

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan	
	<b>Building Type</b>		<b>Site Transaction History</b>
	Detached	General	Subdivision case #: _____
	Attached	Mixed use	Scoping/sketch plan case #: _____
	Apartment	Open lot	Certificate of Appropriateness #: _____
	Townhouse	Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
<b>GENERAL INFORMATION</b>			
Development name:			
Inside City limits?    Yes    No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company:			Title:
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area?      Yes      No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer      Yes      No	Wetlands      Yes      No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br      2br      3br	4br or more
# of lots:	Is your project a cottage court?      Yes      No

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: <i>Brad C. Hill</i>	Date:
Printed Name:	

# RALEIGH FIRE STATION 3: CONSTRUCTION DOCUMENTS

## RALEIGH FIRE STATION 3

936 ROCK QUARRY ROAD, RALEIGH, NORTH CAROLINA 27610



CITY OF RALEIGH -  
FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC

CITY OF RALEIGH

CONSULTANTS

SITE / CIVIL  
**TIMMONS**  
5410 TRINITY ROAD SUITE 102  
RALEIGH, NC 27607  
919.866.4935

MEP  
**ATLANTEC**  
3221 BLUE RIDGE RD SUITE 113  
RALEIGH, NC 27612  
919.571.1111

STRUCTURAL  
**LYNCH MYKINS**  
301 N. WEST STREET SUITE 105  
RALEIGH, NC 27603  
919.782.1533

### UTILITY / MUNICIPALITY CONTACTS:

- A. CITY OF RALEIGH  
DEVELOPMENT SERVICES DEPARTMENT  
ONE EXCHANGE PLAZA SUITE 300  
RALEIGH, NC 27601  
(919) 996-2682  
CONTACT: CITY OF RALEIGH
- B. BURIED CABLE LOCATION  
NC 811
- C. DUKE ENERGY  
(866) 582-6345

### CONSULTANT CONTACTS:

- OWNER  
CITY OF RALEIGH  
CONTACT: CITY OF RALEIGH  
PO BOX 590  
RALEIGH, NC 27602-0590  
PHONE: 919-996-2682
- SITE ENGINEER/ LANDSCAPE ARCHITECT  
TIMMONS GROUP  
CONTACT: BRANDON MCLAMB  
5410 TRINITY ROAD, SUITE 102  
RALEIGH, NC 27607  
PHONE: 919-866-4935

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS PLAN
C1.1	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING AND DRAINAGE PLAN
C4.1	SPOT ELEVATION PLAN
C4.3	BIORETENTION PLAN AND PROFILE
C5.0	PRE-DEVELOPMENT HYDROLOGY MAP
C5.1	POST-DEVELOPMENT HYDROLOGY MAP
C6.0	UTILITY PLAN
C7.0	EROSION CONTROL NOTES AND DETAILS
C7.1	SITE PLAN NOTES AND DETAILS
C7.2	SITE PLAN NOTES AND DETAILS
C7.3	UTILITY NOTES AND DETAILS
C7.4	BIORETENTION NOTES AND DETAILS
L1.0	LANDSCAPE PLAN
L2.0	NOTES AND DETAILS
SL101	SITE LIGHT PHOTOMETRIC PLAN
SL201	LIGHT FIXTURE CUT SHEETS
SL202	LIGHT FIXTURE CUT SHEETS
A101	FLOOR PLAN
A201	EXTERIOR ELEVATIONS

SITE DATA TABLE	
CASE NUMBER	ASR-0053-2022
PINS:	1713347164
*SITE AREA:	*1.74 ACRES
ZONING: (PENDING REZONING)	OX-3
RIVER BASIN:	NEUSE
MIN LOT WIDTH	RT-100'
CURRENT PROPERTY USE	N/A
PROPOSED PROPERTY USE	CIVIC
PROPOSED BUILDING AREA	± 11,750 SF
MAXIMUM BUILDING HEIGHT: (3 STORIES MAX)	OX-3 = 50'
MINIMUM BUILDING HEIGHT: (3 STORIES MAX)	OX-3 = N/A
TOTAL LENGTH WATERLINE	254 LF
TOTAL LENGTH SEWER LINE	131 LF
TOTAL LENGTH STREETS	572 LF
TOTAL LENGTH SIDEWALK	534 LF
TOTAL LENGTH BUFFERS/GREENWAYS	268 LF
DISTURBED AREA	1.91 ACRES (±83,200 SF)
EXISTING IMPERVIOUS	0.17 ACRES (±7,405 SF) - OFFSITE DISTURBANCE
PROPOSED IMPERVIOUS	1.05 ACRES (± 45,738 SF)
REQUIRED PARKING SPACES	N/A
PROVIDED PARKING SPACES	24 PARKING SPACES 4 BICYCLE PARKING SPACES
REQUIRED ADA PARKING SPACES	1 ACCESSIBLE, 1 VAN
PROVIDED ADA PARKING SPACES	2 ACCESSIBLE PARKING SPACES
REQUIRED AMENITY AREA (10%)	0.174 ACRES (± 7,580 SF)
PROVIDED AMENITY AREA	0.174 ACRES (± 7,600 SF)

SEALS

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

PROJECT INFORMATION

PROJECT NO.: 2105  
PHASE: ASR  
DATE: 07.01.2022  
DRAWN BY: SE / KL  
CHECKED BY: BM

REVISIONS

NO.	DESCRIPTION	DATE
1	ASR RESUBMITTAL NO. 1	06.02.22

SHEET INFORMATION

**C0.0**  
COVER SHEET

**Administrative Site Review Application**  
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

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Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic

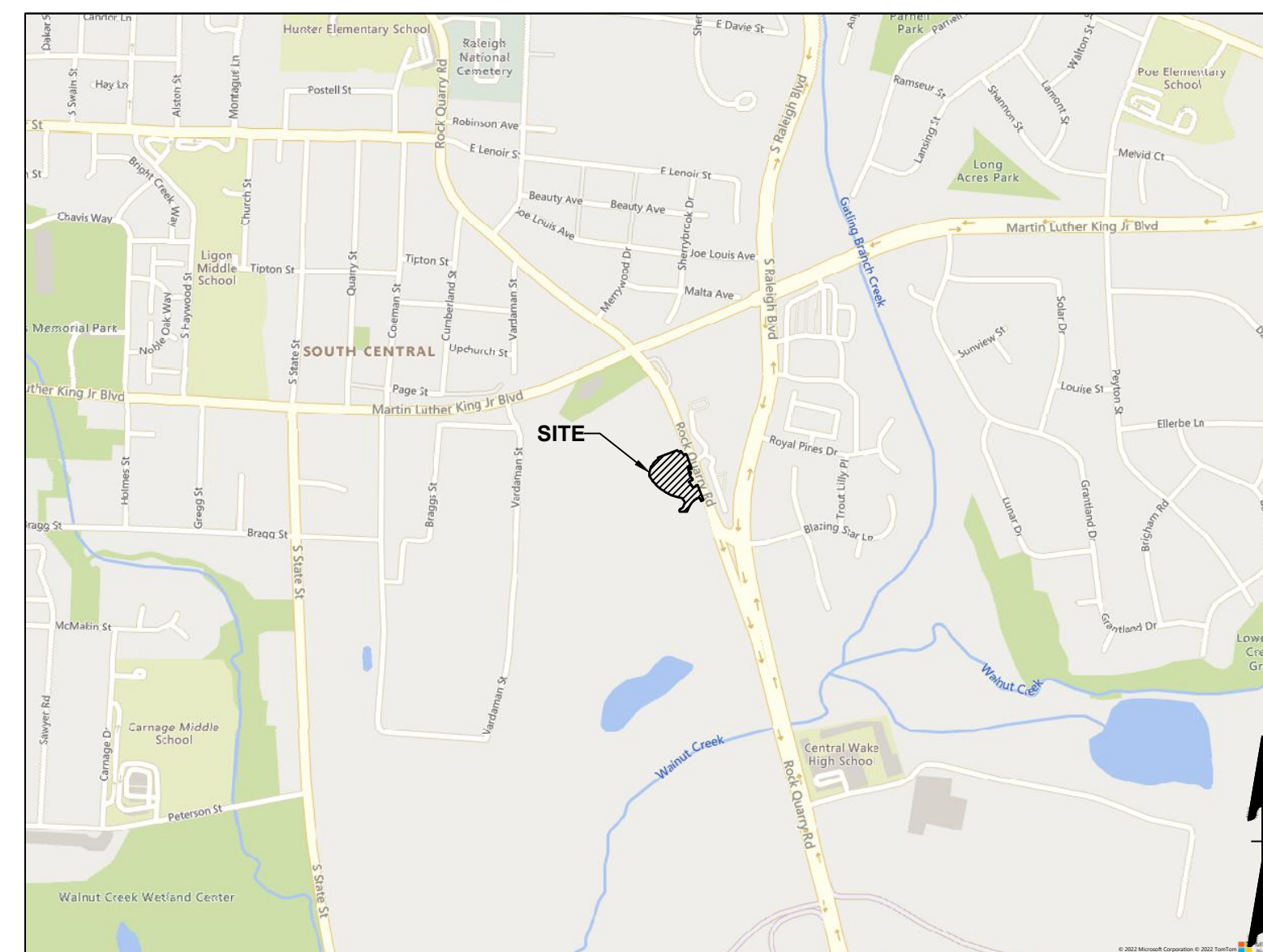
Subdivision case #: \_\_\_\_\_  
Scoping/sketch plan case #: \_\_\_\_\_  
Certificate of Appropriateness #: \_\_\_\_\_  
Board of Adjustment #: \_\_\_\_\_  
Zoning Case #: \_\_\_\_\_  
Administrative Alternate #: \_\_\_\_\_

**GENERAL INFORMATION**

Development name: Raleigh Fire Station 3  
Inside City limits? Yes  No   
Property address(es): 936 Rock Quarry Road  
Site P.I.N.(s): 1713-34-7164  
Please describe the scope of work. Include any additions, expansions, and change of use.  
The scope of work for this site is the addition of a new fire station. The site is currently wooded, most of which will be cleared to make room for the fire station. The size of the fire station is approximately 11,749 square feet.

Current Property Owner/Developer Contact Name: City of Raleigh  
**NOTE: please attach purchase agreement when submitting this form.**  
Company: City of Raleigh Title: \_\_\_\_\_  
Address: PO Box 590 Raleigh, NC 27602-0590  
Phone #: \_\_\_\_\_ Email: \_\_\_\_\_  
Applicant Name: Brandon McLamb  
Company: Timmons Group Address: 5410 Trinity Road, Suite 102 Raleigh, NC 27607  
Phone #: (919) 866-4935 Email: brandon.mclamb@timmons.com

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VICINITY MAP  
1" = 1000'

Thank you for the information. This location is approved and can move forward in the planning process. Please transpore a copy of this email on the plans.

Kind Regards,

Marion

Marion O. Staley  
Code Compliance Supervisor  
Code Compliance Division  
City of Raleigh - Solid Waste Services  
919-996-6940 - Office  
919-219-5437 - Cell  
919-212-4290 - Fax  
Code Compliance Division - Our Mission is Simple - "Care for our People resources to increase Service excellence to our Customers with an eye toward our Future"



Know what's below.  
Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

**DEVELOPMENT TYPE + SITE DATA TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3	Existing gross floor area (not to be demolished): 0
Gross site acreage: 1.74	Existing gross floor area to be demolished: 0
# of parking spaces required: 0	New gross floor area: 11,749 SF
# of parking spaces proposed: 24	Total sf gross (to remain and new): 11,749 SF
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Civic	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Civic	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 1.19 Square Feet: 49,223
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Is this a flood hazard area? Yes  No   
If yes, please provide:  
Alluvial soils: \_\_\_\_\_  
Flood study: \_\_\_\_\_  
FEMA Map Panel #: 1104-70003  
Neuse River Buffer Yes  No  Wetlands Yes  No

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br N/A 2br N/A 3br N/A	4br or more N/A
# of lots: N/A	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

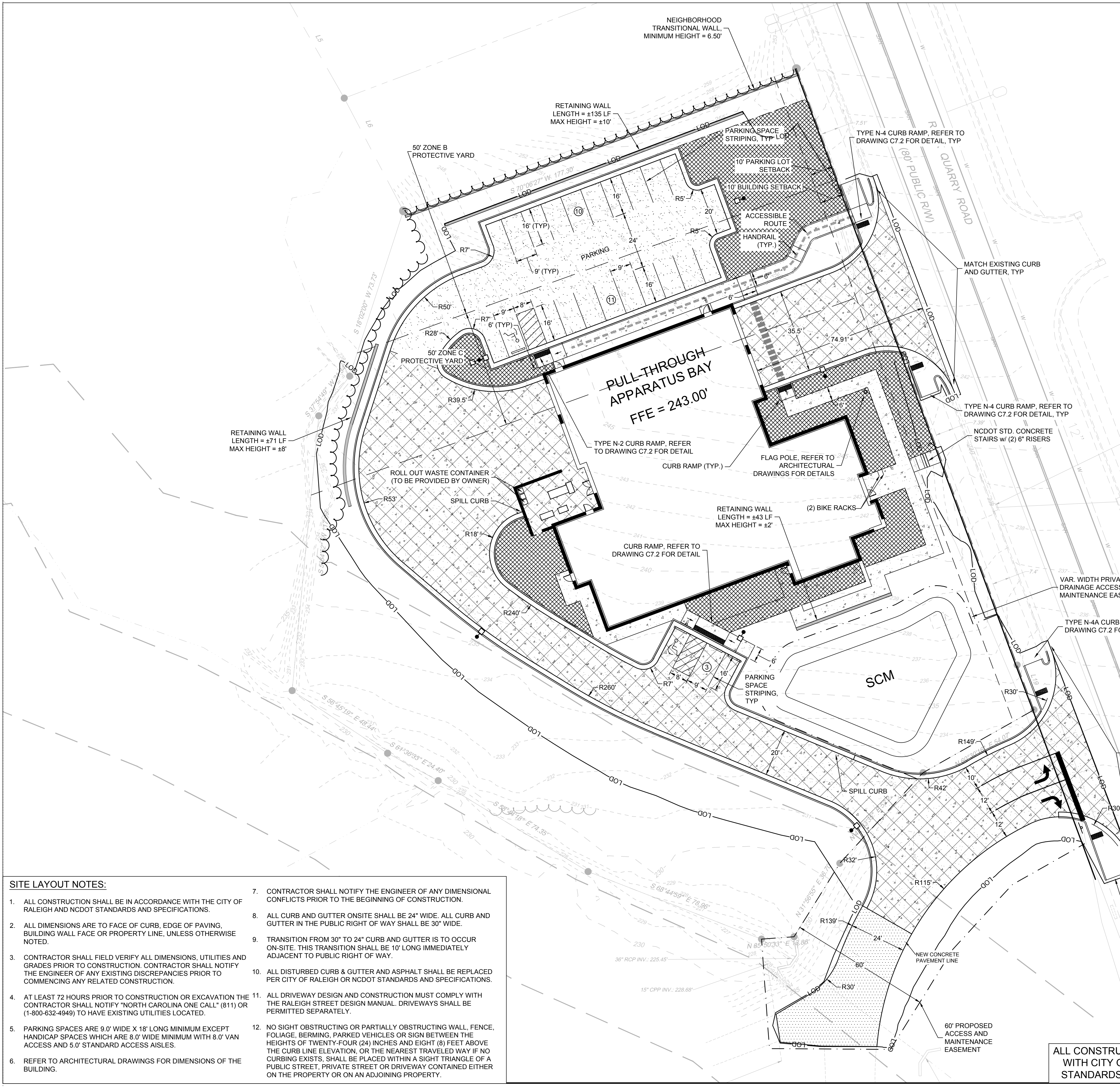
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, **Brandon McLamb** will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: \_\_\_\_\_ Date: 07/01/2022  
Printed Name: Brandon McLamb

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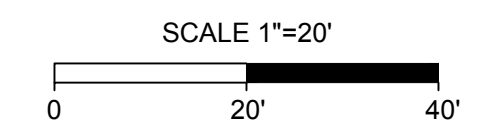
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MIN LOT WIDTH	RT-100'
CURRENT PROPERTY USE	N/A
PROPOSED PROPERTY USE	CIVIC
PROPOSED BUILDING AREA	± 11750 SF
MAXIMUM BUILDING HEIGHT: (3 STORIES MAX)	OX-3 = 50'
MINIMUM BUILDING HEIGHT: (3 STORIES MAX)	OX-3 = N/A
TOTAL LENGTH WATERLINE	254 LF
TOTAL LENGTH SEWER LINE	131 LF
TOTAL LENGTH STREETS	572 LF
TOTAL LENGTH SIDEWALK	534 LF
TOTAL LENGTH BUFFERS/GREENWAYS	268 LF
DISTURBED AREA	1.88 ACRES
EXISTING IMPERVIOUS	0.00 ACRES (0.00 SF)
PROPOSED IMPERVIOUS	1.05 ACRES (± 45,738 SF)
REQUIRED PARKING SPACES	N/A
PROVIDED PARKING SPACES	24 PARKING SPACES 4 BICYCLE PARKING SPACES
REQUIRED ADA PARKING SPACES	1 ACCESSIBLE, 1 VAN
PROVIDED ADA PARKING SPACES	2 ACCESSIBLE PARKING SPACES
REQUIRED AMENITY AREA (10%)	0.174 ACRES (± 7,580 SF)
PROVIDED AMENITY AREA	0.174 ACRES (± 7,600 SF)

HATCHING LEGEND	
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK
	AMENITY AREA

SITE LEGEND	
TOTAL SITE AREA = 1.74 ACRES (± 75,800 SF)	LIMITS OF DISTURBANCE = 1.91 ACRES (± 83,200 SF)
LOD	LIMITS OF DISTURBANCE

- SITE LAYOUT NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
  - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  - AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
  - PARKING SPACES ARE 9.0' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
  - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
  - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ALL CURB AND GUTTER ONSITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
  - TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
  - ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
  - ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
  - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



**HUFFMAN ARCHITECTS**  
 632 PERSHING ROAD  
 RALEIGH, NORTH CAROLINA 27608  
 P 919.417.3788  
 WWW.HUFFMANARCH.COM

**CITY OF RALEIGH - FIRE STATION 3**

936 ROCK QUARRY RD  
 RALEIGH, NC  
 CITY OF RALEIGH

**CONSULTANTS**

SITE / CIVIL  
**TIMMONS**  
 6410 TOWN ROAD SUITE 102  
 RALEIGH, NC 27607  
 919.866.4911

MEP  
**ATLANTEC**  
 2221 BLUE RIDGE RD SUITE 113  
 RALEIGH, NC 27612  
 919.571.1111

STRUCTURAL  
**LYNCH MYKINS**  
 301 N. WEST STREET SUITE 105  
 RALEIGH, NC 27603  
 919.782.1833

**SEALS**

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 FOR REVIEW ONLY

**PROJECT INFORMATION**

PROJECT NO.: 2105  
 PHASE: ASR  
 DATE: 07.01.2022  
 DRAWN BY: SE / KL  
 CHECKED BY: BM

NO.	DESCRIPTION	DATE
1	ASR SUBMITTAL NO. 1	06.02.22

**SHEET INFORMATION**

**C3.0**  
 SITE PLAN

**CITY OF RALEIGH -  
 FIRE STATION 3**

936 ROCK QUARRY RD  
 RALEIGH, NC 27610  
 CITY OF RALEIGH

CONSULTANTS

SITE / CIVIL  
**TIMMONS**  
 6410 TRINITY ROAD SUITE 102  
 RALEIGH, NC 27607  
 919.866.4901

MEP  
**ATLANTEC**  
 3221 BLUE RIDGE RD SUITE 113  
 RALEIGH, NC 27612  
 919.871.1111

STRUCTURAL  
**LYNCH MYKINS**  
 301 N. WEST STREET SUITE 105  
 RALEIGH, NC 27603  
 919.782.1533

SEALS



PROJECT INFORMATION

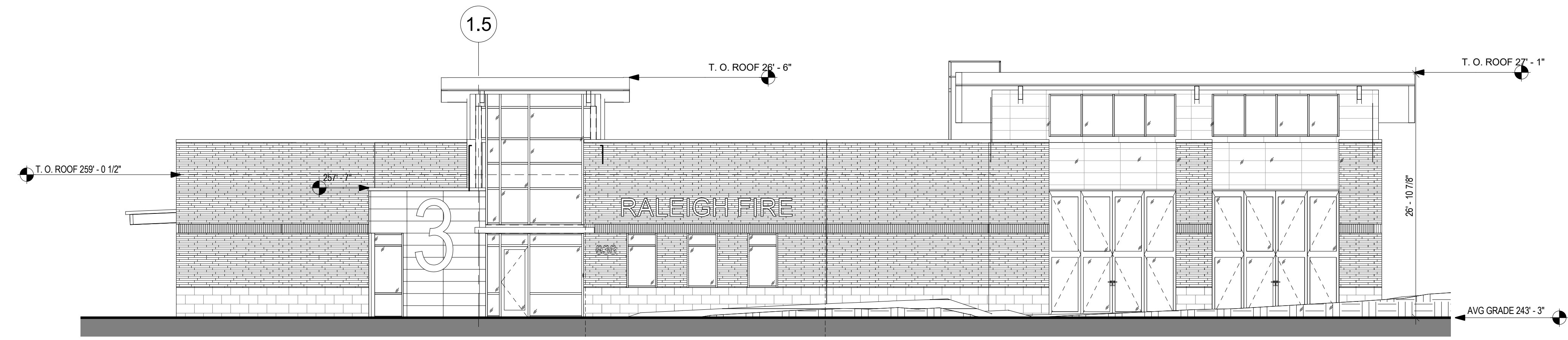
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 PHASE: DD - COST ESTIMATE  
 DATE: 08.29.2022  
 DRAWN BY: Author  
 CHECKED BY: Checker

REVISIONS

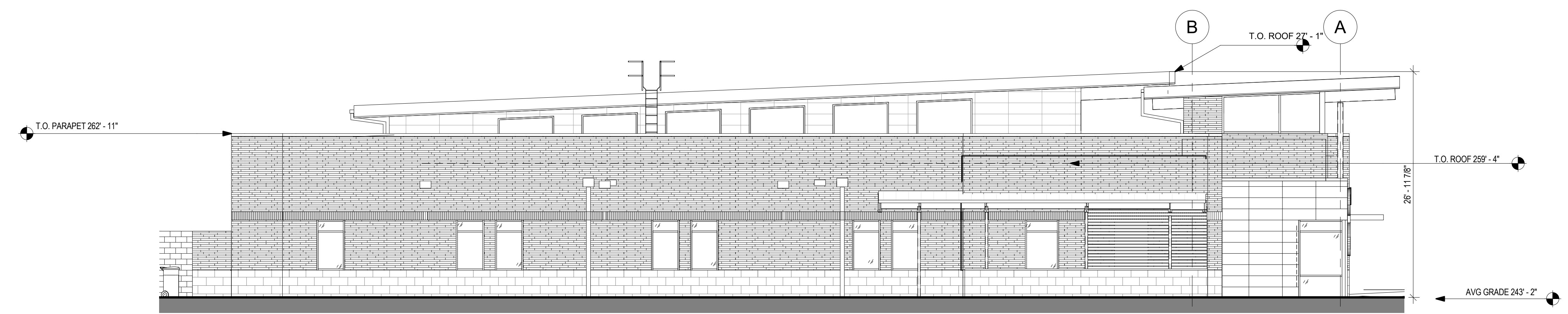
NO.	DESCRIPTION	DATE

SHEET INFORMATION

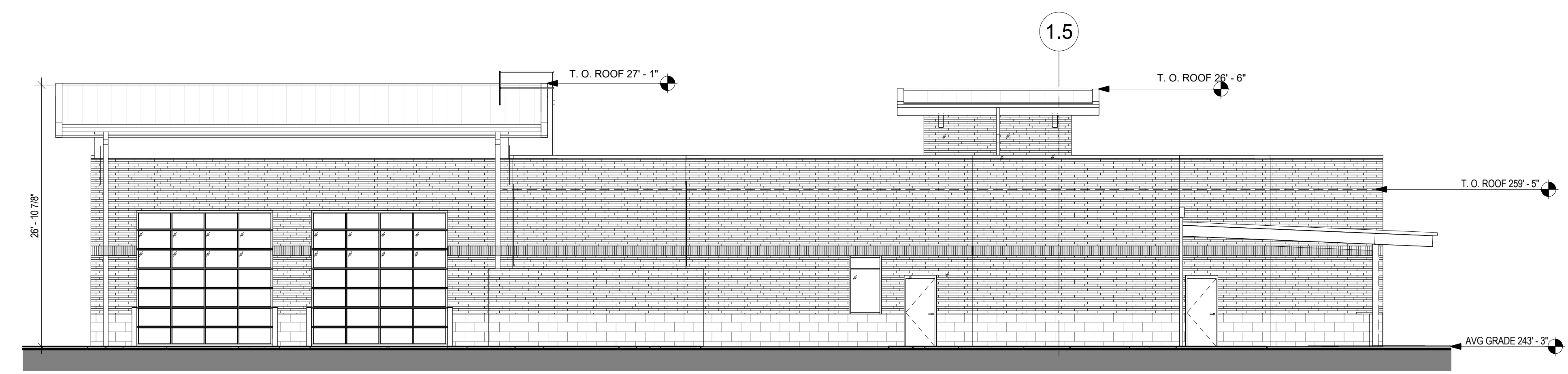
**A201**  
 EXTERIOR ELEVATIONS



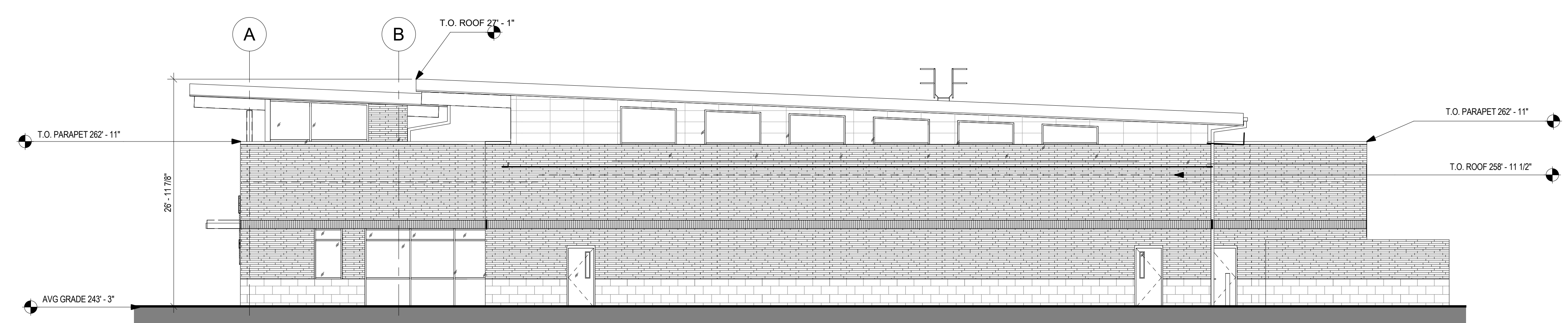
**1 EAST ELEVATION**  
 A201 1/8" = 1'-0"



**2 SOUTH ELEVATION**  
 A201 1/8" = 1'-0"



**3 WEST ELEVATION**  
 A201 1/8" = 1'-0"



**4 NORTH ELEVATION**  
 A201 1/8" = 1'-0"