



# Administrative Approval Action

Case File / Name: ASR-0053-2022  
DSLCL - Raleigh Fire Station 3

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 1.74 acre site zoned OX-3 is located on the west side of Rock Quarry Road just north of the intersection of Rock Quarry Road and Rock Quarry Road and Raleigh Blvd. The site is located at 936 Rock Quarry Road.

**REQUEST:** The construction of Raleigh Fire Station #3 with associated infrastructure.

**DESIGN**

**ADJUSTMENT(S)/**

**ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 20, 2023 by Timmons Group.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Correct Neighborhood Transitional wall detail (sheet C7.2) - NTY wall should be at property line and not in conjunction with retaining wall. (3.5.2 A and as per interpretation)

### **Engineering**

2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

### **Stormwater**

3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## Stormwater

2. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Stormwater

2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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## Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Rock Quarry Road.
5. A public infrastructure surety for 6 street trees along Rock Quarry Road shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### **3-Year Expiration Date:** March 30, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 03/29/2023  
Development Services Director/Designee

Staff Coordinator: Michael Walters





STATE OF NORTH CAROLINA  
PIN: 1713-22-8776

WILLIAM D. BROWN, JR.  
DB #155 PG 2238  
BM #155 PG 122  
PIN: 1713-24-7342

1 STORY  
BUILDING

DRIVE

FUTURE PROPERTY  
BOUNDARY

CITY OF RALEIGH  
PIN: 1713-34-7164  
PAGE 35 S.F.  
1.74 AC.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
WITH CITY OF RALEIGH, NCDEQ AND NCDOT  
STANDARDS, SPECIFICATIONS, AND DETAILS

NOTES  
1. EXISTING CONDITIONS SHOWN ARE BASED ON FIELD  
SURVEY PERFORMED BY NEWCOMB LAND SURVEYORS,  
LLC NEAR JULY 2021.

# LEGEND and NOMENCLATURE

## SYMBOLS

- EX. IRON PIPE ROD OR NAIL
- EX. CONCRETE MONUMENT
- NEW IRON PIPE
- CALCULATED POINT
- CABLE PEDESTAL
- Telephone pedestal
- ELECTRIC PEDESTAL
- FIBER-OPTIC MARKER
- TRAFFIC SIGNAL BOX
- WATER METER
- FIRE HYDRANT
- VALVE (WATER OR GAS)
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM CURB INLET
- DRAINAGE INLET (W/ GRATE)
- STORM DRAIN MANHOLE
- UTILITY POLE
- LAMP POST
- SIGNAL POLE
- GUY WIRE
- SEA POST

## LINE TYPES

- FENCE
- OVERHEAD UTILITY
- WATER
- SANITARY SEWER
- STORM DRAIN

## ABBREVIATIONS

- DB DEED BOOK
- PB or BM PLAT BOOK / BOOK OF MAPS
- NF NOW OR FORMERLY
- Pg. PAGE
- SF SQUARE FEET
- AC. ACRES
- R/W RIGHT-OF-WAY
- NCSR NORTH CAROLINA STATE ROUTE
- NCDOT NORTH CAROLINA DEPT. OF TRANSPORTATION
- R/W RIGHT-OF-WAY
- EX. EXISTING
- RCP REINFORCED CONCRETE PIPE
- PVC POLY(VINYL CHLORIDE) PIPE
- (M) MEASURED
- (P) PLATTED
- TC TERRA COTTA (CLAY)

HUSMAN ARCHITECTS  
10101 HUSMAN DRIVE  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.881.1100  
WWW.HUSMANARCHITECTS.COM

# CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC

CITY OF RALEIGH

## CONSULTANTS

RE: 1713-  
TIMMONS

2021 MAY 17 10:00 AM 10:00 AM  
RALEIGH, NC 27601  
PAGE 35

ATLANTIC  
2021 MAY 17 10:00 AM 10:00 AM  
RALEIGH, NC 27601  
PAGE 35

LYNCH MYKINS  
2021 MAY 17 10:00 AM 10:00 AM  
RALEIGH, NC 27601  
PAGE 35

## SEALS

## PROJECT INFORMATION

PROJECT NO.: 2105  
PHASE: DESIGN DEVELOPMENT SUBMITTAL  
DATE: 09-16-2022  
DRAWN BY: SE / KL  
CHECKED BY: BM

NO.	DESCRIPTION	DATE	BY
1	DESIGN DEVELOPMENT SUBMITTAL	09-16-2022	SE / KL
2	DESIGN DEVELOPMENT SUBMITTAL	09-16-2022	BM
3	DESIGN DEVELOPMENT SUBMITTAL	09-16-2022	KL

## SHEET INFORMATION

C1.0  
EXISTING  
CONDITIONS PLAN





CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITIES WITHIN THE LIMITS OF THE SUBJECT PROPERTY. NO TEMPORARY CONSTRUCTION EASEMENTS ARE GRANTED TO ACCESS ANY NEIGHBORING PROPERTIES DURING INSTALLATION OF ANY FOOTERS, WALLS, OR LANDSCAPING.

RETAINING WALL  
LENGTH = ±51 LF  
MAXIMUM HEIGHT = ±8'

NEIGHBORHOOD  
TRANSITIONAL WALL  
LENGTH = ±177 LF  
MINIMUM HEIGHT = 6'-00"

PULL-THROUGH  
APPARATUS BAY  
FFE = 243.00'

RETAINING WALL  
LENGTH = ±71 LF  
MAX HEIGHT = ±8'

ROOF DRAIN (TYP.)

10" PVC ROOF DRAIN  
@ 1.04% MIN. SLOPE

CLEANOUT (TYP.)

RIP RAP ENERGY DISSIPATOR  
W1 = 6', W2 = 9', L = 7.5'

RIP RAP ENERGY DISSIPATOR  
W1 = 4', W2 = 9', L = 7.5'

RETAINING WALL  
LENGTH = ±164 LF  
MAXIMUM HEIGHT = ±9'

10' SWM MAINTENANCE  
ACCESS PATH

60' PROPOSED  
ACCESS AND  
MAINTENANCE  
EASEMENT

ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
WITH CITY OF RALEIGH, NCDEQ AND NCDOT  
STANDARDS, SPECIFICATIONS, AND DETAILS

#### STORM PIPE TABLE

PIPE #	DI	FROM - TO	UPSTREAM INVERT	DOWNSTREAM INVERT	SLOPE	LENGTH	DESCRIPTION
120 - 110	15"	120 - 110	236.48	236.25	0.63%	36.82 LF	CLASS III
130 - 120	15"	130 - 120	237.02	236.68	0.59%	57.00 LF	CLASS III
140 - 130	15"	140 - 130	237.76	237.12	0.50%	128.16 LF	CLASS III
150 - 140	15"	150 - 140	238.28	237.86	0.50%	83.65 LF	CLASS III
160 - 150	15"	160 - 150	238.87	238.38	0.50%	97.93 LF	CLASS III
170 - 160	15"	170 - 160	239.04	238.97	0.50%	14.86 LF	CLASS III

#### STORM STRUCTURE TABLE

STRUCTURE #	TOP	STRUCTURE HEIGHT	DESCRIPTION
110	237.69		NCDOT ES-1 for 15 inch Pipe
120	241.48	5.21'	D-20 6 ft Throat
130	242.33	5.50'	NCDOT 840.52 PRECAST MANHOLE
140	241.62	4.05'	NCDOT 840.34 TRAFFIC BEARING JUNCTION BOX
150	242.77	4.68'	NCDOT 840.34 TRAFFIC BEARING JUNCTION BOX
160	242.83	4.14'	NCDOT 840.34 TRAFFIC BEARING JUNCTION BOX
170	242.81	3.95'	NCDOT 840.34 TRAFFIC BEARING JUNCTION BOX

#### SITE LEGEND

TOTAL SITE AREA = 1.74 ACRES (±75,800 SF)  
LIMITS OF DISTURBANCE = 1.78 ACRES (±77,363 SF)  
LOD LIMITS OF DISTURBANCE

NOTES: ALL CONSTRUCTION IS PROPOSED WITHIN THE NEUSE RIVER BUFFER.

HUSMAN ARCHITECTS  
10000 BROAD  
RALEIGH, NORTH CAROLINA 27615  
PHONE: 919.973.1111  
WWW.HUSMANARCHITECTS.COM

## CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC

CITY OF RALEIGH

#### CONSULTANTS

RE: JRM  
TIMMONS  
2017-2018 (2018) RFP 100  
RALEIGH, NC 27615  
P/2017/111

MAP:  
ATLANTEC  
2017-2018 (2018) RFP 100  
RALEIGH, NC 27615  
P/2017/111

STRUCTURAL:  
LYNCH MYKINS  
2017-2018 (2018) RFP 100  
RALEIGH, NC 27615  
P/2017/111

#### SEALS

#### PROJECT INFORMATION

PROJECT NO.: 2105  
PHASE: DESIGN DEVELOPMENT SUBMITTAL  
DATE: 09-18-2022  
DRAWN BY: SE / JKL  
CHECKED BY: BM

#### REVISIONS

NO.	DESCRIPTION	DATE	BY
1	FOR PRELIMINARY REVIEW	09/15/22	BM
2	FOR PRELIMINARY REVIEW	09/15/22	BM
3	FOR PRELIMINARY REVIEW	09/15/22	BM
4	FOR PRELIMINARY REVIEW	09/15/22	BM

#### SHEET INFORMATION

C4.0  
GRADING AND  
DRAINAGE PLAN



## CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC

CITY OF RALEIGH

### CONSULTANTS

#### SEI / FH

THOMPSON

201 W. HART STREET, SUITE 100  
RALEIGH, NC 27601  
PHONE: 919.233.1234

#### MD

ATLANTEC

201 W. HART STREET, SUITE 100  
RALEIGH, NC 27601  
PHONE: 919.233.1234

#### STRUCTURAL

LYNCH MYKINS

201 W. HART STREET, SUITE 100  
RALEIGH, NC 27601  
PHONE: 919.233.1234

### SEALS

### PROJECT INFORMATION

PROJECT NO.: 2105

PHASE: DESIGN DEVELOPMENT SUBMITTAL

DATE: 09.16.2022

DRAWN BY: SE / KL

CHECKED BY: BM

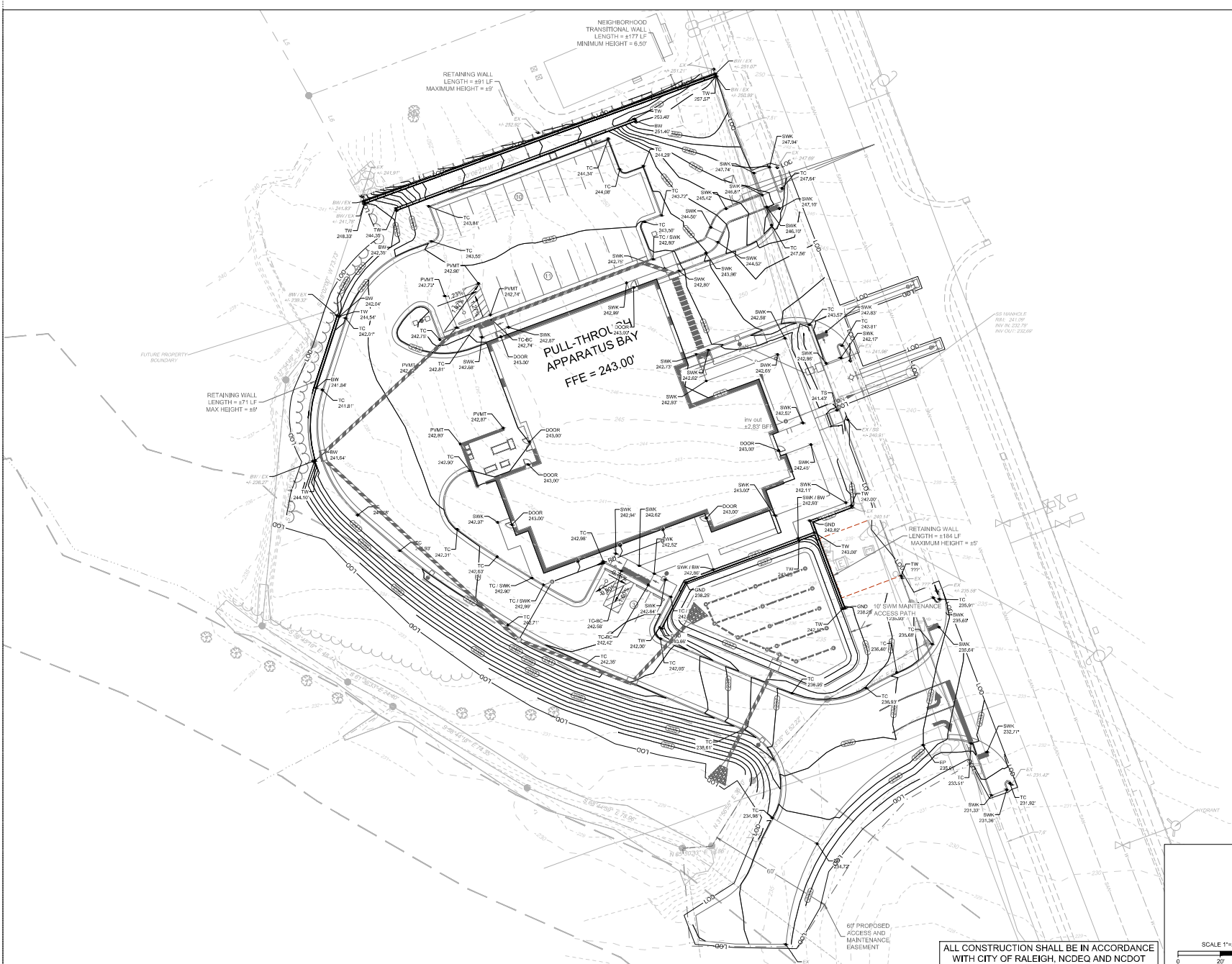
### REVISIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	09.16.2022	SE / KL
2	DESIGN DEVELOPMENT SUBMITTAL	09.16.2022	SE / KL
3	DESIGN DEVELOPMENT SUBMITTAL	09.16.2022	SE / KL
4	DESIGN DEVELOPMENT SUBMITTAL	09.16.2022	SE / KL

### SHEET INFORMATION

# C4.1

SPOT ELEVATION  
PLAN



ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
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STANDARDS, SPECIFICATIONS, AND DETAILS





CITY OF RALEIGH -  
FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC  
CITY OF RALEIGH

CONSULTANTS

RE: FIRE  
TIMMONS  
201 RALEIGH RD  
RALEIGH, NC 27601  
FIRE STATION 3

MAP  
ATLANTEC  
201 RALEIGH RD  
RALEIGH, NC 27601  
FIRE STATION 3

STRUCTURAL  
LYNCH MYKINS  
201 RALEIGH RD  
RALEIGH, NC 27601  
FIRE STATION 3

SEALS

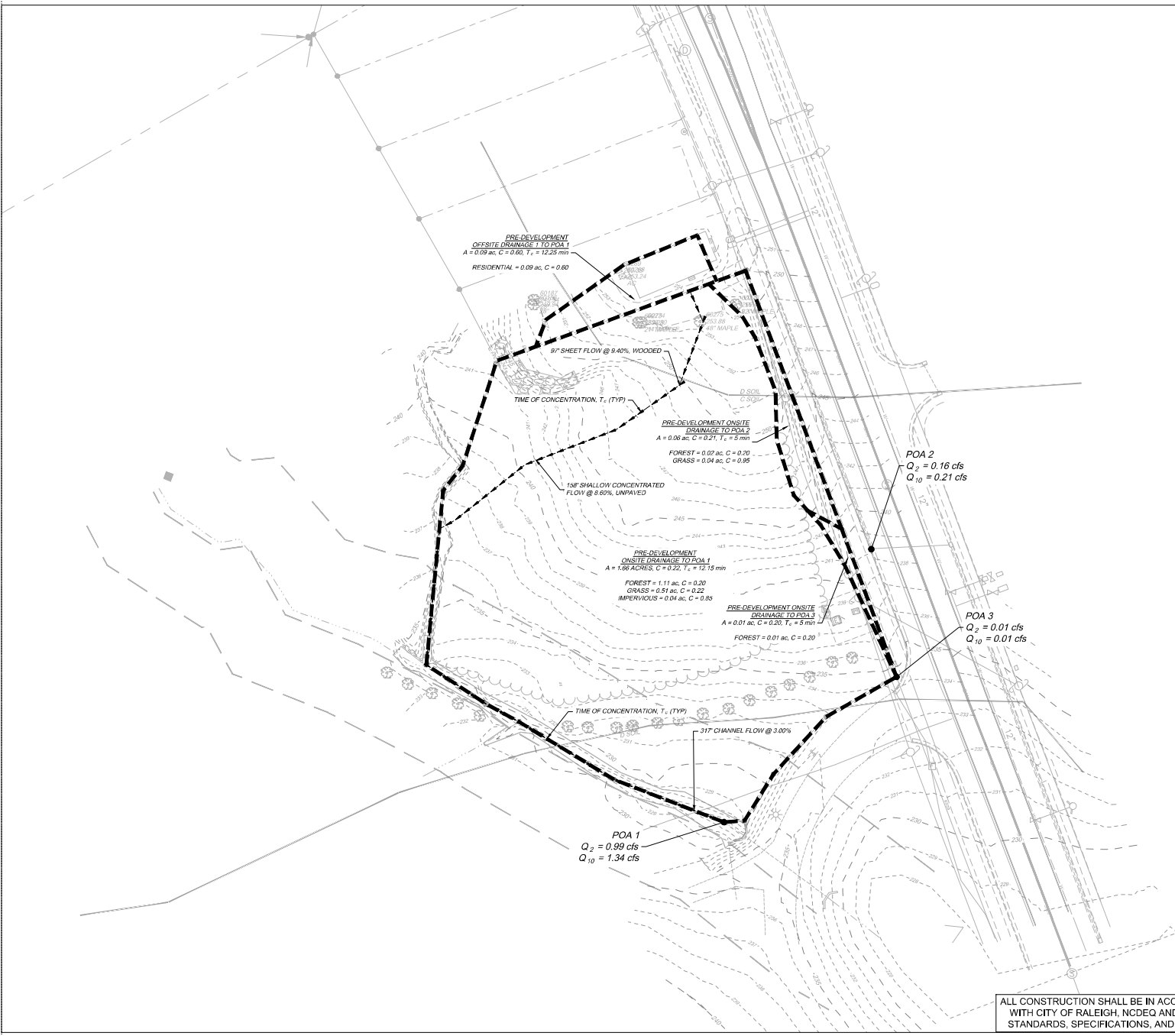
PROJECT INFORMATION

PROJECT NO.: 2105  
PHASE: DESIGN DEVELOPMENT SUBMITTAL  
DATE: 09.16.2022  
DRAWN BY: SE / KL  
CHECKED BY: BM

NO.	DESCRIPTION	DATE	BY
1	PRELIMINARY	09/16/22	KL
2	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	KL
3	PRELIMINARY	09/16/22	KL
4	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	KL

SHEET INFORMATION

C5.0  
PRE-DEVELOPMENT  
HYDROLOGY MAP



# CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC  
CITY OF RALEIGH

## CONSULTANTS

REVIEW  
TIMMONS  
2011-2012  
2013-2014  
2015-2016  
2017-2018  
2019-2020  
2021-2022

ATLANTEC  
2011-2012  
2013-2014  
2015-2016  
2017-2018  
2019-2020  
2021-2022

STRUCTURAL  
LYNCH MYKINS  
2011-2012  
2013-2014  
2015-2016  
2017-2018  
2019-2020  
2021-2022

## SEALS

## PROJECT INFORMATION

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## REVISIONS

NO.	DESCRIPTION	DATE	BY
1	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	SE/KL
2	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	SE/KL
3	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	SE/KL
4	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	SE/KL

## SHEET INFORMATION

C5.1  
POST-DEVELOPMENT  
HYDROLOGY MAP

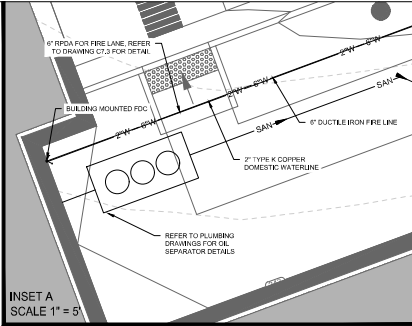
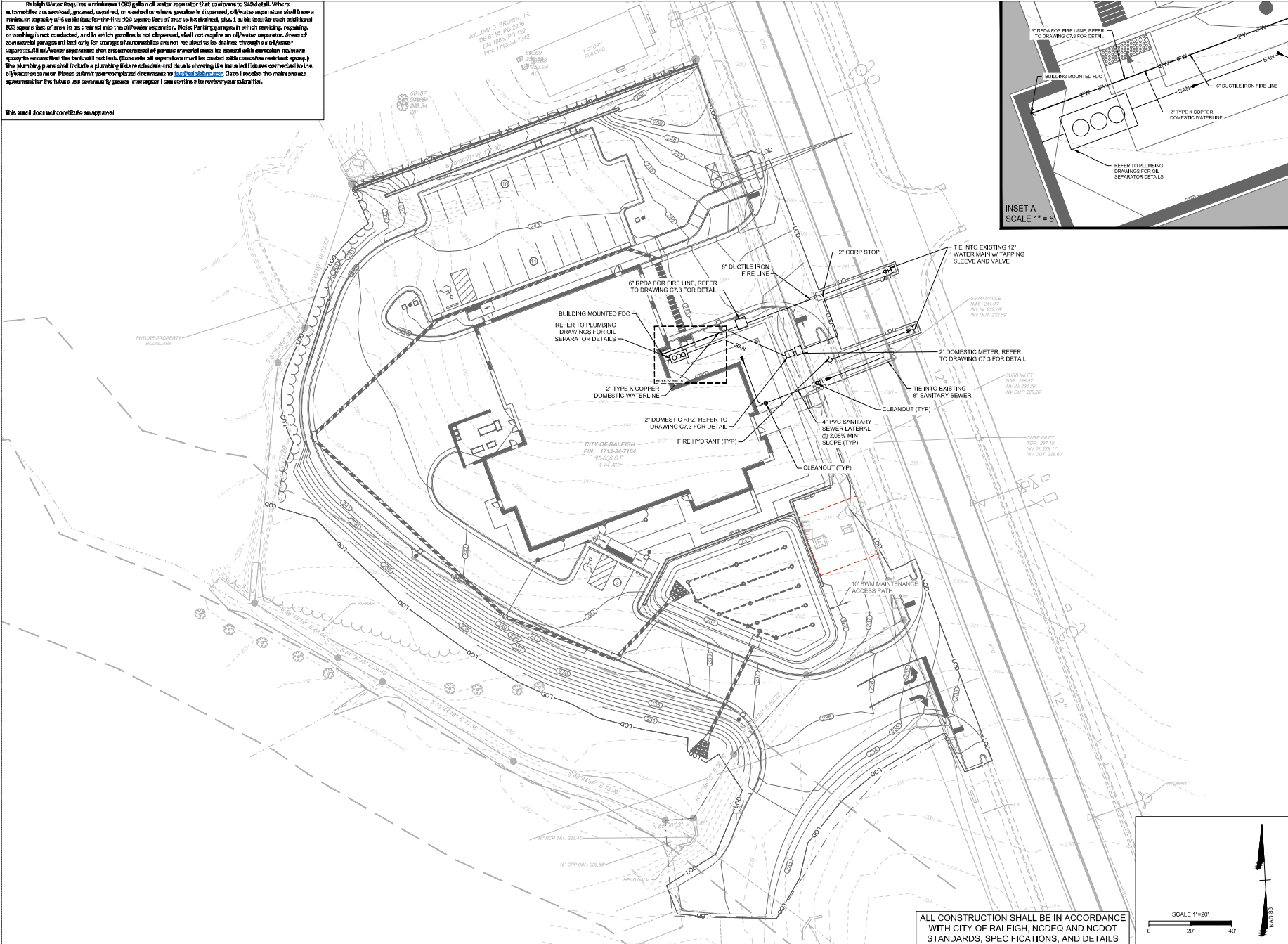


ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
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STANDARDS, SPECIFICATIONS, AND DETAILS

SCALE 1"=30'  
0 30' 60'

For High Water Rags, use a minimum 1000 gallon oil/water separator that conforms to S&S detail. Where automobiles are serviced, garaged, repaired, or washed on-site, gasoline is dispensed, oil/water separators shall have a minimum capacity of 6 cubic feet for the first 300 square feet of area to be drained, plus 1 cubic foot for each additional 300 square feet of area to be drained into the oil/water separator. Note: Parking garages in which servicing, repairing, or washing is not conducted, and in which gasoline is not dispensed, shall not require an oil/water separator. Areas of commercial garages or used only for storage of automobiles are not required to be drained through an oil/water separator. All oil/water separators that are constructed of porous material must be covered with corrosion resistant cap(s) to ensure that the tanks will not leak. (Concrete oil separators must be covered with corrosion resistant cap(s).) The plumbing plans shall include a plumbing fixture schedule and details showing the installed fixtures connected to the oil/water separator. Please submit your complete documents to [public@raleighnc.gov](mailto:public@raleighnc.gov). Once I receive the maintenance agreement for the future use commercially process inspection I can continue to review your submission.

This sheet does not constitute an approval



HAUSMAN ARCHITECTS  
10110 BAYVIEW  
RALEIGH, NORTH CAROLINA 27605  
PHONE: 919.871.1111  
WWW.HAUSMANARCHITECTS.COM

## CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC  
CITY OF RALEIGH

### CONSULTANTS

RE: JIM  
TIMMONS  
2011-2012 (2011-2012)  
RALEIGH, NC 27605  
PLANNING

MR: ATLANTIC  
2011-2012 (2011-2012)  
RALEIGH, NC 27605  
PLANNING

MR: LYNCH MYKINS  
2011-2012 (2011-2012)  
RALEIGH, NC 27605  
PLANNING

### SEALS

### PROJECT INFORMATION

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2	DESIGN DEVELOPMENT SUBMITTAL	09-18-2022	SE / KL
3	DESIGN DEVELOPMENT SUBMITTAL	09-18-2022	SE / KL
4	DESIGN DEVELOPMENT SUBMITTAL	09-18-2022	SE / KL

### SHEET INFORMATION

C6.0  
UTILITY PLAN

ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
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STANDARDS, SPECIFICATIONS, AND DETAILS

SCALE 1"=20'





936 ROCK QUARRY RD  
RALEIGH, NC  
CITY OF RALEIGH

201E / C71E  
TIMMONS  
5416 THIRTY NINE SUITE 102  
FALLS CH, MD 20737  
914.566.1861

STRUCTURAL  
**LYNCH MYKINS**  
301 N. WEST STREET SUITE 100  
FALLS CH., MD 27834  
610.732.1833

### PROJECT INFORMATION

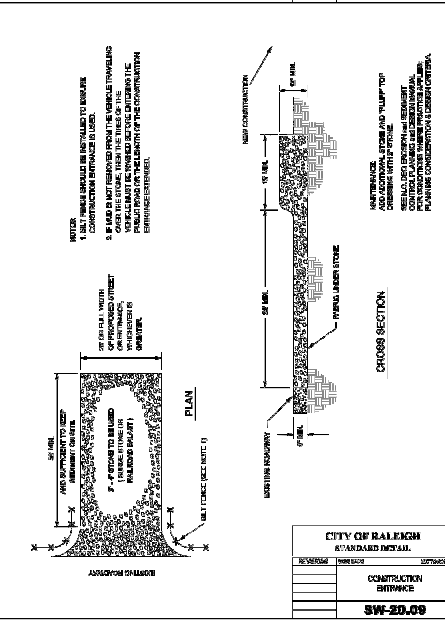
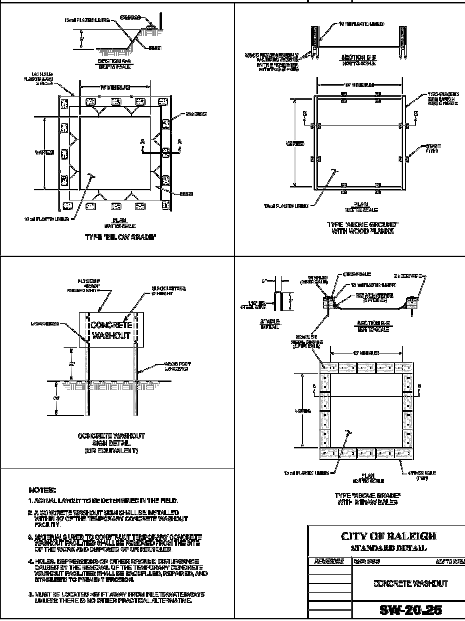
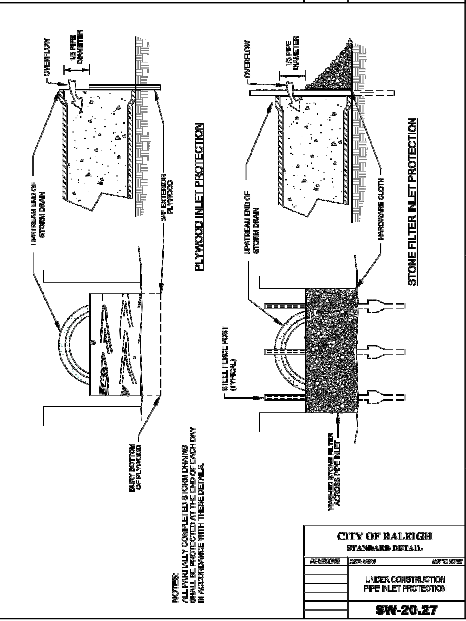
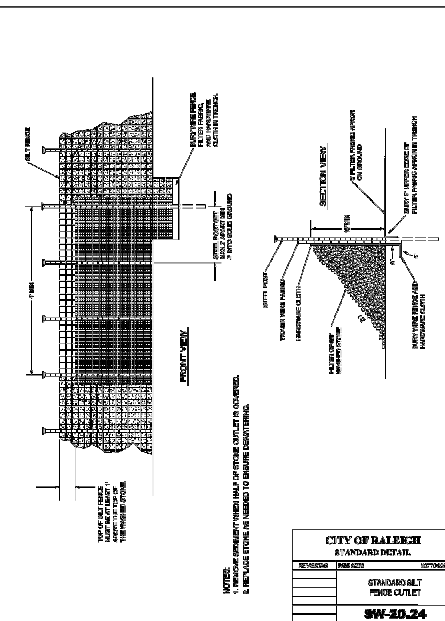
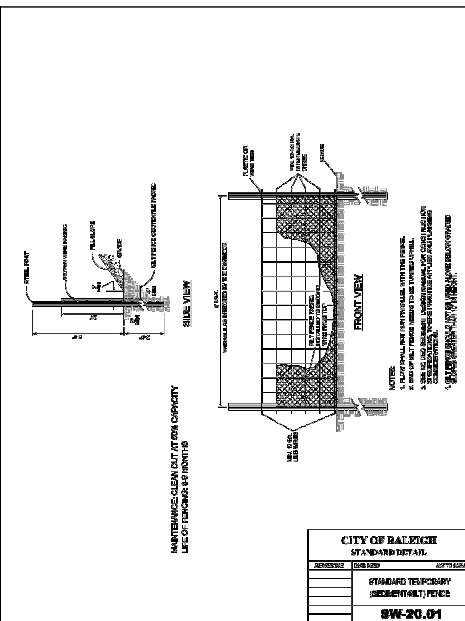
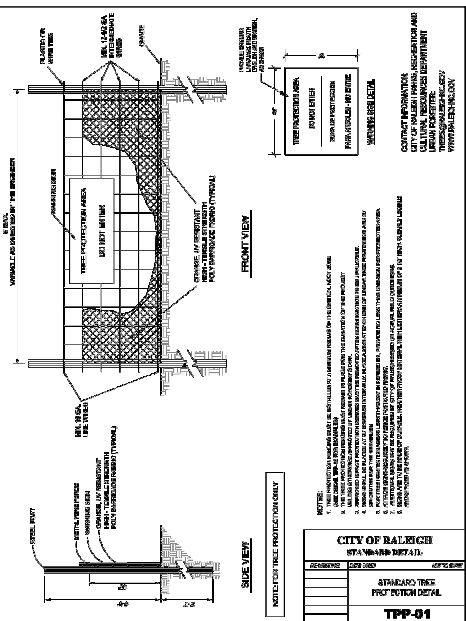
PROJECT NO.: 2105  
PHASE: DESIGN DEVELOPMENT SUBMITTAL  
DATE: 09.18.2022  
DRAWN BY: SE / KL  
CHECKED BY: BM

REVISIONS		
NO.	DESCRIPTION	DATE
1	ADD PRELIMINARY NGL 9	06/07/22
2	DECR IN DEVELOPMENT SUBMITTAL	06/16/22
3	ADD PRELIMINARY NGL 9	07/04/22
4	ADD PRELIMINARY NGL 9	07/06/22
5	ADD PRELIMINARY NGL 4	02/08/23

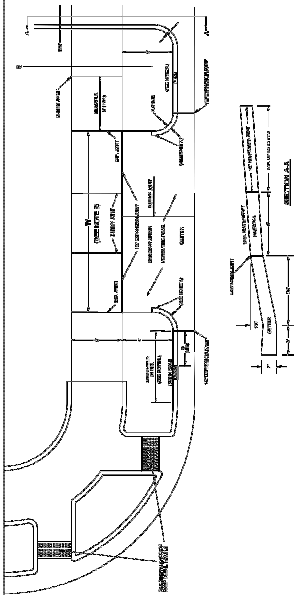
## SHEET INFORMATION

## C7.0

### EROSION CONTROL NOTES AND DETAILS



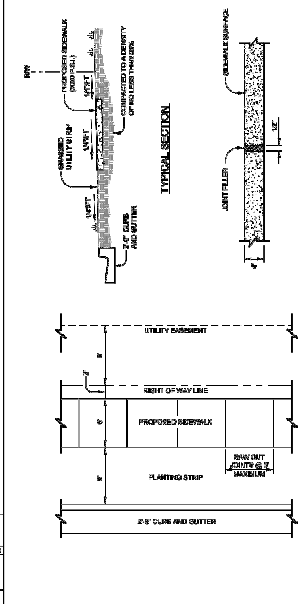
ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
WITH CITY OF RALEIGH, NCDEQ AND NCDOT  
STANDARDS, SPECIFICATIONS, AND DETAILS



**NOTES:**

1. TRANSVERSE SLOPE SHALL BE 1% TO THE GUTTER.
2. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
3. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
4. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
5. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
6. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
7. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
8. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
9. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
10. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.

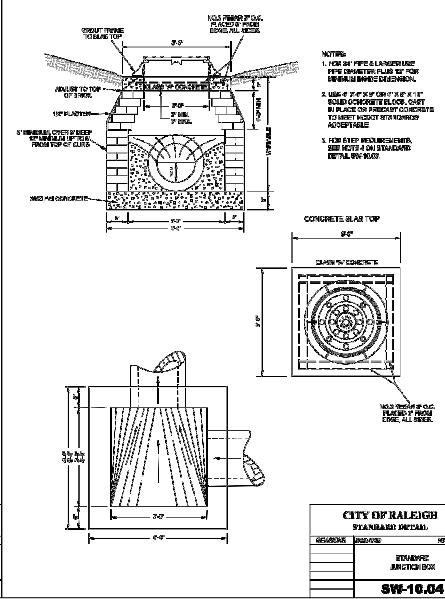
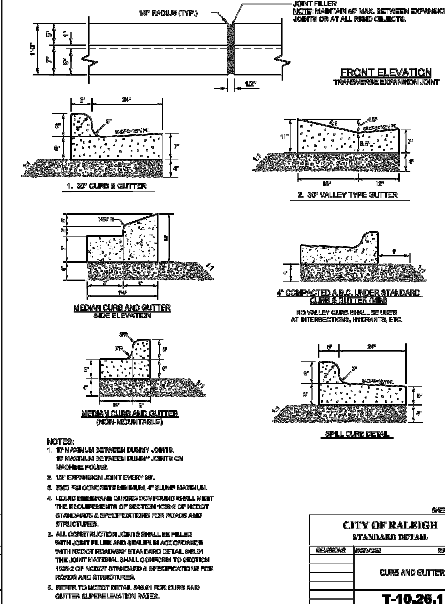
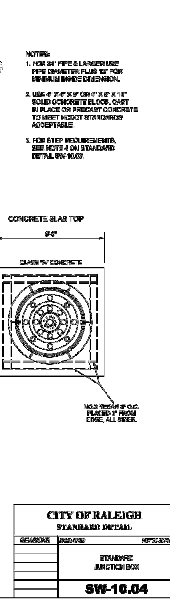
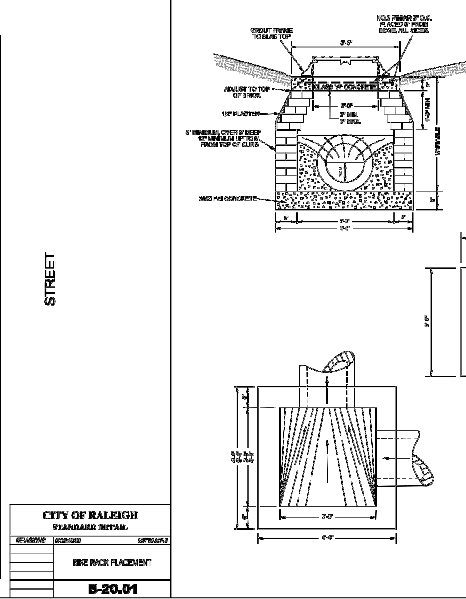
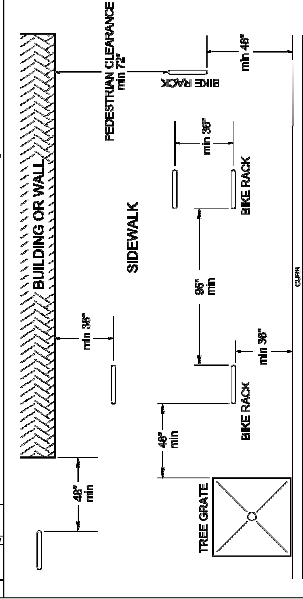
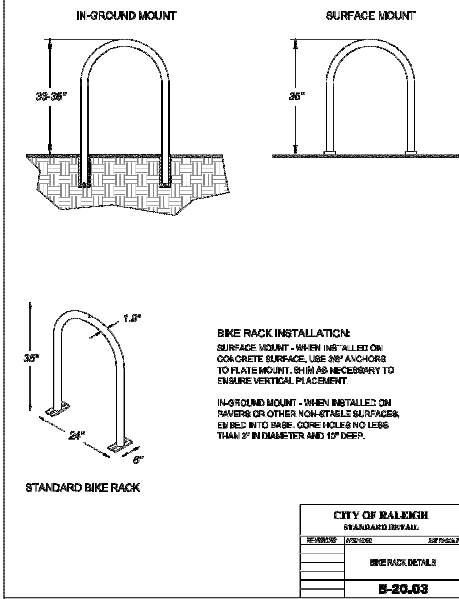
**CITY OF RALEIGH**  
STANDARD DETAIL  
CURB AND GUTTER  
**T-10.01.2**



**NOTES:**

1. TRANSVERSE SLOPE SHALL BE 1% TO THE GUTTER.
2. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
3. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
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10. ALL CONCRETE SHALL BE 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.

**CITY OF RALEIGH**  
STANDARD DETAIL  
CURB AND GUTTER  
**T-10.01**



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS







## CLAY LINER NOTES

1. THE CONTRACTOR WILL NEED TO INSTALL A CLAY LINER A MINIMUM OF 1'-00" BELOW THE LOWEST GRADE. THE CLAY LINER SHALL BE AT LEAST 6" THICK AND MEET THE FOLLOWING SPECIFICATIONS:

- 1.1. UNIFIED SOIL CLASSIFICATION SYSTEM DESIGNATION OF CL. CH. ML
- 1.2. MINIMUM PLASTICITY INDEX OF 12
- 1.3. MINIMUM OF 2 TESTS OF EACH ABOVE PARAMETER SHALL BE COMPLETED BY THE CONTRACTOR ON THE LINER MATERIAL AND PRESENTED TO THE ON-SITE GEOTECHNICAL ENGINEER FOR APPROVAL. SHOULD THESE TESTS NOT MEET THE ABOVE REQUIREMENTS, THE ON-SITE GEOTECHNICAL ENGINEER MAY PROVIDE PERMEABILITY TESTING DEMONSTRATING AN INFILTRATION RATE OF NO MORE THAN 0.1 IN/HR
- 1.4. COMPACTION TO A MINIMUM OF 95% PER ASTM D698 AND WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT (1) COMPACTION DENSITY TEST PER 2008 ISO.

IF IT IS DETERMINED BY THE ON-SITE GEOTECHNICAL ENGINEER THAT A LINER IS NOT NEEDED, THEN A LETTER TO THE DESIGN ENGINEER CERTIFYING THE INFILTRATION RATE SHALL BE PROVIDED, WHICH WILL BE USED DURING THE AS-BUILT CERTIFICATION PROCESS.

2. THE GRADES SHOWN ON THIS PLAN ARE FINISHED GRADES AND INCLUDE THE CLAY LINER.

## GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH, NCDDO AND NCDDOT STANDARDS, SPECIFICATIONS AND DETAILS.
2. SEE GRADING PLAN FOR MORE INFORMATION ON ENTIRE SITE GRADING.
3. DOCUMENTATION OF THE SEASONAL HIGH WATER TABLE WILL BE PROVIDED PRIOR TO SITE PERMIT REVIEW. ELEVATION IS YET TO BE DETERMINED.

## DAM EMBANKMENT AND SOIL COMPACTION SPECIFICATIONS

1. CONTROLLED FILL, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, IN THE DAM EMBANKMENT KEY TRENCH SHALL BE PLACED IN 6-INCH LOOSE LAYERS (SAND LOOSE LAYERS WITHIN 3-FEET OF EITHER SIDE OF THE PRINCIPAL SPILLWAY PIPE TO A DEPTH OF 2-FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DENSITY AT A MOISTURE CONTENT OF +0.0 - TWO PERCENTAGE POINTS OF THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698.
2. ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEEDING 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
3. FILL MATERIAL PLACED AT DENSITIES LOWER THAN SPECIFIED MINIMUM DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
4. ANY FILL LAYER THAT IS SMOOTH DRUM ROLL TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCURRED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LIFT.
5. SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF CONTROLLED FILL.
6. FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OF COMPRESSIBLE AND/OR UNSUITABLE SOILS IN ADDITION TO THAT INDICATED ON THE PLANS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
7. TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATION, FOUNDATION DEWATERING AND ROCK FOUNDATION PREPARATION (I.E. TREATMENT WITH SLUSH GROUTING, DENTAL CONCRETE, ETC.) MAY BE

REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER. ALL SUCH ACTIVITIES SHALL BE CLOSELY MONITORED AND DOCUMENTED BY THE GEOTECHNICAL ENGINEER.

8. FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURES.
9. EARTHWORK COMPACTION WITHIN 3-FEET OF ANY STRUCTURES SHALL BE COMPLETED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIMALLY SELF-PROPELLED ROLLERS.
10. COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
11. HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES (INCLUDING THE CRADLE) UNTIL ADEQUATE CURING TIME HAS ELAPSED.
12. TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 4-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEED.

## TESTING, OBSERVATION, AND CERTIFICATION

1. TESTS OF THE DEGREE (%) OF COMPACTION OF THE PLACED FILL IN THE DAM KEY TRENCH SHALL BE PERFORMED AS A PART OF THE PERMITTEE'S NORMAL QUALITY CONTROL PROGRAM FOR THE CONSTRUCTION OF THE DAM. TESTS SHALL BE CONDUCTED CONCURRENT WITH THE INSTALLATION OF THE COMPACTED FILL AND THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF THE DAM SO THAT THE TESTING CAN BE COMPLETED. SHOULD THE RESULTS OF THE TESTS INDICATE THAT THE SPECIFIED DEGREE OF COMPACTION HAS NOT BEEN OBTAINED, THE PORTIONS OF THE DAM REPRESENTED BY SUCH TESTS SHALL BE REWORKED OR REBUILT. ALL PORTIONS OF THE DAM SHALL ACHIEVE THE SPECIFIED MINIMUM DEGREE OF COMPACTION.
2. CONSTRUCTION OF THE SCM SHALL BE DONE UNDER THE OBSERVATION OF A QUALIFIED GEOTECHNICAL ENGINEER, WHO IS REGISTERED AS A PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA. THE GEOTECHNICAL ENGINEER MUST HAVE EXPERIENCE IN THE DESIGN AND CONSTRUCTION MONITORING OF SCMs OF THE SIZE AND SCOPE COVERED BY THESE STANDARDS AND GUIDELINES.

PLANTING SOIL BED MIXTURE	
pH RANGE	5.5 TO 7.00
P-INDEX	10-30
SOLUBLE SALTS	500 PPM MAXIMUM
FINES (SILT AND CLAY)	8-10%
ORGANIC MATERIAL	2% MAX. MIN. 6% HOUR MAX.
PERMEABILITY	2% HOUR MAX. 2% HOUR PREFERRED

## IWS BIORETENTION CONSTRUCTION SEQUENCE:

1. ALL EROSION SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE IN PLACE AND THE SLOPES DRAINING TO THE BIORETENTION AREA SHALL BE STABILIZED BEFORE CONSTRUCTION OF THE BIORETENTION BEGINS.
2. INSTALL TEMPORARY SILT FENCE AROUND THE BIORETENTION AREA AS NEEDED.
3. EXCAVATE BIORETENTION AREA. PER THE GRADES AND DETAILED ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS.
4. CONTACT ENGINEER SO AN AS-BUILT SURVEY CAN BE PERFORMED OF THE BIORETENTION.
5. INSTALL STORM DRAINAGE PIPES, STRUCTURES, AND UNDERDRAINS.
6. INSTALL BIORETENTION SOIL MEDIA PROFILE.
7. FINE GRADE THE SIDE SLOPES OF THE BIORETENTION AREA. DRESS UP VELOCITY DISSIPATOR AS NEEDED PER THE PLANS.
8. INSTALL SOD BERMUDA GRASS.
9. FINE GRADE, SEED AND STABILIZE ANY REMAINING DISTURBED AREAS AROUND THE OUTSIDE OF THE BIORETENTION AREA. REMOVE SILT FENCE.
10. UPON COMPLETION OF WORK, CONTACT THE PROJECT ENGINEER AND LANDSCAPE ARCHITECT FOR AN INSPECTION AND TO BEGIN THE AS-BUILT CERTIFICATION PROCESS. AN AS-BUILT SURVEY OF ALL ASPECTS OF THIS FACILITY IS TO BE PROVIDED BY CONTRACTOR AND FURNISHED TO THE ENGINEER. CERTIFICATIONS WILL NOT BE ISSUED IF THE SCM DOES NOT MEET OR EXCEED THE REQUIREMENTS CONTAINED IN THE CONSTRUCTION DOCUMENTS. SHOULD REMEDIAL WORK BE REQUIRED, ALL COSTS ASSOCIATED WITH THE REMEDIAL WORK INCLUDING RE-SURVEY AND RE-INSPECTIONS WILL BE BORNE BY THE CONTRACTOR.



## CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC

## CITY OF RALEIGH

### CONSULTANTS

RE: IWS

TIMMONS

201 N. HARRIS ST. SUITE 100

RALEIGH, NC 27601

PHONE: 919.782.1111

FAX: 919.782.1111

DATE: 01/27/11

PROJECT: LYNCH MYKINS

201 N. HARRIS ST. SUITE 100

RALEIGH, NC 27601

PHONE: 919.782.1111

FAX: 919.782.1111

### SEALS



### PROJECT INFORMATION

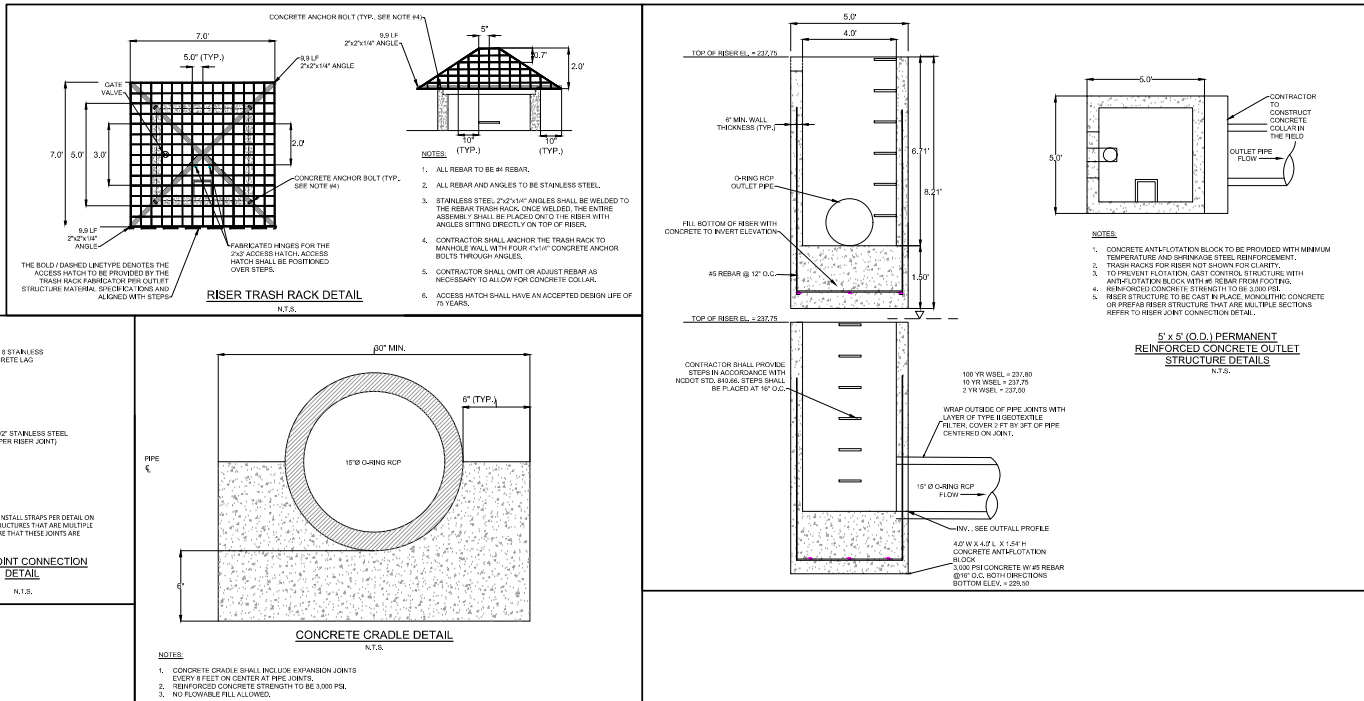
PROJECT NO.: 2105  
PHASE: DESIGN DEVELOPMENT SUBMITTAL  
DATE: 09/16/2022  
DRAWN BY: SE/KL  
CHECKED BY: BW

### REVISIONS

NO.	DESCRIPTION	DATE
1	FOR PRELIMINARY REVIEW	09/16/22
2	FOR PRELIMINARY REVIEW	09/16/22
3	FOR PRELIMINARY REVIEW	09/16/22
4	FOR PRELIMINARY REVIEW	09/16/22
5	FOR PRELIMINARY REVIEW	09/16/22

### SHEET INFORMATION

**C7.4**  
BIORETENTION  
NOTES AND DETAILS



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDDO AND NCDDOT STANDARDS, SPECIFICATIONS, AND DETAILS

STATE OF NORTH CAROLINA  
PIN: 1713-22-8776

CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITIES  
WITHIN THE LIMITS OF THE SUBJECT PROPERTY. NO  
TEMPORARY CONSTRUCTION EASEMENTS ARE GRANTED TO  
ACCESS ANY NEIGHBORING PROPERTIES DURING INSTALLATION  
OF ANY FOOTERS, WALLS, OR LANDSCAPING.

WILLIAM D. BROWN, JR.  
DB 8116, PG 2036  
BM 1889, PG 122  
PIN: 1713-34-7342

PROPOSED BUILDING

STREAM

REFORESTATION AREA (TYP)

PROPOSED UNDERGROUND  
BIORETENTION SCM

ALL CONSTRUCTION SHALL BE IN ACCORDANCE  
WITH CITY OF RALEIGH, NCDEQ AND NCDOT  
STANDARDS, SPECIFICATIONS, AND DETAILS

SCALE 1"=20'  
0 20 40

#### VEHICULAR PARKING LOT LANDSCAPING (1000 - SECTION 7.3.2)

- LANDSCAPED INTERIOR ISLAND REQUIRED EVERY 10 PARKING SPACES, IF MIN. WIDTH 30.0 FT MIN.
- EACH INTERIOR ISLAND MUST HAVE 1 SHADE TREE.
- ALL EDGES OF PARKING ISLAND TERMINATE AT A LANDSCAPED INTERIOR TERMINAL ISLAND, NO MORE THAN 30 PARKING SPACES ALLOWED BETWEEN TERMINAL ISLANDS.
- LIGHT POLES NOT ALLOWED WITHIN 20' FROM A TREE.

TREE COVERAGE  
• 1 TREE / INTERIOR ISLAND  
• 1 TREE / 2,000 SF OF PARKING AREA (INTERIORS)

PARKING AREA: 21,460 SF (INCLUDING DRIVE)  
11 TREES REQUIRED  
12 TREES PROVIDED

#### STREET TREES (STREET DESIGN MANUAL)

COLLECTOR STREET (3.2.2)

- MINIMUM PLANTING AREA: 6'

- TREE SPACING: 40' O.C. AVE.

ROCK QUARRY ROAD

- 4 SHADE TREES / 100'

NOTES: LENGTH MEASURED FROM TIP OF SIGHT DISTANCE TRIANGLE TO BUFFER CORNER.

FRONTAGE SEGMENT: 214 LF

- 8 SHADE TREES REQUIRED

- 8 SHADE TREES PROVIDED

#### PROTECTIVE YARDS (1000 - ARTICLE 3.5.2)

ZONE A PROTECTIVE YARDS:

- TYPE: FENCE TO

- 10' AVE. WIDTH

- MIN. OFFSET BETWEEN 4" AND 8" HIGH

- 4 SHADE TREES / 100 LF

- 4 SHADE TREES / 100 LF

- 40 BURLAP / 100 LF

SEGMENT: 178 LF

- 7 SHADE TREES REQUIRED

- 7 SHADE TREES PROVIDED

- 7 UNDERSTORY TREES REQUIRED

- 7 UNDERSTORY TREES PROVIDED

- 70 BURLAP PROVIDED

#### SCREENING (1000 - SECTION 7.2.2)

SCREENING AREAS:

- LOADING AREAS, TRASH AREAS, AND SERVICE AREAS MUST BE SCREENED.

- MECHANICAL & HVAC MUST BE SCREENED.

MECHANICAL & HVAC EQUIPMENT:

- GROUND MOUNTED EQUIPMENT SCREENING SHALL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED.



## CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC

CITY OF RALEIGH

#### CONSULTANTS

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MAP:

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PH: 919.771.1111

STRUCTURAL:

LYNCH MYKINS

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RALEIGH, NC 27601

PH: 919.771.1111

#### SEALS

#### PROJECT INFORMATION

PROJECT NO.: 2105

PHASE: DESIGN DEVELOPMENT SUBMITTAL

DATE: 09.16.2022

DRAWN BY: SF

CHECKED BY: JB

#### REVISIONS

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	09/16/22	JB
2	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	JB
3	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	JB
4	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	JB
5	DESIGN DEVELOPMENT SUBMITTAL	09/16/22	JB

#### SHEET INFORMATION

L1.0  
LANDSCAPE PLAN

LANDSCAPE DESIGN & INSTALLATION (SEC. 7.2.7)

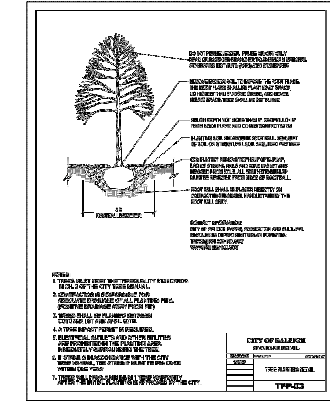
1. THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RALEIGH UDO.
2. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE APPLICANT SHALL MAKE THE FOLLOWING ARRANGEMENTS TO SECURE A TEMPORARY CERTIFICATE OF COMPLIANCE:
  - 2.1. PROVIDE A CONTRACT BINDING FOR 1 YEAR FROM THE DATE APPROVED BY THE CITY FOR THE COMPLETION OF THE LANDSCAPE WORK. SUCH CONTRACT SHALL SPECIFY THAT THE WORK SHALL BE COMPLETED BEFORE OR DURING THE YEAR IMMEDIATELY FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE CITY SHALL NOT BE A PARTY OR A THIRD PARTY BENEFICIARY TO THE CONTRACT.
  - 2.2. THE APPLICANT SHALL ALSO AGREE IN WRITING THAT THEY, THEIR SUCCESSORS OR ASSIGNS, SHALL PROVIDE THE REQUIRED PLANTING WITHIN THE 1 YEAR PERIOD, AS A CONDITION FOR OBTAINING A CERTIFICATE OF COMPLIANCE FOR THE PRINCIPAL USE SO LONG AS THE PRINCIPAL USE SHALL CONTINUE. THE APPLICANT SHALL ALSO AGREE THAT THE PRINCIPAL USE SHALL BE DISCONTINUED IF THE REQUIRED PLANTING IS NOT PROVIDED. VIOLATIONS OF THESE PROVISIONS SHALL CONSTITUTE AN UNLAWFUL AND ILLEGAL OCCUPANCY OF THE PRINCIPAL USE.
3. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING ABLES OR THE APPROACH TO ANY STREET INTERSECTION.
4. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE RIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
5. PLANT MATERIALS MUST BE HARDY TO ZONE 7 IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S PLANT HARDINESS ZONE MAP.
6. PLANT MATERIALS MUST BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
7. TREE HEIGHT IS MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE MAIN STEM.
8. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15' FROM ANY OTHER TREE AND NO FURTHER THAN 50' FROM ANY OTHER TREE. MEASURED FROM TREE TRUNK TO TREE TRUNK.
9. ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF 35' OR GREATER UNLESS SUBJECT TO AN OVERHEAD POWER LINE IN WHICH CASE THE MATURE HEIGHT MAY BE LESS.
10. ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 3" AND BE AT LEAST 10' TALL AT TIME OF PLANTING.
11. UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE A LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF AT LEAST 15' AND EXPECTED MATURE CROWN SPREAD OF AT LEAST 15'.
12. SINGLE-STEM UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 1" AND BE AT LEAST 6' TALL AT TIME OF PLANTING. MULTI-STEM UNDERSTORY TREES MUST BE AT LEAST 6' TALL AT THE TIME OF PLANTING.
13. IN A PROTECTIVE YARD, 50% OF REQUIRED TREES SHALL BE LOCALLY ADAPTED EVERGREEN SPECIES. TREES SHALL BE DISTRIBUTED SO THAT THERE ARE NO HORIZONTAL GAPS BETWEEN TREES GREATER THAN 30' MEASURED ALONG THE PROPERTY LINE.
14. IN A PARKING AREA, ALL SHRUBS TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
15. IN A PROTECTIVE YARD, ALL SHRUBS PLANTED TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE EVERGREEN AND BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
16. SHRUBS PLANTED IN A TYPE C2 STREET PROTECTIVE YARD SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 3" TALL WHEN PLANTED.
17. IN A STREET PROTECTIVE YARD, SHRUB PLANTING MUST FORM AT LEAST ONE CONTINUOUS ROW OF SHRUBS SPACED 5' ON CENTER ACROSS THE ENTIRE PROTECTIVE YARD EXCEPT FOR DRIVEWAYS.
18. SHRUBS CANNOT BE PLANTED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
19. WHERE A PROTECTIVE YARD IS ALSO A TREE CONSERVATION AREA, SHRUBS MUST BE PLANTED ADJACENT TO AND OUTSIDE THE TREE CONSERVATION AREA.
20. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED NEAR UTILITY AND SERVICE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.

MAINTENANCE & LANDSCAPING:

1. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
2. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSIONS IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
3. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THE REQUIRED SIZE.
4. EXCEPT FOR TRIMMING AND PRUNING DONE IN STRICT ACCORDANCE WITH THE TERMS, CONDITIONS AND PROVISIONS OF A PERMIT ISSUED BY THE CITY FORESTRY SPECIALIST OR PRUNING AND TRIMMING DONE UNDER AN ISSUED PERMIT IN STRICT ACCORDANCE WITH THE TREE CLIMAXING POLICIES AND STANDARDS GOVERNING SUCH ACTIVITIES ESTABLISHED PURSUANT TO PART 9, CHAPTER 8, REQUIRED LANDSCAPING SHALL NOT BE CUT OR EXCESSIVELY TRIMMED OR OTHERWISE DAMAGED SO THAT THEIR NATURAL FORM IS IMPAIRED.
5. A VIOLATION OF THIS SECTION SHALL SUBJECT THE VIOLATOR TO A CIVIL PENALTY OF A MINIMUM OF \$1,000 FOR THE FIRST TREE PLUS \$100 PER CALIPER INCH OF ANY OTHER TREE UNLAWFULLY PRUNED, DAMAGED OR EXCESSIVELY TRIMMED.
6. THE CIVIL PENALTY SHALL BE PROCESSED AS SET FORTH IN SEC. 10.2.2. IN ADDITION TO THIS CIVIL PENALTY, IF MORE THAN 50% OF THE CROWN OF A TREE IS REMOVED WITHIN A CONTINUOUS FIVE-YEAR PERIOD OR MORE THAN 10% OF THE CRITICAL ROOT ZONE OF THE TREE IS SUSCEPTED TO TREE DISTURBING ACTIVITY OR IF MORE THAN 1/4 OF THE CIRCUMFERENCE OF THE TREE IS EXPOSED BY PRUNING CUTS, THE OWNER OF THE REAL PROPERTY, WHERE A VIOLATION HAS OCCURRED, SHALL REPLACE EACH UNLAWFULLY PRUNED OR OTHERWISE MECHANICALLY WOUNDED, DAMAGED, EXCESSIVELY TRIMMED OR REMOVED TREE WITH A TREE OR TREES OF EQUAL DIAMETER.
7. ANY REPLACEMENT TREE SHALL HAVE A MINIMUM CALIPER OF 1" AND BE AT LEAST 10' TALL AT TIME OF PLANTING. ANY REPLACEMENT TREE NOT PLANTED IN THE ORIGINAL LOCATION SHALL BE PLANTED IN A PLANTING AREA OF AT LEAST 220 SF IN AREA WITH MINIMUM DIMENSION OF 10'.
8. IF THE PROPERTY OF WHICH THE VIOLATION HAS OCCURRED FAILS TO CONTAIN SUFFICIENT LAND AREA TO REPLANT THE REQUIRED REPLACEMENT TREES AND SUCH REPLACEMENT TREES CANNOT BE PLANTED ON ADJACENT STREET RIGHT-OF-WAY, THEN IN LIEU OF SUCH REPLACEMENT TREES, A FEE EQUAL TO \$100 PER CALIPER INCH OF REPLACEMENT TREES SHALL BE PAID TO THE CITY.
9. THE PARKS AND CULTURAL RESOURCES DIRECTOR MAY REQUIRE CROWN RESTORATION AND CROWN REDUCTION FOR ANY UNLAWFULLY PRUNED, DAMAGED OR EXCESSIVELY TRIMMED TREE. ALL SUCH CORRECTIVE PRUNING SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

REFORESTATION NOTES:

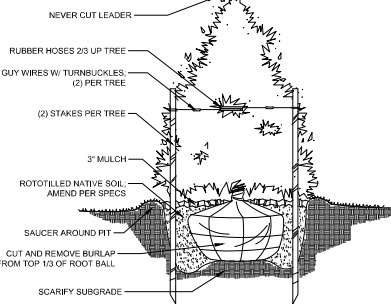
1. WOODY SPECIES TO BE PLANTED WITH A COMBINATION OF THE FOLLOWING SMALL TREES/SHRUBS: (ROOTED PLANT PLUGS/TUBELINGS - 12"-18" IN HEIGHT). SPECIES SUBSTITUTIONS REQUIRE PRIOR APPROVAL FROM THE DESIGN CONTRACTOR TO SUBMIT PLANT QUANTITIES BY SPECIES AND ZONE FOR APPROVAL PRIOR TO PLANTING.
2. TREES SHALL BE SPACED NO MORE THAN 10' ON CENTER, AND NO LESS THAN 5' ON CENTER.
3. TREES SHALL BE SPACED NO MORE THAN 5' ON CENTER, AND NO LESS THAN 3' ON CENTER.
4. REFORESTED AREAS TO BE MATTED WITH FIBERWONDERS COR MAT C-700 OR APPROVED EQUAL, PLACED RHYTHM ABED, ERRORED ARBORICOLA - SERVICE BERRY LINDERA BENZON - SPIGEBUSH ILEX VERTICILLATA - WINTERBERRY CERCANANTHUS OCCIDENTALIS - BUTTONGRASS CALYCANTHUS FLORIDUS - SWEETSHRUB
5. PLANTING STOCK TO BE GROWN BY NURSERIES WITHIN THE SAME PHYSIOGRAPHIC REGION (Piedmont) AND WITHIN 200 MILES OF THE PROJECT SITE.
6. FERTILIZER: RECOMMENDATIONS CONTRACTOR TO FIELD VERIFY WITH ON SITE SOIL CONDITIONS: LIME 3, TONAC PHOSPHATE 20-40 LBS/AC POTASH 50-70 LBS/AC WATERING REQUIREMENTS: ONCE/WEEK IF NO RAIN
7. NATIVE SEED MIX, ERNST CONSERVATION SEEDS PIEDMONT RIPARIAN SEED MIX OR APPROVED EQUAL, APPLICATION RATE 25 LBS/AC.



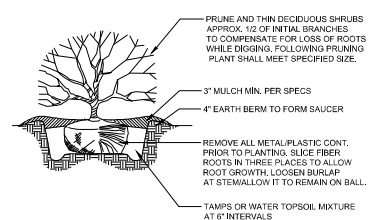
1 TREE PLANTING - CITY OF RALEIGH

NOTES:

1. Tree shall have same relation to grade as it had in nursery



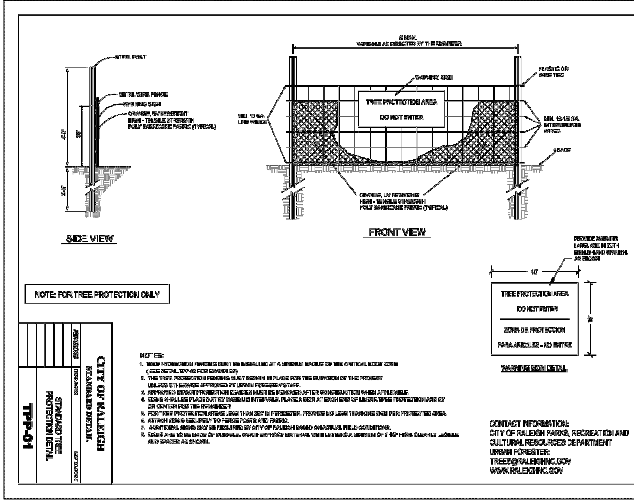
2 EVERGREEN PLANTING



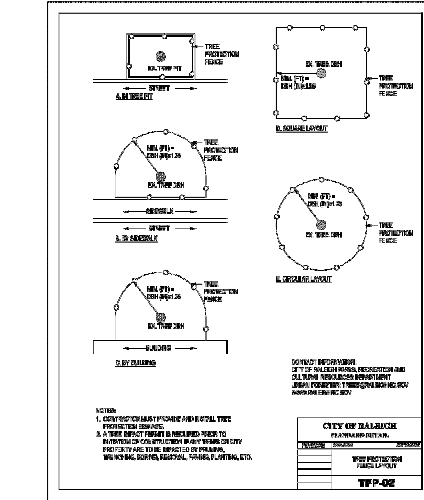
NOTES:

1. Soil mix: 1/3 organic matter, 2/3 exist soil.
2. Width of plant pit: sandy soil, 24" wider than plant ball; clay soil, 12" wider than plant ball
3. For planting areas where soil has been compacted by equity contact LA prior to planting.
4. For clematis, rhodod, azaleas, and laurels: soil mix, 2/3 organic and 1/3 existing soil
5. Shrub shall bear same relationship to grade as it did prior to digging.

3 SHRUB PLANTING



4 TREE PROTECTION FENCE - CITY OF RALEIGH



5 TREE PROTECTION FENCE LAYOUT - CITY OF RALEIGH

REFORESTATION SCHEDULE (QTY.)

TREES	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
ACB	6	ACER BURGERSIANUM	TRIDENT MAPLE	3" CAL., 10 HT. MIN	BAB	SHADE TREE
ARB	9	ACER RUBRUM 'BRANDY WINE'	BRANDY WINE RED MAPLE	3" CAL., 10 HT. MIN	BAB	SHADE TREE
BND	3	BETULA NIGRA 'BENNETT TM'	DURA HEAT RIVER BIRCH	3" CAL., 10 HT. MIN	BAB	SHADE TREE
CFC	7	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	1.5" CAL., 6 HT. MIN.	BAB OR CONTAINER	UNDERSTORY TREE
QUA	5	QUERCUS ALBA	WHITE OAK	3" CAL., 10 HT. MIN	BAB	SHADE TREE
UAP	3	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CAL., 10 HT. MIN	BAB	SHADE TREE
SHRUBS	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
CSA	36	CAMELLIA SASANKUA	FLORIDUS MAGIC WHITE SH-SH CAMELLIA	18" HT./SPRD.	CONTAINER	
IVN	6	ILEX VOMITORIA 'NANA'	DWARF YALPOU HOLLY	18" HT./SPRD.	CONTAINER	
LCD	23	LOROPETALUM CHINENSE 'DARUMA'	DARUMA DWARF LOROPETALUM	18" HT./SPRD.	CONTAINER	
MCD	25	MYRTICA CHERPENA 'DON S DWARF'	DON S DWARF WAX MYRTLE	18" HT./SPRD.	CONTAINER	
THU	12	THALIA OCCIDENTALIS 'FIRE CHIEF'	FIRE CHIEF ARBORVITAE	18" HT./SPRD.	CONTAINER	
VOS	7	VIBURNUM OBOVATUM 'MRS. SCHILLERS DELIGHT'	MRS. SCHILLERS DELIGHT WALTER S VIBURNUM	18" HT./SPRD.	CONTAINER	

PLANT SCHEDULE

TREES	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
ACB	6	ACER BURGERSIANUM	TRIDENT MAPLE	3" CAL., 10 HT. MIN	BAB	SHADE TREE
ARB	9	ACER RUBRUM 'BRANDY WINE'	BRANDY WINE RED MAPLE	3" CAL., 10 HT. MIN	BAB	SHADE TREE
BND	3	BETULA NIGRA 'BENNETT TM'	DURA HEAT RIVER BIRCH	3" CAL., 10 HT. MIN	BAB	SHADE TREE
CFC	7	CORNUS FLORIDA 'CHEROKEE PRINCESS'	CHEROKEE PRINCESS DOGWOOD	1.5" CAL., 6 HT. MIN.	BAB OR CONTAINER	UNDERSTORY TREE
QUA	5	QUERCUS ALBA	WHITE OAK	3" CAL., 10 HT. MIN	BAB	SHADE TREE
UAP	3	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CAL., 10 HT. MIN	BAB	SHADE TREE
SHRUBS	QTY.	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	SPACING
CSA	36	CAMELLIA SASANKUA	FLORIDUS MAGIC WHITE SH-SH CAMELLIA	18" HT./SPRD.	CONTAINER	
IVN	6	ILEX VOMITORIA 'NANA'	DWARF YALPOU HOLLY	18" HT./SPRD.	CONTAINER	
LCD	23	LOROPETALUM CHINENSE 'DARUMA'	DARUMA DWARF LOROPETALUM	18" HT./SPRD.	CONTAINER	
MCD	25	MYRTICA CHERPENA 'DON S DWARF'	DON S DWARF WAX MYRTLE	18" HT./SPRD.	CONTAINER	
THU	12	THALIA OCCIDENTALIS 'FIRE CHIEF'	FIRE CHIEF ARBORVITAE	18" HT./SPRD.	CONTAINER	
VOS	7	VIBURNUM OBOVATUM 'MRS. SCHILLERS DELIGHT'	MRS. SCHILLERS DELIGHT WALTER S VIBURNUM	18" HT./SPRD.	CONTAINER	

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, NCDEQ AND NCDDOT STANDARDS, SPECIFICATIONS, AND DETAILS



CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
RALEIGH, NC  
CITY OF RALEIGH

CONSULTANTS

HEATH THOMPSON  
201 W. HARRIS BLVD. SUITE 100  
RALEIGH, NC 27601  
P: 919.977.1111

ATLANTIC  
201 W. HARRIS BLVD. SUITE 100  
RALEIGH, NC 27601  
P: 919.977.1111

LYNCH MYKINS  
201 W. HARRIS BLVD. SUITE 100  
RALEIGH, NC 27601  
P: 919.977.1111

SEALS

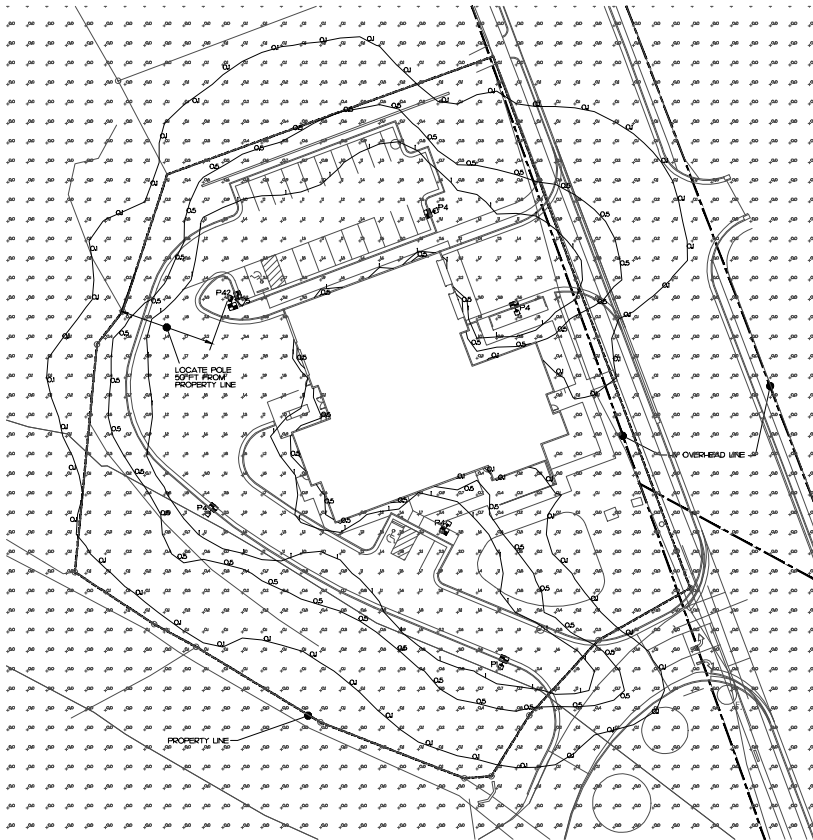
PROJECT INFORMATION:

PROJECT NO.: 2105  
PHASE: DESIGN DEVELOPMENT SUBMITTAL  
DATE: 09-28-2022  
DRAWN BY: SF  
CHECKED BY: JB

REV.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT SUBMITTAL	09-28-2022
2	DESIGN DEVELOPMENT SUBMITTAL	09-28-2022
3	DESIGN DEVELOPMENT SUBMITTAL	09-28-2022
4	DESIGN DEVELOPMENT SUBMITTAL	09-28-2022

SHEET INFORMATION

L2.0  
LANDSCAPE NOTES  
AND DETAILS



1 SITE LIGHT PHOTOMETRIC PLAN  
SL101 1/4" = 30'-0"

### LIGHT FIXTURE SCHEDULE

LEGEND	TYPE	DESCRIPTION	CATALOG	ELECTRICAL DATA	NOTES
P1	P1	POLE LIGHT WITH 1 LUMINAIRE 7000 LUMENS TYPE 1 SHORT DISTRIBUTION 25 FT POLE	LITHONIA® DSX-LED-PH40K-TS-MVOLT	7000 LUMEN LED, 40K ELECTRONIC DRIVER 54 WATTS - 60 VA, 120-277V	
P4	P4	POLE LIGHT WITH 1 LUMINAIRE 2000 LUMEN TYPE 4 MEDIUM DISTRIBUTION 25 FT POLE	LITHONIA® DSX-LED-P3-40K-T4M-MVOLT	2000 LUMEN LED, 40K ELECTRONIC DRIVER 42 WATTS - 13 VA, 120-277V	
P42	P42	POLE LIGHT WITH 2 LUMINAIRES 2 x 2000 LUMEN TYPE 4 MEDIUM DISTRIBUTION 25 FT POLE 90° ARM MOUNT	LITHONIA® DSX-LED-P3-40K-T4M-MVOLT	2 x 2000 LUMEN LED, 40K ELECTRONIC DRIVER 204 WATTS - 236 VA, 120-277V	

2 LIGHTING FIXTURE SCHEDULE  
SL101 NO SCALE



## CITY OF RALEIGH - FIRE STATION 3

PROJECT LOCATION  
CITY OF RALEIGH

#### CONSULTANTS

PREPARED BY:  
TIMMONS  
100 WEST STREET, SUITE 100  
RALEIGH, NC 27601  
(919) 771-1111

STRUCTURAL:  
LYNCH MYKINS  
100 WEST STREET, SUITE 100  
RALEIGH, NC 27601  
(919) 771-1111

PREPARED BY:  
ATLANTEC  
100 WEST STREET, SUITE 100  
RALEIGH, NC 27601  
(919) 771-1111



322 BLUE RIDGE ROAD, SUITE 103  
RALEIGH, NC 27602  
919 571-8240

#### SEALS



PRELIMINARY  
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

#### PROJECT INFORMATION

PROJECT NO.: 2105  
PHASE: SD COST ESTIMATE  
DATE: 06/30/2022  
DRAWN BY: MP  
CHECKED BY: SP

#### REVISIONS

NO.	DESCRIPTION	DATE
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#### SHEET INFORMATION

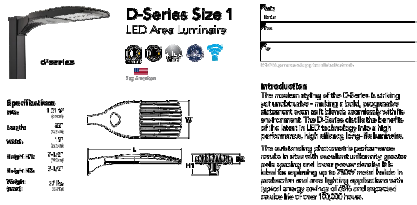
SL101  
SITE LIGHT  
PHOTOMETRIC PLAN



TYPE P1  
DSX-LED-P1-40K-14MMVOLT  
SEE POLE INFO IN SLO2

TYPE P4  
DSX-LED-P4-40K-14MMVOLT  
SEE POLE INFO IN SLO2

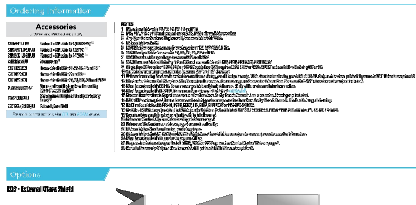
TYPE P42  
DSX-LED-P4-40K-14MMVOLT  
SEE POLE INFO IN SLO2



Example: DSX-LED-P4-40K-14MMVOLT

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P1-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P1-40K-14MMVOLT
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

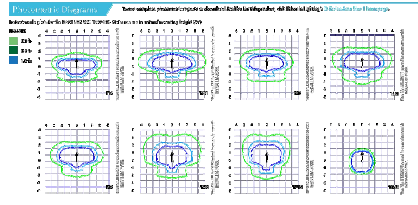
ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com



Example: DSX-LED-P4-40K-14MMVOLT

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

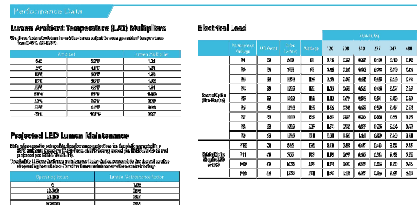
ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com



Example: DSX-LED-P4-40K-14MMVOLT

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
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Example: DSX-LED-P4-40K-14MMVOLT

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P1-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P1-40K-14MMVOLT
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com

Model	Power (W)	Voltage (V)	Current (A)	Power Factor	Beam Angle	Mounting	Accessories
DSX-LED-P4-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P4-40K-14MMVOLT
DSX-LED-P42-40K-14MMVOLT	40	14	2.86	0.95	120°	14mm	DSX-LED-P42-40K-14MMVOLT

ATLANTIC LIGHTING  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140  
www.atlanticlighting.com



CITY OF RALEIGH -  
FIRE STATION 3

PROJECT LOCATION  
CITY OF RALEIGH

CONSULTANTS

PROJECT  
LYNCH MYKINS

ARCHITECT  
ATLANTIC

322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140

ATLANTIC  
322 BLUE RIDGE ROAD, SUITE 100  
RALEIGH, NC 27602  
919.576.5140

SEALS



PRELIMINARY  
NOT FOR CONSTRUCTION  
FOR REVIEW ONLY

PROJECT INFORMATION

PROJECT NO.: 2106

PHASE: 3D COST ESTIMATE

DATE: 06/30/2022

DRAWN BY: MP

CHECKED BY: SP

REVISIONS

SHEET INFORMATION

SL201  
LIGHT FIXTURE  
CUT SHEETS





# CITY OF RALEIGH - FIRE STATION 3

ROCK QUARRY RD  
 RALEIGH, NC  
 CITY OF RALEIGH

## CONSULTANTS

IFE ORA  
 TIMMONS  
 1000 WEST 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 303.733.1100

MRP  
 ATLANTIC  
 1000 WEST 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 303.733.1100

STRUCTURAL  
 LYNCH MYRINS  
 1000 WEST 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 303.733.1100

## SEALS



## PROJECT INFORMATION

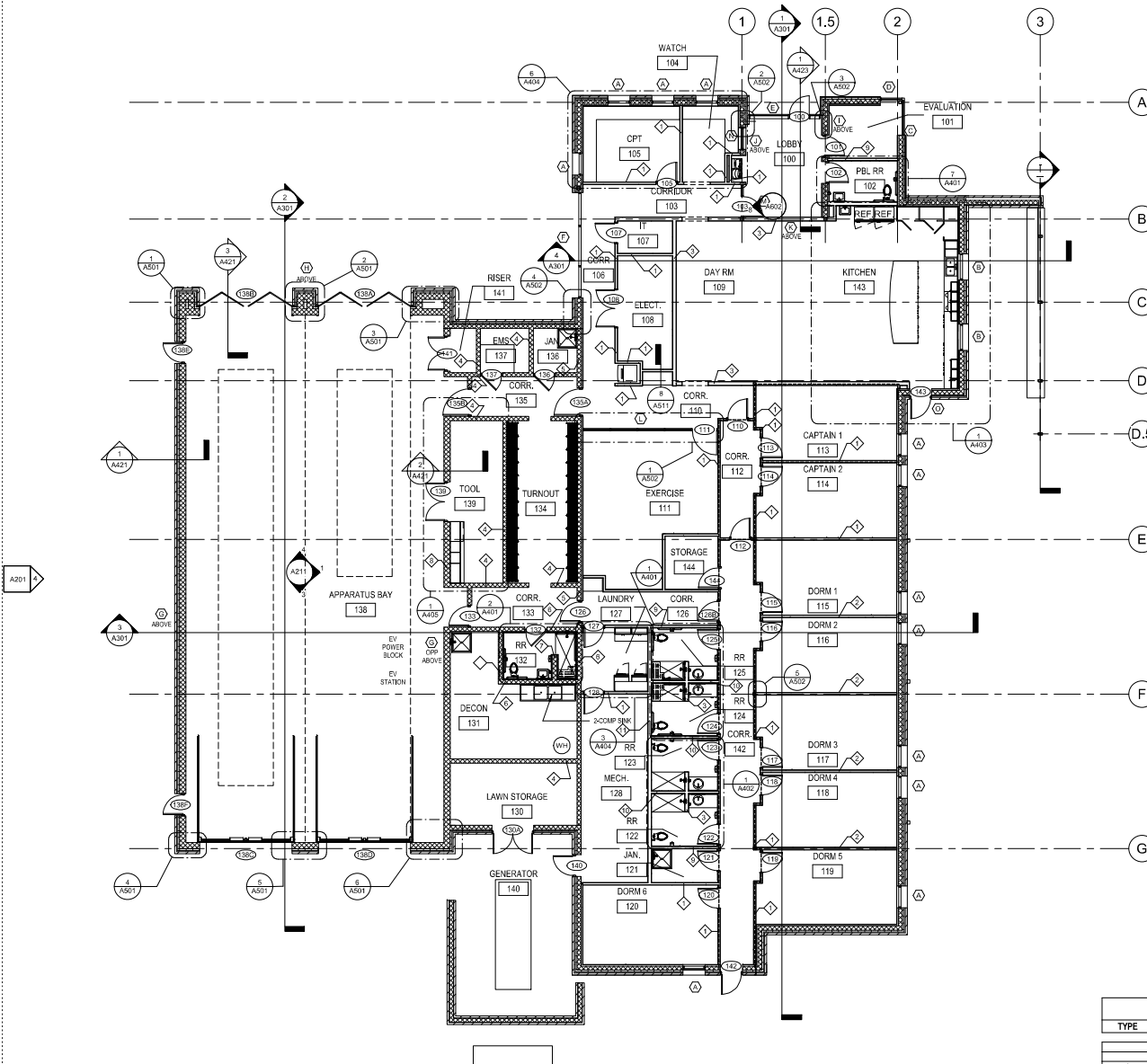
PROJECT NO.: 2105  
 PHASE: ASR - SUBMITTAL 1  
 DATE: 07/21/2022  
 DRAWN BY: EMS  
 CHECKED BY: EMS

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## SHEET INFORMATION

**A101**  
 FLOOR PLAN



WALL LEGEND	
	UNRATED CONSTRUCTION
	12 HR FIRE PARTITION - UL L885 & UL L885

**NOTES**

1. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL.
2. COORDINATE AND PROVIDE BACKING BLOCCING FOR MILLWORK AND FENG ATTACHED OR INSULATED TO WALLS OR CEILINGS.
3. LOCATE DOOR OPENINGS 9" OFF PERPENDICULAR WALL, U.O.N.
4. CONTROL JOINTS.
5. FINISH WALL TO FLOOR FOR BASE ADHESION.

WALL SCHEDULE					
TYPE	THICKNESS	COMPOSITION	HEIGHT	RATING	COMMENTS
	11.56"		TO DECK		
1	4.78"	1 LAYER SIP GWS, 3 SIP METAL STUDS @ 16" O.C., 1 LAYER SIP GWS	TO DECK		
2	7.87"	1 LAYER SIP GWS, 3 SIP METAL STUDS @ 16" O.C., 1 LAYER SIP GWS	TO DECK		
3	7.14"	1 LAYER TILE, 1 LAYER SIP GWS, 6" METAL STUDS @ 16" O.C., 1 LAYER GWS, 1 LAYER TILE	TO DECK		
4	7.83"	8" CMU	TO DECK		
5	10.34"	8" CMU, 1 LAYER SIP GWS	TO DECK		
6	10.16"	8" CMU, 1 LAYER BACKER BOARD, 1 LAYER TILE	TO DECK		
7	11.07"	1 LAYER TILE, 1 LAYER BACKER BOARD, 8" CMU, 1 LAYER BACKER BOARD, 1 LAYER TILE	TO DECK		
8	11.56"	12" CMU	TO DECK		
9	5.12"	1 LAYER SIP GWS, 3 SIP METAL STUDS @ 16" O.C., 1 LAYER SIP GWS, 1 LAYER TILE	TO DECK		
10	6.18"	1 LAYER TILE, 1 LAYER SIP GWS, 3 SIP METAL STUDS @ 16" O.C., 1 LAYER SIP GWS, 1 LAYER TILE	TO DECK		
11	7.14"	1 LAYER SIP GWS, 8" METAL STUDS @ 16" O.C., 1 LAYER GWS, 1 LAYER TILE	TO DECK		

1 FIRST FLOOR - NEW WORK  
 1/8" = 1'-0"

# CITY OF RALEIGH - FIRE STATION 3

936 ROCK QUARRY RD  
 RALEIGH, NC 27610  
 CITY OF RALEIGH

## CONSULTANTS

FFE / JAA  
 TIMMONS  
 201 BLUE RIDGE DRIVE, SUITE 102  
 RALEIGH, NC 27607  
 919.882.0001

MD  
 ATLANTIC  
 201 BLUE RIDGE DRIVE, SUITE 102  
 RALEIGH, NC 27607  
 919.882.0001

STRUCTURAL  
 LYNCH MYRINS  
 201 BLUE RIDGE DRIVE, SUITE 102  
 RALEIGH, NC 27607  
 919.882.0001

## SEALS



## PROJECT INFORMATION

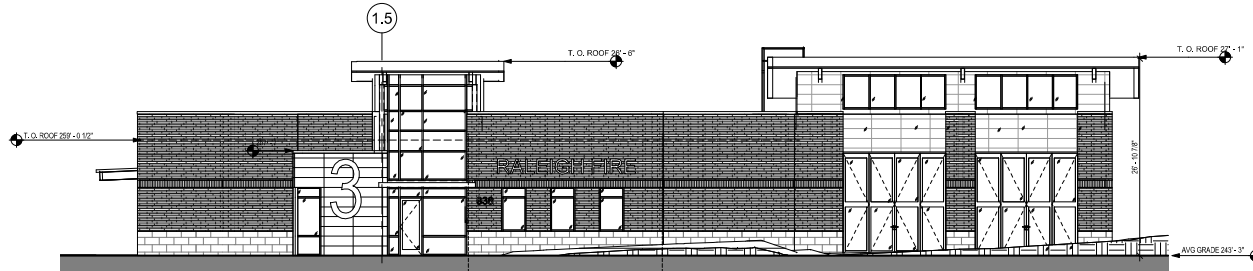
PROJECT NO.: 2105  
 PHASE: DD - COST ESTIMATE  
 DATE: 08/28/2022  
 DRAWN BY: Author  
 CHECKED BY: Checker

## REVISIONS

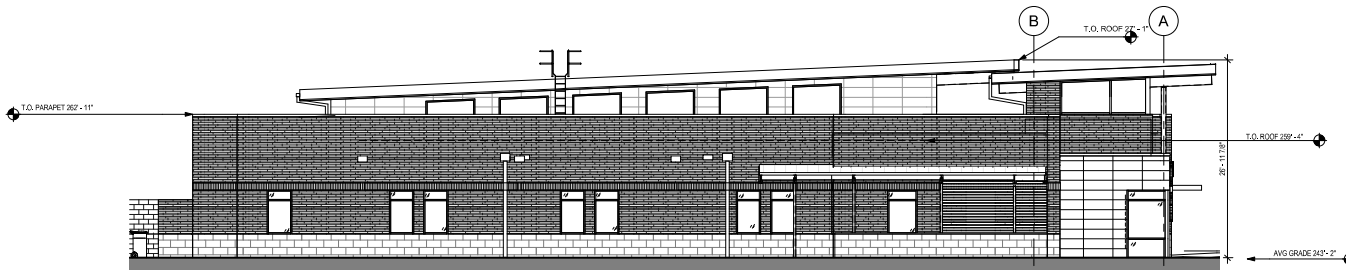
NO.	DATE	DESCRIPTION
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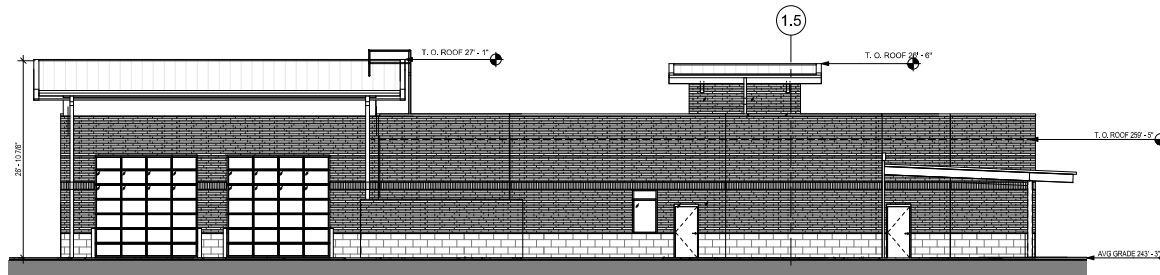
**A201**  
 EXTERIOR ELEVATIONS



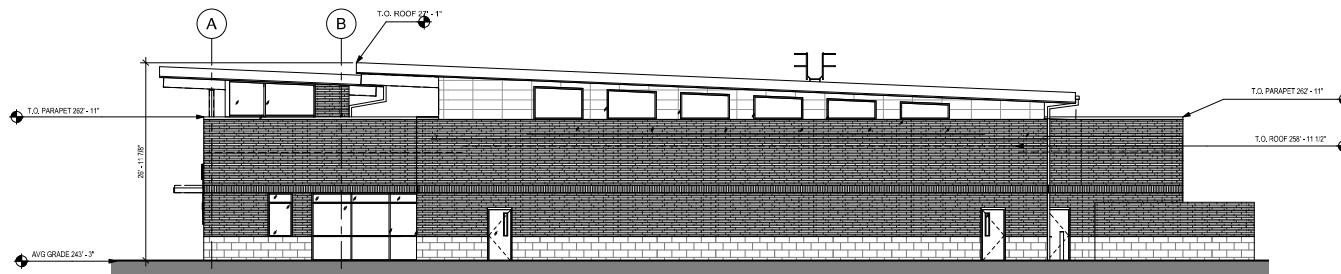
1 EAST ELEVATION  
 A201 1/8" = 1'-0"



2 SOUTH ELEVATION  
 A201 1/8" = 1'-0"



3 WEST ELEVATION  
 A201 1/8" = 1'-0"



4 NORTH ELEVATION  
 A201 1/8" = 1'-0"