOF ON THE SUBJECT PROPERTY, OR ANY ACTIVITY ALLOWED BY SUBSECTIONS G. AND OF UDO SECTION 10-2.7.A.2, THE EXISTING BUILDING LOCATED AT 112 E. LENOIR STREET AND THE TWO STORY PORTION OF EXISTING BUILDING LOCATED AT 114 E. LENOIR STREET SHALL BE RELOCATED AND A SUBSEQUENT ARCHAEOLOGICAL SURVEY CONDUCTED ON THE REZONED PROPERTIES IN DIRECT CONSULTATION WITH THE RALEIGH HISTORIC DEVELOPMENT COMMISSION.
PROJECT COMPLIANCE: THE BUILDINGS LOCATION AT 112 AND 114 E. LENOIR STREET WERE RELOCATED PRIOR TO SUBMITTAL OF THIS ADMINISTRATIVE SITE REVIEW AND AS SUCH THIS ZONING CONDITION DOES NOT APPLY TO THIS SUBMITTAL.

SITE DATA

PHYSICAL ADDRESS:	603 S WILMINGTON ST, RALEIGH NORTH CAROLINA 27601
PARCEL PIN:	1703763353
ZONING:	DX-12-UG-CU DOWNTOWN MIXED USE - 12 STORIES - URBAN GENERAL - CONDITIONAL USE
OVERLAY DISTRICT:	NONE
WATERSHED:	WALNUT CREEK
SITE AREA:	22,009 SF / 0.51 AC
FLOODWAY/FLOODPLAIN:	NONE
BUILDING DATA:	PROPOSED USE: OFFICE + HOTEL PROPOSED OFFICE: 3,070 SF PROPOSED HOTEL ROOMS: 190 ROOMS
PARKING DATA:	VEHICLE PARKING REQUIRED: 95 SPACES OFFICE PARKING: 0 SPACES (PER UDO SEC. 7.1.3C) HOTEL PARKING: 95 SPACES (0.5/BEDROOM) 108 STANDARD SPACES (IN PARKING DECK) 49 COMPACT SPACES (IN PARKING DECK)* 4 ADA SPACES (IN PARKING DECK) 2 ADA VAN SPACES (IN PARKING DECK) *PERCENTAGE OF COMPACT SPACES WITHIN PARKING DECK = 49/163 SPACES = 30% ACCESSIBLE PARKING REQUIRED: 6 SPACES (CAR AND VAN) VAN SPACES: 1 SPACES PROPOSED: 6 SPACES (CAR AND VAN) VAN ACCESSIBLE: 2 SPACES BIKE PARKING REQUIRED: 14 LONG TERM SPACES; 4 SHORT TERM SPACES OFFICE: LONG TERM: 4 SPACES (1/5,000 SF, MIN. OF 4 SPACES) SHORT TERM: 4 SPACES (10,000 SF, MIN. OF 4 SPACES) HOTEL: LONG TERM: 10 SPACES (1/20 BEDROOM) SHORT TERM: 0 SPACES PROPOSED: 14 LONG TERM SPACES; 4 SHORT TERM SPACES
BUILDING + PARKING SETBACKS	BUILD-TO REQUIRED LENOIR ST (PRIMARY STREET): 148 LF (70% BUILDING WIDTH IN BUILD-TO) WILMINGTON ST (PRIMARY STREET): 37 LF (35% BUILDING WIDTH IN BUILD-TO) PROVIDED LENOIR ST (PRIMARY STREET): 149 LF (88% BUILDING WIDTH IN BUILD-TO) WILMINGTON ST (PRIMARY STREET): 81 LF (84% BUILDING WIDTH IN BUILD-TO) PARKING SETBACK LENOIR ST (PRIMARY STREET): 10' WILMINGTON ST (PRIMARY STREET): 10' SIDE LOT LINE: 3' REAR LOT LINE: 3'
EXISTING IMPERVIOUS:	0.40 AC.
PROPOSED IMPERVIOUS ALLOCATION:	0.51 AC. (100% OF PROJECT AREA)
BUILDING HEIGHT	MAXIMUM ALLOWED: 12 STORY (150') PROPOSED: 12 STORY (143')
TREE CONSERVATION	NO TREE CONSERVATION SHALL BE REQUIRED PER UDO SECTION 9.1.2 AS THE EXISTING LOT IS LESS THAN 2 ACRES IN SIZE.
OUTDOOR AMENITY AREA	REQUIRED: 2,450 SF (10% SITE AREA) PROPOSED: 2,637 SF (12% SITE AREA)
BLOCK PERIMETER:	1,513 LF (2,000 LF MAX)

NOTES:

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED IN ROLL-OUT TRASH AND RECYCLING CARTS THAT WILL BE BROUGHT OUT CURB SIDE FOR PICKUP. PICKUP WILL BE PROVIDED TWICE A WEEK.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

DEVELOPMENT SERVICES

Administrative Site Review Application

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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:	Planning Coordinator:	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic	Subdivision transaction #: _____ Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____

GENERAL INFORMATION	
Development name: Home2 + Tru Raleigh	
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Property address(es): 603 S. Wilmington St., Raleigh, NC 27601	
Site P.I.N. (s): 1703763353, 1703764322, 1703764352	
Please describe the scope of work. Include any additions, expansions, and change of use. 190 room hotel with proposed office space and parking deck with associated site improvements.	

Current Property Owner/Developer Contact Name: Devan Patel	
NOTE: please attach purchase agreement when submitting this form.	
Company: Narsi Development Raleigh, LLC	Title: Principal
Address: 10020 Sellona St., Suite 100, Raleigh, NC 27617	
Phone #: 919-827-8522	Email: devan.patel@narsi.com
Applicant Name: Andy Padiak	
Company: McAdams	Address: One Glenwood Ave., Suite 201, Raleigh, NC 27603
Phone #: 919-823-4300 x415	Email: padiak@mcadamsco.com

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REVISION 06.05.19

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): DX-12-UG-CU	Existing gross floor area (not to be demolished): 3,606
Gross site acreage: 0.51	Existing gross floor area to be demolished: 3,606
# of parking spaces required: 95	New gross floor area: 207,034
# of parking spaces proposed: 184	Total # of gross (to remain and new): 207,034
Overlay District (if applicable): East Raleigh South Historic	Proposed # of buildings: 1
Existing use (UDO 6.1.4):	Proposed # of stories for each: 12
Proposed use (UDO 6.1.4): Hotel and Office	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.49 Square Feet: 17,424	Proposed Impervious Surface: Acres: 0.51 Square Feet: 22,216
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____	
FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

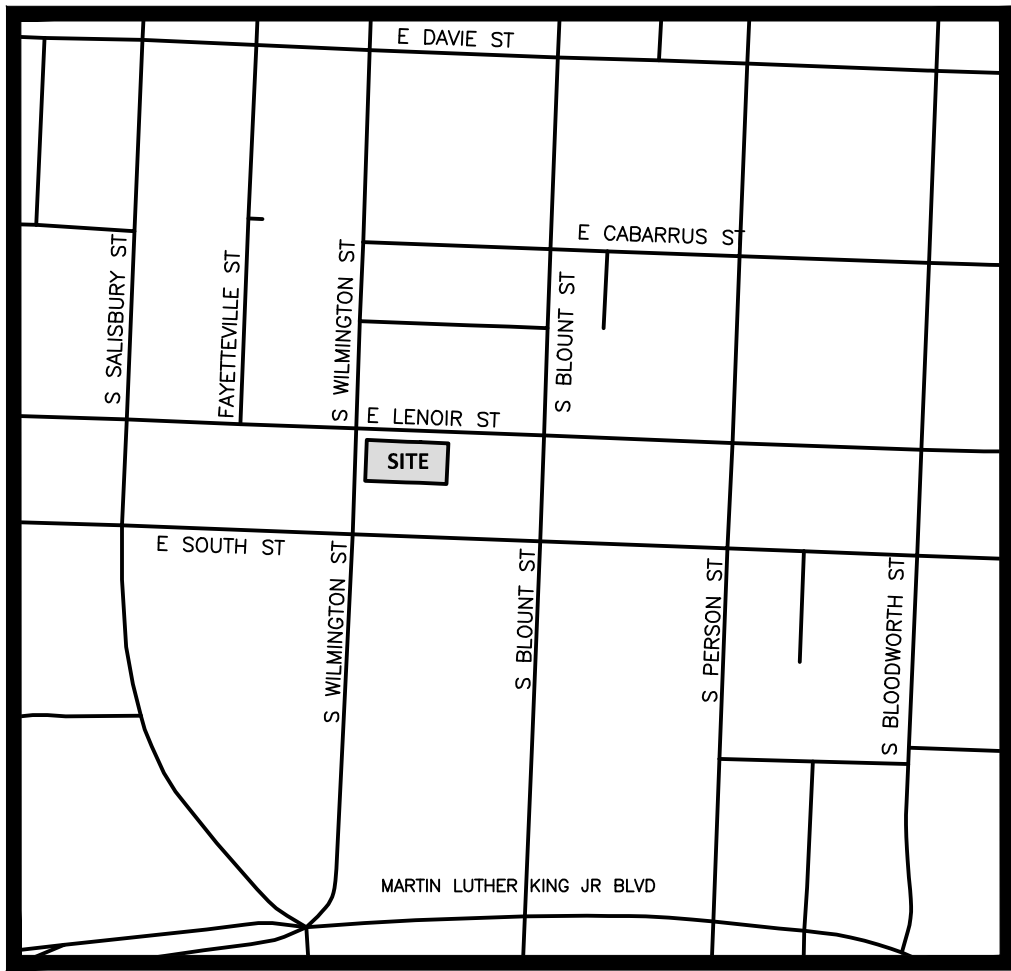
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: _____	Total # of hotel units: 190
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: 1	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate: Andy Padiak to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: _____	Date: 07-10-19
Printed Name: Andy Padiak	

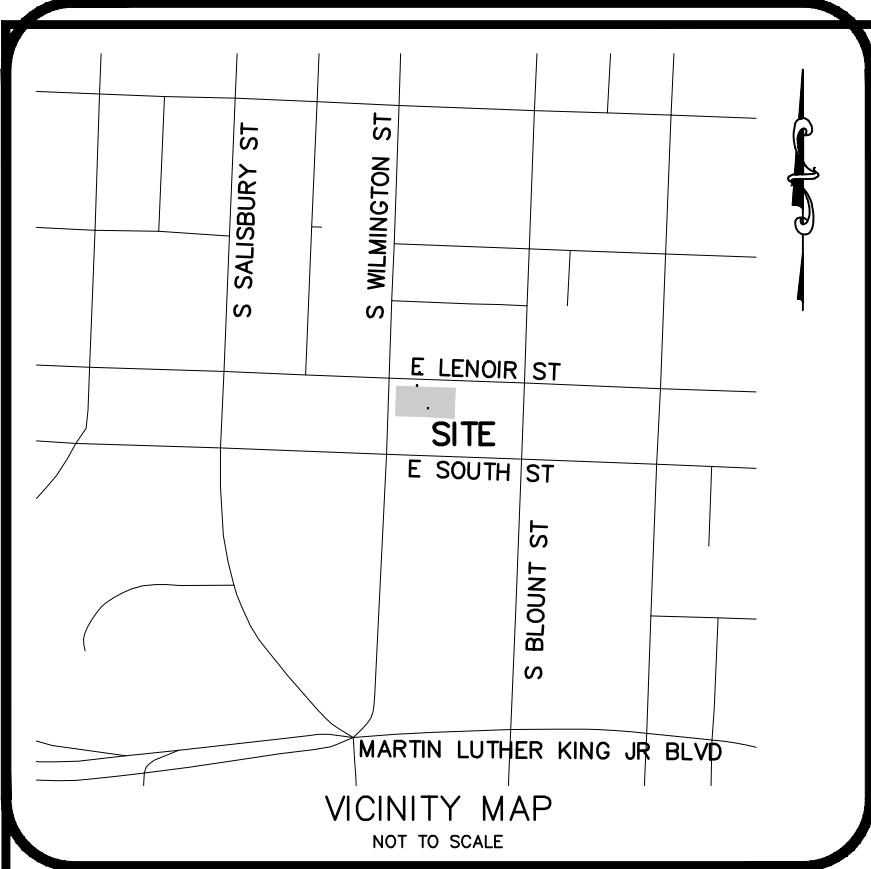
Page 2 of 2

REVISION 06.05.19

raleighnc.gov



VICINITY MAP
N.T.S.



I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN
HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE UNDER
MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL
FEATURES THEREON AT THE TIME OF THIS SURVEY.

RONALD T. FREDERICK, P.L.S. L-4720

DATE

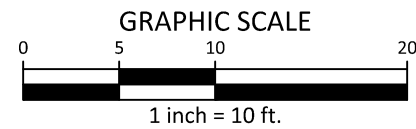
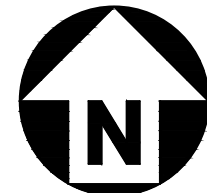
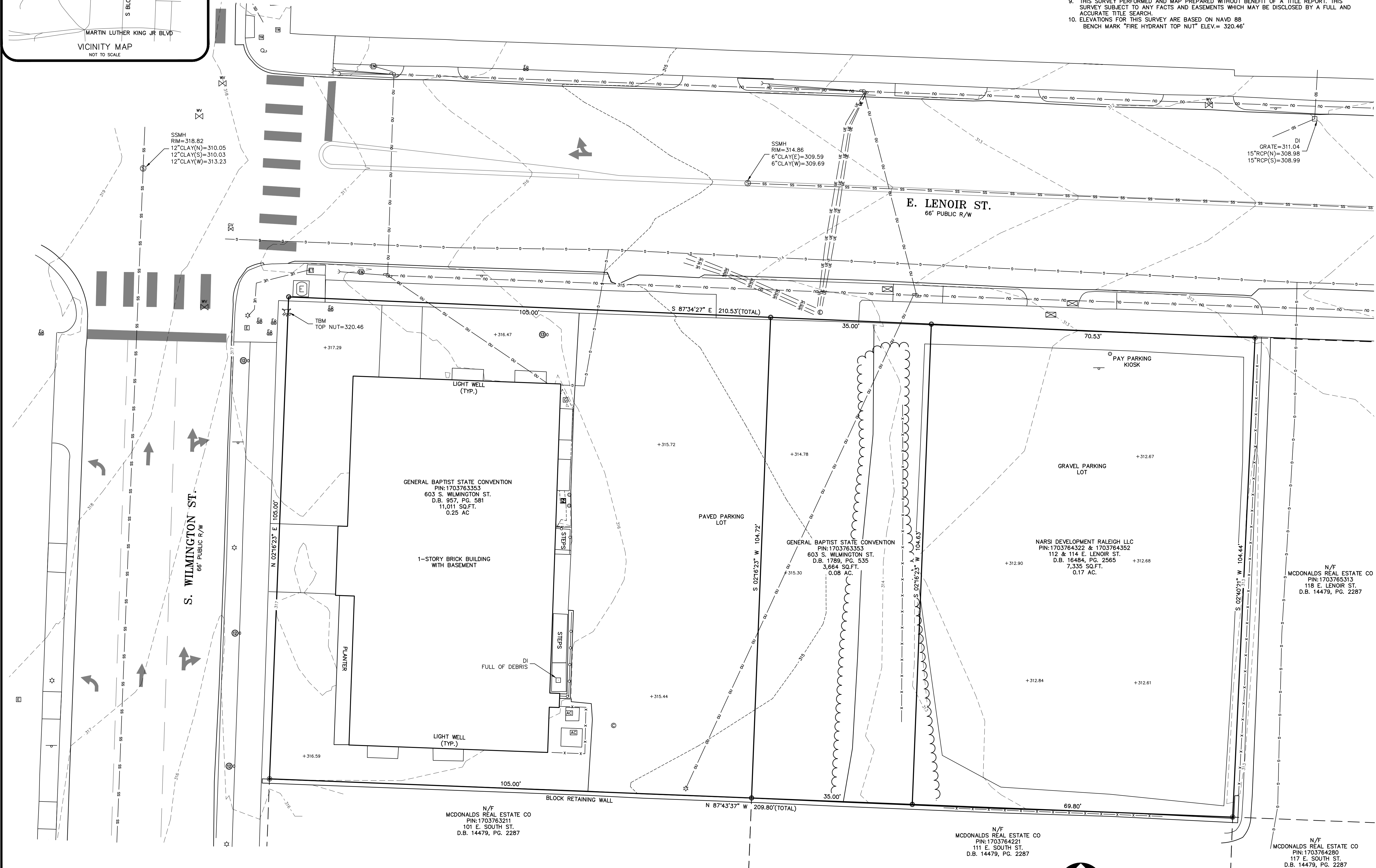
PRELIMINARY PLAT
NOT FOR RECORDATION
CONVEYANCES OR SALES

LEGEND

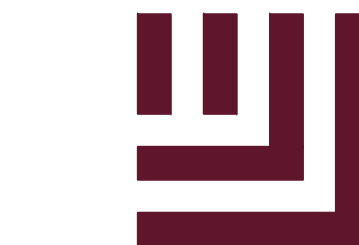
- | | | | | | |
|---|-------------------------|---|------------------------|------|------------------------|
| ● | EXISTING IRON PIPE | ⌵ | FIRE HYDRANT | —SD— | STORM DRAIN PIPE |
| ○ | IRON PIPE SET | ⌵ | TELEPHONE PEDESTAL | —OU— | OVERHEAD UTILITY LINES |
| ⊙ | SANITARY SEWER MANHOLE | ⌵ | TELEPHONE MANHOLE | —W— | WATER LINE |
| ⊙ | SANITARY SEWER CLEANOUT | ⌵ | ELECTRIC BOX | —SS— | SANITARY SEWER LINE |
| ⊙ | WATER VALVE | ⌵ | LIGHT POLE | —T— | TELEPHONE LINE |
| ⊙ | WATER METER | ⌵ | POWER POLE | —G— | GAS LINE |
| | | ⌵ | CURB INLET | —UE— | UNDERGROUND ELECTRIC |
| | | ⌵ | STORM DRAINAGE MANHOLE | —UT— | UNDERGROUND TELEPHONE |
| | | ⌵ | YARD INLET | —X— | FENCE LINE |

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC AND BOUNDARY SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: DX-12-UG-CU PER RALEIGH GIS; CHARACTER OVERLAY: HOD-G; LEGACY OVERLAY: DOD PER CITY OF RALEIGH ZONING MAP
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720170300J DATED MAY 2, 2006.
- REFERENCES AS SHOWN
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88
BENCH MARK "FIRE HYDRANT TOP NUT" ELEV.= 320.46'



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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PHONE: 919. 688. 5133



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PROJECT ADDRESS
CITY, STATE, ZIP

REVISIONS

NO.	DATE
1	11-05-2019 REVISED PER CITY OF RALEIGH COMMENTS
2	

PLAN INFORMATION

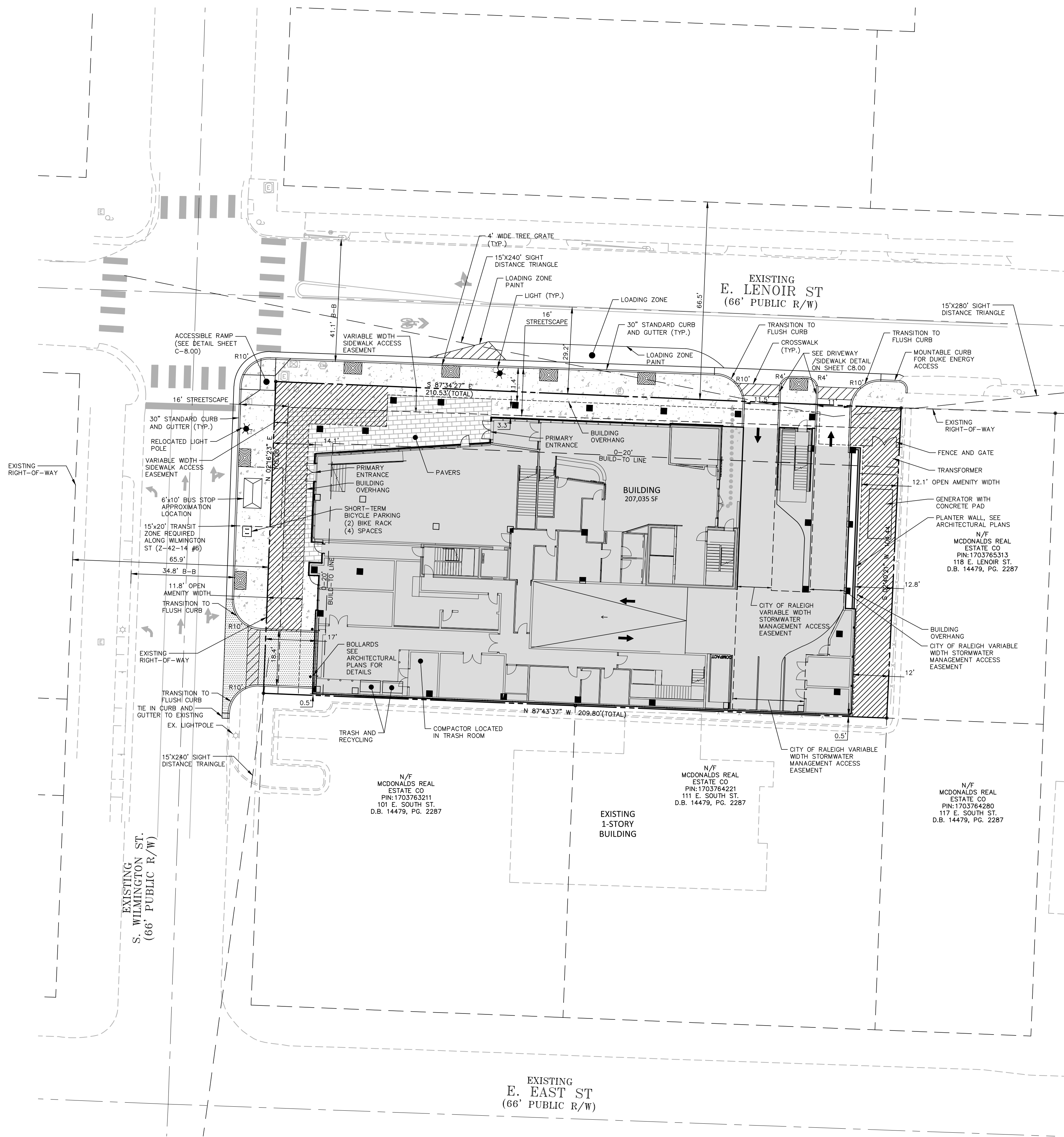
PROJECT NO.	DPA-17010
FILENAME	DPA17010-XC1 Survey
CHECKED BY	RTF
DRAWN BY	DJM
SCALE	1"=10'
DATE	07.15.2019

SHEET

EXISTING CONDITIONS

C1.00

X:\Projects\DPAs\DPAs\17010\Land\Construction Drawings\Current Drawings\DPAs\17010-ASR-S1.dwg, 11/2/2019 11:19:16 AM, Vasil, Unda



SITE PLAN NOTES

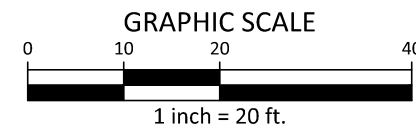
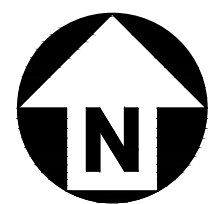
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS.
- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN ON THIS SHEET, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE. REFER TO SECTION 10-2086 OF THE RALEIGH CITY CODE FOR ADDITIONAL DETAILS.
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE CITY TRAFFIC ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED TO STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC 811" (811 OR 800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC 811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT FOR EROSION CONTROL AND ENGINEERING INSPECTIONS PRIOR TO ANY WATER OR SEWER ABANDONMENT, REMOVAL OR INSTALLATIONS.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- PARKING DECK WILL NOT BE VISIBLE FROM THE STREET. SEE ARCHITECTURE PLANS FOR LAYOUT.
- STREET TREES LOCATED WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED TO A MINIMUM OF 8 FEET ABOVE FINISHED GRADE.

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE

OUTDOOR AMENITY AREA LEGEND

	AMENITY AREA
SITE AREA	= 22,009 SF
REQUIRED AMENITY AREA	= 2,450 SF
• 10% OF SITE AREA	= 2,200 SF
• +50 SF PER EACH FLOOR ABOVE 7 STORIES	= 250 SF
PROVIDED AMENITY AREA	= 2,637 SF



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE, AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST5 VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



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CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



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CITY, STATE, ZIP

REVISIONS

NO.	DATE
1	11-05-2019 REVISED PER CITY OF RALEIGH COMMENTS
2	

PLAN INFORMATION

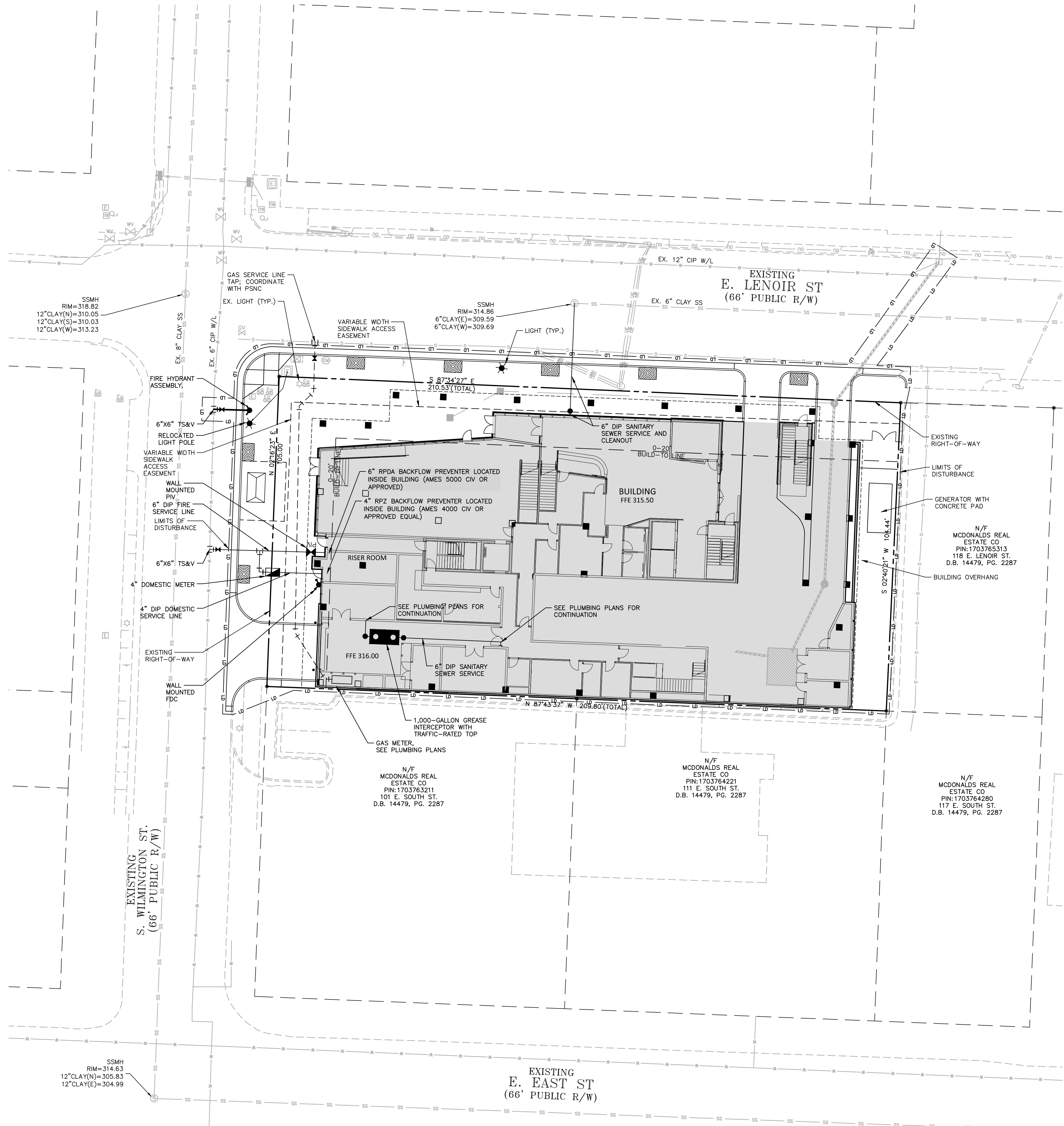
PROJECT NO.	DPAs-17010
FILENAME	DPAs17010-ASR-S1
CHECKED BY	LJV
DRAWN BY	JLB
SCALE	1"=20'
DATE	07.15.2019

SHEET

SITE PLAN

C2.00

X:\Projects\DPAs\DPAs\17010\Land\Construction Drawings\Current Drawings\DPAs\17010-ASR-U1.dwg, 11/5/2019 12:22:46 PM, Vasil, Unda



UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE

CITY OF RALEIGH PUBLIC UTILITIES
STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL 6" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 3'X3' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 986-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

GENERAL NOTES

- ALL REQUIREMENTS FOR FIRE SAFETY PER CHAPTER 14 OF THE 2012 NC FIRE CODE AND CHAPTER 33 OF THE 2012 NC BUILDING CODE ARE TO BE MET THROUGHOUT THE DURATION OF DEMOLITION AND CONSTRUCTION.
- THE OWNER SHALL PROVIDE SECURITY AND REASONABLE SURVEILLANCE FOR THE PERIOD DURING CONSTRUCTION OF THE PROJECT WHERE THE WOOD FRAME STRUCTURE OF THE BUILDING IS EXPOSED TO THE ELEMENTS.
- PER 2018 NCBC SECTION 403.3.3, A SECONDARY WATER SUPPLY IS REQUIRED FOR BUILDINGS ASSIGNED TO SEISMIC DESIGN CATEGORY C, D, E, OR F. IF PROJECT IS LOCATED WITHIN SEISMIC DESIGN CATEGORY B AND THEREFORE A SECONDARY WATER SUPPLY IS NOT REQUIRED.

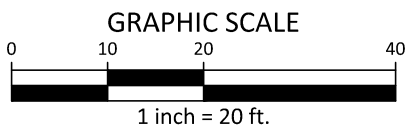
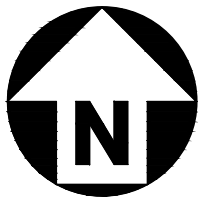
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE, AND UTILITY NOTES

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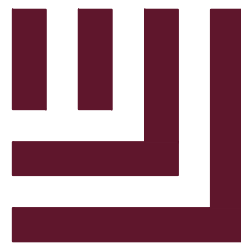


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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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PLAN INFORMATION

PROJECT NO.	DPAs-17010
FILENAME	DPAs17010-ASR-U1
CHECKED BY	LJV
DRAWN BY	JLB
SCALE	1"=20'
DATE	07. 15. 2019

SHEET

UTILITY PLAN

C4.00



DUDA | PAINE
ARCHITECTS

OWNER
Narsi Properties
10020 Sellona St #100
Raleigh, NC, 27617

ARCHITECT
Duda | Paine Architects, PA
333 Uggott Street
Durham, NC 27701

CIVIL ENGINEER
McAdams Company
2905 Meridian Pkwy
Durham, NC 27713

STRUCTURAL ENGINEER
Scalene Design
555 Fayetteville St, Suite 300
Raleigh, NC 27601

MEP ENGINEER
Borrett Woodward & Associates
2301 Reswoods Dr, Suite 108
Raleigh, NC 27607

FOR REVIEW PURPOSES ONLY

Home2 + Tru
Hotel

603 S Wilmington
Street
Raleigh, NC, 27601

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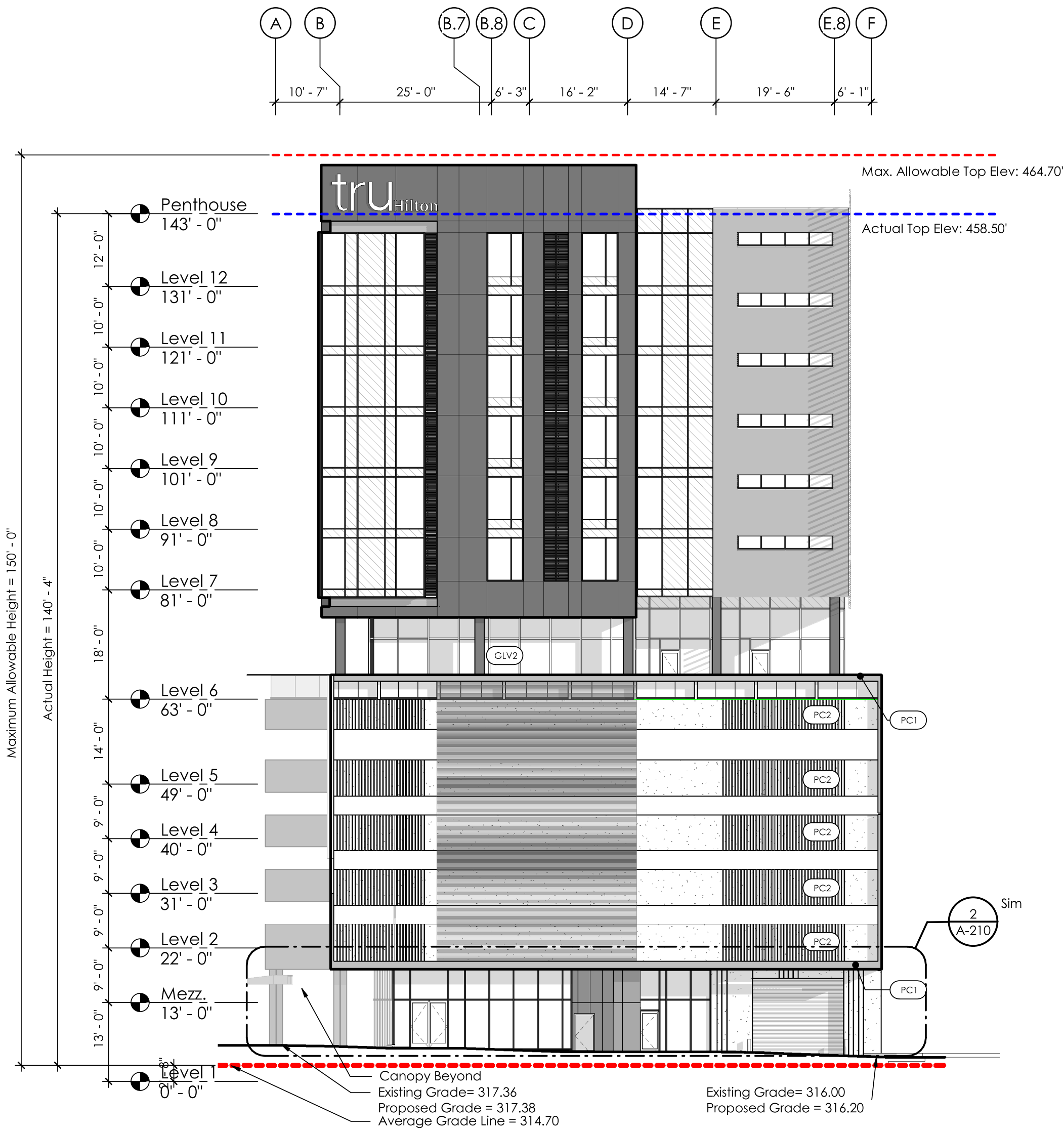
Mark	Date	Description

Design Development

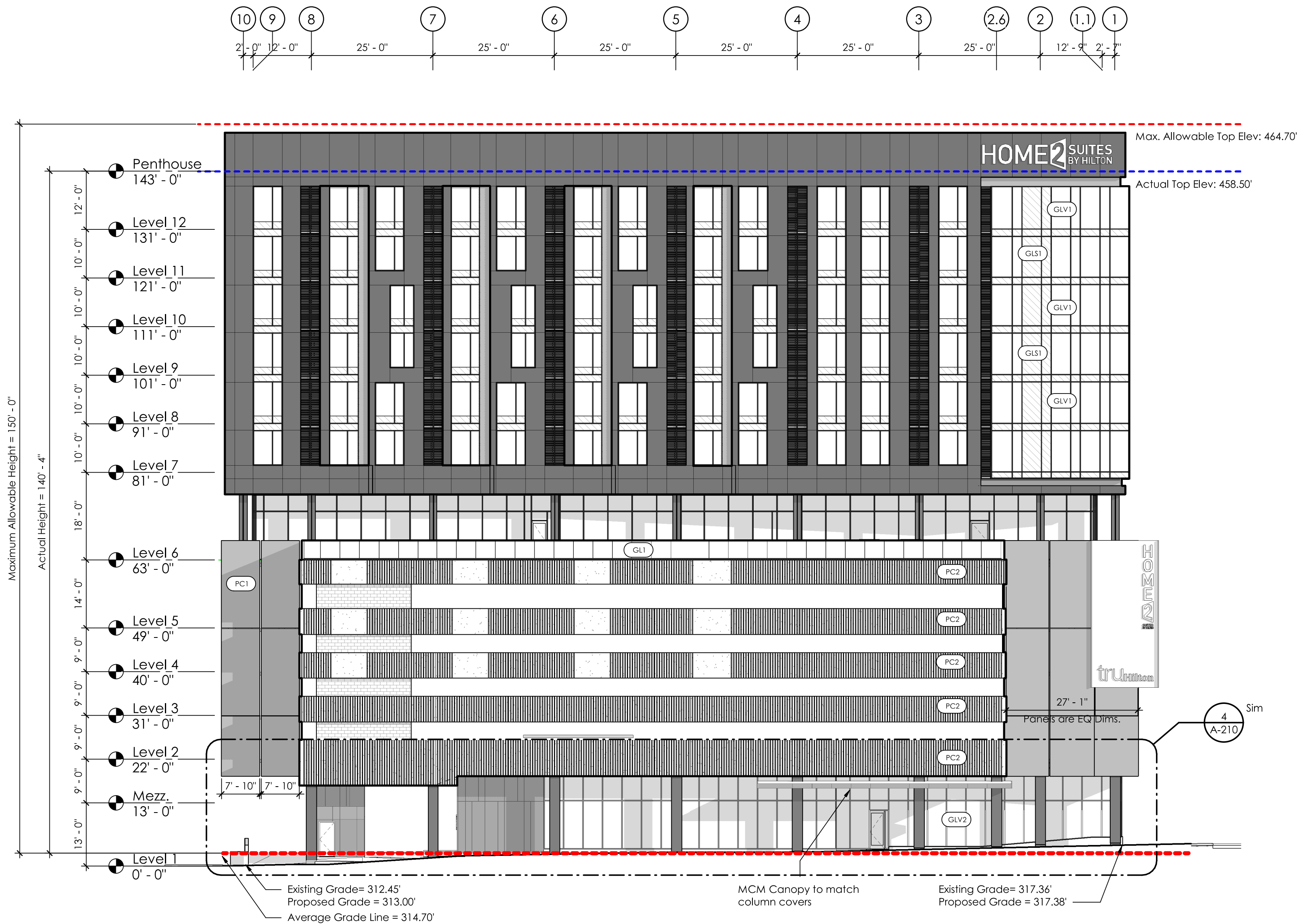
ISSUE DATE: 10/04/2019
PROJECT NUMBER: 21901

Exterior
Elevations -
North & West

A-200



2 Exterior Elevation - West - Wilmington Street - Primary Street
1/16" = 1'-0"



1 Exterior Elevation - North - Lenoir Street - Primary Street
1/16" = 1'-0"

AVERAGE GRADE DETERMINATION:

	EXISTING			PROPOSED		
	HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE
NORTH PLANE	317.36	312.45	314.91	317.38	313.00	315.19
WEST PLANE	317.36	316.00	316.68	317.38	316.20	316.79
SOUTH PLANE	316.00	313.00	314.50	316.20	313.00	314.60
EAST PLANE	313.00	312.45	312.73	313.00	313.00	313.00
BUILDING 1 AVERAGE OF WALL PLANES			314.70			314.90
MOST RESTRICTIVE CONDITION OCCURS IN THE EXISTING CONDITIONS WITH AN AVERAGE GRADE OF 314.70'.						



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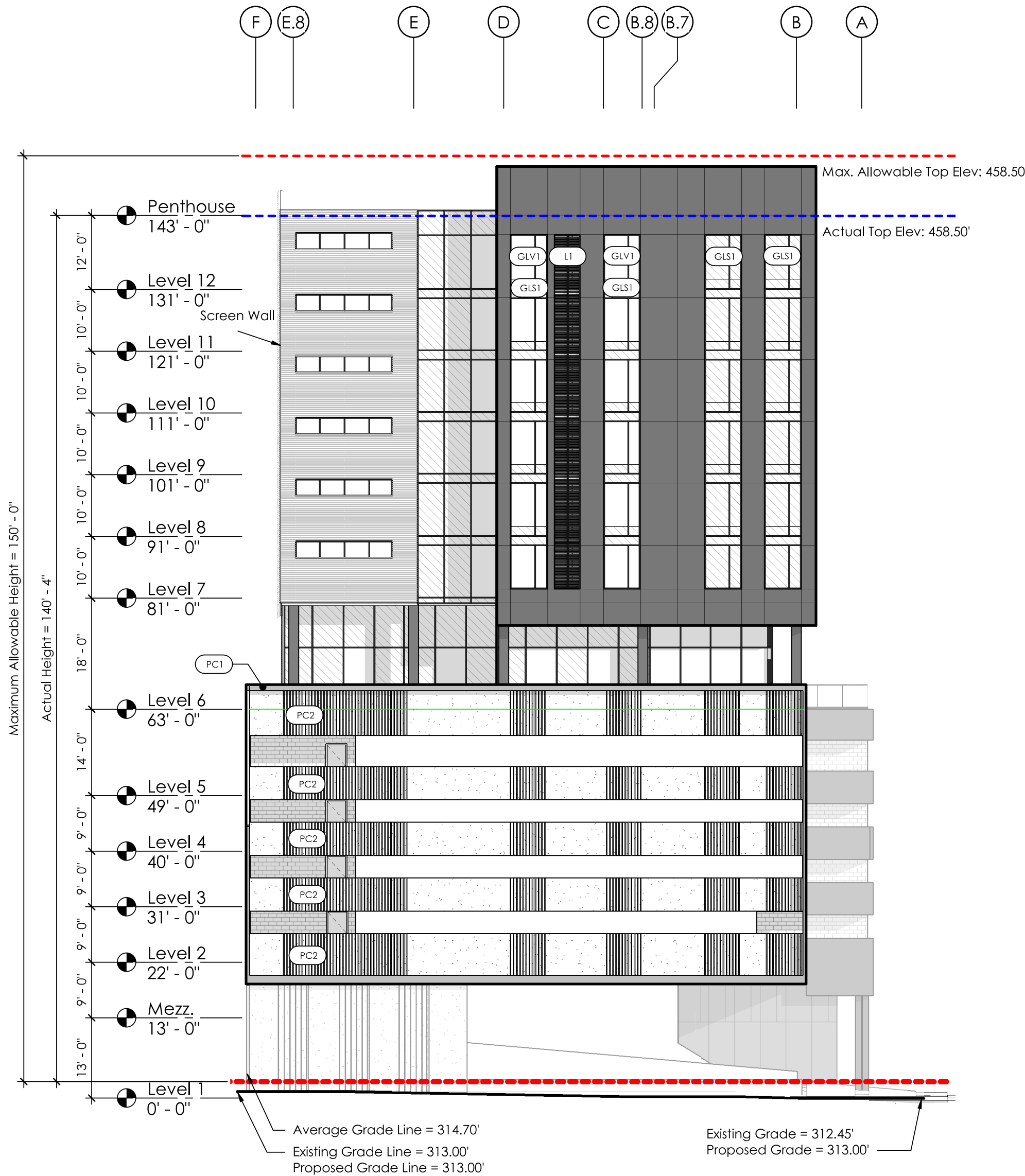
Mark	Date	Description

Design Development

ISSUE DATE: 10/04/2019
PROJECT NUMBER: 21901

Exterior
Elevations -
South & East

A-201



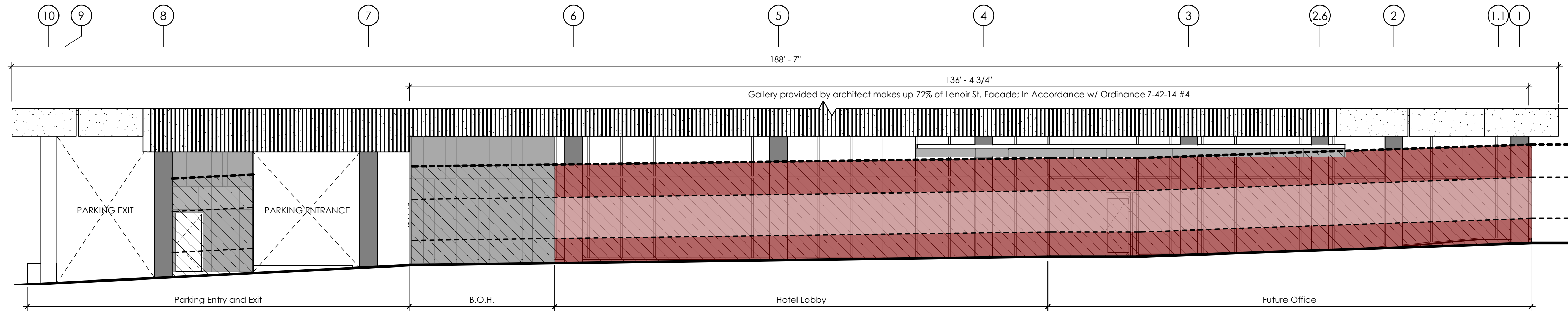
1 Exterior Elevation - East - Secondary Street
1/16" = 1'-0"



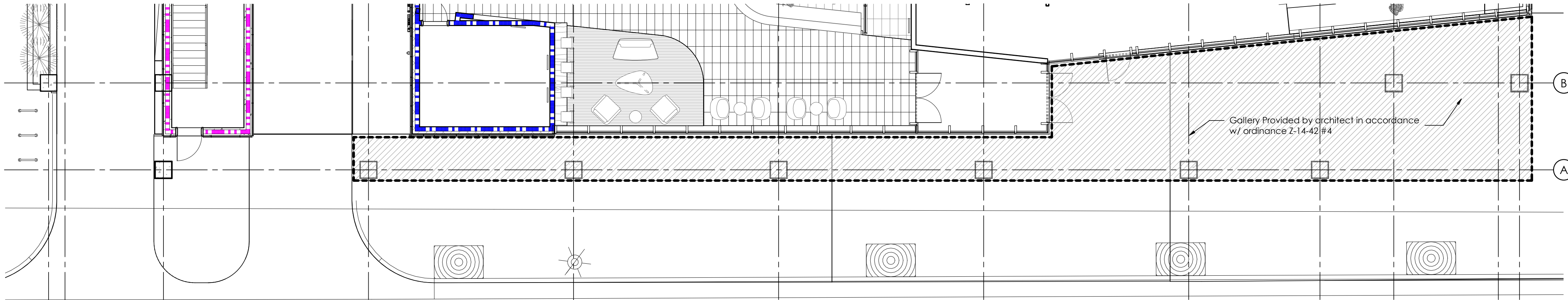
2 Exterior Elevation - South - Secondary Street
1/16" = 1'-0"

AVERAGE GRADE DETERMINATION:

	EXISTING			PROPOSED		
	HIGH	LOW	AVERAGE	HIGH	LOW	AVERAGE
NORTH PLANE	317.36	312.45	314.91	317.38	313.00	315.19
WEST PLANE	317.36	316.00	316.68	317.38	316.20	316.79
SOUTH PLANE	316.00	313.00	314.50	316.20	313.00	314.60
EAST PLANE	313.00	312.45	312.73	313.00	313.00	313.00
BUILDING 1 AVERAGE OF WALL PLANES			314.70			314.90
MOST RESTRICTIVE CONDITION OCCURS IN THE EXISTING CONDITIONS WITH AN AVERAGE GRADE OF 314.70'.						



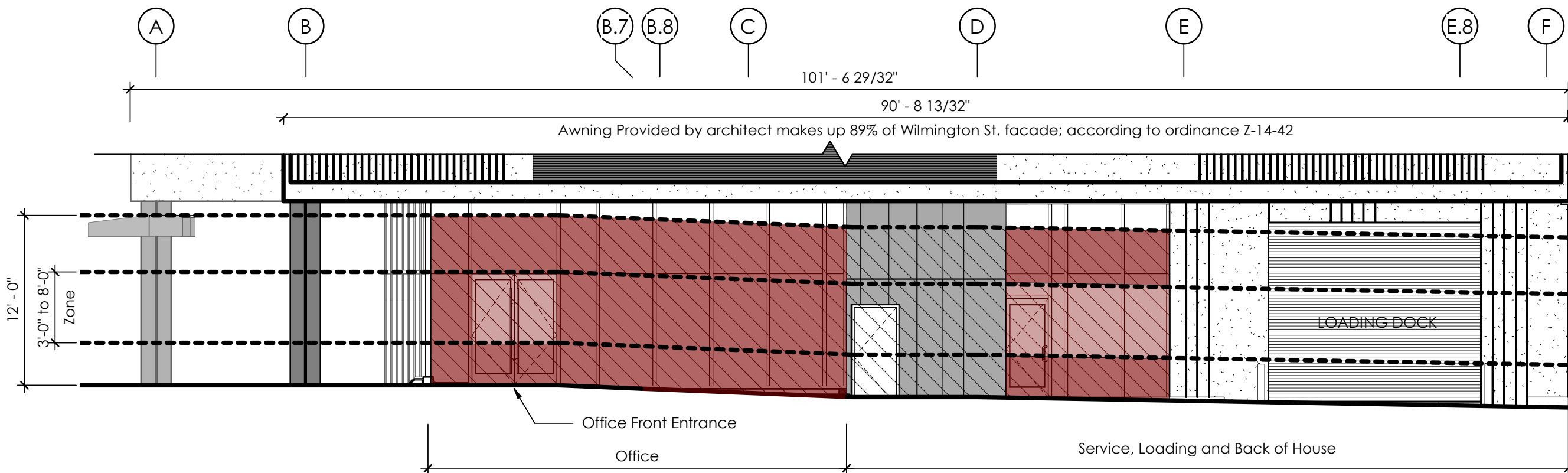
4 Enlarged Elevation - Ground Floor Lenoir St. Transparency
1/8" = 1'-0"



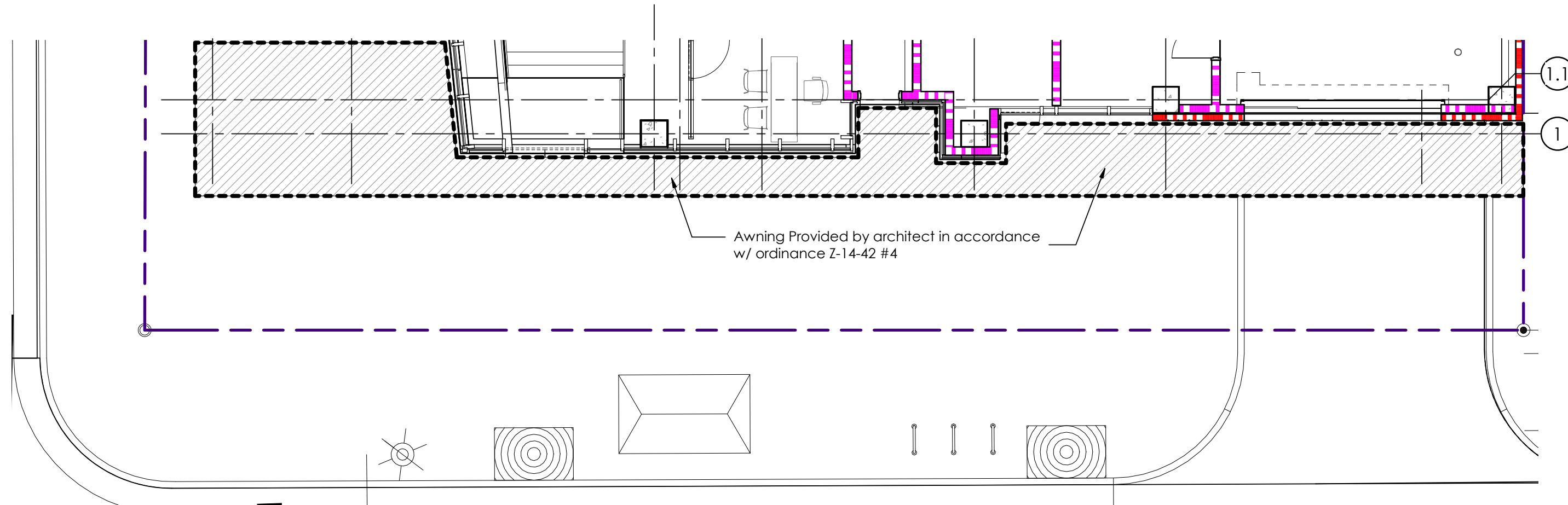
3 Enlarged Plan - Ground Floor Lenoir Street
1/8" = 1'-0"

GROUND FLOOR TRANSPARENCY CALCULATION		
North Elevation (Street Facing)	0' - 12' Zone	3' - 8' Zone
Ground Story Total Area	1758.42 SF	---
Ground Story Required Area	1160.55 SF (66%)	580.27 SF (33%)
Ground Story Provided Area	1422 SF	596.23 SF

GROUND FLOOR TRANSPARENCY CALCULATION		
West Elevation (Street Facing)	0' - 12' Zone	3' - 8' Zone
Ground Story Total Area	638.46 SF	---
Ground Story Required Area	413.39 SF (66%)	206.69 SF (33%)
Ground Story Provided Area	491.85 SF	213.14 SF



2 Enlarged Elevation - Ground Floor S.Wilmington St. Transparency
1/8" = 1'-0"



1 Enlarged Plan - Ground Floor S. Wilmington Street
1/8" = 1'-0"



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Mark	Date	Description

Design Development

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Elevation -
Ground Floor
Requirements

A-210

OPEN GARAGE NATURAL VENTILATION CALC.

Tier 1

- Tota Area of exterior wall - **5,242.28 SF**
- Required Open Area of Exterior Wall - **20%**
- Provided Open Area of Exterior Wall - **1168.74 SF**
- Provided Open Area Percentage of Exterior Wall - **22.9 %**

- Total Perimeter of Tier - **582.50 LF**
- Required % Open Perimeter of Tier - **40 %**
- Aggregate Length of Openings - **346.55 LF**
- Provided % Open Perimeter of Tier - **59.5 %**

Tier 2

- Tota Area of exterior wall - **5,242.28 SF**
- Required Open Area of Exterior Wall - **20%**
- Provided Open Area of Exterior Wall - **1168.74 SF**
- Provided Open Area Percentage of Exterior Wall - **22.9 %**

- Total Perimeter of Tier - **582.50 LF**
- Required % Open Perimeter of Tier - **40 %**
- Aggregate Length of Openings - **346.55 LF**
- Provided % Open Perimeter of Tier - **59.5 %**

Tier 3

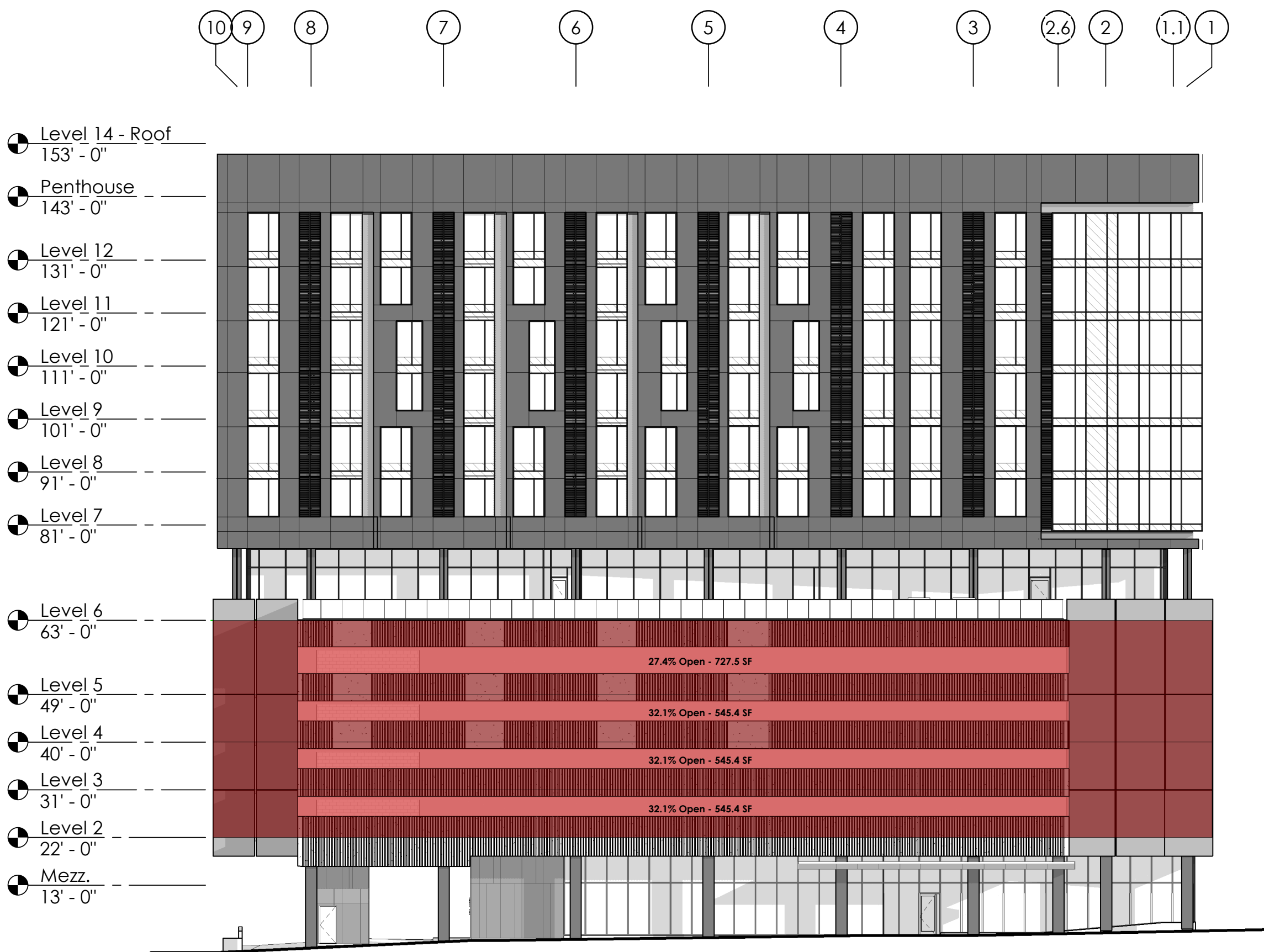
- Tota Area of exterior wall - **5,242.28 SF**
- Required Open Area of Exterior Wall - **20%**
- Provided Open Area of Exterior Wall - **1168.74 SF**
- Provided Open Area Percentage of Exterior Wall - **22.9 %**

- Total Perimeter of Tier - **582.50 LF**
- Required % Open Perimeter of Tier - **40 %**
- Aggregate Length of Openings - **346.55 LF**
- Provided % Open Perimeter of Tier - **59.5 %**

Tier 4

- Tota Area of exterior wall - **8117.7 SF**
- Required Open Area of Exterior Wall - **20 %**
- Provided Open Area of Exterior Wall - **1648 SF**
- Provided Open Area Percentage of Exterior Wall - **20.3%**

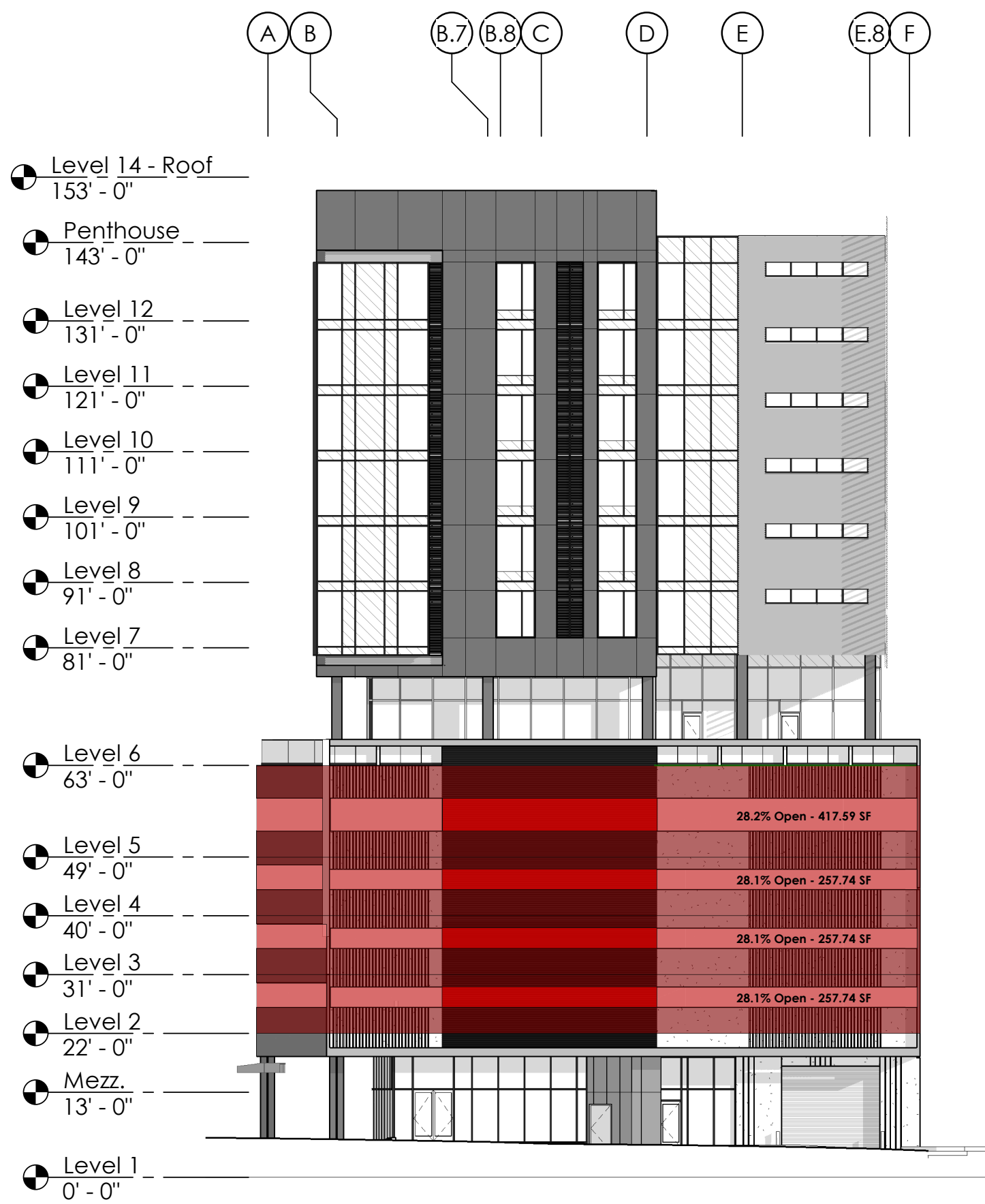
- Total Perimeter of Tier - **582.50 LF**
- Required % Open Perimeter of Tier - **40 %**
- Aggregate Length of Openings - **346.55 LF**
- Provided % Open Perimeter of Tier - **59.5 %**



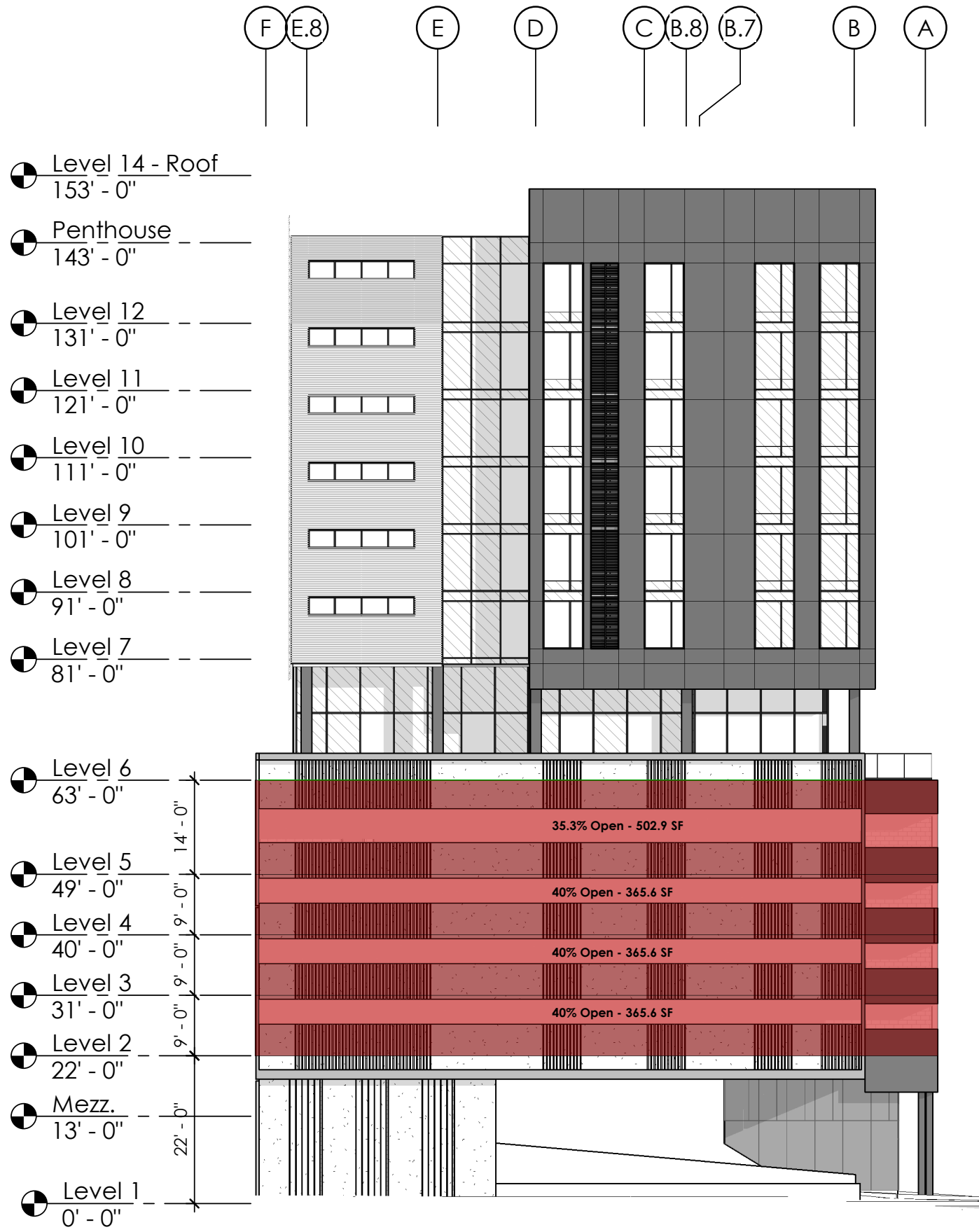
4 Exterior Elevation - North Openess
1" = 20'-0"



3 Exterior Elevation - South Openess
1" = 20'-0"



2 Exterior Elevation - West Openess
1" = 20'-0"



1 Exterior Elevation - East Openess
1" = 20'-0"



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Elevations -
Garage
Openess
Calculations

A-220