

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits?    Yes    No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use.     			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

**DEVELOPMENT TYPE + SITE DATE TABLE****(Applicable to all developments)**

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area?      Yes      No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer      Yes      No	Wetlands      Yes      No

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br      2br      3br      4br or more	
# of lots:	Is your project a cottage court?      Yes      No

**SIGNATURE BLOCK**

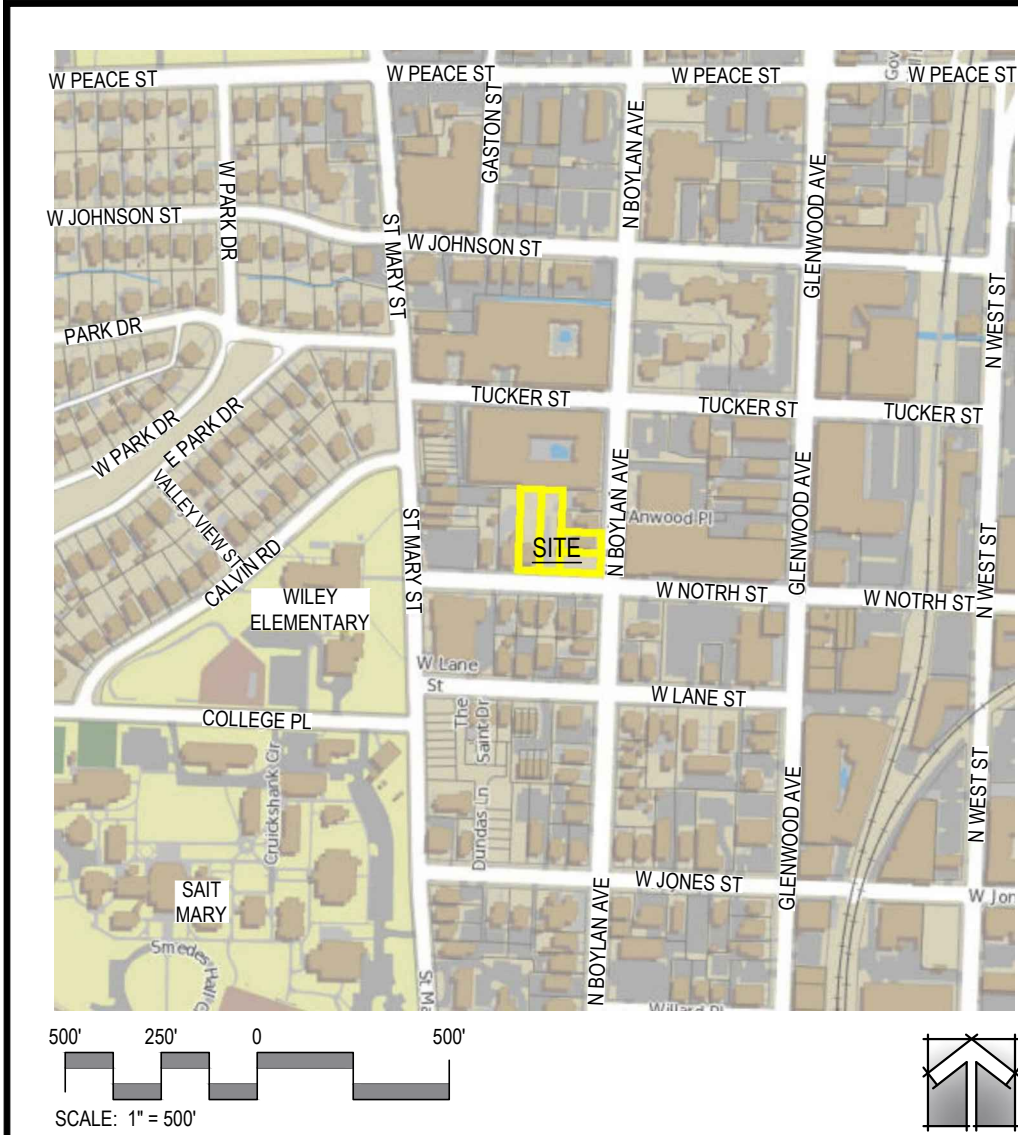
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, \_\_\_\_\_ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date:
Printed Name:	





REFERENCE: BOA-0045-2021

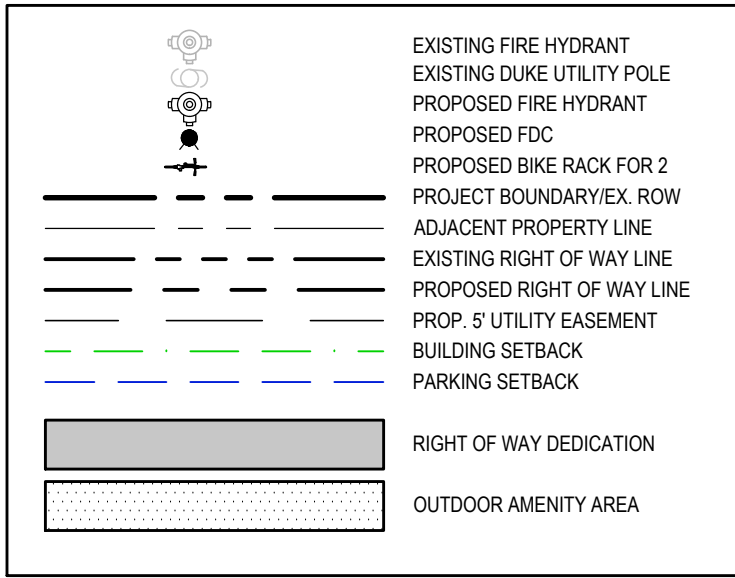
ASR-0053-2021

## Administrative Site Review

1st Submittal: June 18, 2021  
2nd Submittal: August 24, 2021  
3rd Submittal: October 05, 2021

# Glenwood South Towns

708 & 710 W North Street, and 401 & 405 N Boylan Avenue, Raleigh, North Carolina 27603



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## Notes

### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION WAS PROVIDED TO JDAVIS ARCHITECTS BY JOHN A. EDWARDS AND COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN FEBRUARY, 2021, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN JUNE, 2021.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE-AT-811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB.
- NO DRIVEWAYS SHALL ENCRATCH ON THIS MINIMUM CORNER CLEARANCE.

- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SLOTTED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
- POOL IS NOT PROPOSED OR PLANNED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER 66 FEET OR WITH ANY AREA IN EXCESS OF 4,000 SQUARE FEET.

### FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFA 13R) OR 250 FEET (NFA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCF 503.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF, SECTION 507.3.

### SOLID WASTE INSPECTION STATEMENTS

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY THE CITY OF RALEIGH AND COMPLY WITH SECTION 8-1 AND A-8 OF THE SOLID WASTE MANUAL.
- GARBAGE AND RECYCLING CARTS MUST BE ROLLED TO THE PUBLIC RIGHT OF WAY BY 7 AM ON COLLECTION DAYS.
- GARBAGE AND RECYCLING CARTS MUST BE 5' FROM MAILBOXES, UTILITY POLES, PARKED CARS, YARD WASTE CONTAINERS, OTHER ITEMS AND CANNOT BLOCK THE DRIVEWAY CURB CUT.
- IT IS THE RESIDENTS RESPONSIBILITY TO RETURN THE GARBAGE AND RECYCLING CARTS TO THE CORRAL AFTER COLLECTION.
- RESIDENTS WHO ARE PHYSICALLY UNABLE AND DO NOT HAVE AN ABLE BODIED PERSON LIVING WITH THEM TO BRING GARBAGE AND RECYCLING CARTS TO THE CURB FOR COLLECTION MAY QUALIFY FOR NEED ASSISTANCE COLLECTION. RESIDENTS MUST COMPLETE THE NEED ASSISTANCE ENROLLMENT FORM, WHICH INCLUDES A PHYSICIAN'S STATEMENT. RESIDENTS CAN OBTAIN AN ENROLLMENT FORM, CALL 919-996-3245 OR SEND AN EMAIL TO [SW@raleighnc.gov](mailto:SW@raleighnc.gov).

### TREE CONSERVATION NOTE

- THIS PROJECT SITE IS LESS THAN 2 ACRES. TREE CONSERVATION IS NOT REQUIRED PER UDO SEC. 9.1.2. REFER TO RECORDED MAP, BM 2009, PG 965 FOR EXISTING TREE CONSERVATION AREA.

### STORMWATER MANAGEMENT NOTE

- THE PROJECT SITE IS CURRENTLY MADE UP TO 4 GRANDFATHERED LOTS AND WILL BE RECOMBINED INTO 2 LOTS WHICH WILL REMAIN GRANDFATHERED LOTS IN ACCORDANCE WITH UDO 9.2.2.A.1b.i. AND THEREFORE EXEMPT FROM ACTIVE STORMWATER CONTROLS. NEW LOT 1 PROPOSED IMPERVIOUS EXCEEDS THE 65% LIMIT, AND A FLOOD STUDY IS PROVIDED IN ACCORDANCE WITH 9.2.2.A.4.b.i. NEW LOT 2 PROPOSED IMPERVIOUS IS UNDER THE 65% MAXIMUM AND THEREFORE NO OTHER CONTROLS REQUIRED.

### TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO [RIGHTOFWAYSERVICES@RALEIGHNC.GOV](mailto:rightofwayservices@raleighnc.gov).
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NC DOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

## Project Team

<b>OWNER</b> LG Boylan, LLC C/O Marvin f Poer & Co 3500 Maple Avenue, Suite 1600 Dallas, Texas 75219 919.623.4668 <a href="mailto:roland@whiteoakinc.com">roland@whiteoakinc.com</a>	<b>OWNER</b> South Glenwood Company LLC 405 N Boylan Avenue Raleigh, North Carolina 27603 919.623.4668 <a href="mailto:roland@whiteoakinc.com">roland@whiteoakinc.com</a>	<b>DEVELOPER</b> White Oak Properties 3008 Anderson Drive, Suite 120 Raleigh, North Carolina 27609 919.623.4668 <a href="mailto:roland@whiteoakinc.com">roland@whiteoakinc.com</a>	<b>LANDSCAPE ARCHITECT</b> JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) <a href="mailto:kent@jdavisarchitects.com">kent@jdavisarchitects.com</a>	<b>ARCHITECT</b> JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) <a href="mailto:robertn@jdavisarchitects.com">robertn@jdavisarchitects.com</a>	<b>ENGINEER</b> John A. Edwards & Co. 333 Wade Avenue Raleigh, North Carolina 27605 919.828.4428 919.828.4711 (fax) <a href="mailto:jon_callahan@jaeco.com">jon_callahan@jaeco.com</a>	<b>SURVEYOR</b> John A. Edwards & Co. 333 Wade Avenue Raleigh, North Carolina 27605 919.828.4428 919.828.4711 (fax) <a href="mailto:chris@jaeco.com">chris@jaeco.com</a>
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## Administrative Site Review Application

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This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input type="checkbox"/>	
<b>Building Type</b>	<b>Site Transaction History</b>
<input type="checkbox"/> Detached	Subdivision case #: <i>N/A</i>
<input type="checkbox"/> Attached	Scoping/sketch plan case #: <i>N/A</i>
<input checked="" type="checkbox"/> Apartment	Certificate of Appropriateness #: <i>N/A</i>
<input type="checkbox"/> Townhouse	Board of Adjustment #: <i>N/A</i>
	Zoning Case #: <i>N/A</i>
	Administrative Alternate #: <i>N/A</i>

<b>GENERAL INFORMATION</b>
Development name: Glenwood South Towns
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Property address(es): 710 & 708 W North Street, and 401 & 405 N Boylan Avenue, Raleigh, North Carolina 27603
Site P.I.N.(s): 1704308984, 1704309945, 1704400818, & 1704400912
Please describe the scope of work, include any additions, expansions, and change of use. New Development of Three Apartment Buildings on two proposed lots (Condominium)/Multi-Unit Living w/ retaining walls less than 5' in height.

Current Property Owner/Developer Contact Name: Roland Gammon (Developer)	
<b>NOTE: please attach purchase agreement when submitting this form.</b>	
Company: White Oak Properties	Title: Manager of LLC.
Address: 3008 Anderson Drive, Suite 120, Raleigh, North Carolina 27609	
Phone #: 919-623-4668	Email: <a href="mailto:roland@whiteoakinc.com">roland@whiteoakinc.com</a>
Applicant Name: Ken Thompson	
Company: JDavis Architects	Address: 510 S. Wilmington Street, Raleigh, North Carolina 27601
Phone #: 919.835.1500	Email: <a href="mailto:kent@jdavisarchitects.com">kent@jdavisarchitects.com</a>

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-DE	Existing gross floor area (not to be demolished): 0
Gross site acreage: 0.78 AC	Existing gross floor area to be demolished: 3,263 SF
# of parking spaces required: 32 spaces	New gross floor area: 30,993 SF
# of parking spaces proposed: 32 spaces	Total sf gross (to remain and new): 30,993 SF
Overlay District (if applicable): NCOD (North Boylan)	Proposed # of buildings: 3
Existing use (UDO 6.1.4): Office, Vacant, Single-Unit Living	Proposed # of stories for each: 3 Stories
Proposed use (UDO 6.1.4): Multi-Unit Living (Apartment)	

STORMWATER INFORMATION			
Existing Impervious Surface:		Proposed Impervious Surface:	
Acres: 0.25 AC	Square Feet: 11,040 SF	Acres: 0.53 AC	Square Feet: 23,098 SF
Is this a flood hazard area?		Yes	No <input checked="" type="checkbox"/>
If yes, please provide:			
Alluvial soils:			
Flood study:			
FEMA Map Panel #:			
Neuse River Buffer:		Wetlands:	
Yes	No <input checked="" type="checkbox"/>	Yes	No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units: 16		Total # of hotel units: 0	
# of bedroom units: 1br 0	2br 0	3br 16	4br or more 0
# of lots: 2	Is your project a cottage court?		Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

<b>SIGNATURE BLOCK</b>
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.
I, <u>Kenneth D Thompson</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.
Signature: <u>KD Thompson</u> Date: 06.16.2021
Printed Name: Kenneth D. Thompson

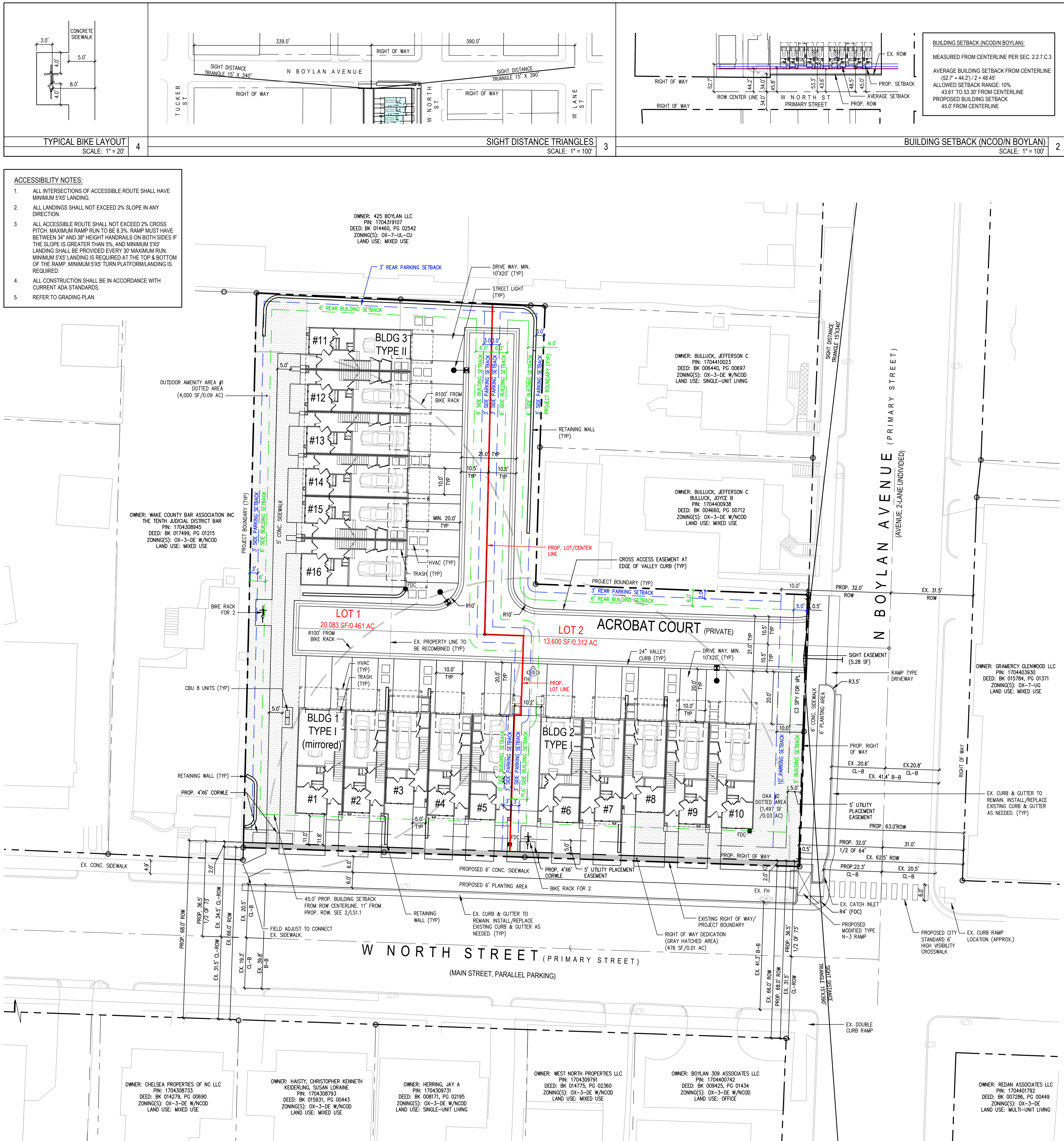
## ADMINISTRATIVE SITE REVIEW

PROJECT:	WOP-21050	DATE
ISSUE:	Administrative Site Review	06.18.2021
REVISIONS:	1st Review Comments	08.24.2021
	2nd Review Comments	10.05.2021
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	COVER	

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<b>Overall Site Data</b> Project: Glenwood South Towns Updated: 06.16.2021 (Revised: 10.01.2021)				
<b>1) Zoning and parcel data</b>	<b>Zoning</b>	<b>Survey</b>	<b>Survey</b>	<b>Maps deed</b>
PIN 1704309864	OX-3-DE NC	11,601 SF	0.266 AC	0.26 AC
PIN 1704309865	OX-3-DE NC	11,601 SF	0.266 AC	0.26 AC
PIN 1704400912	OX-3-DE NC	5,505 SF	0.126 AC	0.13 AC
PIN 1704400818	OX-3-DE NC	5,471 SF	0.126 AC	0.12 AC
Total gross area		34,178 SF	0.784 AC	0.77 AC
<b>Net AC</b>				
Gross AC		34,178 SF	0.784 AC	
Less W. North St. ROW dedication		-426 SF	-0.010 AC	
Less N. Boylan Ave. ROW dedication		-49 SF	-0.001 AC	
Net AC		33,683 SF	0.773 AC	
<b>2) Proposed units</b>				
Building #1 (Lot #1)				5 DU
Building #3 (Lot #1)				6 DU
Building #2 (Lot #2)				5 DU
Total				16 DU
<b>4) Proposed density overall</b>				
Lot #1 (Building #1 and #3)	11 /	0.46 =	23.86 DU/AC	
Lot #2 (Building #2)	5 /	0.31 =	16.01 DU/AC	
Overall	16 /	0.77 =	20.59 DU/AC	
<b>Gross building square footage</b>				
Lot #1 (Building #1 and #3)			21,284 SF	
Lot #2 (Building #2)			9,699 SF	
Overall			30,983 SF	
<b>Proposed FAR</b>				
Lot #1 (Building #1 and #3)	21,284 /	0.46 =	106.0%	
Lot #2 (Building #2)	9,699 /	0.31 =	71.3%	
Overall	30,983 /	0.77 =	92.0%	
<b>Building lot coverage (does not include deck)</b>				
Lot #1 (Building #1 and #3)	6,956 /	0.46 =	34.6%	
Lot #2 (Building #2)	3,128 /	0.31 =	23.0%	
Overall	10,084 /	0.77 =	29.9%	
<b>5) Outdoor amenity area (sec. 3.2.4.A.3)</b>				
Lot #1 (Building #1 and #3)	20,083 SF		0.46 AC	
10% of area	10%		10%	
Required	2,008 SF		0.05 AC	
Area provided				
OAA #1	4,000 SF	19.9%	0.09 AC	
Lot #2 (Building #2)	13,600 SF		0.31 AC	
10% of area	10%		10%	
Required	1,360 SF		0.03 AC	
Area provided				
OAA #2	1,497 SF	11.0%	0.03 AC	
<b>6) Required parking</b>				
Lot #1 (Building #1 and #3)	11 x	2 =	22 SP	
Lot #2 (Building #2)	5 x	2 =	10 SP	
Total parking spaces required	16 x	2 =	32 SP	
<b>Parking provided</b>				
Lot #1 (Building #1 and #3)	11	11	22 SP	
Lot #2 (Building #2)	5	5	10 SP	
Total parking spaces provided	16	16	32 SP	
<b>7) Required bicycle parking (UDO section 7.1.2)</b>				
Short term				4 SP
Multi-unit living (1 space per 20 units, min. 4)				4 SP
<b>8) NOTES</b>				
1. A BOA variance (BOA-0045-2021) has been submitted for building height (UDO 5.4.3.F.10), primary street facing entrance (UDO 3.4.4.E.1), front wall offset (UDO 3.4.4.F.1).				

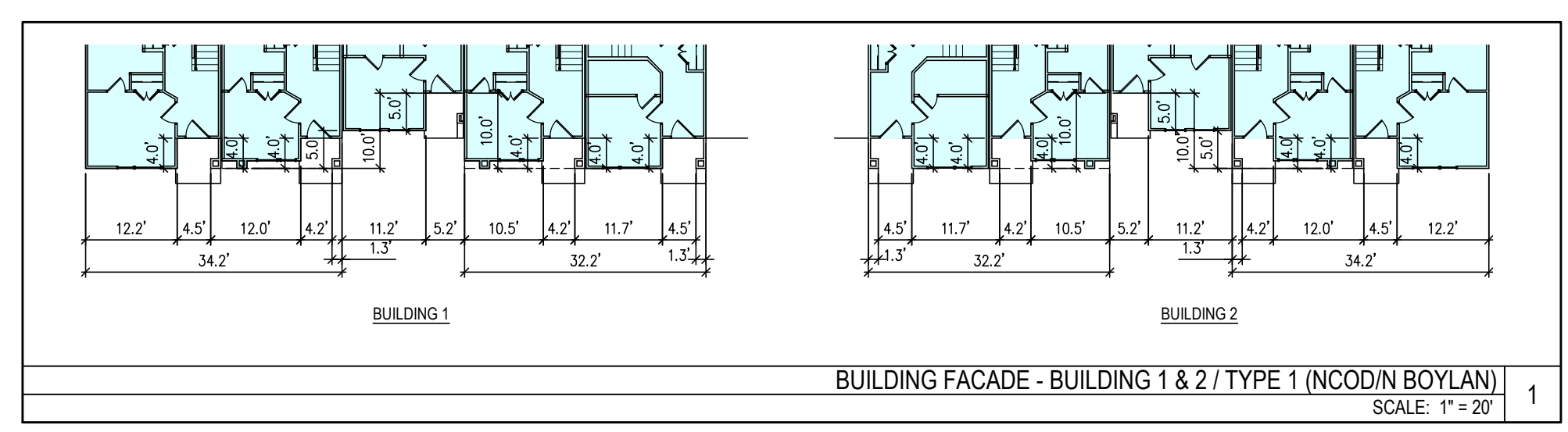
<b>PRIMARY STREET DETERMINATION (SEC. 1.5.4.C.1)</b>		
A LOT DEVELOPED WITH THE APARTMENT, GENERAL, MIXED-USE OR CIVIC BUILDING TYPES SHALL DESIGNATE ITS PRIMARY STREET USING THE CRITERIA SHOWN IN (A) THROUGH (G) BELOW. IF NO STREET MEETS CRITERIA (A) THROUGH (D), THEN THE STREET THAT SATISFIES MORE OF CRITERIA (E) THROUGH (G) WILL BE DESIGNATED AS PRIMARY. IF THE CRITERIA DO NOT APPLY OR DO NOT PRODUCE A CLEAR RESULT, THEN ANY STREET MAY BE DESIGNATED AS PRIMARY BY THE APPLICANT.		
	N. BOYLAN	W. NORTH
<b>A. THE STREET WITH TRANSIT SERVICE:</b>	NO	NO
<b>B. THE STREET DESIGNATED AS A MAIN STREET OR URBAN THOROUGHFARE ON THE URBAN FORM MAP:</b>	NO	NO
<b>C. ANY STREET DESIGNATED AS A RETAIL STREET IN THE DOWNTOWN SECTION OF THE COMPREHENSIVE PLAN:</b>	NO	NO
<b>D. THE STREET DESIGNATED AS A MIXED-USE STREET ON THE RALEIGH STREET PLAN MAP:</b>	YES	YES
<b>PER SECTION 1.5.4.C.1, IF TWO STREETS MEET ANY OF CRITERIA (A) THROUGH (D), BOTH WILL BE DESIGNATED PRIMARY.</b>	PRIMARY	PRIMARY
<b>RESPONSE: BASED ON THE ABOVE, BOTH N. BOYLAN AND W. NORTH ARE PRIMARY STREETS.</b>		

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
  - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
  - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
  - THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
  - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
  - IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
  - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
  - ALL SURVEY INFORMATION WAS PROVIDED TO JDAVIS ARCHITECTS BY JOHN A. EDWARDS AND COMPANY IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN FEBRUARY, 2021, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN JUNE, 2021.
  - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
  - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
  - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
  - TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
  - GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
  - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT #11 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
  - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
  - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
  - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
  - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB.
  - NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
  - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS AND ADAPG SPECIFICATIONS
  - ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI, NCSCB, AND ICC STANDARDS AND SPECIFICATIONS.
  - ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
  - UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.
  - POOL IS NOT PROPOSED OR PLANNED ON THIS SITE. SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIMENSION GREATER 65 FEET OR WITH ANY AREA IN EXCESS OF 4,000 SQUARE FEET.

- HC RAMPS:**
- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.

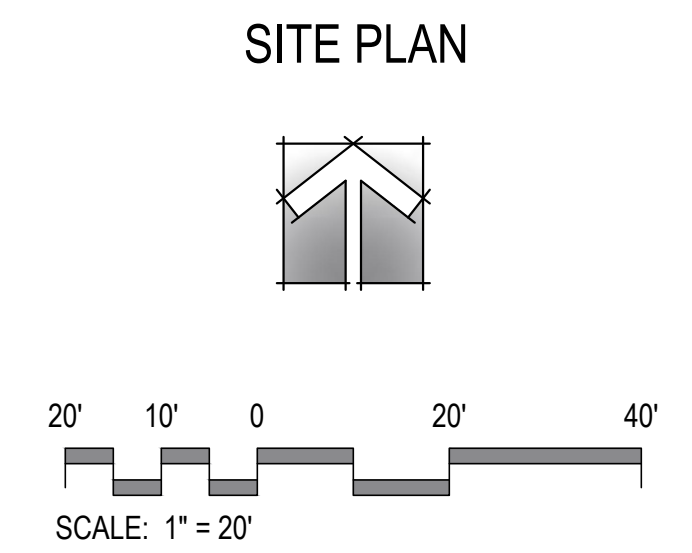
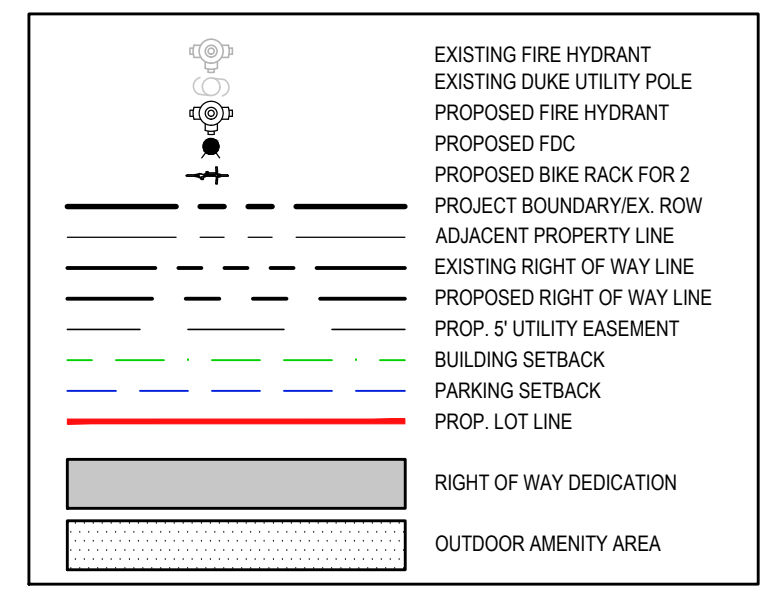
SEE LS3.1 FOR STREET SECTIONS.

<b>BUILDING ELEVATIONS</b>				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG 1	W. NORTH STREET	331.00	327.00	329.00
	N. BOYLAN STREET	327.00	325.00	326.00
BLDG 2	W. NORTH STREET	324.30	320.30	322.30
	N. BOYLAN STREET	320.30	318.20	319.25
BLDG 3	W. NORTH STREET	329.00	327.25	328.13
	N. BOYLAN STREET	327.25	324.55	325.90



REFERENCE: BOA-0045-2021

**ASR-0053-2021**



**JDAVIS**

510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500  
1218 Chatham St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

**ASR-0053-2021** (Admin. Site Review)  
REFERENCE: BOA-0045-2021

**White Oak Properties**

**Glenwood South Towns**

**708 & 710 W North St, and 401 & 405 N Boylan Ave**

**Raleigh, North Carolina 27603**

**ADMINISTRATIVE SITE REVIEW**

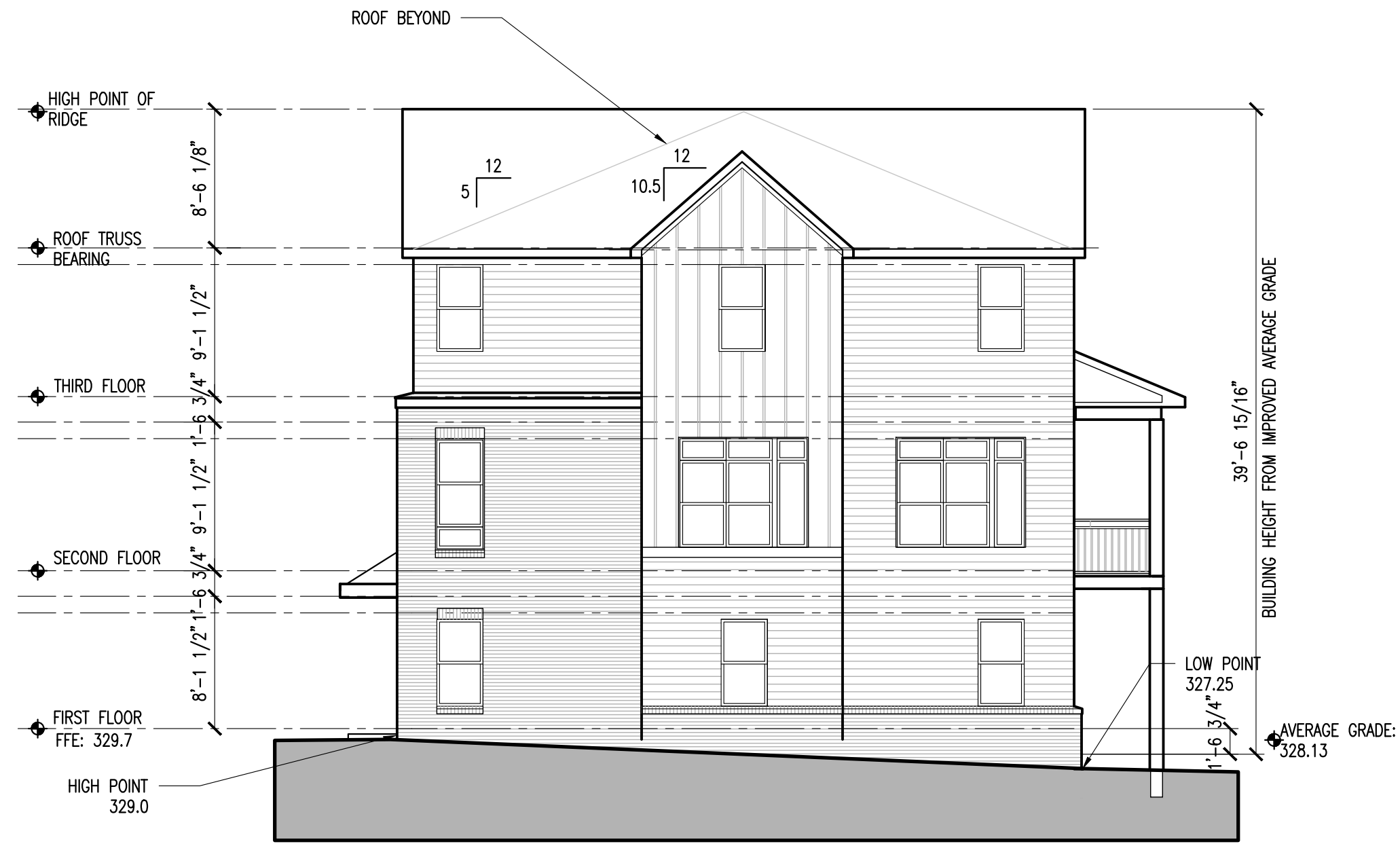
PROJECT:	WOP-21050	DATE:	
ISSUE:	Administrative Site Review	DATE:	06.18.2021
REVISIONS:	1st Review Comments	DATE:	08.24.2021
	2nd Review Comments	DATE:	10.05.2021
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	SITE PLAN		

**LS1.1**





BUILDING ELEVATIONS				
BUILDING		IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG 1	W. NORTH STREET	331.00	327.00	329.00
	N. BOYLAN STREET	327.00	325.00	326.00
BLDG 2	W. NORTH STREET	324.30	320.30	322.30
	N. BOYLAN STREET	320.30	318.20	319.25
BLDG 3	W. NORTH STREET	329.00	327.25	328.13
	N. BOYLAN STREET	327.25	324.55	325.90



BUILDING THREE W. NORTH STREET ELEVATION



BUILDING THREE BOYLAN STREET ELEVATION