

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>		
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: <u>SUB-0023-2021</u> Scoping/sketch plan case #: <u>SCOPE-0029-2024</u> Certificate of Appropriateness #: <u>N/A</u> Board of Adjustment #: <u>N/A</u> Zoning Case #: <u>Z-024-2019</u> Design Alternate #: <u>N/A</u>

GENERAL INFORMATION

Development name: Quinn Residences at Edgewater Commons

Inside City limits? Yes No

Property address(es): 3000 & 3001 Sunrise Valley Place, 3110 & 3200 Columbia River Lane

Site P.I.N.(s): 1734438806, 1734449165, 1734543059, 1734533746

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Multi-Unit Living Development with 19 apartment buildings/161 units, and retaining walls on two lots.

Current Property Owner(s): Rogers Lane Partners, LLC

Company: Rogers Lane Partners, LLC	Title: manager
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Address: 1201 Edwards Mill Road, Suite 300, Raleigh, North Carolina 27607

Phone #: 919-582-3119	Email: whightwater@acre.com
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Applicant Name (If different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: Bell Creek Capital, LLC	Address: 2401 Hobart Ct, Charlotte, NC 28209
----------------------------------	--

Phone #: 704-458-7050	Email: chad.harrell@bellcreekdevelopment.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact: Chad Harrell	
Company: Bell Creek Capital, LLC	Title: Managing Partner
Address: 2401 Hobart Ct, Charlotte, NC 28209	
Phone #: 704-458-7050	Email: chad.harrell@bellcreekdevelopment.com
Applicant Name: Ken Thompson	
Company: JDavis Architects	Address: 510 S. Wilmington Street, Raleigh, NC27601
Phone #: 919-835-1500	Email: kent@jdavisarchitects.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): PD w/ underlying CX-5	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 12.03 AC	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 396	New gross floor area: 348,223
Max # parking permitted (7.1.2.C): 494	Total sf gross (to remain and new): 248,223
Overlay District (if applicable): n/a	Proposed # of buildings: 19
Existing use (UDO 6.1.4): vacant	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): multi-unit living	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>0</u> Proposed total (sf) <u>254,566</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>0</u> Proposed total (sf) <u>254,566</u>

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 161	Total # of hotel bedrooms: 0
# of bedroom units: 1br <u>0</u> 2br <u>0</u> 3br <u>150</u> 4br or more <u>11</u>	
# of lots: 2 lots	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 08/01/2024
Printed Name: Ken Thompson,	
Signature:	Date:
Printed Name:	

SUBDISTRICT TABLE

Z-024-2019	Maximum allowed	Proposed phase 1	Proposed phase 2	Remaining
Non residential	200,000 SF	0 SF	0 SF	200,000
Residential dwelling units	700 DU	301 DU	161 DU	238 DU

Subdistrict A	Max.	Proposed phase 1	Proposed phase 2	Remaining
Non residential	120,000 SF	0 SF	0 SF	120,000 SF
Residential dwelling units	200 DU	0 DU	0 DU	200 DU

Subdistrict B	Max.	Proposed phase 1	Proposed phase 2	remaining
Non residential	60,000 SF	0 SF	0 SF	0 SF
Residential dwelling units	500 DU	301 DU	161 DU	38 DU

Subdistrict C	Max.	Proposed phase 1	Proposed phase 2	remaining
Non residential	400,000 SF	0 SF	0 SF	400,000 SF
Residential dwelling units	50 DU	0 DU	0 DU	50 DU

BUILDING DATA

1 Dwelling units			
North	3 BR	4 BR	DU
Building #N1	12	0	12
Building #N2	10	0	10
Building #N3	12	0	12
Building #N4	10	0	10
Building #N5	10	0	10
Building #N6	10	0	10
Building #N7	10	0	10
Building #N8	10	0	10
South			
Building #S1	5	0	5
Building #S2	5	0	5
Building #S3	5	0	5
Building #S4	7	0	7
Building #S5	7	0	7
Building #S6	7	0	7
Building #S7	12	0	12
Building #S8	10	0	10
Building #S9	8	0	8
Building #S10	0	5	5
Building #S11	0	6	6
Total DU	150	11	161
2 Bedrooms			
Multi-unit living 3 BR	150 x 3	=	450
Multi-unit living 4 BR	11 x 4	=	44
Total Bedrooms			494
3 Gross square footage			
North			
Building #N1		26,898	SF
Building #N2		22,415	SF
Building #N3		26,898	SF
Building #N4		22,415	SF
Building #N5		22,415	SF
Building #N6		22,415	SF
Building #N7		22,415	SF
Building #N8		22,415	SF
South			
Building #S1		9,289	SF
Building #S2		9,289	SF
Building #S3		9,289	SF
Building #S4		12,823	SF
Building #S5		12,823	SF
Building #S6		12,823	SF
Building #S7		26,898	SF
Building #S8		22,415	SF
Building #S9		17,932	SF
Building #S10		11,980	SF
Building #S11		14,376	SF
Total GSF		348,223	SF
4 Unit legend			
Tamnyard		all 3 BR	
Magnolia		all 3 BR	
Vanderbilt		all 4 BR	

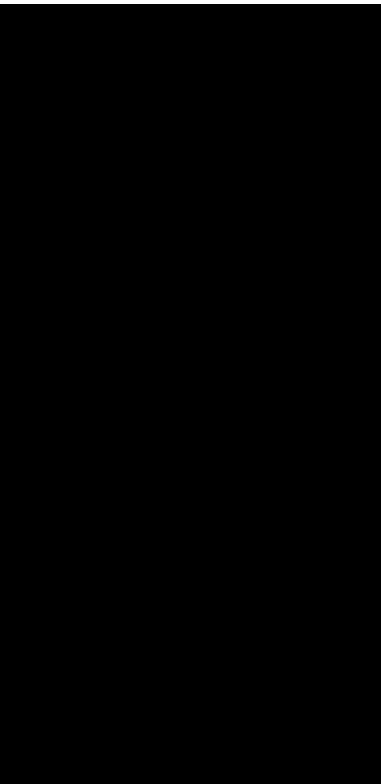
SITE DATA

Zoning summary	
Project: Edgewater Apartments Phase 2	
Date: 08.01.2024	
Zoning	PD underlying CX-5
Section 3.2.4 Apartment Building	
A Lot Dimensions	
A1 Area (min)	7,500 SF
A2 Area (max)	10 AC (NX only)
A3 Width (min)	N/A
A4 Outdoor Amenity (min)	10 %
B Building setbacks	
B1 From primary street (min)	5 FT
B2 From side street (min)	5 FT
B3 From side lot line (min)	0 or 6 FT
B4 From rear lot line (min)	0 or 6 FT
B5 From alley	4 or 20 FT
C Parking setbacks	
C1 From primary street (min)	10 FT
C2 From side street (min)	10 FT
C3 From side lot line (min)	0 FT
C4 From rear lot line (min)	0 FT
C5 From alley	4 FT
D Height	
D1 Principal building (max)	80' and 5 Story
D2 Accessory structure (max)	26 FT
E Transparency	
E1 Ground story (min)	20 %
E2 Upper story (min)	15 %
E3 Blank wall area (max)	35 FT
Required parking (UDO section 7.1.2.C)	
Multi-unit living	
1 BR	1.50 SP Max.
2 BR	2.25 SP Max.
3 BR	3.00 SP Max.
4 BR	4.00 SP Max.
Required bicycle parking (UDO section 7.1.2.C)	
Residential	
Short term	1 per 20 rooms (4 min.)
Long term	1 per 7 BR

Site data table		
Project: Edgewater Apartments Phase 2		
Date: 08.01.2024		
1 Tract area		
Lot #5	PIN 1734533746	6.18 AC
Lot #6	PIN 1734543059	3.40 AC
Lot #9	PIN 1734449165	1.09 AC
Lot #11	PIN 1734438806	1.36 AC
Gross acreage		12.03 AC
2 Zoning		
Overlay District		PD underlying CX-5
Frontage		None
3 Current Use		
Proposed use		Multi-unit living (Apartment)
4 Building SF		
FAR	348,223 / 12.03 =	29,000
Proposed density	161 / 12.03 =	13.4 DU/AC
5 Maximum parking (UDO section 7.1.2.C)		
Multi-unit living 3 BR	150 x 3.0 =	450 SP
Multi-unit living 4 BR	11 x 4.0 =	44 SP
Maximum Allowed		494 SP
Parking provided		
Standard surface space		24 SP
HC surface space	3 are van	4 SP
Driveway space		184 SP
Garage space		184 SP
Total spaces provided		396 SP
7 Required bicycle parking (UDO section 7.1.2)		
Multi-unit living		
Short term Required (1 space per 20 units)	161 / 20 =	8 SP
Short term provided		0 SP
Long term Required (1 space per 7 bedrooms)	494 / 7 =	71 SP
Long term bike parking provided (In garage)		143 SP
Short term provided		0 SP
Long term bike parking provided (In garage)		143 SP
Total provided		143 SP
8 Outdoor amenity area (UDO section 3.2.6.A3)		
Area required - 10% of net acreage		
Tract net acreage	524,027 SF	12.03 AC
10% required	10%	0.10
Total required - 12% max.	52,403 SF	1.20 AC
Provided		
Area provided - OAA #1	34,503 SF	0.792 AC
Area provided - OAA #2	8,022 SF	0.184 AC
Area provided - OAA #3	4,195 SF	0.096 AC
Area provided - OAA #4	4,276 SF	0.098 AC
Area provided - OAA #5	11,596 SF	0.266 AC
Area provided - OAA #6	13,855 SF	0.318 AC
Total - 12% max.	76,447 SF	1.755 AC
9 Building height		
Allowed height per PD		4 story - 62 FT
Proposed height		See elevations for building heights



Bell Creek Capital, LLC
 Quinn Residences at Edgewater Commons
 Raleigh, North Carolina



ASR-XXXX-2024
 SITE DATA, BUILDING DATA, &
 SUBDISTRICT TABLE

PROJECT:	BCD-24080	DATE
ISSUE:	Administrative Site Review	08.01.2024
REVISIONS:		
DRAWN BY:	KT, SB	
CHECKED BY:	KT	
CONTENT:	SITE DATA, BUILDING DATA, & SUBDISTRICT TABLE	

8/1/2024, 1:00 PM P:\24080\24080_L_Edgewater-Phase-2\Drawings\Site\UDO\UDO-Edgewater-2-Cover-Ref-Zoning01-ASR.dwg

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SEE L2.00 FOR SITE PLAN.
SEE L0.00 FOR SITE DATA TABLE.
SEE L4.00 FOR LANDSCAPE PLAN.
SEE L9.00 to L9.03 FOR SITE DETAILS.

LEGEND:

	PROP. OPEN SPACE - FLOOD FRINGE AREA
	PROP. OPEN SPACE - CEMETERY
	PROP. OPEN SPACE - GREENWAY
	PROP. OPEN SPACE - TREE CONSERVATION
	PROP. OPEN SPACE EASEMENT LINE

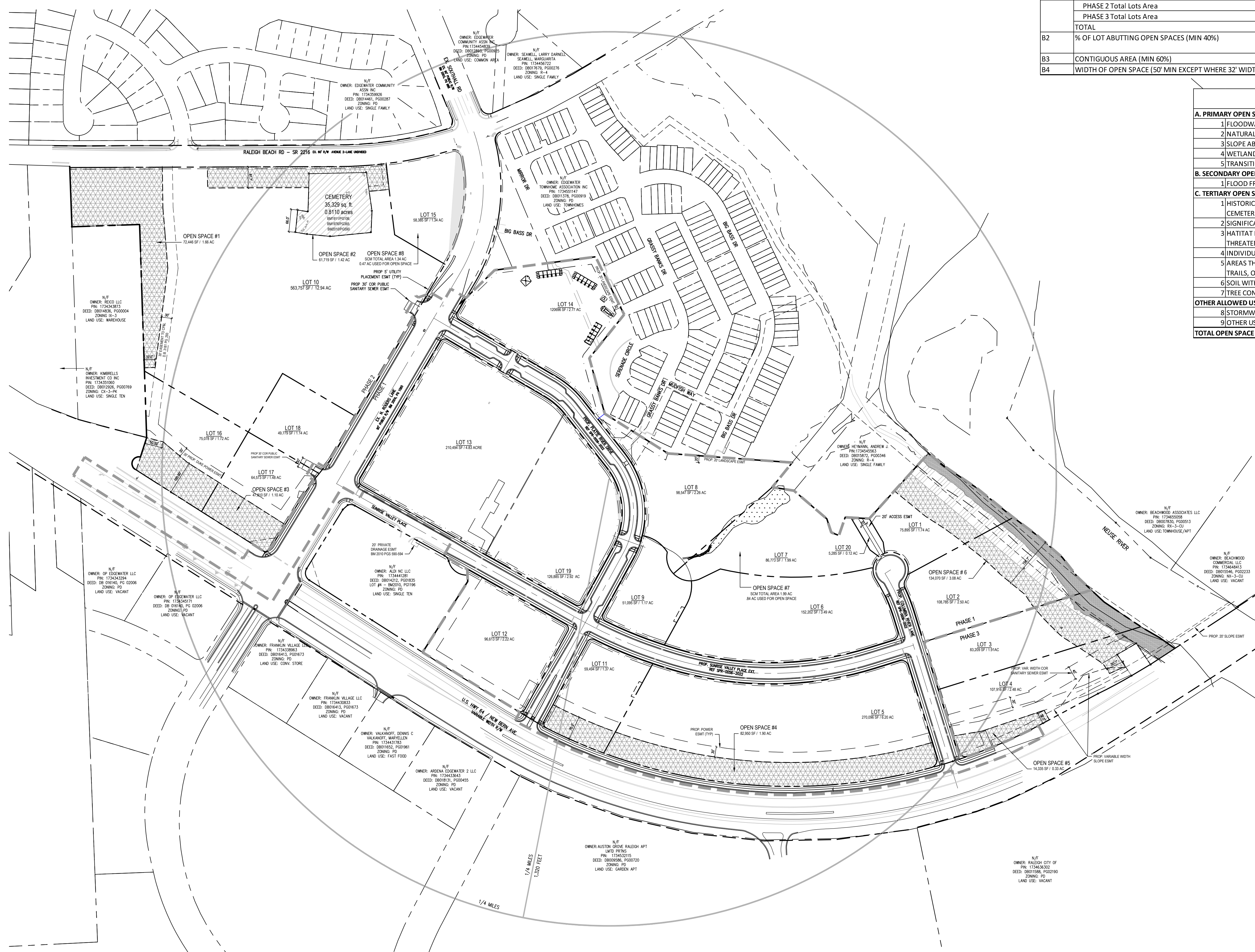
EXISTING SITE DATA:

SITE ADDRESS:	3200 & 3110 COLUMBIA RIVER DR AND 3001 & 3000 SUNRISE VALLEY PL.
PIN NUMBER:	1734533746, 1734543059, 1734449165 AND 1734438896
RECORDED MAP:	BM2023, PG01592
ZONING(S):	PD W UNDERLYING CX-5
OVERLAY DISTRICT:	NA
ACREAGE:	12.04 AC
EXISTING USE:	VACANT
ALLUVIAL SOIL:	NA
FEMA MAP PANEL #:	NA

B	OPEN SPACE	MIN. REQUIRED		provided	
B1	OPEN SPACE REQUIRED (MIN 10% OF NET SITE AREA)				
	PHASE 1 Total Lots Area	33.58 AC	X 10% = 3.36 AC	33.58 X 14% = 4.79 AC	
	PHASE 2 Total Lots Area	18.63 AC	X 10% = 1.86 AC	18.63 X 25% = 4.64 AC	
	PHASE 3 Total Lots Area	4.39 AC	X 10% = 0.44 AC	4.39 X 31% = 1.36 AC	
	TOTAL	56.60 AC	X 10% = 5.66 AC	56.60 X 19% = 10.80 AC	
B2	% OF LOT ABUTTING OPEN SPACES (MIN 40%)	20 LOTS	X 40% = 8 LOTS	60%	12.00 LOTS
B3	CONTIGUOUS AREA (MIN 60%)	5.66 AC	X 60% = 3.40 AC	MIN	3.73 AC
B4	WIDTH OF OPEN SPACE (50' MIN EXCEPT WHERE 32' WIDTH TREE CONSERVATION AREA)		50 FT		50 FT

TYPE OF OPEN SPACE	PRESENT ON SITE	AVAILABLE ACREAGE	UTILIZED ACREAGE
A. PRIMARY OPEN SPACE			
1 FLOODWAY AREA	NO	0.00	0.00
2 NATURAL RESOURCE BUFFER	NO	0.00	0.00
3 SLOPE ABOVE 25%	NO	0.00	0.00
4 WETLAND	YES	0.00	0.00
5 TRANSITIONAL PROTECTIVE YARD	NO	0.00	0.00
B. SECONDARY OPEN SPACE			
1 FLOOD FRINGE AREAS	YES	0.96	0.96
C. TERTIARY OPEN SPACE			
1 HISTORIC, ARCHEOLOGICAL AND CULTURAL SITES, CEMETERIES AND BURIAL GROUNDS	YES	0.81	0.81
2 SIGNIFICANT NATURAL FEATURES AND SCENIC VIEWSHEDS	NO	0.00	0.00
3 HABITAT FOR FEDERALLY LISTED ENDANGERED OR THREATENED SPECIES	NO	0.00	0.00
4 INDIVIDUAL EX. HEALTHY TREES >10" DBH AND CRZ TRAILS, OR GREENWAY	YES	0.86	0.86
5 SOIL WITH SEVERE LIMITATIONS DUE TO DRAINAGE PROBLEMS.	NO	0.00	0.00
6 TREE CONSERVATION AREAS	YES	6.86	6.86
OTHER ALLOWED USES OF OPEN SPACE			
8 STORMWATER CONTROL MEASURES (MAX 25% OF REQ O.S.)	YES	5.59	1.31
9 OTHER USES (PREVIOUSLY QUALIFIED TCA, ESMTS, ETC)	YES	0.00	0.00
TOTAL OPEN SPACE PROVIDED			10.80

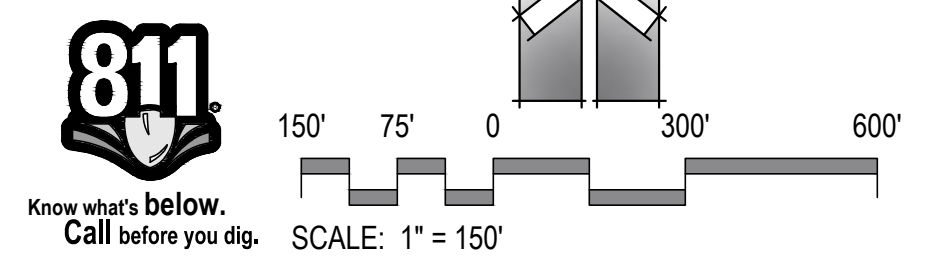
OPEN SPACE AREA	TYPE OF OPEN SPACE (SEC. 2.5.2)	TYPE OF USE (SEC. 2.5.4)
AREA 1 : 1.66 AC	C-7 TREE CONSERVATION AREA	A. CONSERVATION AREAS B. CONSERVATION - ORIENTED AREAS
AREA 2 : 1.42 AC	C-1 CEMETERY	A. CONSERVATION AREAS B. CONSERVATION - ORIENTED AREAS
AREA 3 : 1.10 AC	C-7 TREE CONSERVATION AREA	A. CONSERVATION AREAS B. CONSERVATION - ORIENTED AREAS
AREA 4 : 1.90 AC	C-7 TREE CONSERVATION AREA	A. CONSERVATION AREAS B. CONSERVATION - ORIENTED AREAS
AREA 5 : 0.33 AC	C-7 TREE CONSERVATION AREA	A. CONSERVATION AREAS B. CONSERVATION - ORIENTED AREAS
AREA 6 : 3.08 AC	B-1 FLOOD FRINGE AREA C-5 CONNECTION AREA C-7 TREE CONSERVATION AREA	A. CONSERVATION AREAS B. CONSERVATION - ORIENTED AREAS C. PEDESTRIAN OR MULTIPURPOSE TRAILS K. EASEMENTS
AREA 7 : 0.84 AC	OTHER - 8	J. STORMWATER CONTROL MEASURES
AREA 8 : 0.47 AC	OTHER - 9	(25% OF REQUIRED MAX)



REFERENCE:
BM2023-PG1588-1595; Z-024-19;
SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024

OPEN SPACE PLAN
(REF. SPR-0056-2022)

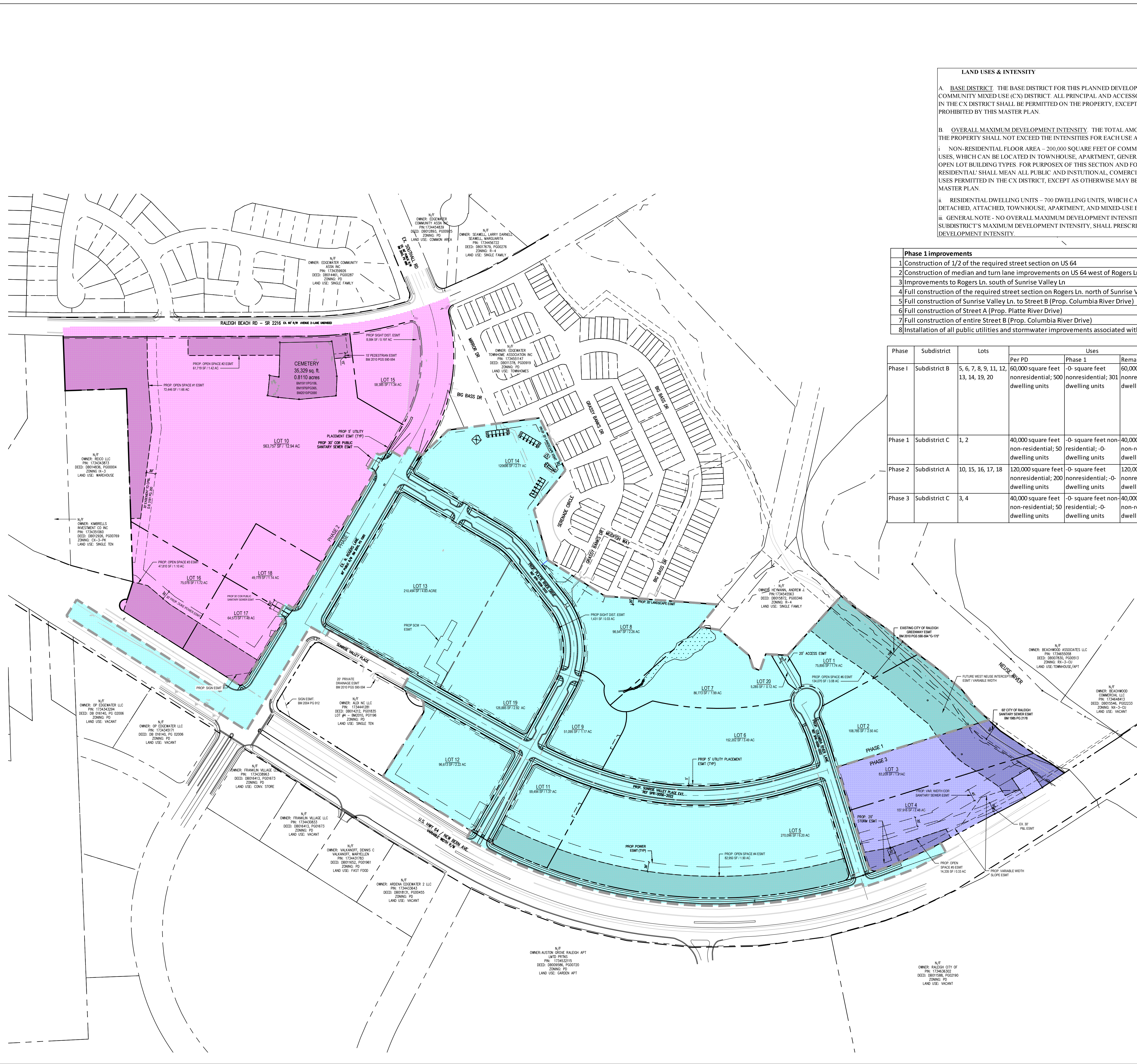


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PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:			
CHECKED BY:	KT		
CONTENT:	SITE PLAN		

L0.12

JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121
Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina
ASR-XXXX-2024 (Admin. Site Review)
 REFERENCE: SCOPE-0029-2024, SUB-0023-2021



EXISTING SITE DATA:

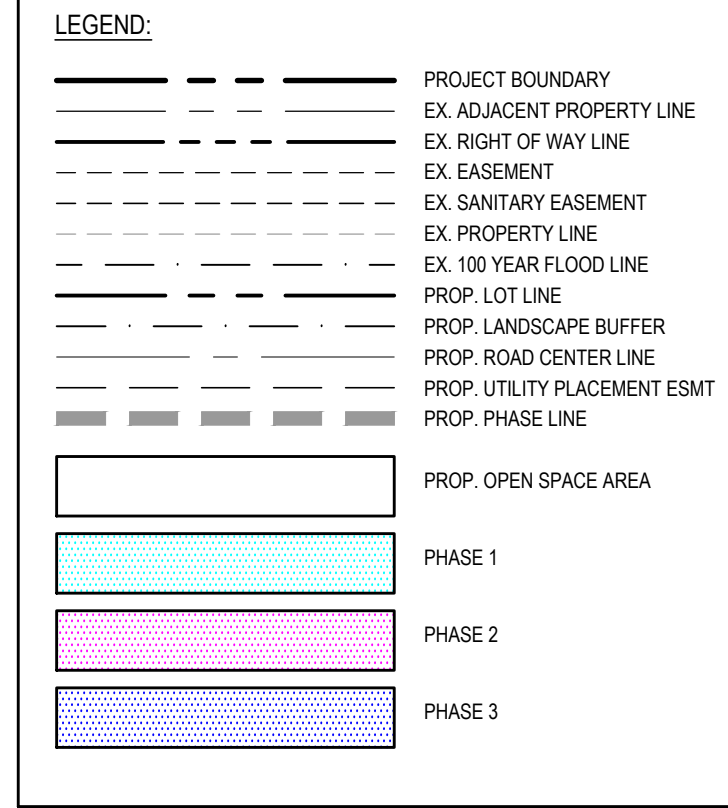
SITE ADDRESS:	2901, 2905 & 2909 SUNRISE VALLEY, 1130 ROGERS RD, 5511 & 5321 NEW BERN AVE
PAR NUMBER:	ALL OF 173444285, 173444466, 173444512 & 1734446917. PORTIONS OF 1734545103 & 1734531715
RECORDED MAP:	BM2022, PG544
ZONING(S):	PD W UNDERLYING CX-5
OVERLAY DISTRICT:	NA
ACREAGE:	13.86 AC
EXISTING USE:	VACANT
ALLUVIAL SOIL:	NA
FEMA MAP PANEL #:	NA

LAND USES & INTENSITY

A. **BASE DISTRICT** THE BASE DISTRICT FOR THIS PLANNED DEVELOPMENT SHALL BE COMMUNITY MIXED USE (CX) DISTRICT. ALL PRINCIPAL AND ACCESSORY LAND USES PERMITTED IN THE CX DISTRICT SHALL BE PERMITTED ON THE PROPERTY, EXCEPT AS OTHERWISE MAY BE PROHIBITED BY THIS MASTER PLAN.

B. **OVERALL MAXIMUM DEVELOPMENT INTENSITY** THE TOTAL AMOUNT OF DEVELOPMENT ON THE PROPERTY SHALL NOT EXCEED THE INTENSITIES FOR EACH USE AS SET FORTH BELOW:

- NON-RESIDENTIAL FLOOR AREA – 200,000 SQUARE FEET OF COMMERCIAL AND OFFICE LAND USES, WHICH CAN BE LOCATED IN TOWNHOUSE, APARTMENT, GENERAL, MIXED-USE, CIVIC AND OPEN LOT BUILDING TYPES FOR PURPOSES OF THIS SECTION AND FOR EACH SUBDISTRICT, 'NON-RESIDENTIAL' SHALL MEAN ALL PUBLIC AND INSTITUTIONAL, COMMERCIAL, INDUSTRIAL AND OPEN USES PERMITTED IN THE CX DISTRICT, EXCEPT AS OTHERWISE MAY BE PROHIBITED BY THIS MASTER PLAN.
- RESIDENTIAL DWELLING UNITS – 700 DWELLING UNITS, WHICH CAN BE LOCATED IN DETACHED, ATTACHED, TOWNHOUSE, APARTMENT, AND MIXED-USE BUILDING TYPES
- GENERAL NOTE – NO OVERALL MAXIMUM DEVELOPMENT INTENSITY, NOR EACH SUBDISTRICT'S MAXIMUM DEVELOPMENT INTENSITY, SHALL PRESCRIBE A MINIMUM DEVELOPMENT INTENSITY.



- Phase 1 Improvements**
- Construction of 1/2 of the required street section on US 64
 - Construction of median and turn lane improvements on US 64 west of Rogers Ln
 - Improvements to Rogers Ln, south of Sunrise Valley Ln
 - Full construction of the required street section on Rogers Ln, north of Sunrise Valley Ln.
 - Full construction of Sunrise Valley Ln, to Street B (Prop. Columbia River Drive)
 - Full construction of Street A (Prop. Platte River Drive)
 - Full construction of entire Street B (Prop. Columbia River Drive)
 - Installation of all public utilities and stormwater improvements associated with the streets listed above

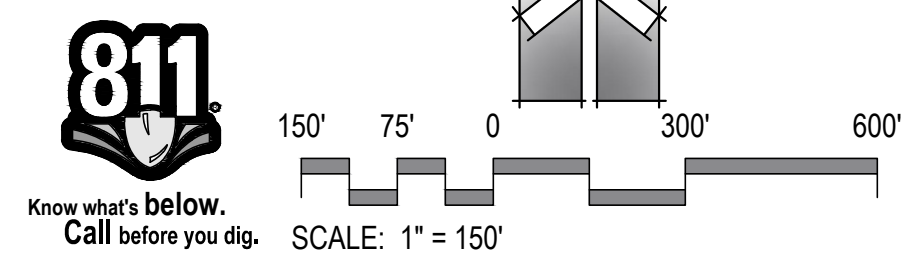
Phase	Subdistrict	Lots	Per PD	Phase 1	Remaining	Building Height	Building Type
Phase 1	Subdistrict B	5, 6, 7, 8, 9, 11, 12, 13, 14, 19, 20	60,000 square feet non-residential; 500 dwelling units	-0- square feet non-residential; 301 dwelling units	60,000 square feet non-residential; 199 dwelling units	1. Beginning at the intersection of the N. Rogers Lane and Sunrise Valley Place centerlines, and extending four hundred fifty feet (450') along both N. Rogers Lane and Sunrise Valley Place, the maximum building height shall be 5 stories and 75 feet (lot 13 & 19). 2. For the area of Subdistrict B not identified in Part 1 above, the maximum building height shall be 4 stories and 62 feet	Detached, Attached, Townhouse, Apartment, General, Mixed Use, Civic and Open Lot
Phase 1	Subdistrict C	1, 2	40,000 square feet non-residential; 50 dwelling units	-0- square feet non-residential; -0- dwelling units	40,000 square feet non-residential; 50 dwelling units	4 stories; 62 feet	Detached, Attached, Townhouse, Apartment, General, Mixed Use, Civic and Open Lot
Phase 2	Subdistrict A	10, 15, 16, 17, 18	120,000 square feet non-residential; 200 dwelling units	-0- square feet non-residential; -0- dwelling units	120,000 square feet non-residential; 200 dwelling units	4 stories; 62 feet	Detached, Attached, Townhouse, Apartment, General, Mixed Use, Civic and Open Lot
Phase 3	Subdistrict C	3, 4	40,000 square feet non-residential; 50 dwelling units	-0- square feet non-residential; -0- dwelling units	40,000 square feet non-residential; 50 dwelling units	4 stories; 62 feet	Detached, Attached, Townhouse, Apartment, General, Mixed Use, Civic and Open Lot

SEE L2.00 FOR SITE PLAN.
SEE L0.00 FOR SITE DATA TABLE.
SEE L4.00 FOR LANDSCAPE PLAN.
SEE L9.00 TO L9.03 FOR SITE DETAILS.

REFERENCE:
BM2023-PG1588-1595; Z-024-19;
SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024

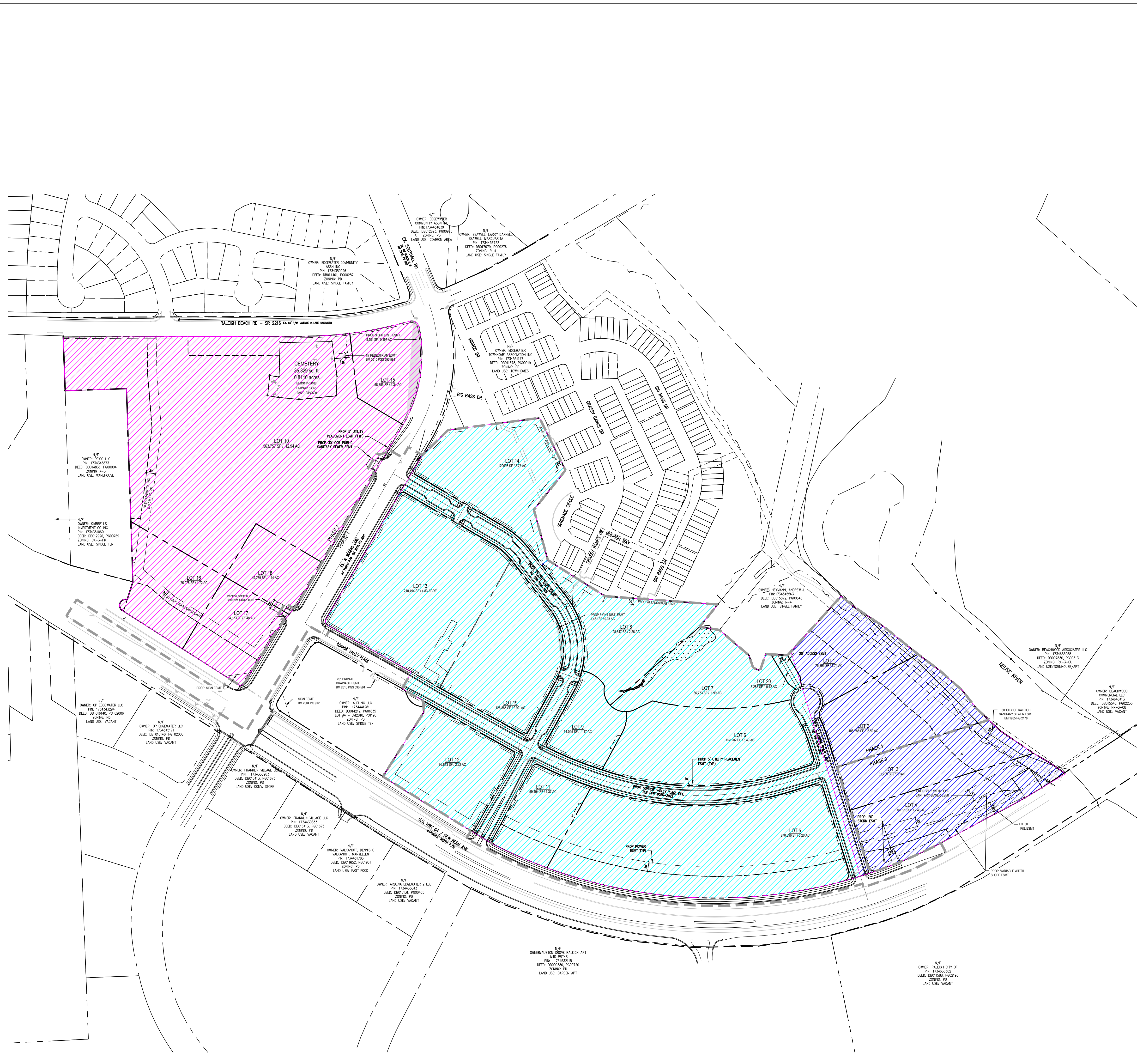
PHASING PLAN
(REF: SPR-0056-2022)



ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:			
CHECKED BY:	KT		
CONTENT:	SITE PLAN		

7/31/2024 9:47 AM P:\24060\24060-Edgewater-PH2-Bell\4c_LAND\DWG\24060-Edgewater-2-Open_spoce01-ASR.dwg



EXISTING SITE DATA:

SITE ADDRESS:	3200 & 3110 COLUMBIA RIVER DR AND 3001 & 3000 SUNRISE VALLEY PL.
PIN NUMBER:	1734533746, 1734543059, 1734449165 AND 1734438896
RECORDED MAP:	BM2023, PG01592
ZONING(S):	PD W UNDERLYING CX-S
OVERLAY DISTRICT:	NA
ACREAGE:	12.04 AC
EXISTING USE:	VACANT
ALLUVIAL SOIL:	NA
FEMA MAP PANEL #:	NA

LEGEND:

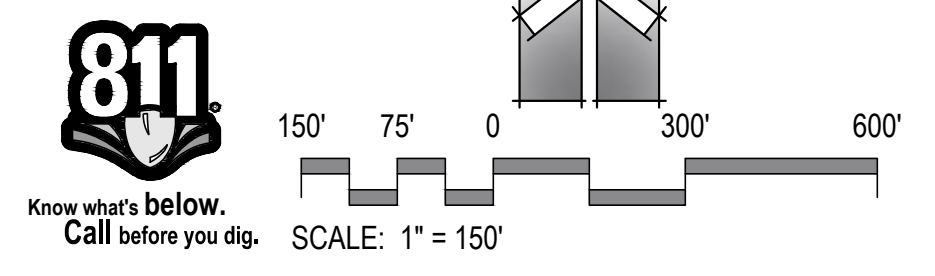
	PROJECT BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY LINE
	EX. EASEMENT
	EX. SANITARY EASEMENT
	EX. PROPERTY LINE
	EX. 100 YEAR FLOOD LINE
	PROP. LOT LINE
	PROP. LANDSCAPE BUFFER
	PROP. ROAD CENTER LINE
	PROP. UTILITY PLACEMENT ESMT
	PROP. PHASE LINE
	SUBDISTRICT A
	SUBDISTRICT B
	SUBDISTRICT C

SEE L2.00 FOR SITE PLAN.
SEE L0.00 FOR SITE DATA TABLE.
SEE L4.00 FOR LANDSCAPE PLAN.
SEE L9.00 TO L9.03 FOR SITE DETAILS.

REFERENCE:
BM2023-PG1588-1595; Z-024-19;
SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024

SUBDISTRICT PLAN
(REF: SPR-0056-2022)



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ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

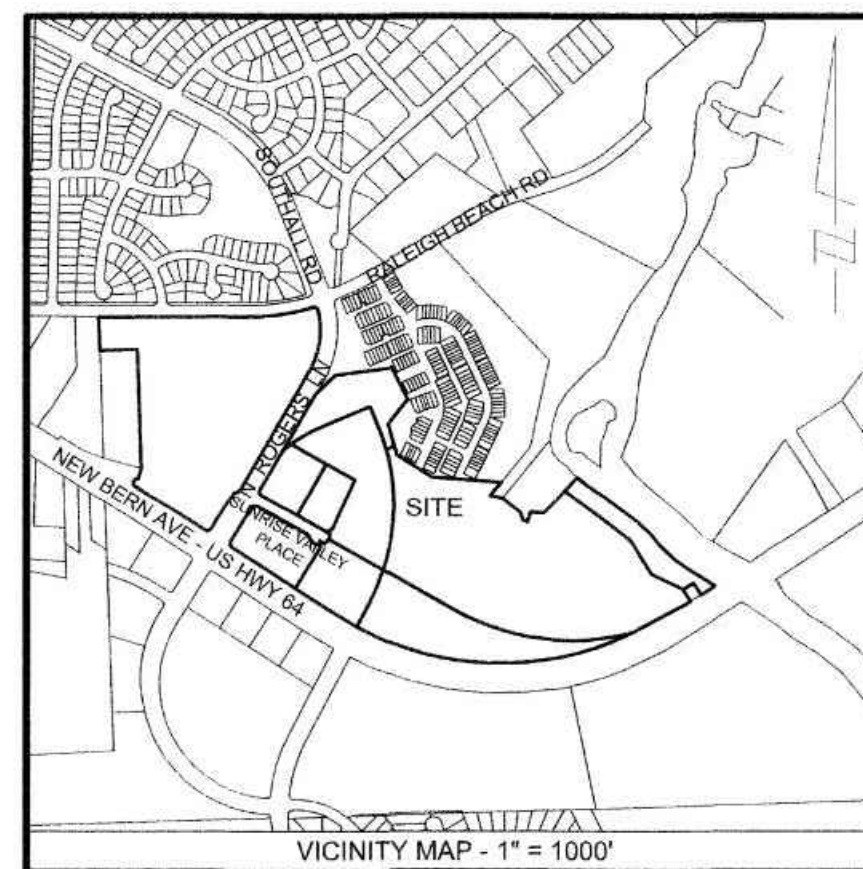
PROJECT:	BCD-24080	DATE	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:			
CHECKED BY:	KT		
CONTENT:	SITE PLAN		

JDAVIS
510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina

ASR-XXXX-2024 (Admin. Site Review)
REFERENCE: SCOPE-0029-2024, SUB-0023-2021

L0.14



L. DAN GREGORY, CERTIFY THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION... DATE: AUGUST 1, 2023

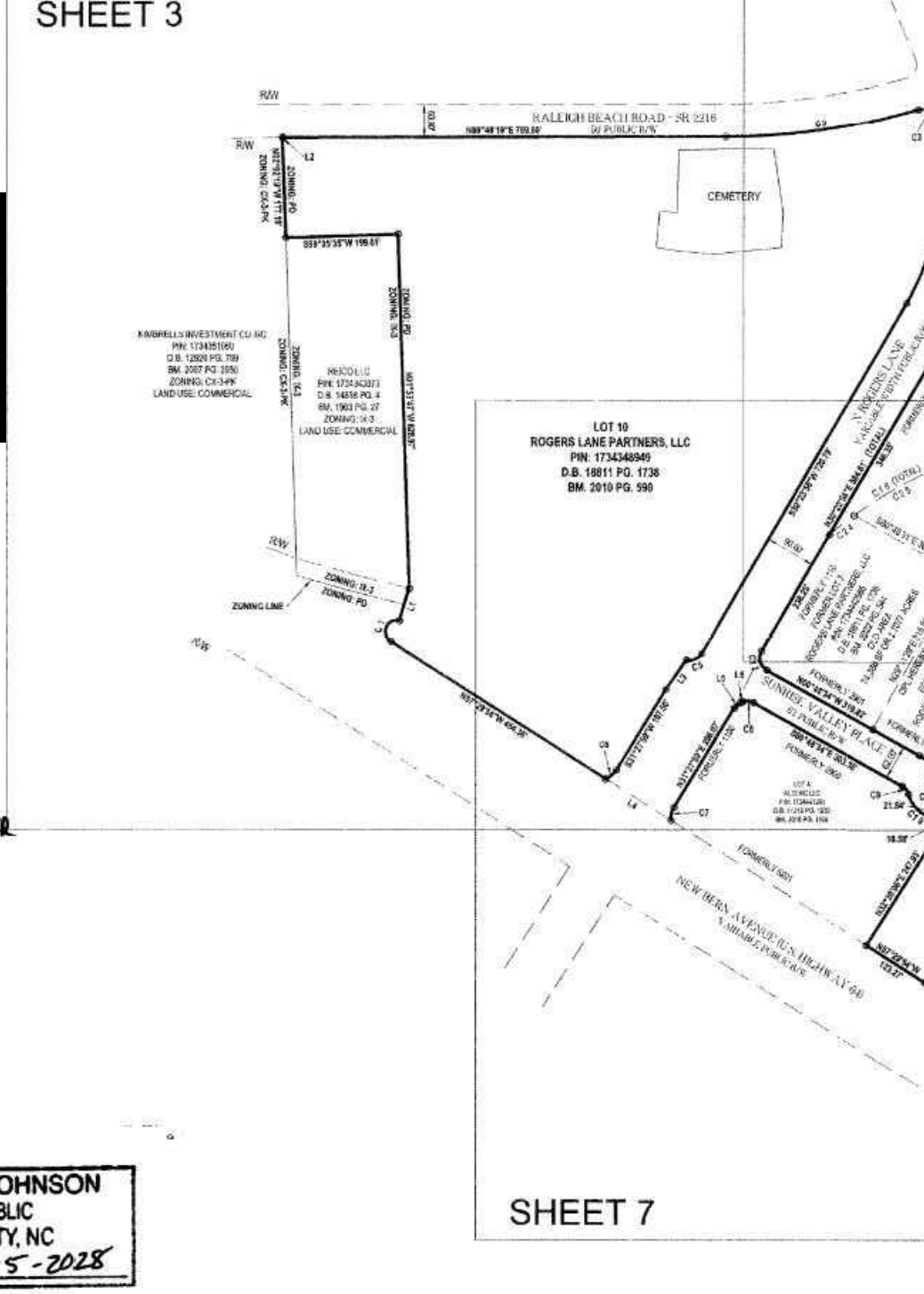
THIS CERTIFIED AND WARRANTS THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THE MAP OR PLAT AND ANY ACCOMPANYING SHEETS... STATE OF NC, COUNTY OF WAKE

I CERTIFY THAT THE FOLLOWING PERSON(S) PERSONALLY APPEARED BEFORE ME THIS DAY, EACH ACKNOWLEDGING TO ME THAT HE OR SHE VOLUNTARILY SIGNED THE FOREGOING DOCUMENT FOR THE PURPOSE STATED THEREIN AND IN THE CAPACITY INDICATED... JAMES I. ANTHONY, JR.

PLANNING AND DEVELOPMENT OFFICER WAKE COUNTY REVIEW OFFICER... ELIZABETH A. JOHNSON, NOTARY PUBLIC, WAKE COUNTY, NC

RECORDED IN BOOK OF MAPS 2023 PAGE 1588... SCALE: 1" = 300'

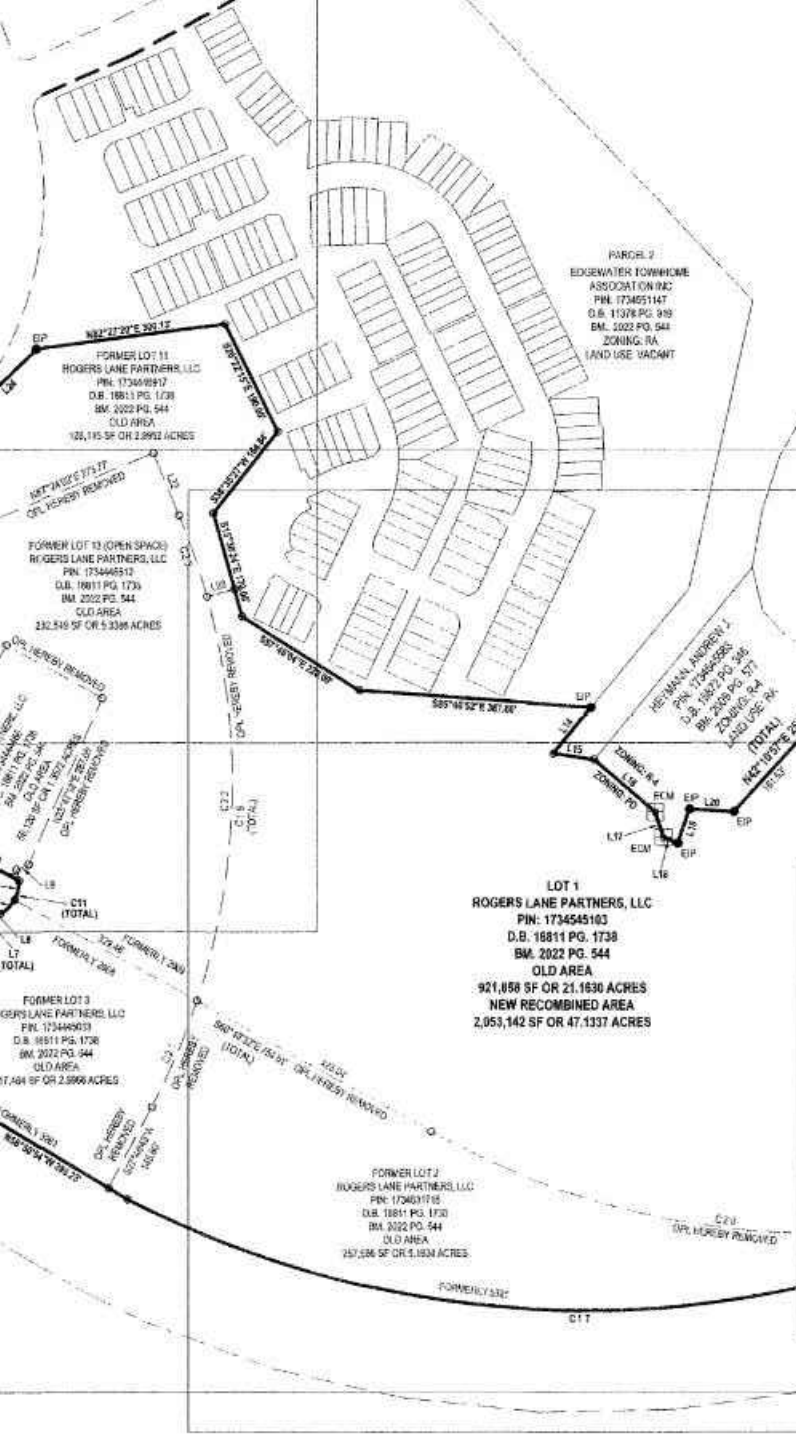
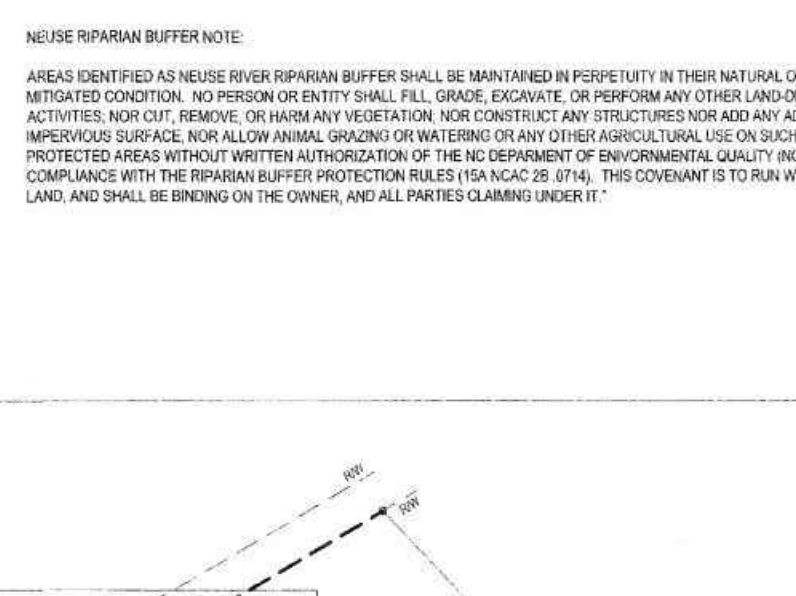
NOTE: 1. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE... 2. RINGS FOUND OR SET AT ALL CORNERS UNLESS SHOWN OTHERWISE... 3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES...



WAKE COUNTY, NC 95 TAMMY L. BRUNNER REGISTER OF DEEDS PRESENTED & RECORDED ON 09/11/2023 14:18:35 BOOK: BH2023 PAGE: 01588

Table with columns: REV., DATE, DESCRIPTION, BY. Includes review comments from 08-24-2023 to 07-11-2023.

TREE CONSERVATION PLAT STATEMENT: TREE CONSERVATION AREAS ARE STRICTLY PROTECTED BY THE CITY OF RALEIGH... NEUTRAL BUFFER NOTE: AREAS IDENTIFIED AS NEUTRAL BUFFER SHALL BE MAINTAINED IN PERPETUITY...



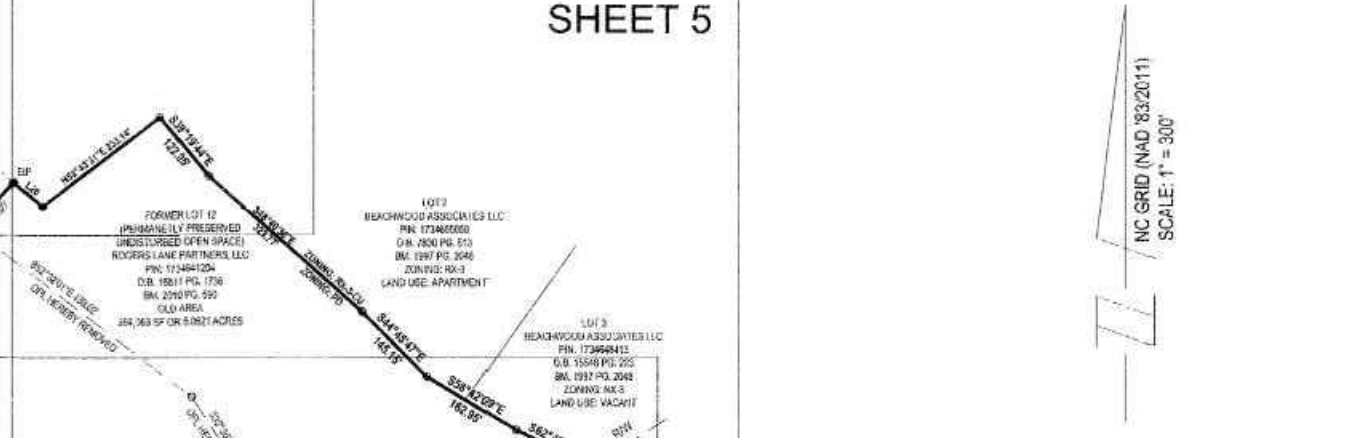
NOTE: RECOMBINED PROPERTIES ARE SUBJECT TO SECTION 9.2 (STORMWATER MANAGEMENT) OF THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE... FLOOD PLAN ORDINANCE: [X] FIRM PANEL 322073AD04 DATED JULY 18, 2022

BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS 6310 CHAPEL HILL ROAD, SUITE 250 RALEIGH, NORTH CAROLINA 27607

SITE DATA TABLE: OWNER: ROGERS LANE PARTNERS, LLC; DEED REFERENCE: DB 18811 PG. 1738; PLAT REFERENCE: BM 2010 PG. 590 & BM 2022 PG. 544

POWER OF AREA: LOT 1: 821.836 SF OR 21.400 ACRES; LOT 2: 257.386 SF OR 5.918 ACRES; LOT 3: 117.484 SF OR 2.699 ACRES; LOT 4: 85.129 SF OR 1.925 ACRES; LOT 5: 74.336 SF OR 1.707 ACRES; LOT 6: 126.115 SF OR 2.884 ACRES; LOT 7: 284.963 SF OR 6.562 ACRES; LOT 8: 232.548 SF OR 5.298 ACRES; NEW LOT 1 (RECOMBINED AREA): 2,851.142 SF OR 65.137 ACRES

RIGHT OF WAY DEDICATION: A ROGERS LANE R/W DEDICATION: 4,846 SF OR 0.114 ACRES; SUNNYSIDE VALLEY PLACE R/W DEDICATION: 895 SF OR 0.021 ACRES; PHASE 1 TOTAL AREA: 1,883.875 SF OR 0.432 ACRES; PORTION OF LOT 12 ABANDONED AREA: -187,458 SF OR 4.284 ACRES; TOTAL SITE AREA: 2,851.142 SF OR 65.137 ACRES



REFERENCES: D.B. 2563 PG. 739; D.B. 11378 PG. 919; D.B. 18811 PG. 1738; S.M. 2004 PG. 1065; S.M. 2004 PGS. 2052-2057; S.M. 2007 PGS. 986-988; S.M. 2009 PG. 577; S.M. 2010 PGS. 590-594; S.M. 2018 PG. 1166

LEGEND: EP = EXISTING RICK PIPE; CP = CALCULATED POINT; RP = RICK PIPE SET; ADDR = DENOTES ADDRESS; RW = RIGHT OF WAY; OPL = OLD PROPERTY LINE

SPR-0056-2022, SUB-0023-2021 RCMP-0104-2023 AND Z-24-19

RECORDED MAP (BM 2023, PG 1588)

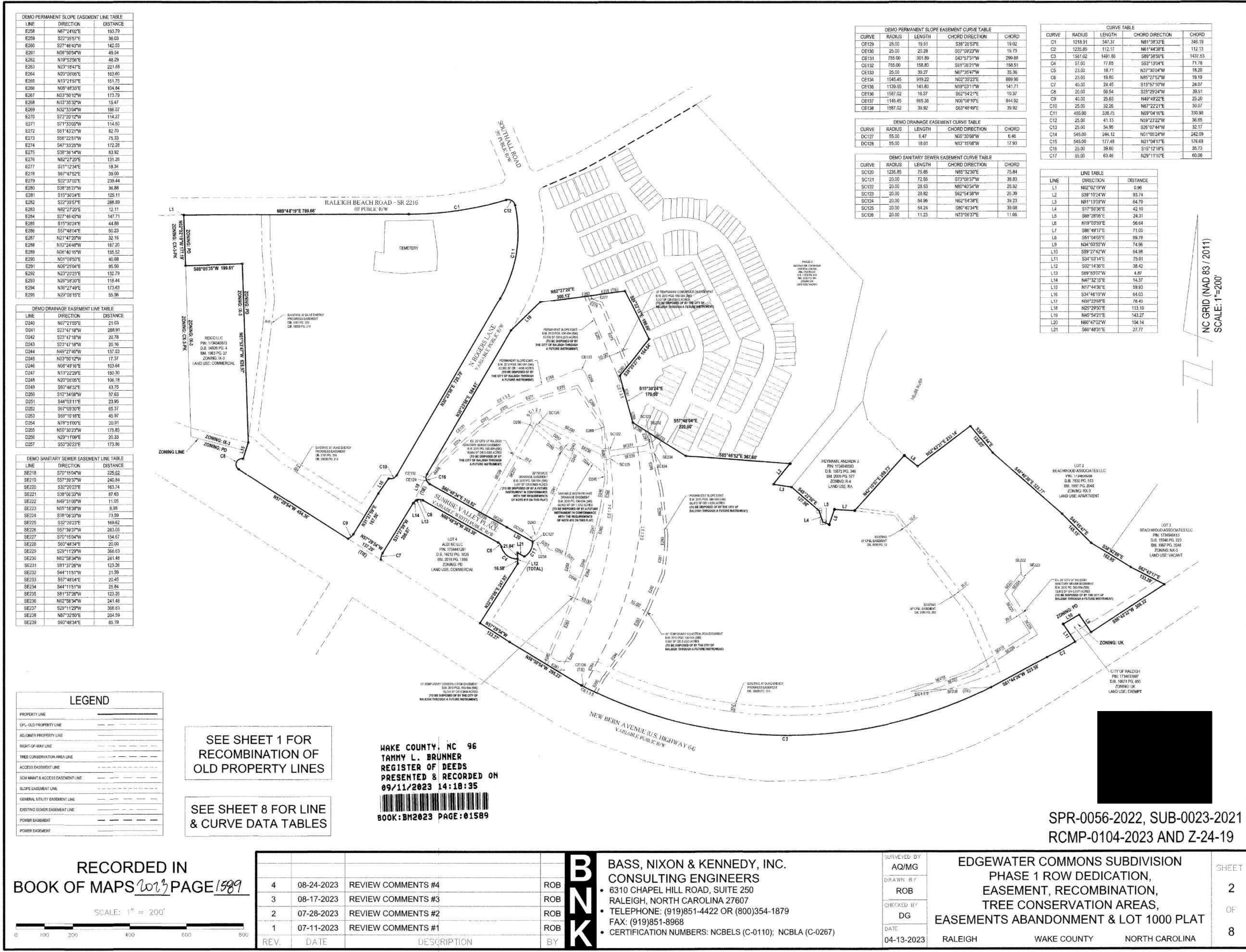
FOR REFERENCE ONLY

ASR-XXXX-2024

FOR REFERENCE ONLY

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

Table with columns: PROJECT, ISSUE, DATE, REVISIONS, DRAWN BY, CHECKED BY, CONTENT. Includes project details and revision history.



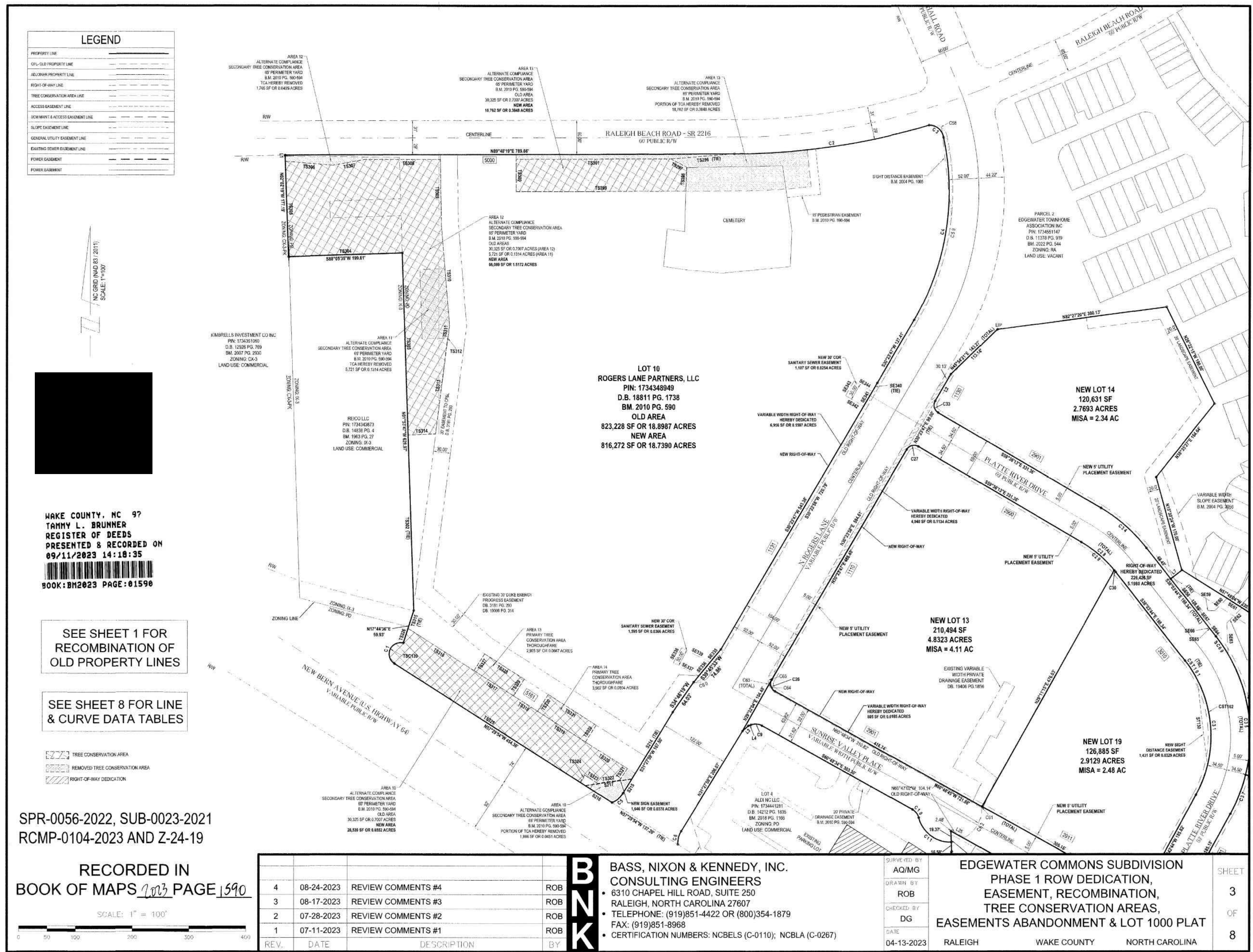
RECORDED MAP (BM 2023, PG 1589)

FOR REFERENCE ONLY

ASR-XXXX-2024

7/31/2024 4:17 PM P:\24proj\24080_Edgewater-Ph2-BellCk-LAND\SP (Dwg)\Dwg\05094-Edgewater-2-Cover-Red-Zoning1-ASR.dwg

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R:\2005\jobs\05094000 Rogers Farm\05094LDD\dwg\05094 PHASE 1 SUBDIVISION PLAT.dwg, SHEET 3, 8/30/2023 11:49:19 AM, ralph1

RECORDED MAP (BM 2023, PG 1590)

FOR REFERENCE ONLY

ASR-XXXX-2024

Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
 Raleigh, North Carolina

FOR REFERENCE ONLY

PROJECT:	BCD-24080	DATE	08.01.2024
ISSUE:	Administrative Site Review		
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	RECORDED MAP		
	BM 2023 PG 1590		

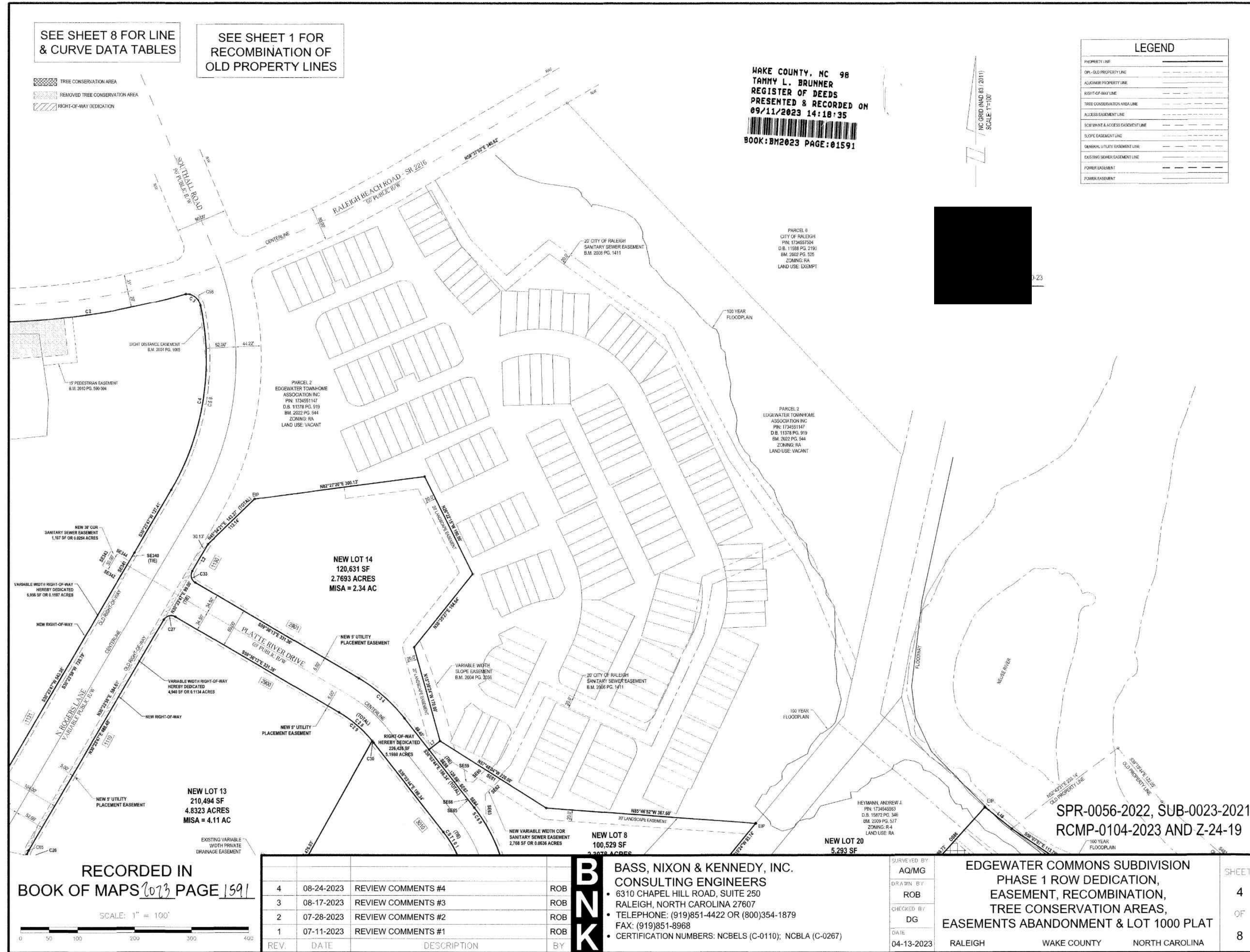
L0.22

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 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel 215.545.0121

ASR-XXXX-2024 (Admin. Site Review)
 REFERENCE: Z-24-19, SCOPE-0029-2024, SUB-0023-2021

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BKBM2023PG01591



R:\2005\jobs\05094000 Rogers Farm\05094LDD\dwg\05094 PHASE 1 SUBDIVISION PLAT.dwg, SHEET 4, 8/30/2023 11:50:41 AM, ralph1

RECORDED IN
BOOK OF MAPS 2023 PAGE 1591

SCALE: 1" = 100'

REV	DATE	DESCRIPTION	BY
4	08-24-2023	REVIEW COMMENTS #4	ROB
3	08-17-2023	REVIEW COMMENTS #3	ROB
2	07-28-2023	REVIEW COMMENTS #2	ROB
1	07-11-2023	REVIEW COMMENTS #1	ROB

BASS, NIXON & KENNEDY, INC.	4	08-24-2023	REVIEW COMMENTS #4	ROB
	3	08-17-2023	REVIEW COMMENTS #3	ROB
	2	07-28-2023	REVIEW COMMENTS #2	ROB
	1	07-11-2023	REVIEW COMMENTS #1	ROB
	REV	DATE	DESCRIPTION	BY

BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
• 6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607
• TELEPHONE: (919)851-4422 OR (800)354-1879
• FAX: (919)851-8968
• CERTIFICATION NUMBERS: NCBELS (C-0110); NCBLA (C-0267)

EDGEMASTER COMMONS SUBDIVISION
PHASE 1 ROW DEDICATION,
EASEMENT, RECOMBINATION,
TREE CONSERVATION AREAS,
EASEMENTS ABANDONMENT & LOT 1000 PLAT

DATE: 04-13-2023
RALEIGH WAKE COUNTY NORTH CAROLINA

SHEET 4 OF 8

RECORDED MAP (BM 2023, PG 1591)

FOR REFERENCE ONLY

ASR-XXXX-2024

Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina

FOR REFERENCE ONLY

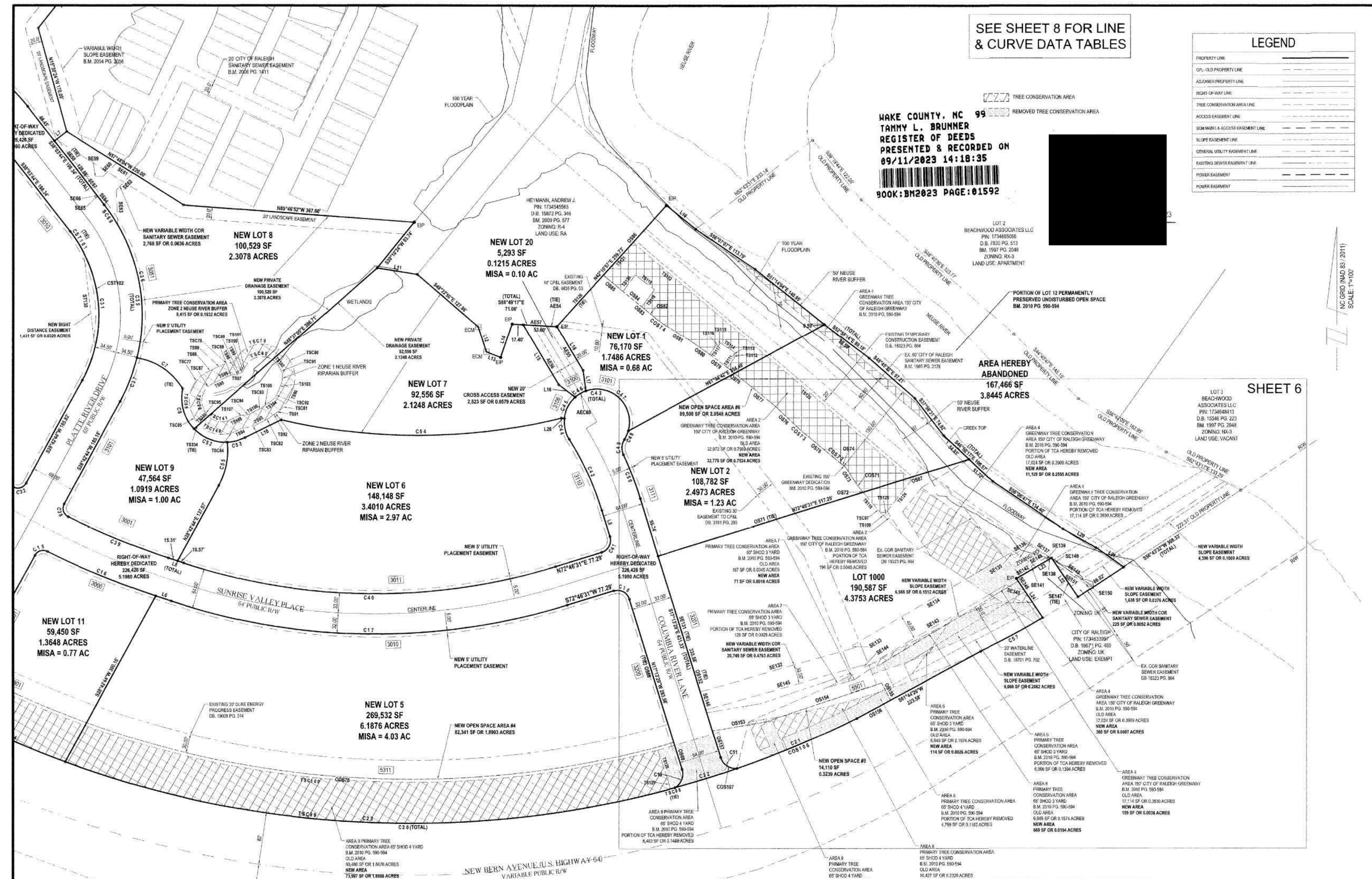
ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	BCD-24080	DATE:	08.01.2024
ISSUE:	Administrative Site Review		
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	RECORDED MAP		
	BM 2023 PG 1591		

L0.23

7/31/2024 4:17 PM P:\24proj\24080_Edgemaster-Ph2-BellCk-LAND\05094\DWG\05094-Edgewater-2-Cover-Red-Zoning01-ASR.dwg

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SEE SHEET 8 FOR LINE & CURVE DATA TABLES

LEGEND

PROPERTY LINE	---
OLD PROPERTY LINE	---
ACCESSORY PROPERTY LINE	---
RIGHT OF WAY LINE	---
TREE CONSERVATION AREA LINE	---
ACCESS EASEMENT LINE	---
SEWER & WATER EASEMENT LINE	---
SLOPE EASEMENT LINE	---
GENERAL UTILITY EASEMENT LINE	---
EASTING UTILITY EASEMENT LINE	---
POWER EASEMENT	---
POWER EASEMENT	---

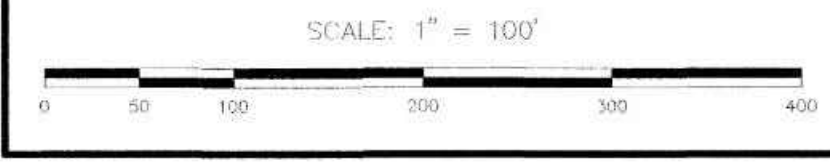
WAKE COUNTY, NC 99
TAMMY L. BRUNNER
REGISTER OF DEEDS
PRESENTED & RECORDED ON
09/11/2023 14:18:35
900K:BM2023 PAGE:01592

NOTE:
SEE SHEET 6 FOR TCA AND SLOPE EASEMENT CALLS

SEE SHEET 1 FOR
RECOMBINATION OF
OLD PROPERTY LINES

SPR-0056-2022, SUB-0023-2021
RCMP-0104-2023 AND Z-24-19

RECORDED IN
BOOK OF MAPS 2023 PAGE 1592



REV.	DATE	DESCRIPTION	BY
4	08-24-2023	REVIEW COMMENTS #4	ROB
3	08-17-2023	REVIEW COMMENTS #3	ROB
2	07-28-2023	REVIEW COMMENTS #2	ROB
1	07-11-2023	REVIEW COMMENTS #1	ROB

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CONSULTING ENGINEERS
• 6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607
• TELEPHONE: (919)851-4422 OR (800)354-1879
FAX: (919)851-8968
• CERTIFICATION NUMBERS: NCBELS (C-0110); NCBLA (C-0267)

SUPERVISED BY	AQ/MG	EDGEMASTER COMMONS SUBDIVISION PHASE 1 ROW DEDICATION, EASEMENT, RECOMBINATION, TREE CONSERVATION AREAS, EASEMENTS ABANDONMENT & LOT 1000 PLAT	SHEET 5 OF 8	
DRAWN BY	ROB			
CHECKED BY	DG			
DATE	04-13-2023	RALEIGH	WAKE COUNTY	NORTH CAROLINA

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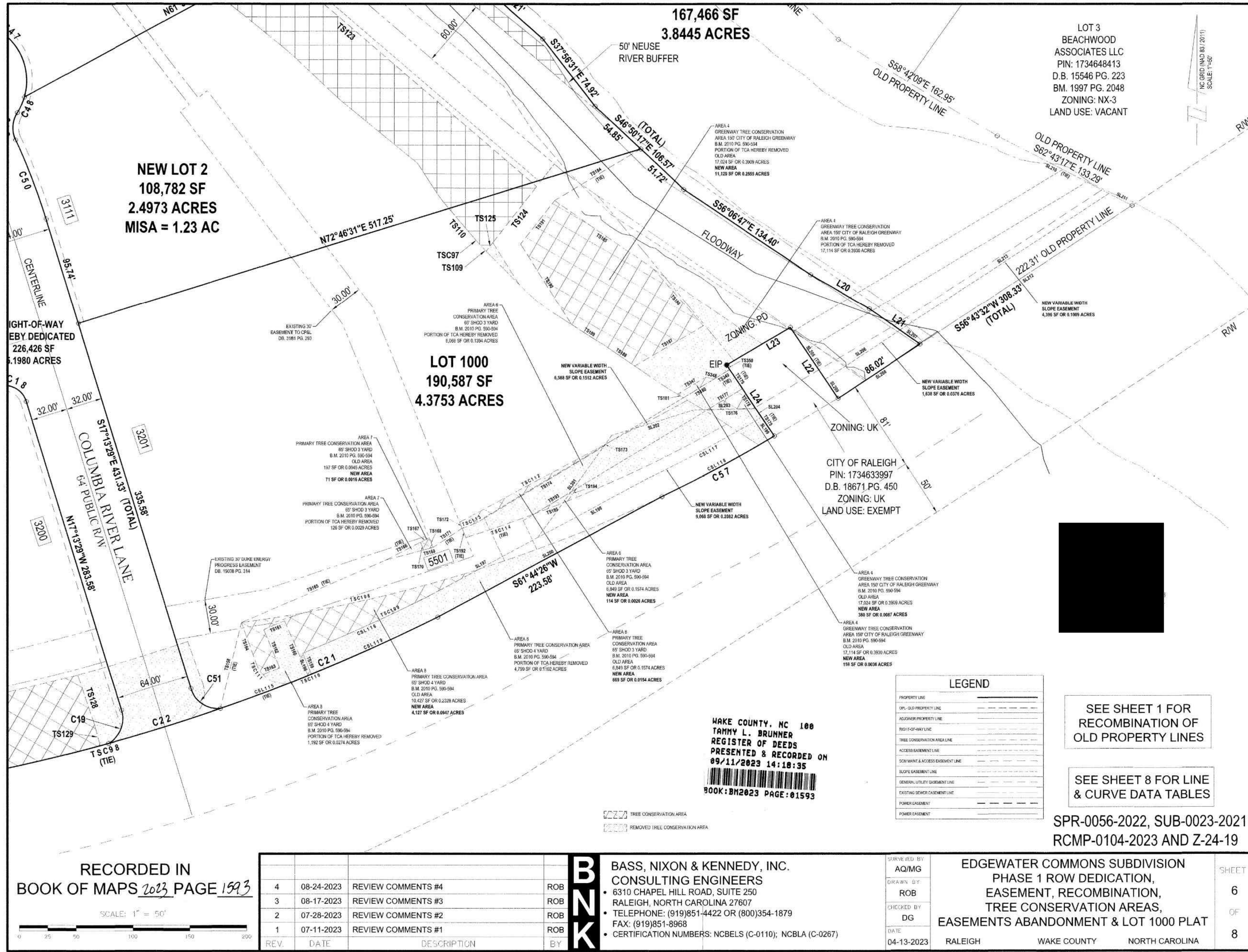
RECORDED MAP
(BM 2023, PG 1592)

FOR REFERENCE ONLY

ASR-XXXX-2024

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PROJECT:	BCD-24080	DATE	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	RECORDED MAP		
	BM 2023 PG 1592		



R:\2005jobs\05094000 Rogers Farm\05094LDD\dwg\05094 PHASE 1 SUBDIVISION PLAT.dwg, SHEET 6, 8/30/2023 11:51:10 AM, ralph1

RECORDED MAP
(BM 2023, PG 1593)

FOR REFERENCE ONLY

ASR-XXXX-2024

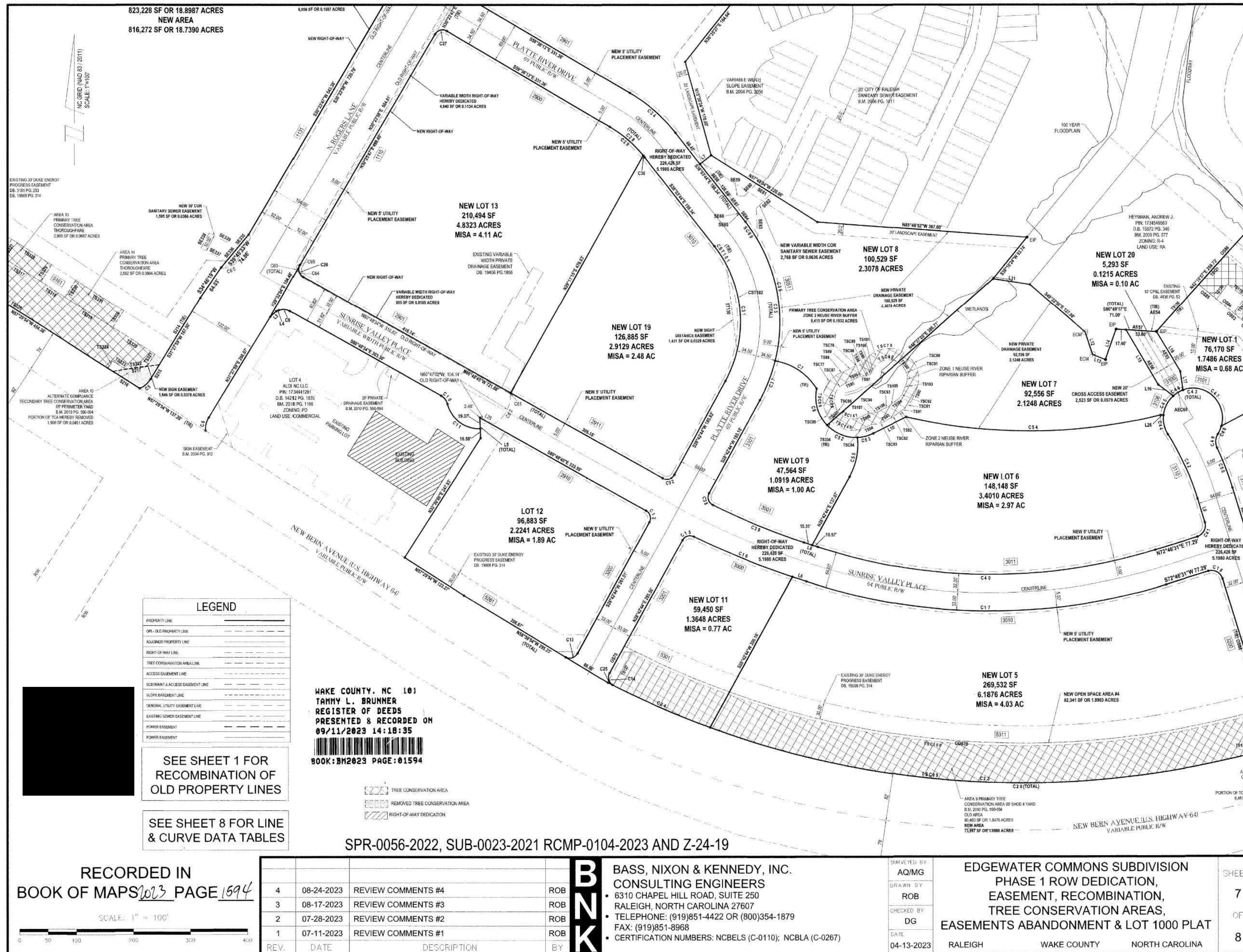
Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina

FOR REFERENCE ONLY

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	BCD-24080	DATE:	08.01.2024
ISSUE:	Administrative Site Review		
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	RECORDED MAP		
	BM 2023 PG 1593		

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LEGEND

PROPERTY LINE
 OLD PROPERTY LINE
 RIGHT-OF-WAY LINE
 TREE CONSERVATION AREA
 ACCESS EASEMENT LINE
 SEWERAGE & WATER MAINS
 SLOPE INDICATED LINE
 GENERAL UTILITY EASEMENT LINE
 SANITARY SEWER EASEMENT LINE
 POWER EASEMENT

SEE SHEET 1 FOR RECOMBINATION OF OLD PROPERTY LINES

SEE SHEET 8 FOR LINE & CURVE DATA TABLES

WAKE COUNTY, NC 101
 TAMMY L. BRUNNER
 REGISTER OF DEEDS
 PRESENTED & RECORDED ON
 09/11/2023 14:18:35

BOOK: BM2023 PAGE: 01594

SPR-0056-2022, SUB-0023-2021 RCMP-0104-2023 AND Z-24-19

RECORDED IN
 BOOK OF MAPS 2023 PAGE 1594

SCALE: 1" = 100'

REV.	DATE	DESCRIPTION	BY
4	08-24-2023	REVIEW COMMENTS #4	ROB
3	08-17-2023	REVIEW COMMENTS #3	ROB
2	07-28-2023	REVIEW COMMENTS #2	ROB
1	07-11-2023	REVIEW COMMENTS #1	ROB

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 CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250
 RALEIGH, NORTH CAROLINA 27607
 TELEPHONE: (919)851-4422 OR (800)354-1879
 FAX: (919)851-8968
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBLA (C-0267)

DATE: 04-13-2023
 RALEIGH WAKE COUNTY NORTH CAROLINA

EDGEMATER COMMONS SUBDIVISION
 PHASE 1 ROW DEDICATION,
 EASEMENT, RECOMBINATION,
 TREE CONSERVATION AREAS,
 EASEMENTS ABANDONMENT & LOT 1000 PLAT

SHEET 7 OF 8

R:\2005jobs\05094000 Rogers Farm\05094LDD\dwg\05094 PHASE 1 SUBDIVISION PLAT.dwg, SHEET 7, 8/30/2023 11:51:22 AM, ralph1

RECORDED MAP
 (BM 2023, PG 1594)

FOR REFERENCE ONLY

ASR-XXXX-2024

Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
 Raleigh, North Carolina

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PROJECT:	BCD-24080	DATE
ISSUE:	Administrative Site Review	08.01.2024
REVISIONS:		
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	RECORDED MAP BM 2023 PG 1594	

BKBM2023PG01595

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WAKE COUNTY, NC 102
TAMMY L. BRUNNER
REGISTERED & RECORDED IN
08/11/2023 14:18:35
BOOK: 8H2623 PAGE: 01595

EDGEMATER COMMONS SUBDIVISION
PHASE 1 ROW DEDICATION,
EASEMENT, RECOMBINATION,
TREE CONSERVATION AREAS,
EASEMENTS ABANDONMENT & LOT 1000 PLAT

SPR-0056-2022, SUB-0023-2021

PROJECT:	BCD-24080	DATE:	08.01.2024
ISSUE:	Administrative Site Review	DATE:	

REVISIONS:				

DRAWN BY:	SB
CHECKED BY:	KT
CONTENT:	RECORDED MAP BM 2023 PG 1595

DRAWN BY: SB
CHECKED BY: KT
CONTENT: RECORDED MAP
BM 2023 PG 1595

REV	DATE	DESCRIPTION	BY
4	08-24-2023	REVIEW COMMENTS #4	ROB
3	08-17-2023	REVIEW COMMENTS #3	ROB
2	07-28-2023	REVIEW COMMENTS #2	ROB
1	07-11-2023	REVIEW COMMENTS #1	ROB

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• 6310 CHAPEL HILL ROAD, SUITE 250
RALEIGH, NORTH CAROLINA 27607
• TELEPHONE: (919)851-4422 OR (800)354-1879
FAX: (919)851-8968
• CERTIFICATION NUMBERS: NCBCE (C-0110); NCBLA (C-0267)

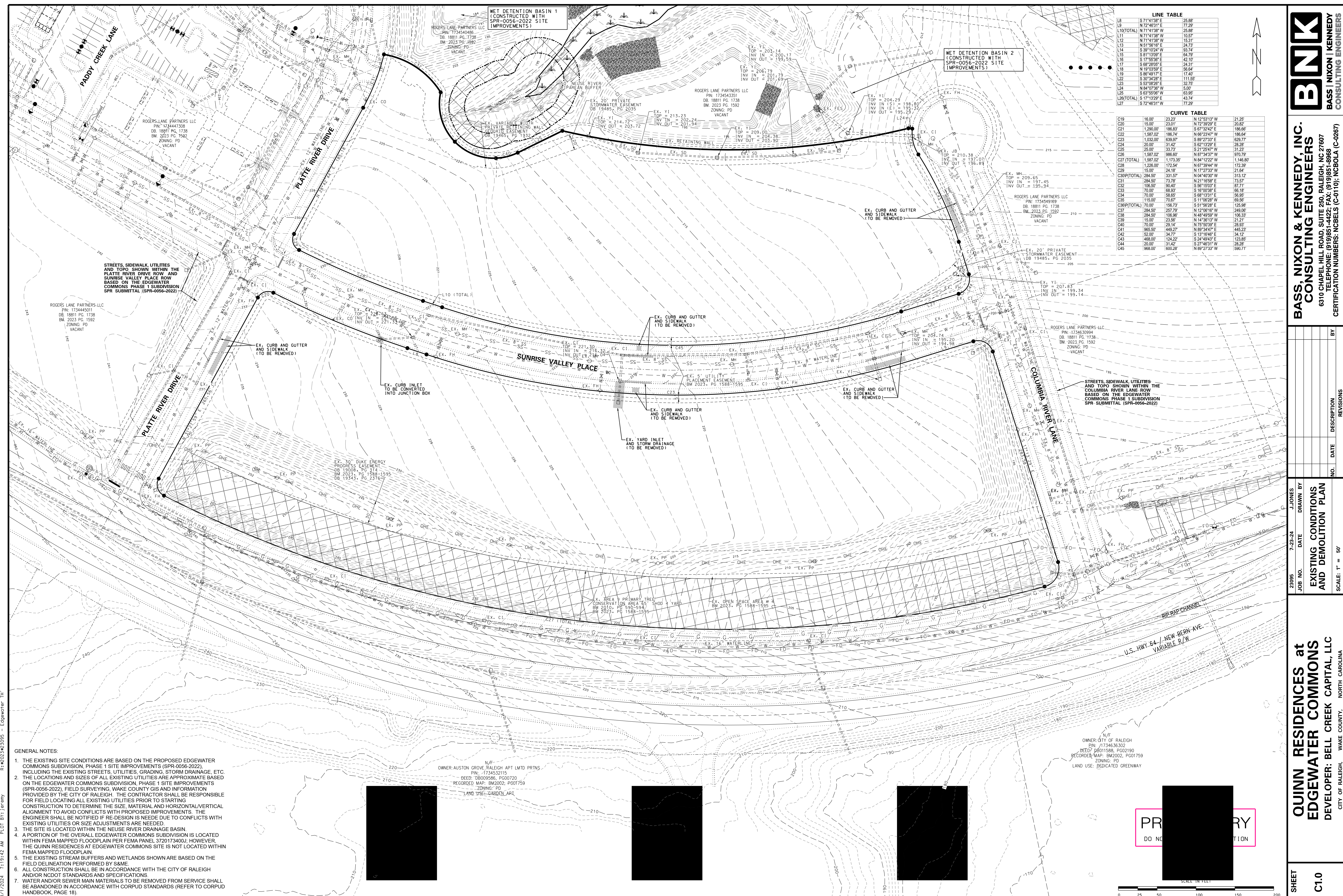
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FOR REFERENCE ONLY

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L0.27

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LINE TABLE

L8	S 71°41'38" E	25.88
L9	N 72°43'11" E	77.22
L10(TOTAL)	N 71°41'38" W	25.88
L11	N 71°41'38" W	10.57
L12	N 71°41'38" W	15.31
L13	N 51°56'16" E	24.73
L14	S 39°10'24" W	93.74
L15	S 81°10'09" E	64.79
L16	S 17°55'36" E	42.10
L17	S 88°28'05" E	24.31
L18	N 19°02'36" E	56.64
L19	S 86°49'17" E	17.40
L20	S 30°34'28" E	111.55
L21	S 53°36'28" E	32.75
L24	N 84°07'36" W	5.00
L25	S 63°50'08" W	63.95
L26(TOTAL)	S 17°12'29" E	43.74
L27	S 72°48'31" W	77.22

CURVE TABLE

C19	16.00'	23.22'	N 12°51'31" W	21.25'
C20	15.00'	23.01'	N 72°39'29" E	20.82'
C21	1,290.00'	186.83'	S 67°32'42" E	186.86'
C22	1,587.02'	186.74'	N 66°23'47" W	186.64'
C23	1,032.00'	639.97'	S 89°27'33" E	629.77'
C24	20.00'	31.42'	S 62°13'29" E	28.28'
C25	25.00'	33.73'	S 21°25'47" W	31.25'
C26	1,587.02'	866.80'	N 87°34'37" W	970.79'
C27 (TOTAL)	1,587.02'	1,173.35'	N 84°12'22" W	1,146.80'
C28	1,226.00'	172.54'	N 67°39'44" W	172.39'
C29	15.00'	24.18'	N 17°27'53" W	21.64'
C30(PITOTAL)	284.50'	331.57'	N 04°40'30" W	313.12'
C31	284.50'	73.78'	N 21°16'58" E	73.57'
C32	106.50'	98.40'	S 68°19'03" E	87.71'
C33	70.00'	68.93'	S 16°00'38" E	66.18'
C34	70.00'	58.65'	S 89°13'31" E	56.95'
C35	115.00'	70.67'	S 11°02'29" E	69.56'
C36(PITOTAL)	70.00'	156.73'	S 51°56'28" E	125.98'
C37	284.50'	257.79'	N 12°06'16" W	249.06'
C38	284.50'	106.96'	N 48°49'59" W	106.33'
C39	15.00'	23.56'	N 14°36'13" W	21.21'
C40	70.00'	29.14'	N 79°50'39" E	28.83'
C41	965.50'	449.27'	N 89°34'42" E	445.23'
C42	52.00'	34.77'	S 13°16'48" E	34.12'
C43	468.00'	124.22'	S 24°49'43" E	123.85'
C44	20.00'	31.42'	S 27°46'31" W	28.28'
C45	968.00'	600.28'	N 69°27'33" W	590.71'

BANK
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
 6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
 TELEPHONE: (919) 851-4422; FAX: (919) 851-8868
 CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

QUINN RESIDENCES at
EDGEWATER COMMONS
 DEVELOPER: BELL CREEK CAPITAL, LLC
 CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

EXISTING CONDITIONS AND DEMOLITION PLAN

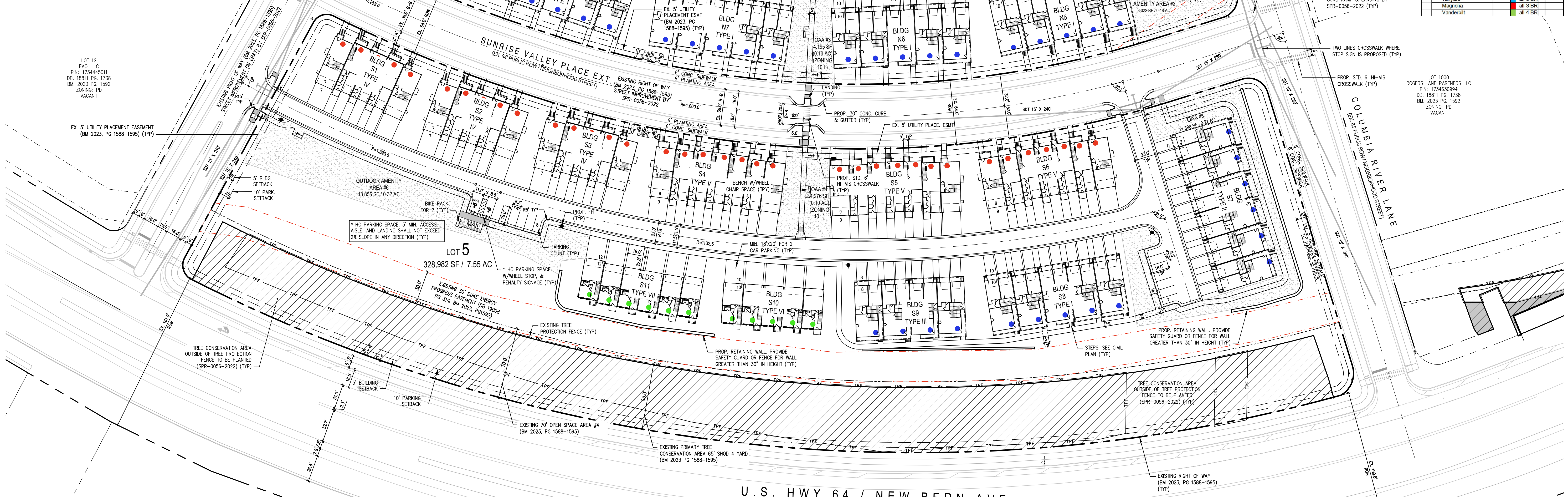
SCALE: 1" = 50'

SHEET C1.0

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

- GENERAL NOTES:**
1. THE EXISTING SITE CONDITIONS ARE BASED ON THE PROPOSED EDGEWATER COMMONS SUBDIVISION, PHASE 1 SITE IMPROVEMENTS (SPR-0056-2022), INCLUDING THE EXISTING STREETS, UTILITIES, GRADING, STORM DRAINAGE, ETC. ON THE EDGEWATER COMMONS SUBDIVISION, PHASE 1 SITE IMPROVEMENTS (SPR-0056-2022). FIELD SURVEYING, WAKE COUNTY GIS AND INFORMATION PROVIDED BY THE CITY OF RALEIGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION TO DETERMINE THE SIZE, MATERIAL AND HORIZONTAL/VERTICAL ALIGNMENT TO AVOID CONFLICTS WITH PROPOSED IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IF RE-DESIGN IS NEEDED DUE TO CONFLICTS WITH EXISTING UTILITIES OR SIZE ADJUSTMENTS ARE NEEDED.
 2. THE SITE IS LOCATED WITHIN THE NEUSE RIVER DRAINAGE BASIN.
 3. A PORTION OF THE OVERALL EDGEWATER COMMONS SUBDIVISION IS LOCATED WITHIN FEMA MAPPED FLOODPLAIN PER FEMA PANEL 3720173400I; HOWEVER, THE QUINN RESIDENCES AT EDGEWATER COMMONS SITE IS NOT LOCATED WITHIN FEMA MAPPED FLOODPLAIN.
 4. THE EXISTING STREAM BUFFERS AND WETLANDS SHOWN ARE BASED ON THE FIELD DELINEATION PERFORMED BY SB&E.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 6. WATER AND/OR SEWER MAIN MATERIALS TO BE REMOVED FROM SERVICE SHALL BE ABANDONED IN ACCORDANCE WITH CORPUD STANDARDS (REFER TO CORPUD HANDBOOK, PAGE 18).

Site data table			
Project: Edgewater Apartments Phase 2			
Date: 08.01.2024			
1 Tract area	PIN 1734533746	6.18 AC	
Lot #1	PIN 1734454559	3.40 AC	
Lot #2	PIN 1734449165	1.09 AC	
Lot #3	PIN 1734438806	3.36 AC	
Lot #4	PIN 1734438806	12.03 AC	
2 Zoning	PD underlying CK5		
3 Current Use	None		
4 Proposed Use	Multi-unit living (Apartment)		
5 Building SF	348,223 / 12.03	66.5%	
6 Proposed density	161 / 12.03	13.4 DU/AC	
7 Maximum parking (UDO section 7.1.2.C)			
Multi-unit living 3 BR	150 x 3.0	450 SF	
Multi-unit living 4 BR	11 x 4.0	44 SF	
Maximum Allowed	494 SF		
8 Parking provided			
Standard surface space	24 SF		
HC surface space	3.94 van	4 SF	
Driveway space	184 SF		
Garage space	184 SF		
Total spaces provided	396 SF		
9 Required bicycle parking (UDO section 7.1.2)			
Multi-unit living			
Short term Required (1 space per 20 units)	161 / 20	8 SF	
Short term provided	0 SF		
Long term Required (1 space per 7 bedrooms)	494 / 7	71 SF	
Long term bike parking provided (in garage)	143 SF		
Total provided	143 SF		
10 Outdoor amenity area (UDO section 3.2.6.A3)			
Area required - 10% of net acreage	524,027 SF	12.03 AC	
10% required	10%	0.10 AC	
Total required - 12% max.	52,403 SF	1.20 AC	
Provided			
Area provided - OAA #1	34,503 SF	0.792 AC	
Area provided - OAA #2	8,023 SF	0.184 AC	
Area provided - OAA #3	4,195 SF	0.096 AC	
Area provided - OAA #4	4,276 SF	0.098 AC	
Area provided - OAA #5	11,596 SF	0.266 AC	
Area provided - OAA #6	13,855 SF	0.318 AC	
Total - 12% max.	76,447 SF	1.755 AC	
11 Building height	4 story - 62 FT		
Allowed height per PD	See elevations for building heights		



ACCESSIBILITY NOTES:	
1.	ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5'X5' LANDING.
2.	MINIMUM LANDING AT ACCESS AISLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
3.	ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
4.	HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
5.	ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 8.3% RAMP MUST HAVE BETWEEN 54" AND 36" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5%, AND MINIMUM 5'X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5'X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5'X5' TURN PLATFORM/LANDING IS REQUIRED.
6.	ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
7.	ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
8.	ACCESSIBLE ENTRANCES SHALL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
9.	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
10.	REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.

HC RAMPS:	
1.	ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
2.	POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

HVAC NOTE:	
1.	ALL HVAC EQUIPMENT TO BE LOCATED ON GROUND AND SCREENED WITH EVERGREEN SHRUBS AND/OR FENCE. THE LOCATION TO BE DETERMINED DURING SITE REVIEW PERMIT.

LEGEND:	
	EX. FIRE HYDRANT
	PROP. FIRE HYDRANT
	BIKE RACK FOR TWO (2) BICYCLES
	BENCH
	WHEEL STOP
	HC PARKING
	PROJECT BOUNDARY
	EX. ADJACENT PROPERTY LINE
	BUILDING SETBACK
	PARKING SETBACK
	TREE PROTECTION FENCE
	OUTDOOR AMENITY AREA
	EX. TREE CONSERVATION AREA - SHOD 4

PRIMARY STREET DETERMINATION (SEC. 15.4 C.1)				
A LOT DEVELOPED WITH THE APARTMENT, GENERAL, MIXED-USE OR CIVIC BUILDING TYPES SHALL DESIGNATE ITS PRIMARY STREET USING THE CRITERIA SHOWN IN (A) THROUGH (G) BELOW. IF NO STREET MEETS CRITERIA (A) THROUGH (G), THEN THE STREET THAT THAT SATISFIES MORE OF CRITERIA (E) THROUGH (G) WILL BE DESIGNATED AS PRIMARY. IF THE CRITERIA DO NOT APPLY OR DO NOT PRODUCE A CLEAR RESULT, THEN ANY STREET MAY BE DESIGNATED AS PRIMARY BY THE APPLICANT.				
	NEW BERN AVE	SUNRISE VALLEY PL	PLATTE RIVER DR	COLUMBIA RIVER LN
1. THE STREET WITH TRANSIT SERVICE	YES	NO	NO	NO
2. THE STREET DESIGNATED AS A MAJOR STREET OR URBAN THOROUGHFARE ON THE URBAN FORM MAP	NO	NO	NO	NO
3. ANY STREET DESIGNATED AS A RETAIL STREET IN THE DOWNTOWN SECTION OF THE COMPREHENSIVE PLAN	NO	NO	NO	NO
4. THE STREET DESIGNATED AS A MIXED-USE STREET ON THE RALEIGH STREET PLAN MAP	NO	NO	YES	NO
5. THE STREET DESIGNATED AS A MAJOR STREET ON THE RALEIGH STREET PLAN MAP	N/A	N/A	N/A	N/A
6. THE STREET WITH ON-STREET PARKING	N/A	N/A	N/A	N/A
7. THE STREET WITH THE HIGHER CLASSIFICATION ON THE RALEIGH STREET PLAN MAP	N/A	N/A	N/A	N/A
PER SECTION 15.4 C.1.F, ONE STREET MEETS ANY OF CRITERIA (A) THROUGH (G). IT WILL BE DESIGNATED PRIMARY. IF TWO STREETS MEET ANY OF CRITERIA (A) THROUGH (G), BOTH WILL BE DESIGNATED PRIMARY.				
RESPONSE: BASED ON THE ABOVE, NEW BERN AVE AND PLATTE RIVER DR ARE PRIMARY STREETS				

SEE L9.00, L9.01, L9.02, AND L9.03 FOR SITE DETAILS.

1 Dwelling units			
North	3 BR	4 BR	DU
Building #N1	12	0	12
Building #N2	10	0	10
Building #N3	12	0	12
Building #N4	10	0	10
Building #N5	10	0	10
Building #N6	10	0	10
Building #N7	10	0	10
Building #N8	10	0	10
South			
Building #S1	5	0	5
Building #S2	5	0	5
Building #S3	5	0	5
Building #S4	7	0	7
Building #S5	7	0	7
Building #S6	7	0	7
Building #S7	12	0	12
Building #S8	10	0	10
Building #S9	8	0	8
Building #S10	0	5	5
Building #S11	0	6	6
Total DU	150	11	161
2 Bedrooms			
Multi-unit living 3 BR	150	x	3 = 450
Multi-unit living 4 BR	11	x	4 = 44
Total Bedrooms	494		
3 Gross square footage			
North			
Building #N1	26,898	SF	
Building #N2	22,415	SF	
Building #N3	26,898	SF	
Building #N4	22,415	SF	
Building #N5	22,415	SF	
Building #N6	22,415	SF	
Building #N7	22,415	SF	
Building #N8	22,415	SF	
South			
Building #S1	9,289	SF	
Building #S2	9,289	SF	
Building #S3	9,289	SF	
Building #S4	12,823	SF	
Building #S5	12,823	SF	
Building #S6	12,823	SF	
Building #S7	26,898	SF	
Building #S8	22,415	SF	
Building #S9	17,932	SF	
Building #S10	11,960	SF	
Building #S11	14,376	SF	
Total GSF	348,223	SF	
4 Unit Legend			
Janard	all 3 BR		
Magnolia	all 3 BR		
Vanderbilt	all 4 BR		

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

ASR-XXXX-2024 (Admin. Site Review)
 REFERENCE: SCOPE-0029-2024, SUB-0023-2021

Bell Creek Capital, LLC
 Quinn Residences at Edgewater Commons
 Raleigh, North Carolina

PROJECT: BCD-24080 DATE: 08.01.2024
 ISSUE: Administrative Site Review
 REVISIONS:

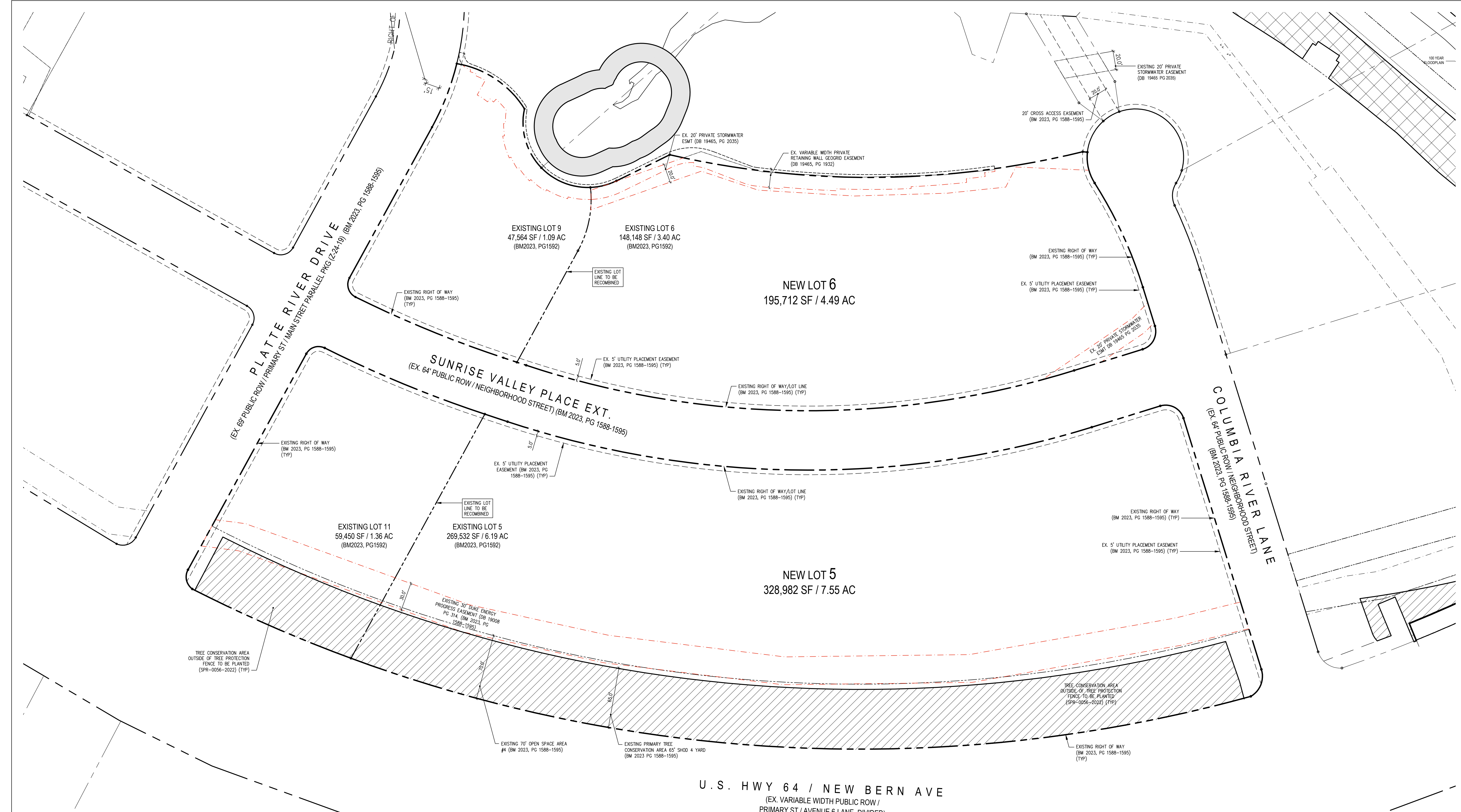
DRAWN BY: KT, SB
 CHECKED BY: KT
 CONTENT: SITE PLAN

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REFERENCE:
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 SUB-0023-2021; SCOPE-0029-2024
ASR-XXXX-2024

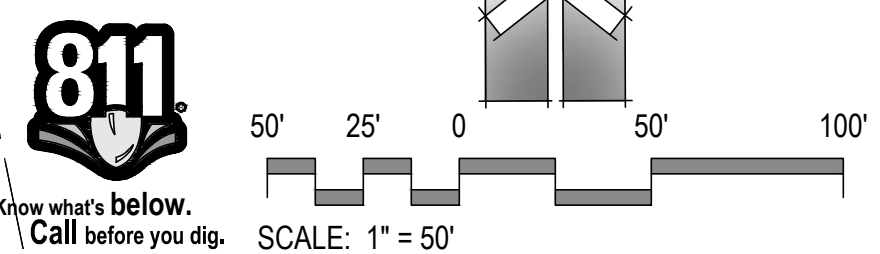
SITE PLAN

 SCALE: 1" = 50'
L2.00



REFERENCE:
BM2023-PG1588-1595; Z-024-19;
SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024
LOT & EASEMENT
PLAN



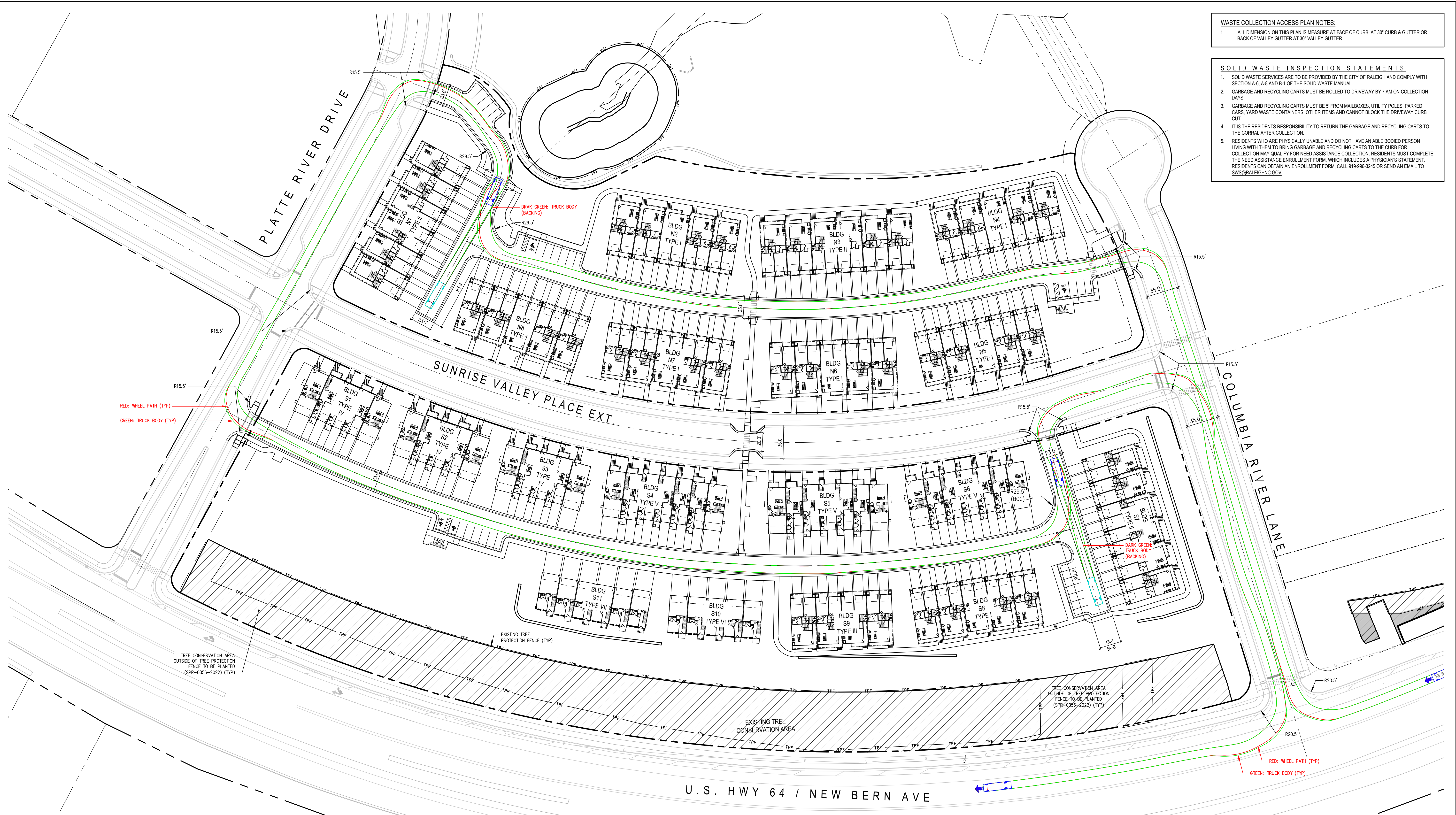
ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina

PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	LOT & EASEMENT PLAN		

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- WASTE COLLECTION ACCESS PLAN NOTES:**
1. ALL DIMENSION ON THIS PLAN IS MEASURE AT FACE OF CURB AT 30" CURB & GUTTER OR BACK OF VALLEY GUTTER AT 30" VALLEY GUTTER.
- SOLID WASTE INSPECTION STATEMENTS**
1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY THE CITY OF RALEIGH AND COMPLY WITH SECTION A-6, A-8 AND B-1 OF THE SOLID WASTE MANUAL.
 2. GARBAGE AND RECYCLING CARTS MUST BE ROLLED TO DRIVEWAY BY 7 AM ON COLLECTION DAYS.
 3. GARBAGE AND RECYCLING CARTS MUST BE 5' FROM MAILBOXES, UTILITY POLES, PARKED CARS, YARD WASTE CONTAINERS, OTHER ITEMS AND CANNOT BLOCK THE DRIVEWAY CURB CUT.
 4. IT IS THE RESIDENTS RESPONSIBILITY TO RETURN THE GARBAGE AND RECYCLING CARTS TO THE CORRAL AFTER COLLECTION.
 5. RESIDENTS WHO ARE PHYSICALLY UNABLE AND DO NOT HAVE AN ABLE BODIED PERSON LIVING WITH THEM TO BRING GARBAGE AND RECYCLING CARTS TO THE CURB FOR COLLECTION MAY QUALIFY FOR NEED ASSISTANCE COLLECTION. RESIDENTS MUST COMPLETE THE NEED ASSISTANCE ENROLLMENT FORM WHICH INCLUDES A PHYSICIAN'S STATEMENT. RESIDENTS CAN OBTAIN AN ENROLLMENT FORM, CALL 919-996-3245 OR SEND AN EMAIL TO SWS@RALEIGHNC.GOV.

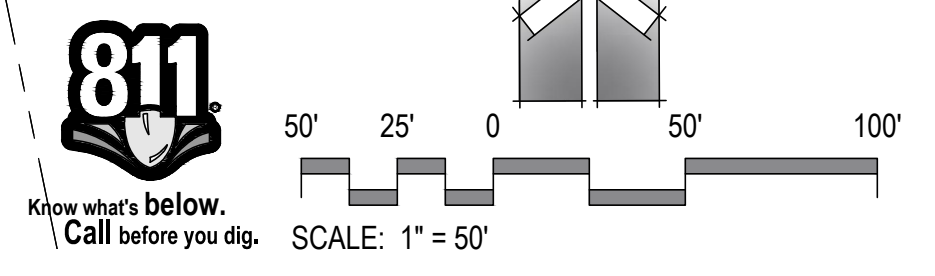
Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
 Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

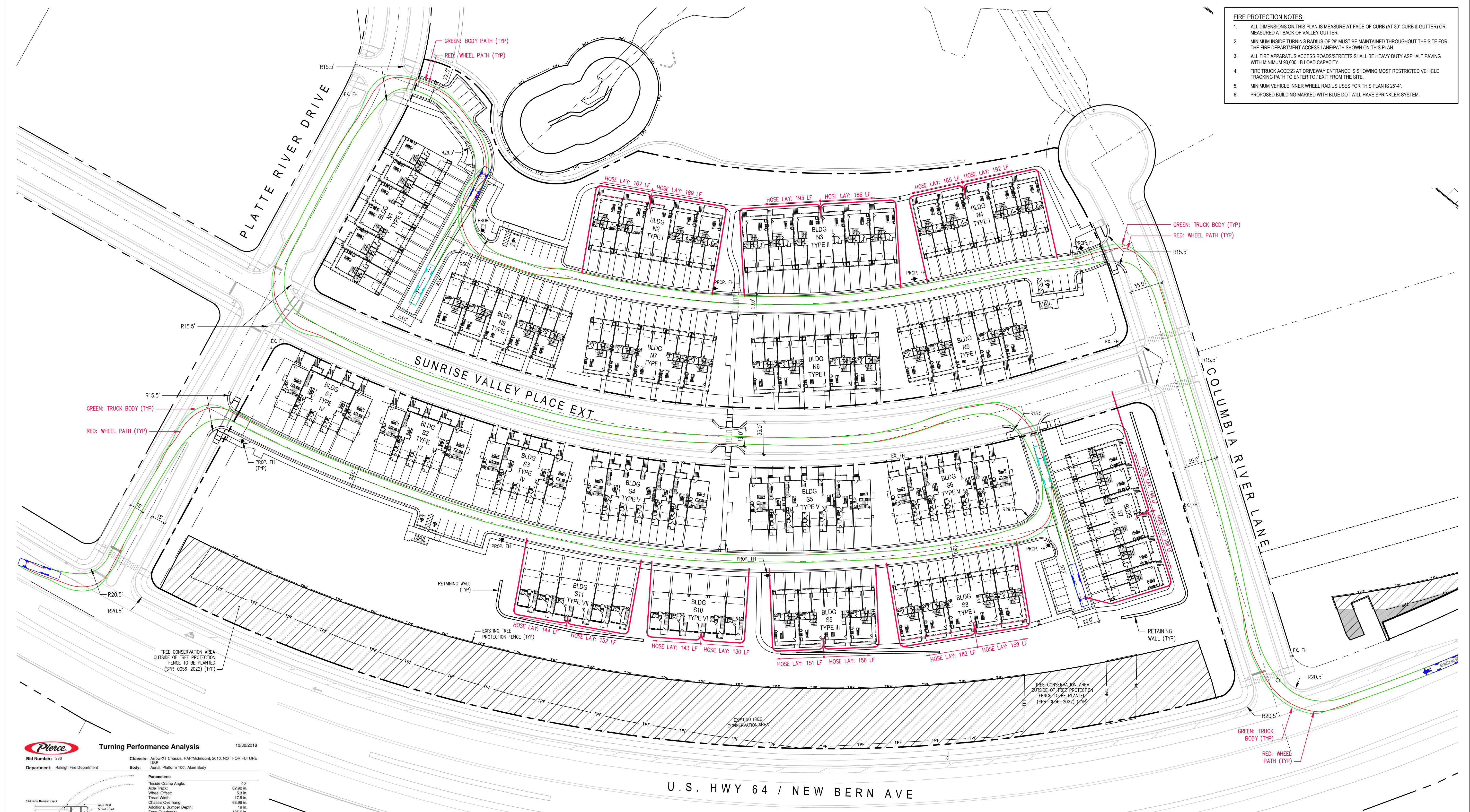
REFERENCE:
 BM2023-PG1588-1595; Z-024-19;
 SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024

WASTE COLLECTION
 ACCESS PLAN



PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	WASTE COLLECTION ACCESS PLAN		



- FIRE PROTECTION NOTES:**
1. ALL DIMENSIONS ON THIS PLAN IS MEASURE AT FACE OF CURB (AT 30" CURB & GUTTER) OR MEASURED AT BACK OF VALLEY GUTTER.
 2. MINIMUM INSIDE TURNING RADIUS OF 20' MUST BE MAINTAINED THROUGHOUT THE SITE FOR THE FIRE DEPARTMENT ACCESS LANE/PATH SHOWN ON THIS PLAN.
 3. ALL FIRE APPARATUS ACCESS ROADS/STREETS SHALL BE HEAVY DUTY ASPHALT PAVING WITH MINIMUM 90,000 LB LOAD CAPACITY.
 4. FIRE TRUCK ACCESS AT DRIVEWAY ENTRANCE IS SHOWING MOST RESTRICTED VEHICLE TRACKING PATH TO ENTER TO/ EXIT FROM THE SITE.
 5. MINIMUM VEHICLE INNER WHEEL RADIUS USES FOR THIS PLAN IS 25'-4".
 6. PROPOSED BUILDING MARKED WITH BLUE DOT WILL HAVE SPRINKLER SYSTEM.

Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
 Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

Pierce Turning Performance Analysis 10/30/2018

Bid Number: 388
 Department: Raleigh Fire Department

Chassis: Arrow XT Chassis, PAF/Midmount, 2010, NOT FOR FUTURE USE
 Body: Aerial, Platform 100', Alum Body

Parameters:

- Inside Cramp Angle: 40"
- Axle Track: 82.95 in.
- Wheel Offset: 5.3 in.
- Tread Width: 17.5 in.
- Chassis Overhang: 66.96 in.
- Additional Bumper Depth: 19 in.
- Front Overhang: 155.8 in.
- Wheelbase: 268 in.

Calculated Turning Radii:

- Inside Turn: 25 ft. 4 in.
- Curb to curb: 41 ft. 4 in.
- Wall to wall: 48 ft. 2 in.

Category | **Option** | **Description**

Axle, Front, Custom	000013	Axle, Front, Custom TAX-4, Non Drive, 24,000 lb, Qm/AX1/DCP
Wheels, Front	0019618	Wheels, Front, Alcoa, 22.50" x 13.00", Aluminum, Hub Pilot
Tires, Front	000746	Tires, Front, Goodyear, G268 MCA, 4456R22.50, 20 ply
Bumpers	000016	Bumper, 19" Extended, Arrow XT
Aerial Devices	0657391	Aerial, 100' Pierce Platform, 35 MPH Wind Rating, 4000 Tip Load Allowance

Notes:

- *Actual inside cramp angle may be less than shown.
- Curb to curb turning radius calculated for 9.00 inch curb.

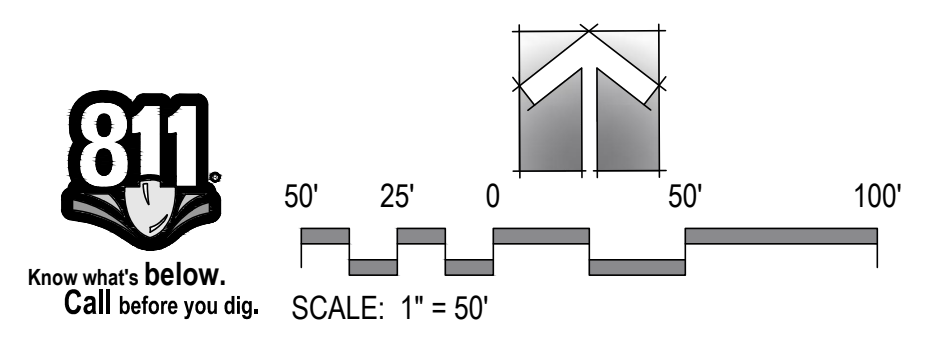
Definitions:

- Inside Cramp Angle: Maximum turning angle of the front inside line.
- Axle Track: King pin to king pin distance of front axle.
- Wheel Offset: Offset from the center line of the wheel to the King pin.
- Tread Width: Width of the tire tread.
- Chassis Overhang: Distance of the center line of the front axle to the front edge of the cab. This does not include the bumper depth.
- Additional Bumper Wheel: Depth that the bumper assembly adds to the front overhang.
- Wheelbase: Distance between the center lines of the vehicles front and rear axles.
- Inside Turning Radius: Radius of the smallest circle around which the vehicle can turn.
- Curb to Curb Turning Radius: Radius of the smallest circle around which the vehicle's tires can turn. This measure assumes a curb height of 9 inches.
- Wall to Wall Turning Radius: Radius of the smallest circle around which the vehicle's tires can turn. This measure takes into account any front overhang due to chassis, bumper extensions and or aerial devices.

REFERENCE:
 BM2023-PG1588-1595; Z-024-19;
 SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024

FIRE ACCESS PLAN



PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	FIRE ACCESS PLAN		

City of Raleigh UDO Landscape & Screening Requirements
 Project: Quinn Residences at Edgewater Commons
 Date: 08.01.2024 (Rev. xx.xx.2024)

Street Plantings - New Bern Ave (NCDDT Street)			
Total Length of Right of Way			1,207 LF
Less Length of TCA along New Bern			1,164 LF
Length of Right of Way			43 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	43/00	40	1 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			1 EA
Street Plantings & Street Protective Yard - Platte River Drive - North			
Yard Type		C3 @ Parking Area Only	
Length of Parking Area			18 LF
Shrubs Required (Min. 18" H, 30 shrubs/100 LF = 0.3 /1LF)	18 x 0.30		5.4 EA
Shrubs Provided			6 EA
Length of Right of Way			274 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	274/40		6.8 EA
Shade Trees Provided by UF-009696-2024			6 EA
Street Plantings & Street Protective Yard - Platte River Drive - South			
Yard Type		C3 @ Parking Area Only	
Length of Parking Area			22 LF
Shrubs Required (Min. 18" H, 30 shrubs/100 LF = 0.3 /1LF)	22 x 0.30		6.6 EA
Shrubs Provided			7 EA
Length of Right of Way			296 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	296/40		7.4 EA
Shade Trees Provided by UF-009696-2024			6 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			1 EA
Street Plantings - Sunrise Valley Place and Extension - North Side			
Yard Type		C3 @ Parking Area Only	
Length of Parking Area			79 LF
Shrubs Required (Min. 18" H, 30 shrubs/100 LF = 0.3 /1LF)	79 x 0.30		23.7 EA
Shrubs Provided			31 EA
Length of Right of Way			912 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	912/40		22.8 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			23 EA
Street Plantings - Sunrise Valley Place and Extension - South Side			
Length of Right of Way			964 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	964/40		24.1 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			24 EA
Street Plantings & Street Protective Yard - Prop. Columbia River Lane - North Side			
Yard Type		C3 @ Parking Area Only	
Length of Parking Area			49 LF
Shrubs Required (Min. 18" H, 30 shrubs/100 LF = 0.3 /1LF)	49 x 0.30		14.7 EA
Shrubs Provided			22 EA
Length of Right of Way			151 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	151/40		4.0 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			4 EA
Street Plantings & Street Protective Yard - Prop. Columbia River Lane - South Side			
Length of Right of Way			328 LF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	328/40		8.2 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			8 EA
Vehicular Parking Lot Plantings - North			
Vehicular Parking Lot			26,601 SF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	26,601 / 2,000		13.3 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			15 EA
Vehicular Parking Lot Plantings - South			
Vehicular Parking Lot			27,999 SF
Shade Trees Required (3" cal. 10' H. @ 40' o.c. average)	27,999 / 2,000		14.0 EA
Shade Trees Provided (3" cal. 10' H. @ 40' o.c. average)			14 EA

LOT 12 EAO, LLC PIN: 173444501 DB: 18811 PG. 1738 BM: 2023 PG. 1592 ZONING: PD VACANT			
(1) OB PLANTED BY UF-009696-2024			
RELOCATE OR REPLANT.			
EX. 5' UTILITY PLACEMENT EASEMENT (BM 2023, PG 1588-1595) (TYP)			
RELOCATE OR REPLANT FOR (1) OB REMOVAL DUE TO NEW CURB CUT.			

(6) EXISTING OB (UF-009696-2024)

(14) OF FOR VUA (TYP)

(9) VT 3" O.C. FOR SCREENING (TYP)

20' CLEARANCE FROM LIGHT POLE (TYP)

EXISTING 30' DRIVE ENERGY PROGRESS EASEMENT (DB 18008 PG 314, BM 2023, PG 1592)

EXISTING TREE PROTECTION FENCE (TYP)

EXISTING 70' OPEN SPACE AREA #4 (BM 2023, PG 1588-1595)

EXISTING PRIMARY TREE CONSERVATION AREA #5 SHOD 4 YARD (BM 2023 PG 1588-1595)

EXISTING 1,164 LF TREE CONSERVATION AREA TO BE USED FOR STREET TREE REQUIREMENT.

EXISTING RIGHT OF WAY (BM 2023, PG 1588-1595) (TYP)

(1) Q FOR STREET TREE. 40' O.C. (TYP)

TREES IN GRAY BY OTHERS. REFER TO SPR-0056-2022 (TYP)

TREE CONSERVATION AREA OUTSIDE OF TREE PROTECTION FENCE TO BE PLANTED (SPR-0056-2022) (TYP)

LOT 19
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 7
ROGERS LANE PARTNERS LLC
PIN: 173444330
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 1
ROGERS LANE PARTNERS LLC
PIN: 173444809
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 2
ROGERS LANE PARTNERS LLC
PIN: 173444919
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 1000
ROGERS LANE PARTNERS LLC
PIN: 173463094
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 8
ROGERS LANE PARTNERS LLC
PIN: 173444066
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 10
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 11
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 13
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

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BM: 2023 PG. 1592
ZONING: PD
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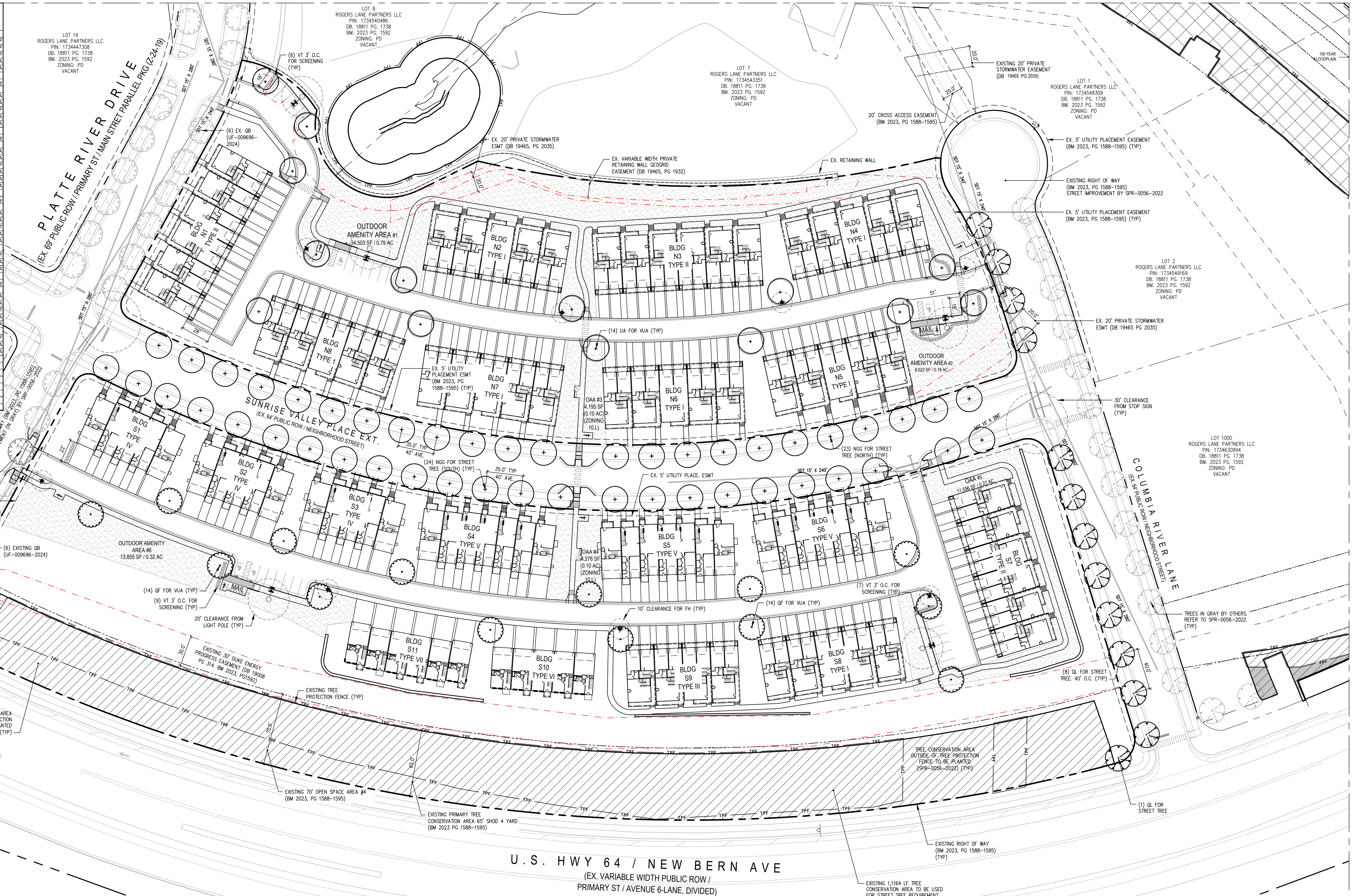
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ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 17
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 18
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT

LOT 19
ROGERS LANE PARTNERS LLC
PIN: 173444308
DB: 18811 PG. 1738
BM: 2023 PG. 1592
ZONING: PD
VACANT



LEGEND:

- EX FIRE HYDRANT
- PROP. FIRE HYDRANT
- BIKE RACK FOR TWO (2) BICYCLES
- BENCH
- WHEEL STOP
- HC PARKING
- PROJECT BOUNDARY
- EX ADJACENT PROPERTY LINE
- TREE PROTECTION FENCE
- OUTDOOR AMENITY AREA
- EX TREE CONSERVATION AREA - SHOD 4

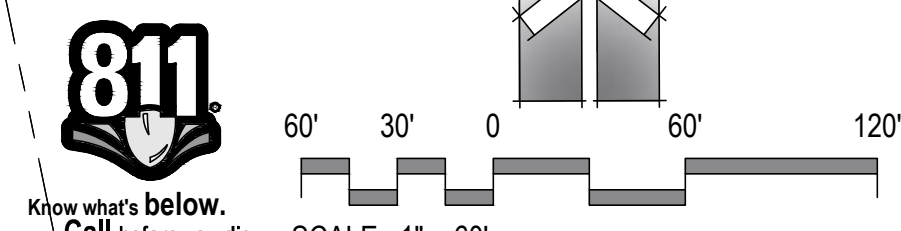
PLANT LEGEND

- (NGG) NYSSA SYLVATICANSUHH LYRATA GREEN GABEL TUPELO
- (QJ) QUERCUS LYRATA OVERCUP OAK
- (QF) QUERCUS FALCATA SOUTHERN RED OAK
- (UA) ULMUS AMERICANA PRINCETON PRINCETON AMERICAN ELM
- (VT) VIBURNUM TINUS LAURUSTINUS VIBURNUM
- VEHICULAR PARKING LOT TREE - SINGLE STEM DECIDUOUS SHADE TREES:
- VEHICULAR PARKING LOT SCREENING - EVERGREEN SHRUB:

PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALL CALIPER	MINIMUM INSTALL HEIGHT	MATURE SIZE HEIGHT	MATURE SIZE SPREAD	REMARKS
47	NGG	Nyssa sylvatica 'NSUHH'	Green Gabel Tupelo	3" MIN	10' MIN	50'	40'-50'	Street Tree/Deciduous Shade Tree
14	QF	Quercus falcata	Southern Red Oak	3" MIN	10' MIN	75'	55'	VPL/Deciduous Shade Tree
14	QL	Quercus lyrata	Overcup Oak	3" MIN	10' MIN	75'	55'	Street Tree/Deciduous Shade Tree
14	UA	Ulmus americana 'Princeton'	Princeton American Elm	3" MIN	10' MIN	50'	40'	VPL/Deciduous Shade Tree
SHRUBS								
80	VT	Viburnum tinus	Laurustinus Viburnum	24" MIN	6'-12'	6'-10'		VPL Screening/Evergreen Shrub

SEE L9.10 AND L9.11 FOR LANDSCAPE DETAILS AND SPECIFICATIONS.



REFERENCE:
 BM2023-PG1588-1595; Z-024-19;
 SUB-0023-2021; SCOPE-0029-2024

ASR-XXXX-2024

CODE COMPLIANCE
 LANDSCAPE PLAN

PROJECT: BCD-24080 DATE: 08.01.2024

ISSUE: Administrative Site Review

REVISIONS:

DRAWN BY: SB

CHECKED BY: KT

CONTENT: CODE COMPLIANCE LANDSCAPE PLAN

L4.00

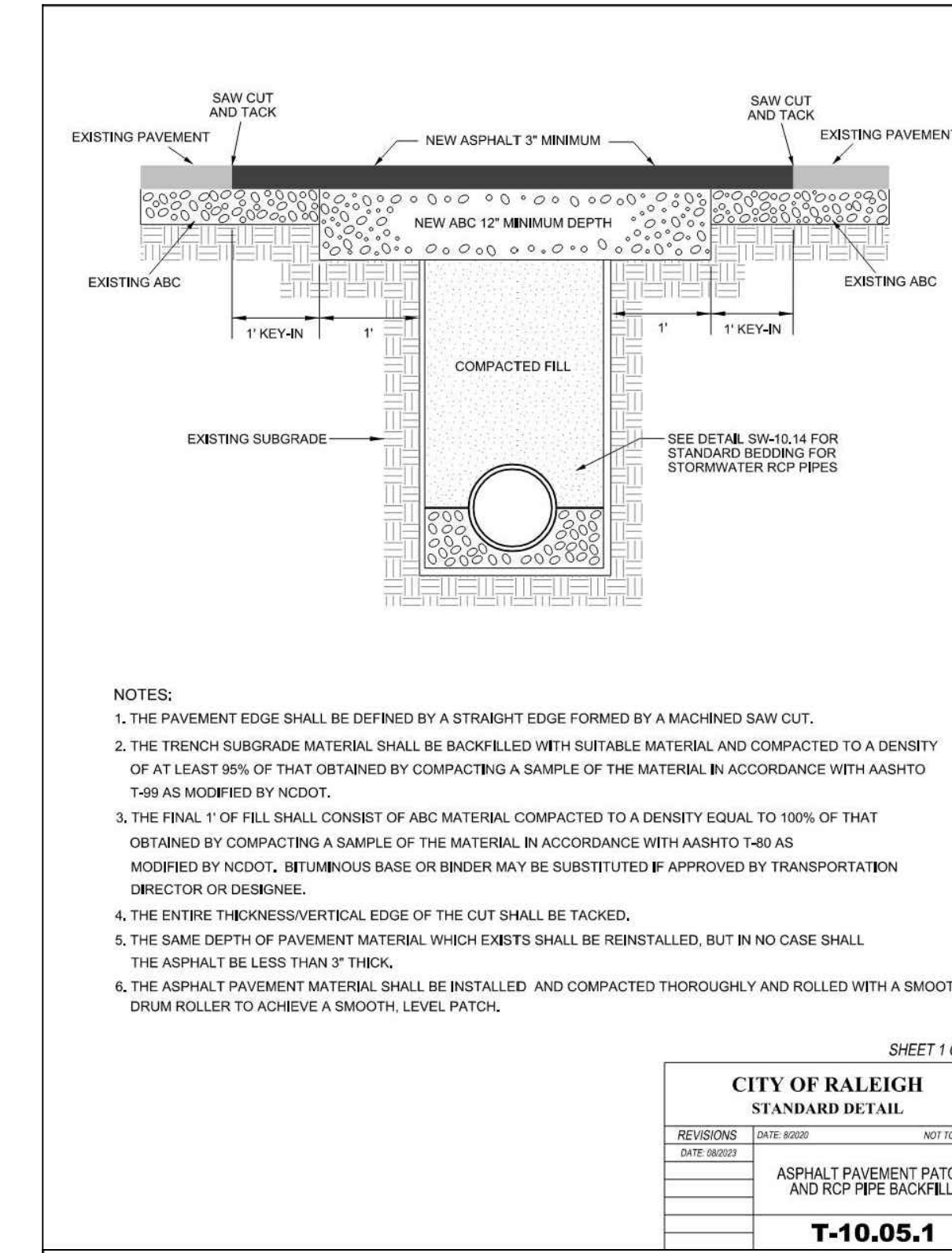
JDAVIS

Bell Creek Capital, LLC
 Quinn Residences at Edgewater Commons
 Raleigh, North Carolina

1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.5451

ASR-XXXX-2024 (Admin. Site Review)
 REFERENCE: SCOPE-0029-2024, SUB-0023-2021

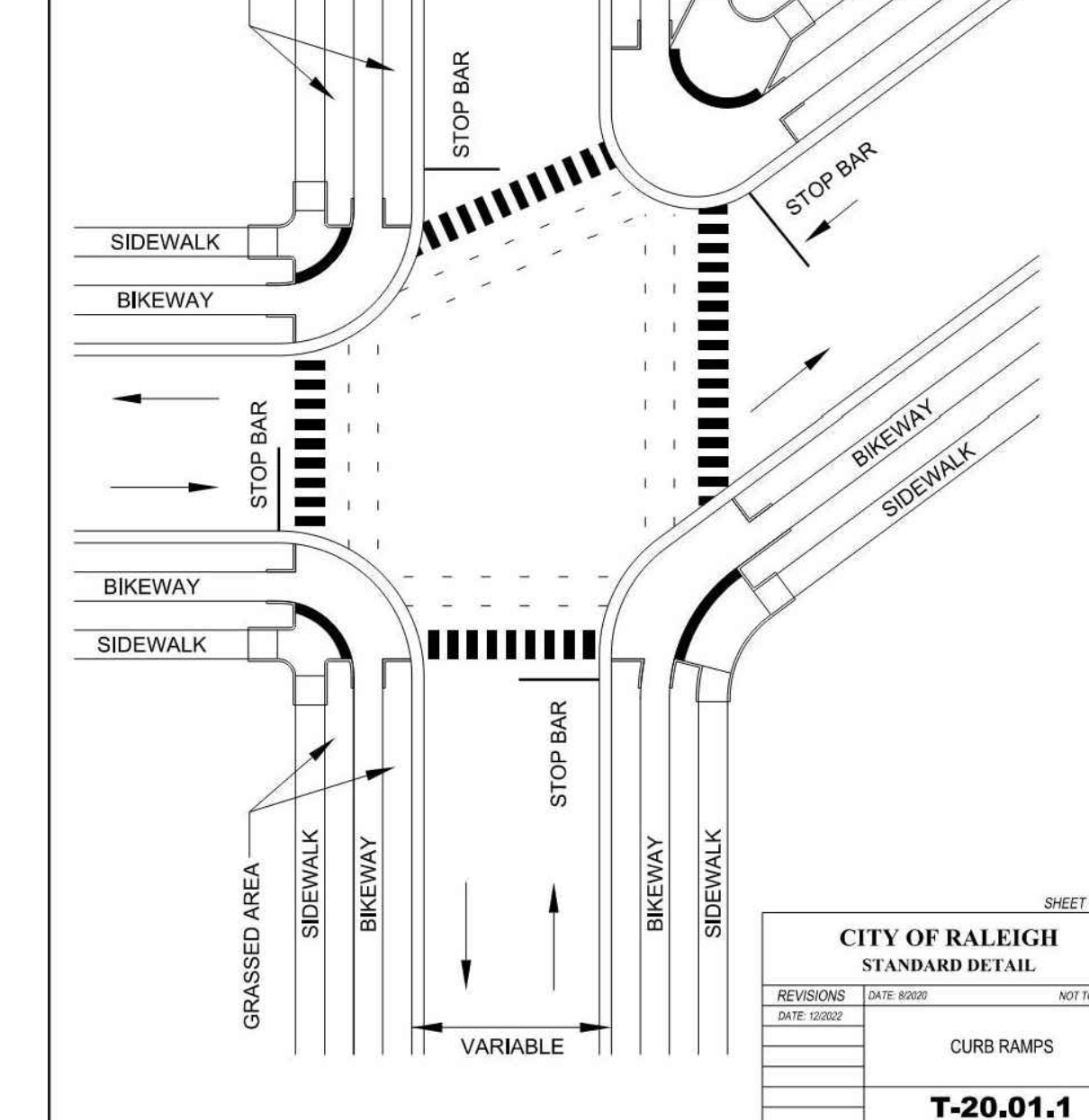
ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.



REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

T-10.05.1



REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

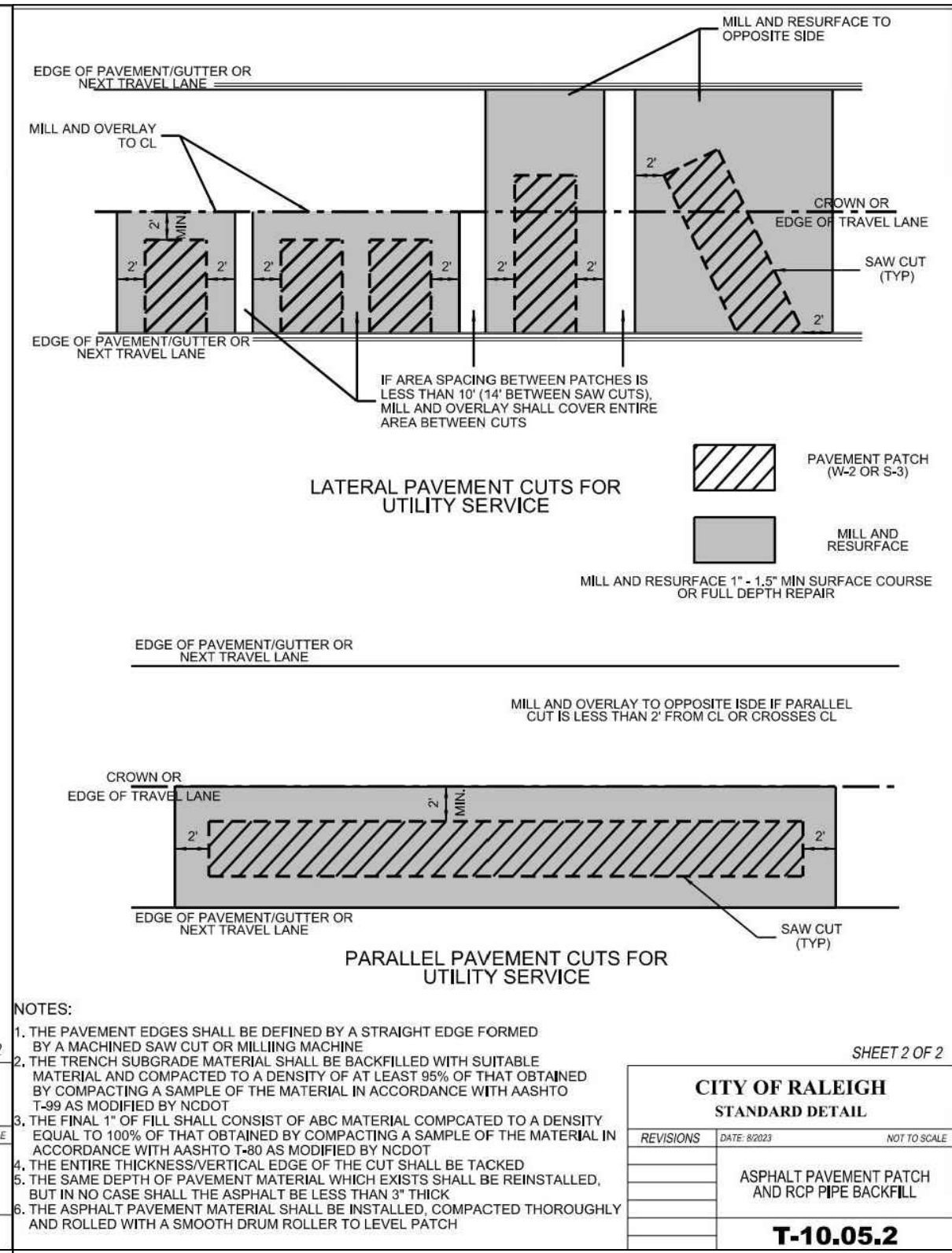
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

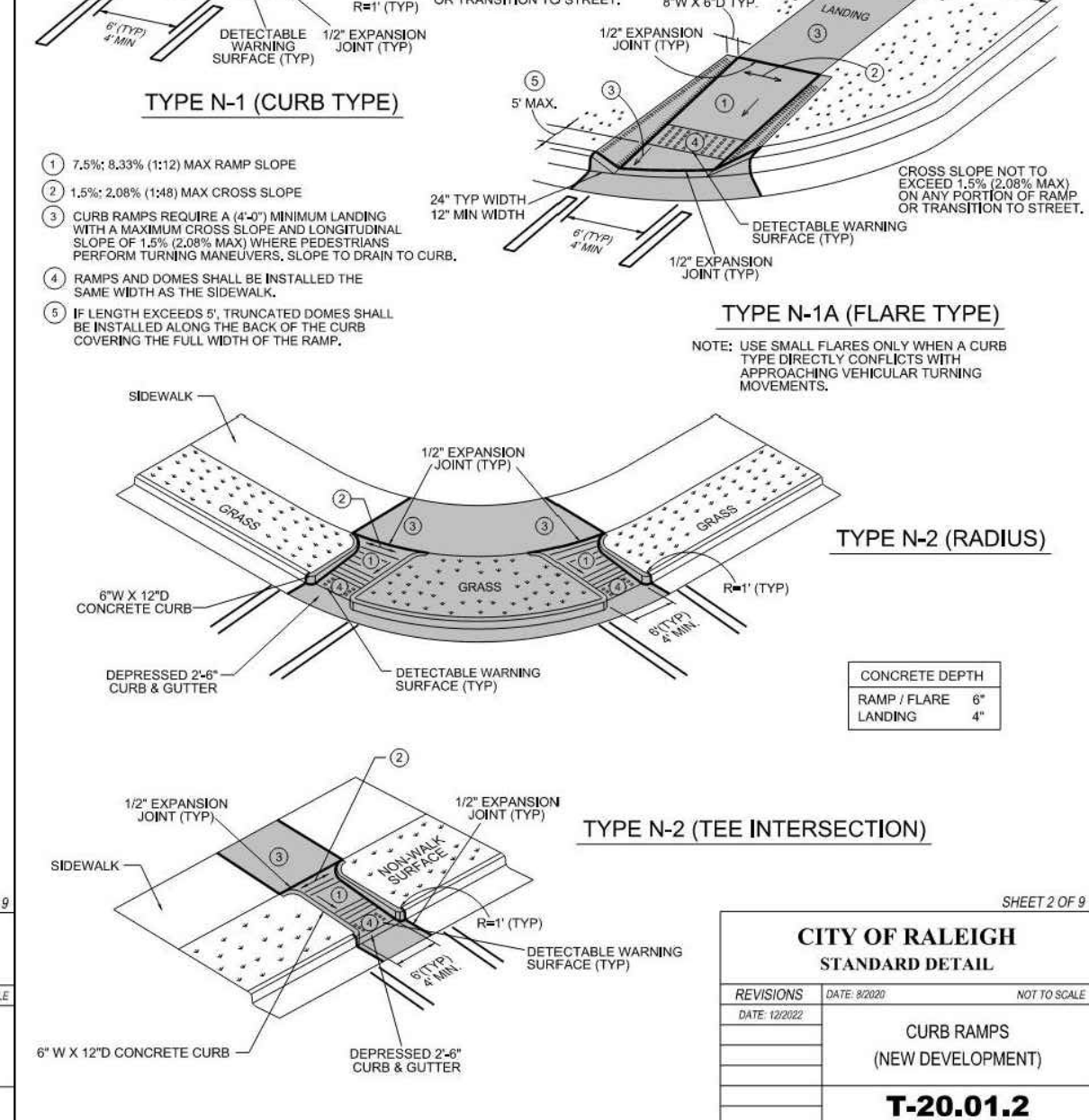
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	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

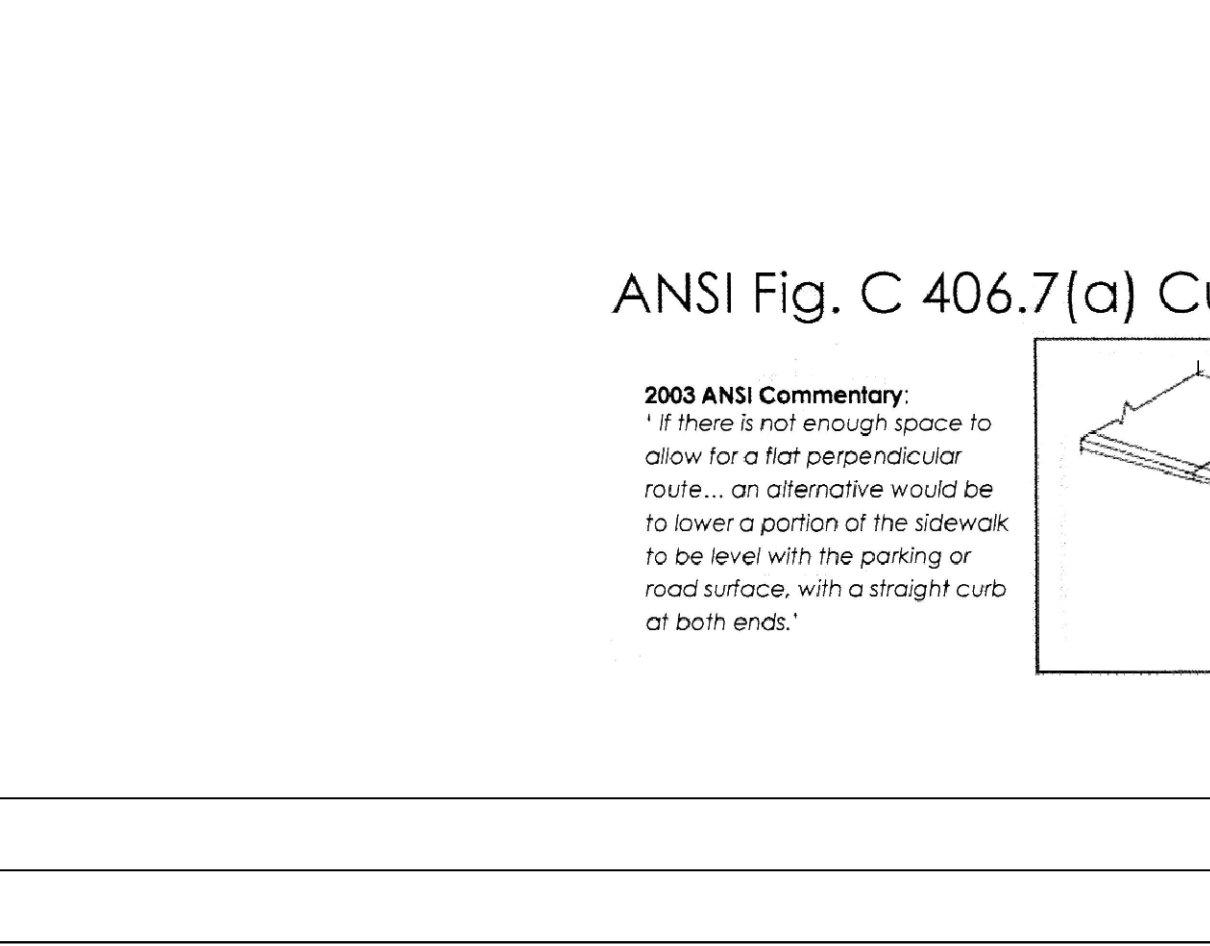
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	05/01/2024		

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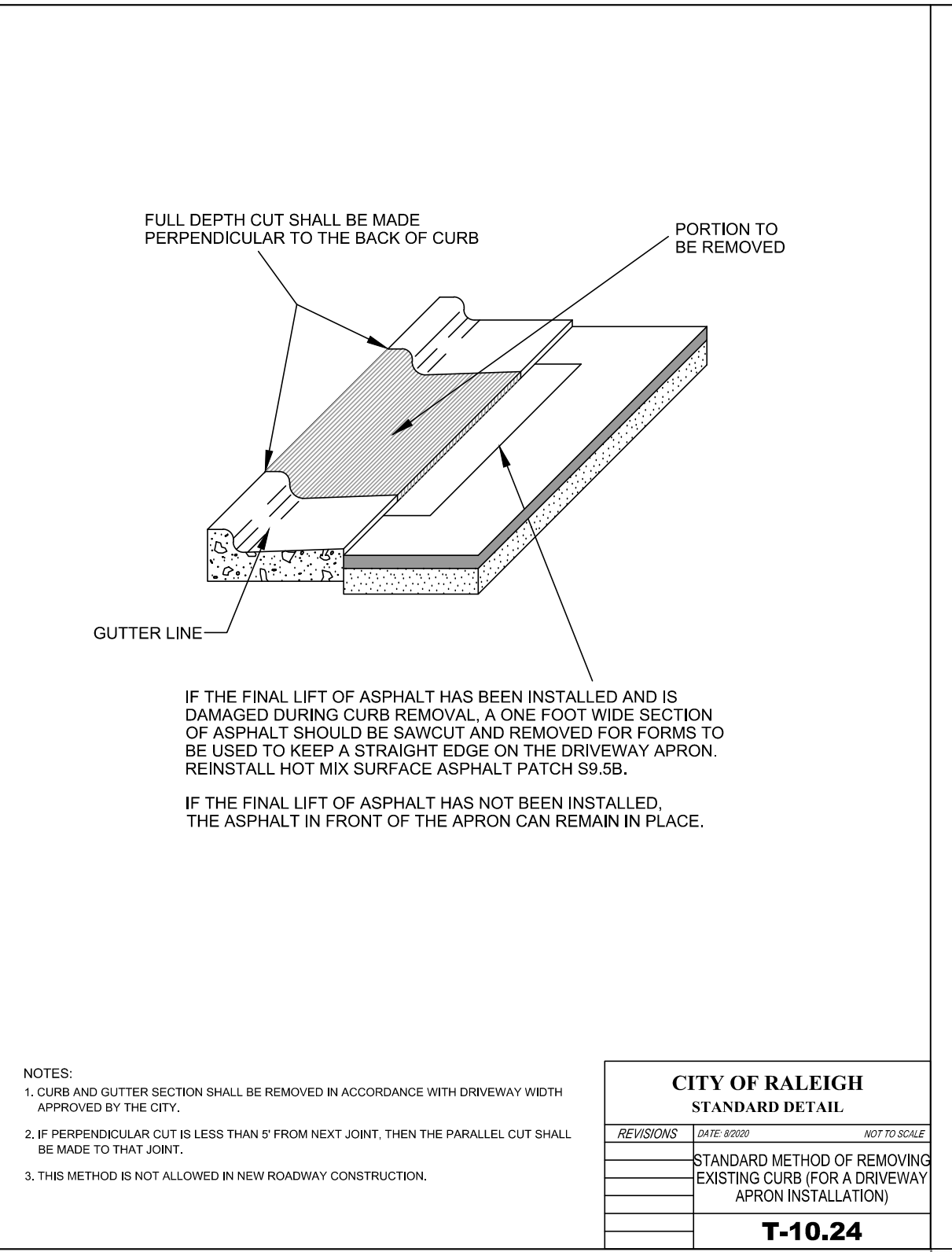
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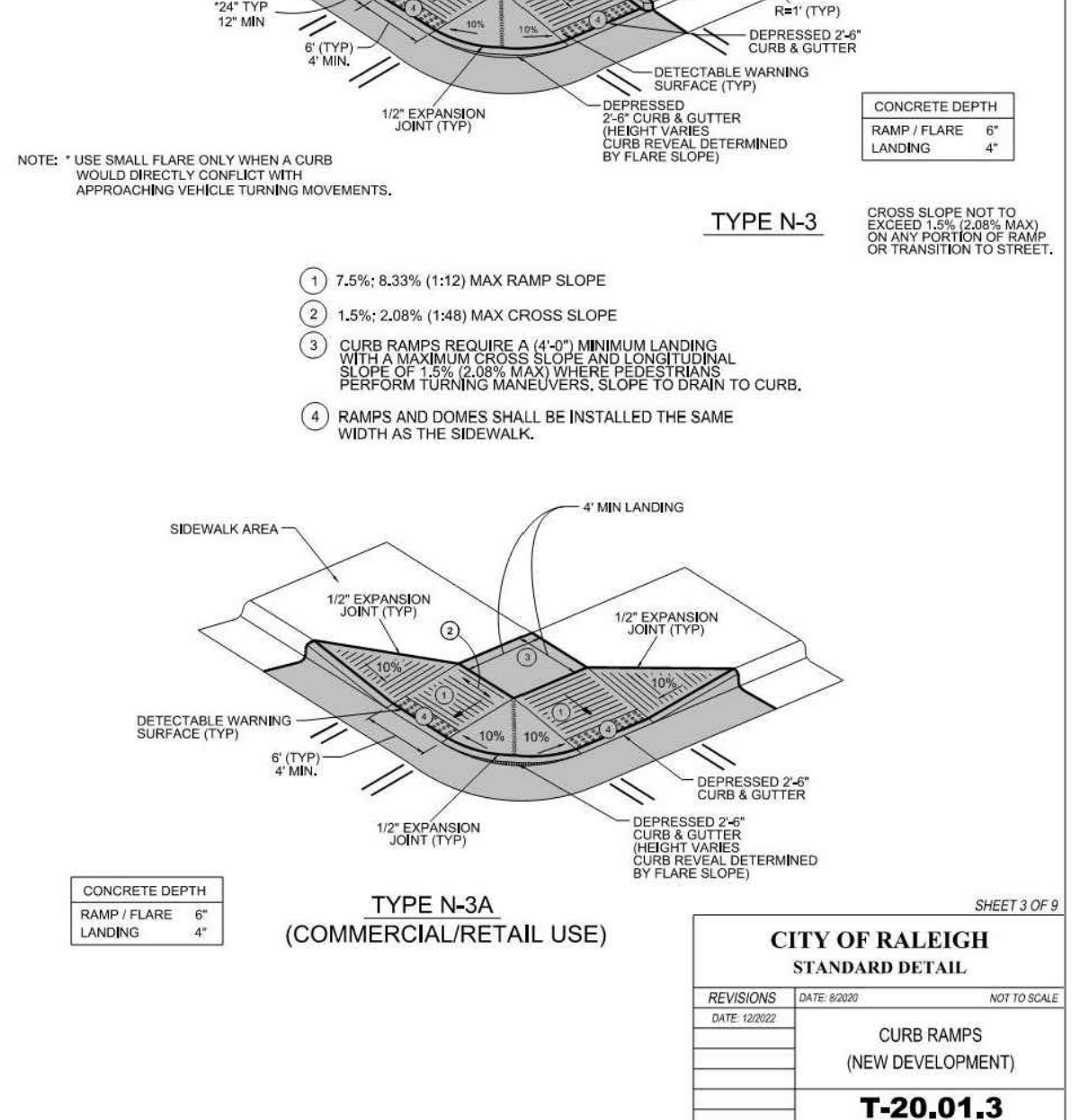
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

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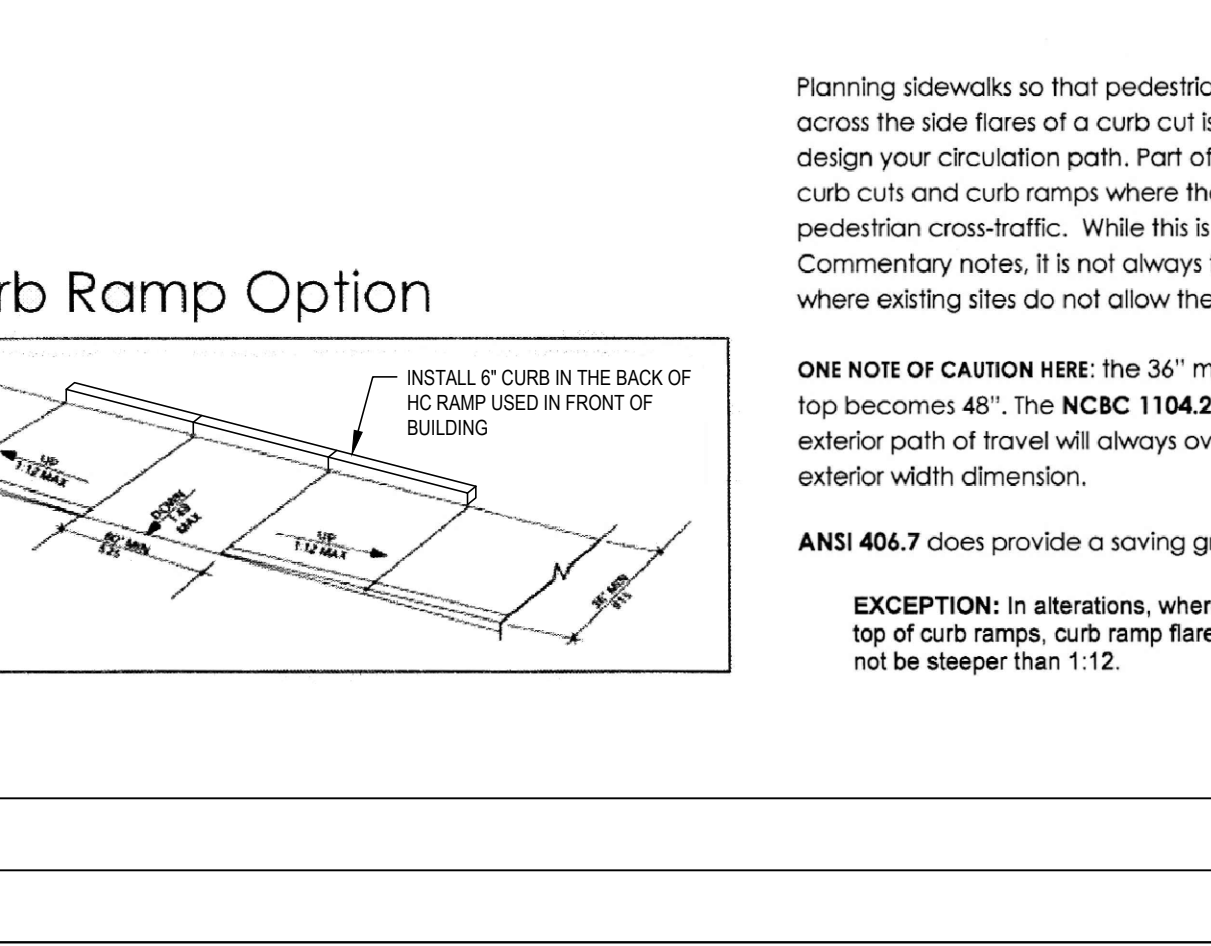
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	05/01/2024		

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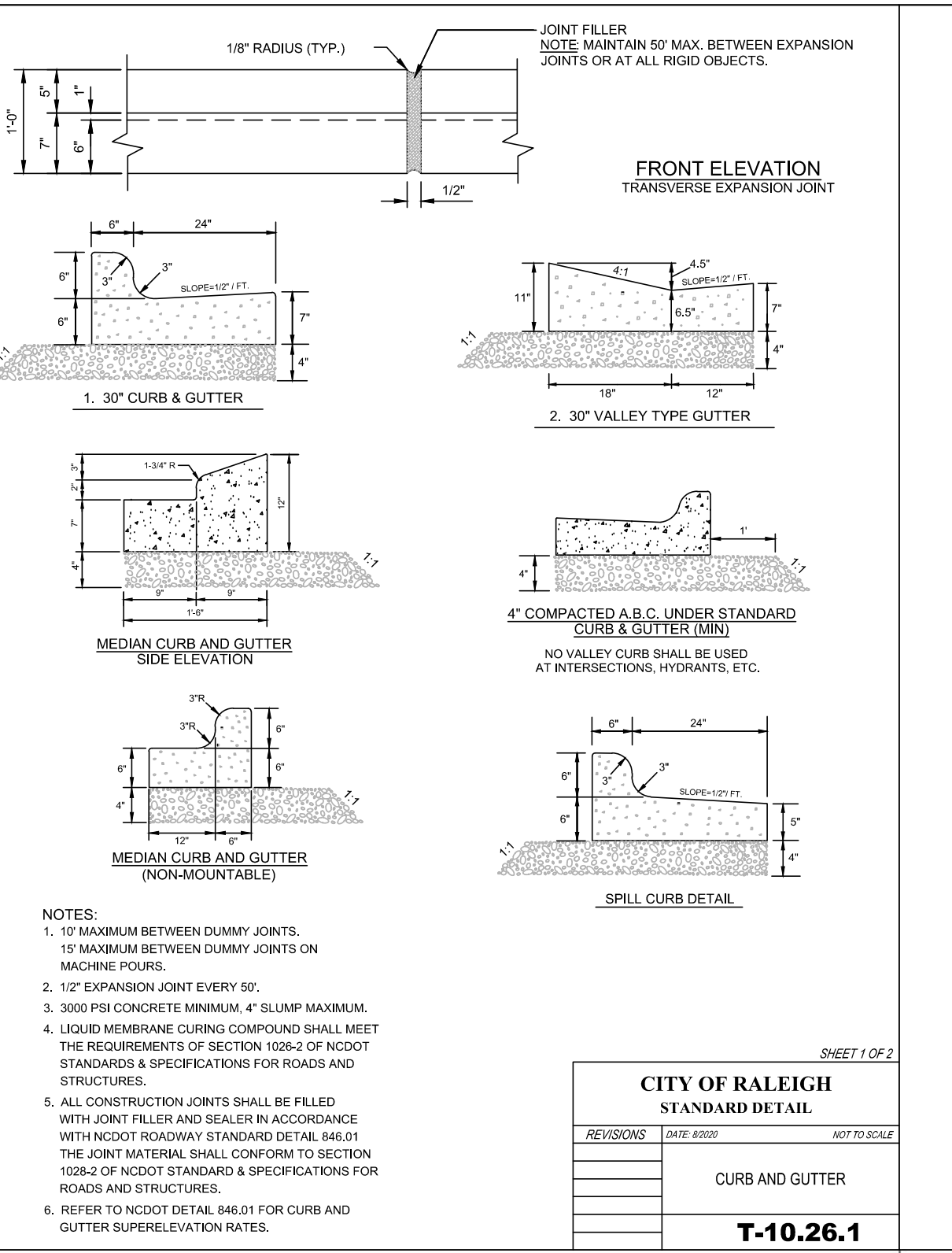
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	05/01/2024		

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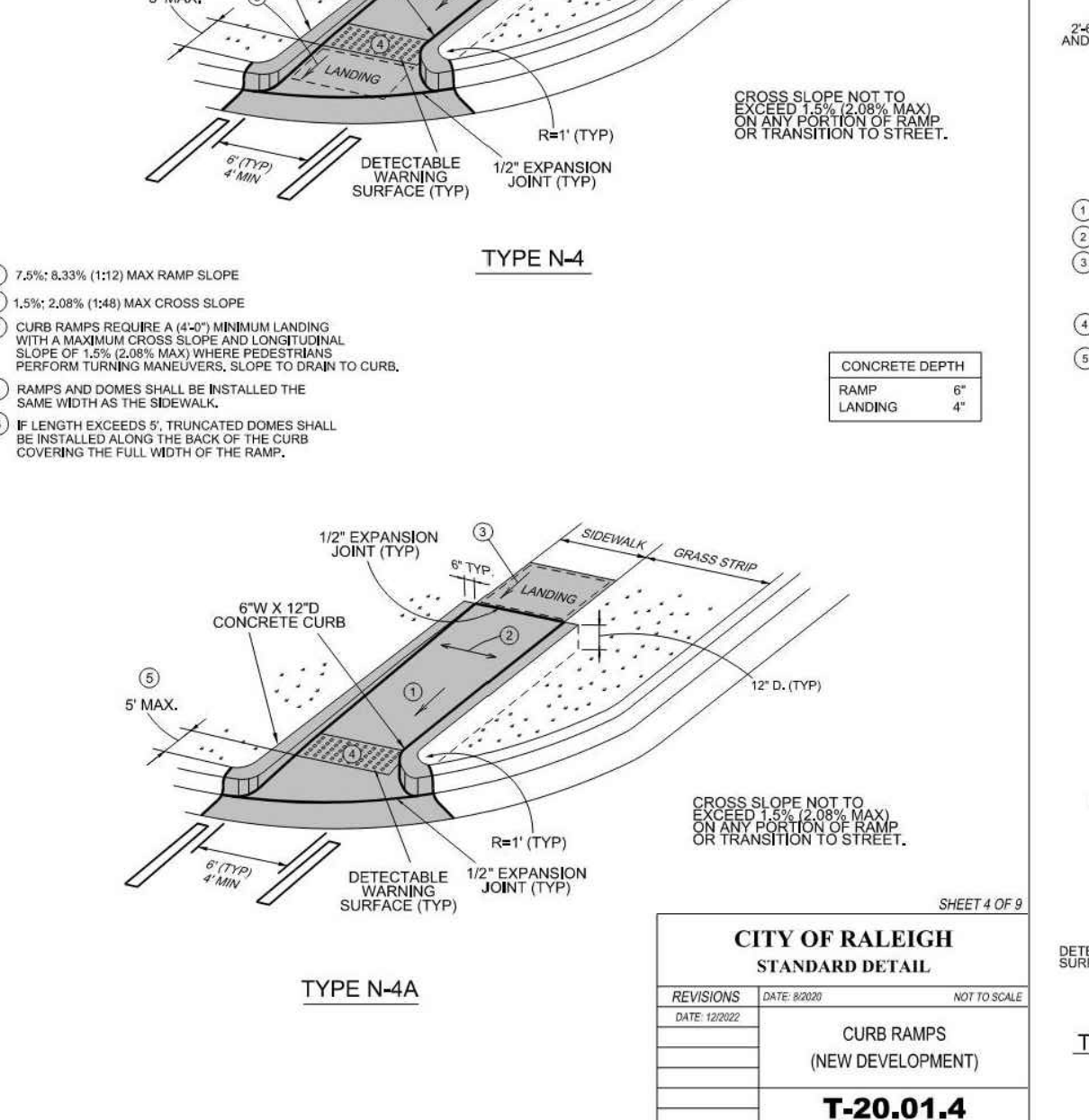
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

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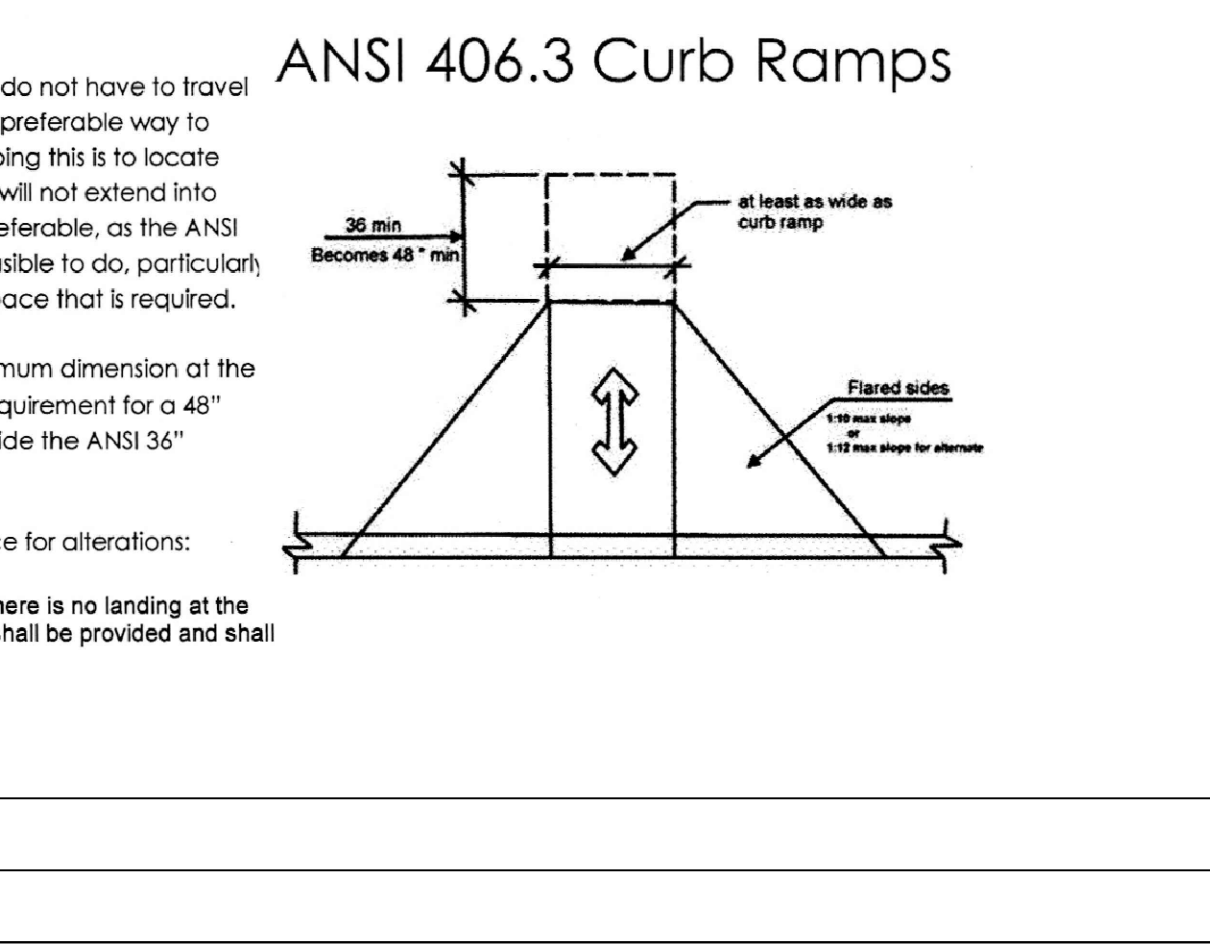
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

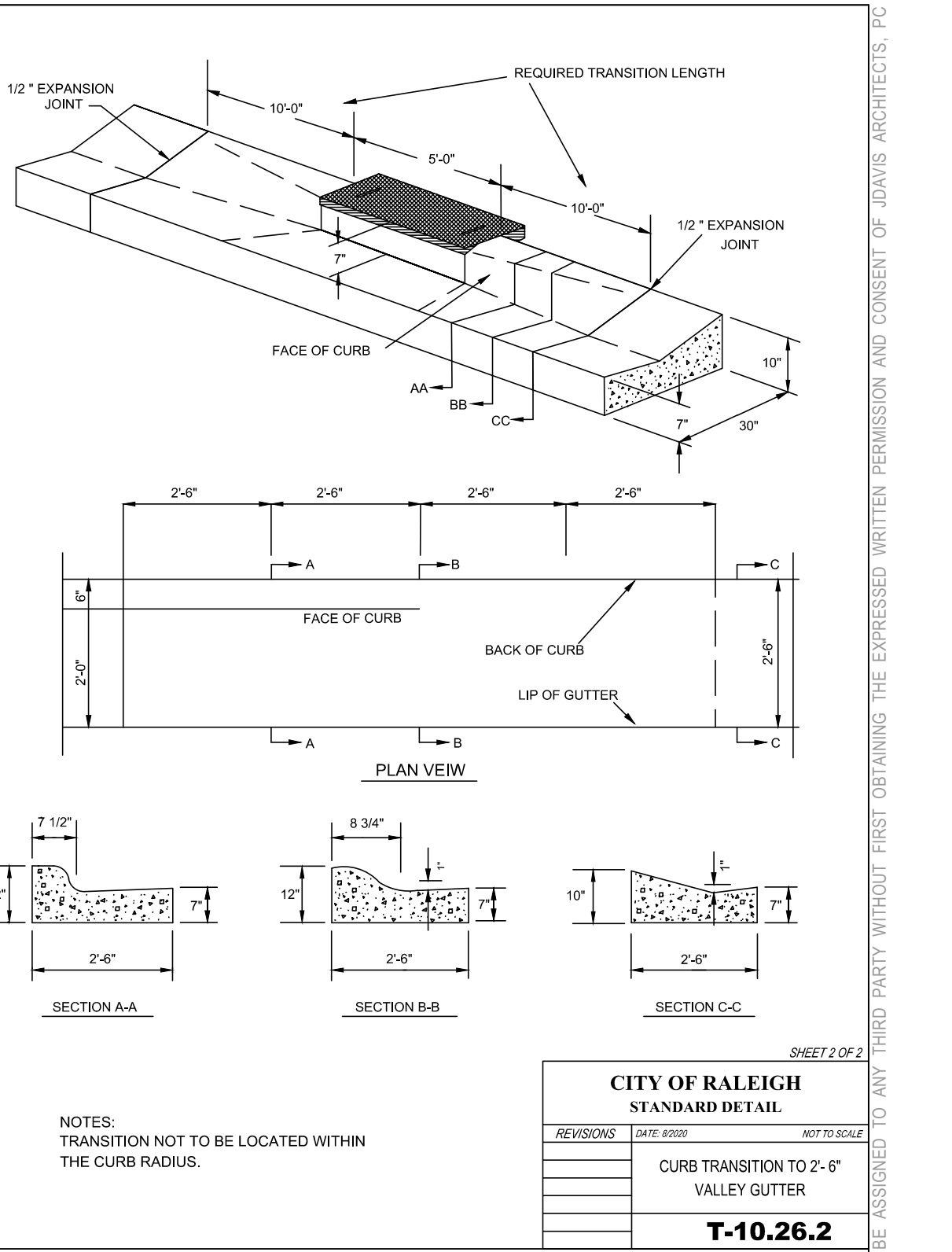
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REVISIONS	DATE	BY	NOT TO SCALE
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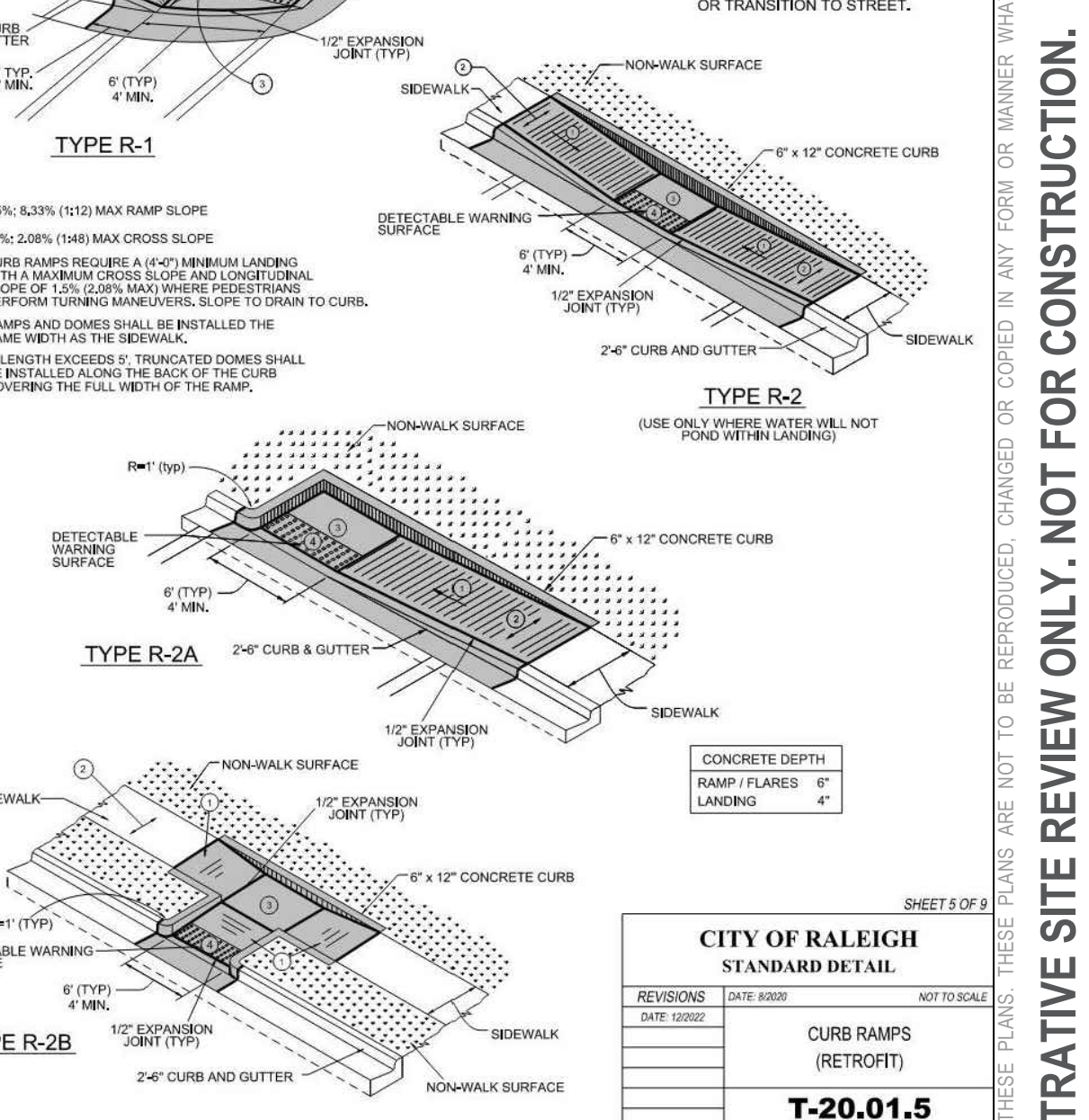
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

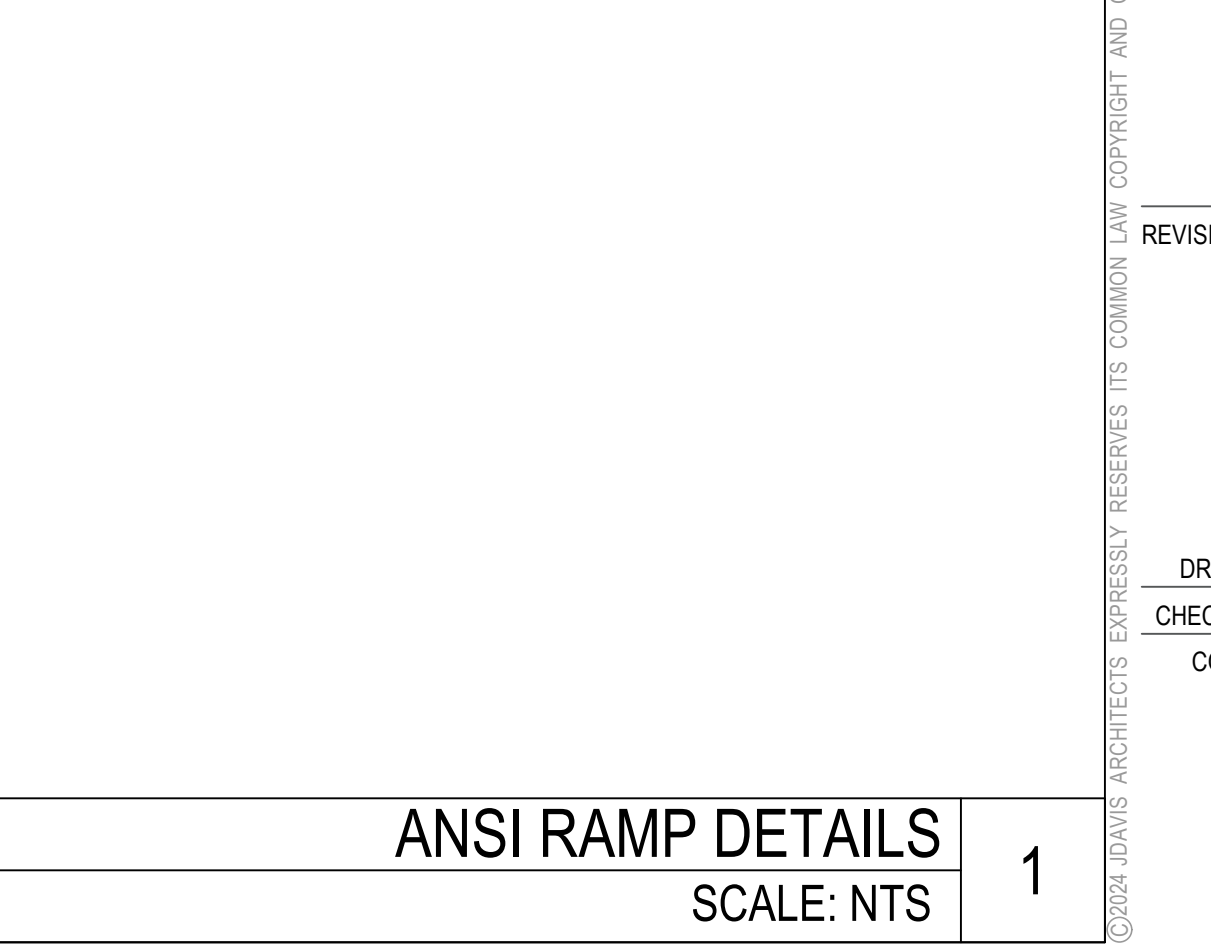
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

T-20.01.9



REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

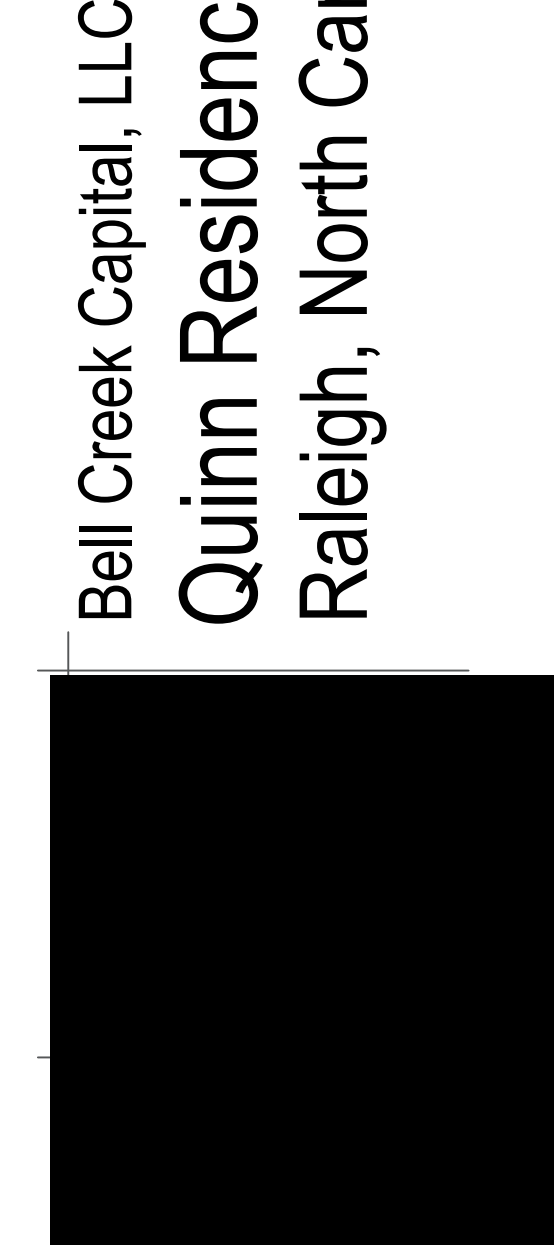
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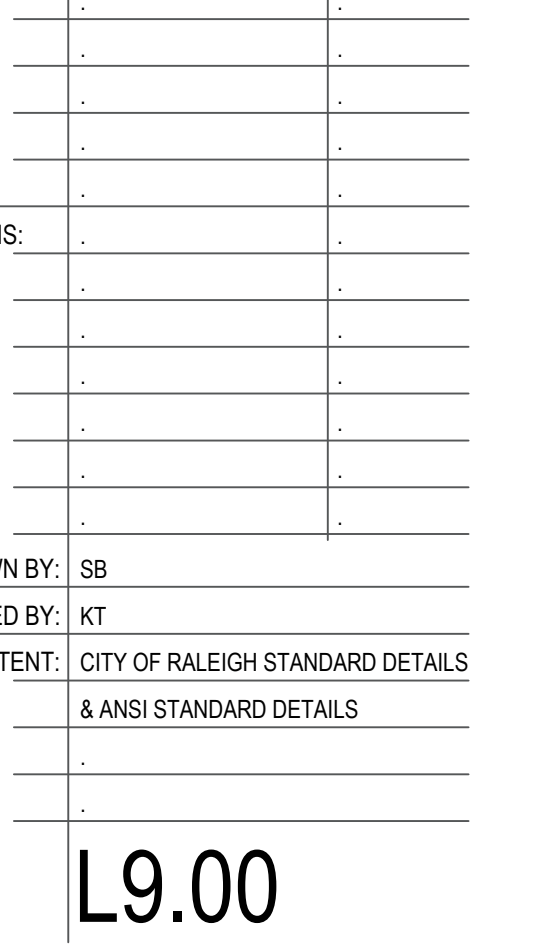
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REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

T-20.01.12



REVISIONS	DATE	BY	NOT TO SCALE
	05/01/2024		

CITY OF RALEIGH STANDARD DETAIL

T-20.01.13

8/1/2024 1:52 PM P:\246rc\34080_Edgenator-Pkg-9a\4c_LAND\DP1\DWG\34080-Edgenator-2-DT101-ASR.dwg

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Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina

ASR-XXXX-2024 (Admin. Site Review)
REFERENCE: Z-24-19, SCOPE-0029-2024, SUB-0025-2021

PROJECT: BCD-24080 DATE: 08.01.2024
ISSUE: Administrative Site Review
DRAWN BY: SB
CHECKED BY: KT
CONTENT: CITY OF RALEIGH STANDARD DETAILS & ANSI STANDARD DETAILS

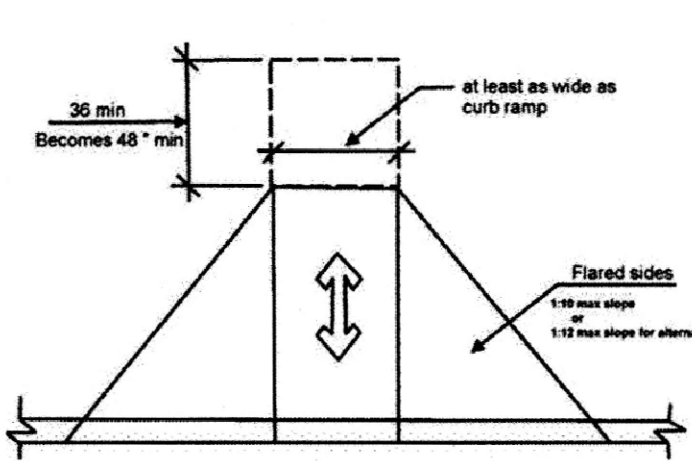
ANSI 406.3 Curb Ramps

Planning sidewalks so that pedestrians do not have to travel across the side flares of a curb cut is a preferable way to design your circulation path. Part of doing this is to locate curb cuts and curb ramps where they will not extend into pedestrian cross-traffic. While this is preferable, as the ANSI Commentary notes, it is not always feasible to do, particularly where existing sites do not allow the space that is required.

ONE NOTE OF CAUTION HERE: the 36" minimum dimension at the top becomes 48". The **NCBC 1104.2** requirement for a 48" exterior path of travel will always override the ANSI 36" exterior width dimension.

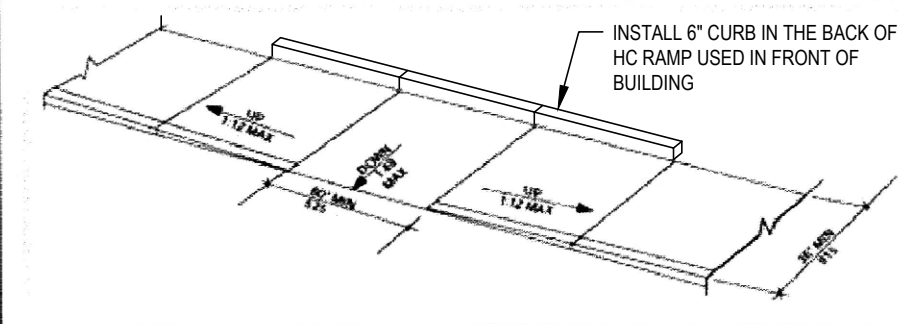
ANSI 406.7 does provide a saving grace for alterations:

EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.



ANSI Fig. C 406.7(a) Curb Ramp Option

2003 ANSI Commentary:
If there is not enough space to allow for a flat perpendicular route... an alternative would be to lower a portion of the sidewalk to be level with the parking or road surface, with a straight curb at both ends.



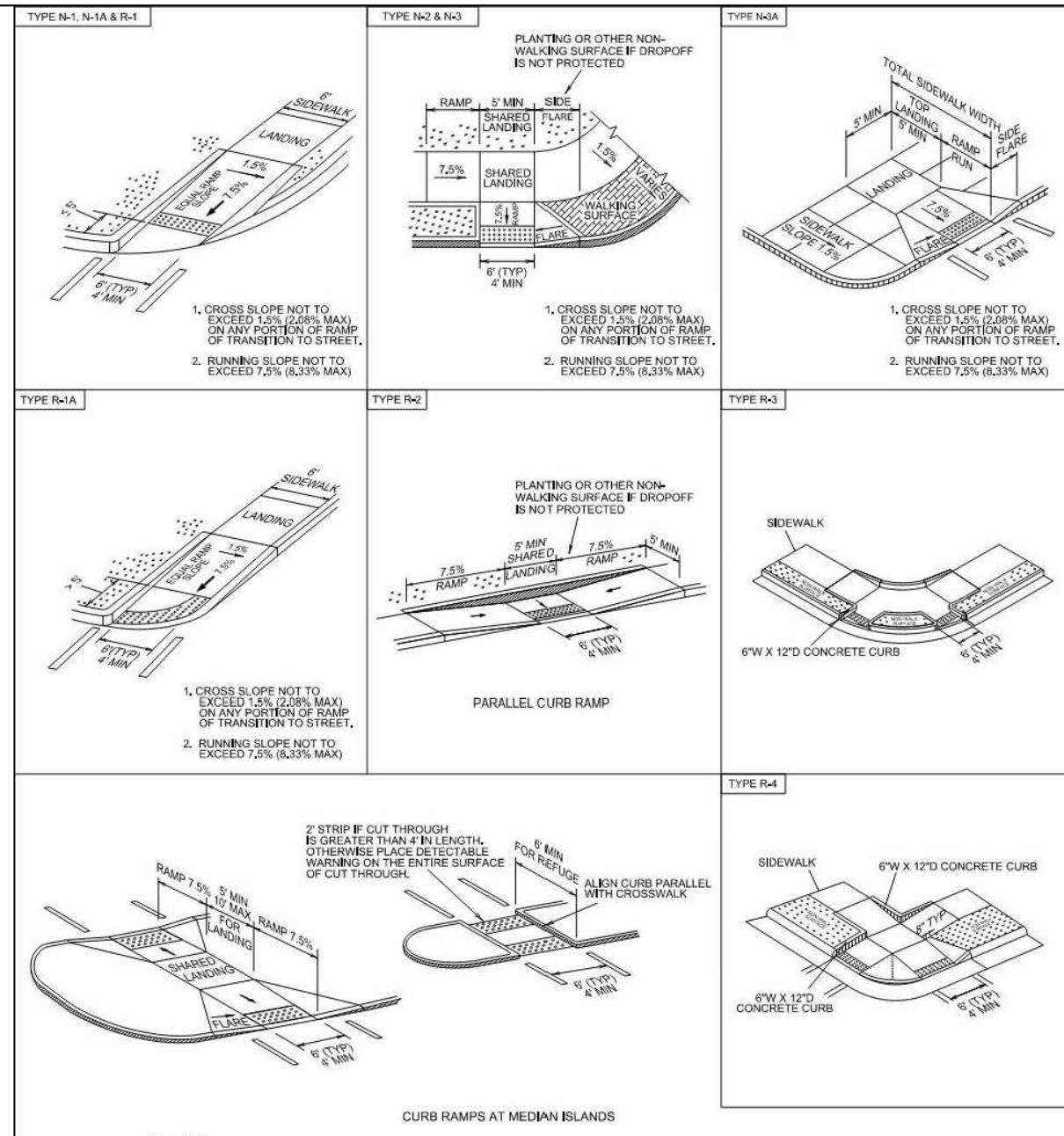
ANSI RAMP DETAILS
SCALE: NTS

L9.00

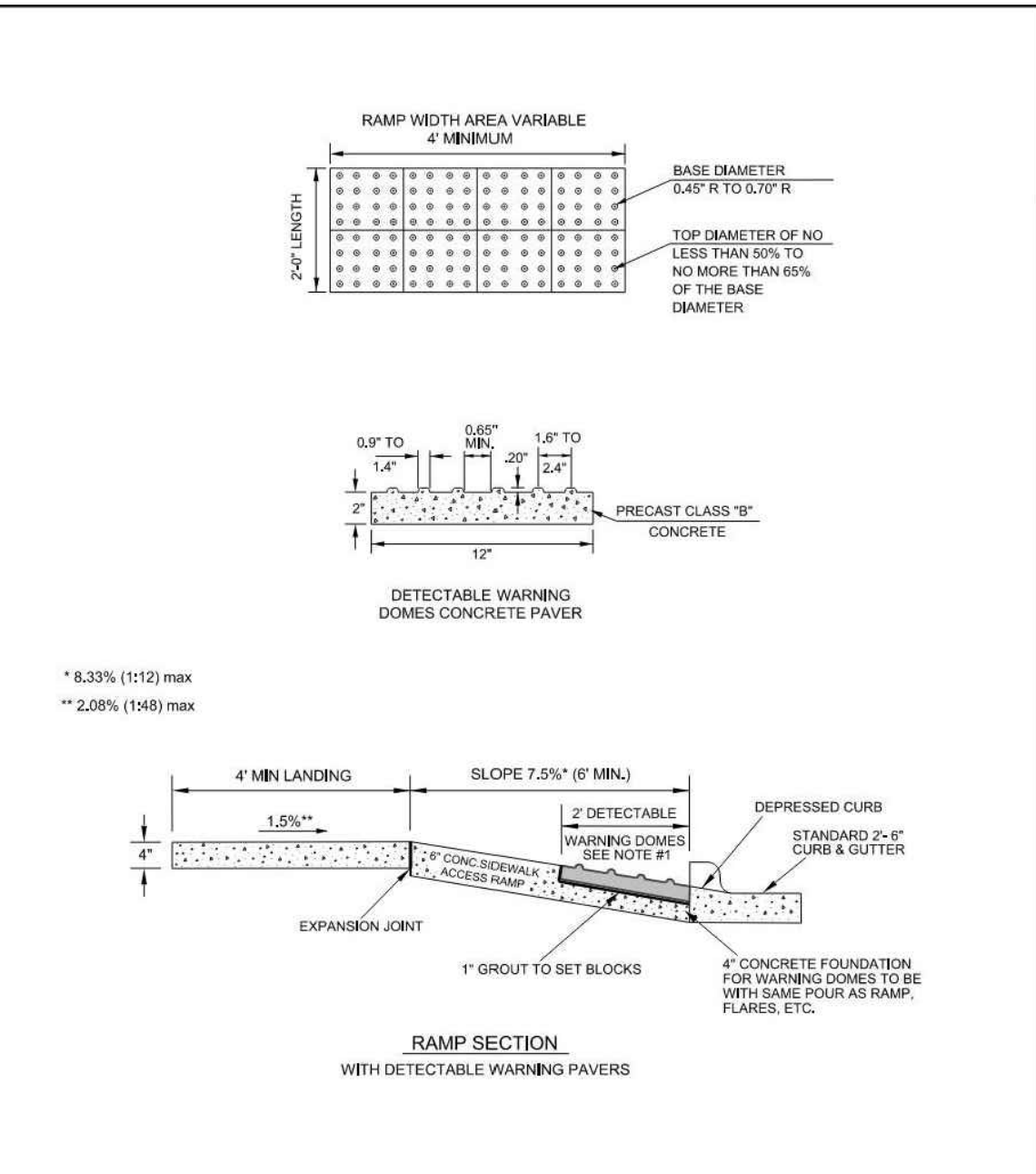
CITY OF RALEIGH
CURB RAMPS
GENERAL NOTES

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1 1/2" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

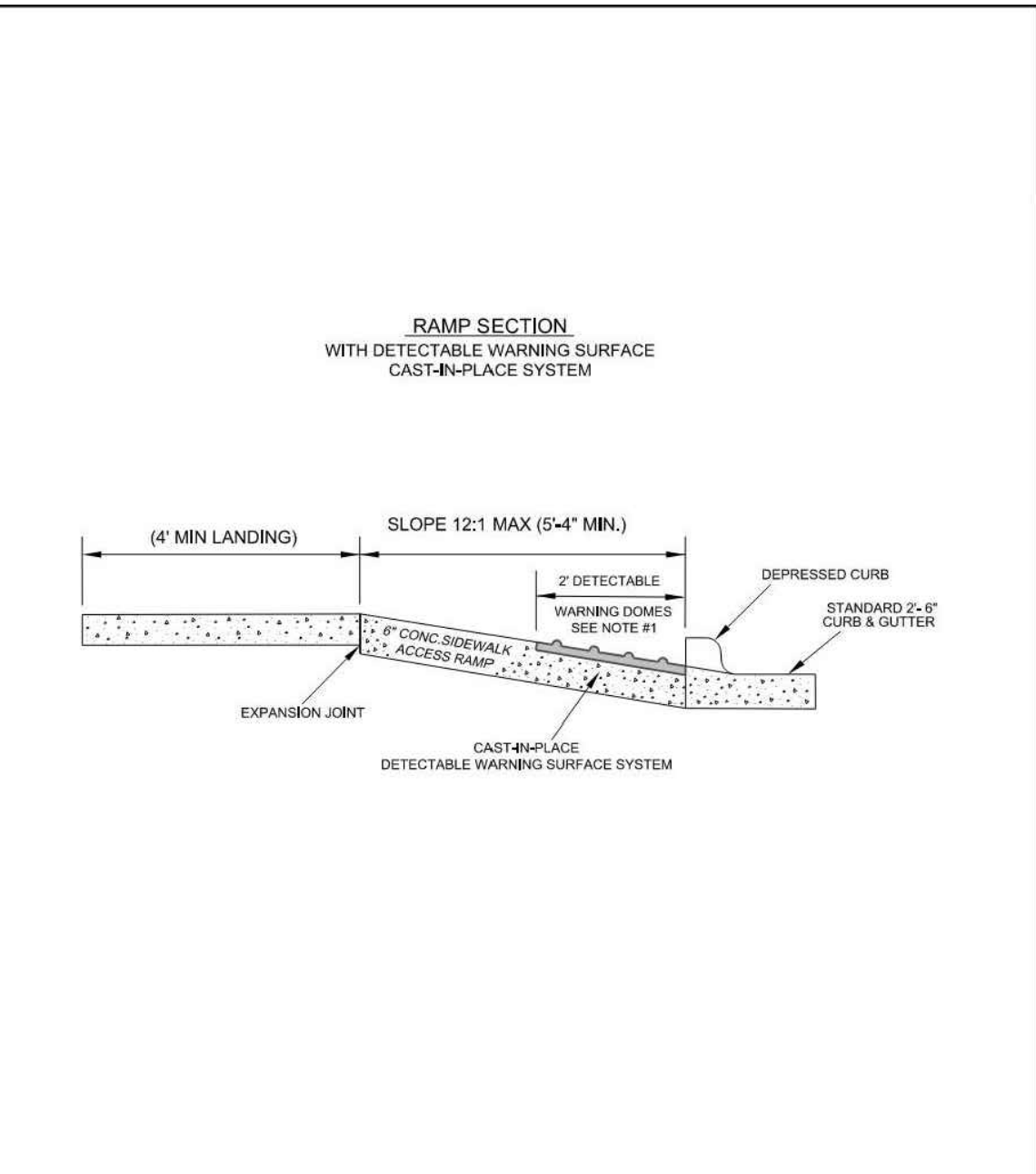
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CITY OF RALEIGH STANDARD DETAIL			
CURB RAMP NOTES			
T-20.01.8			



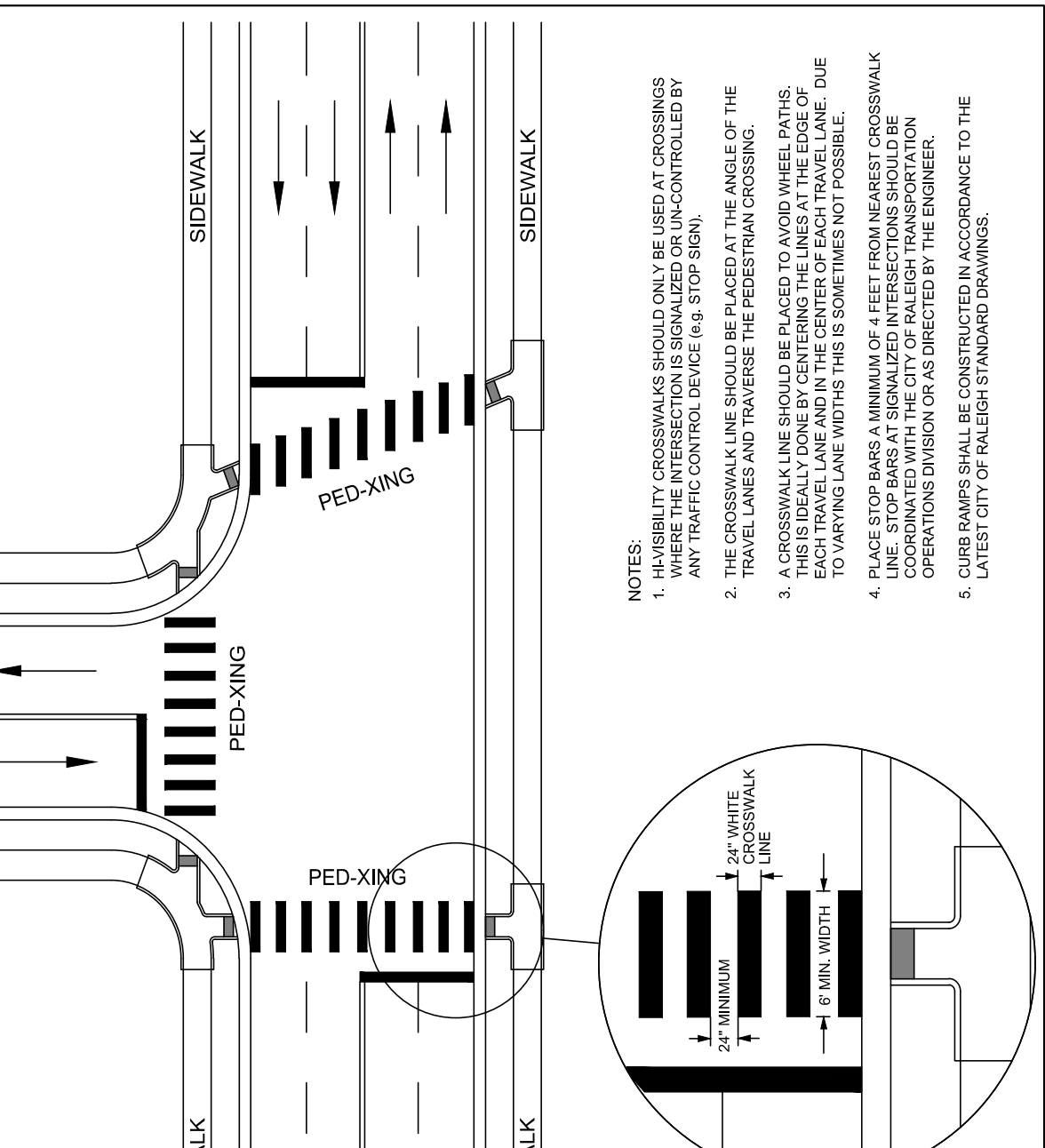
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CITY OF RALEIGH STANDARD DETAIL			
DETECTABLE WARNING SURFACE PLACEMENT			
T-20.04.1			



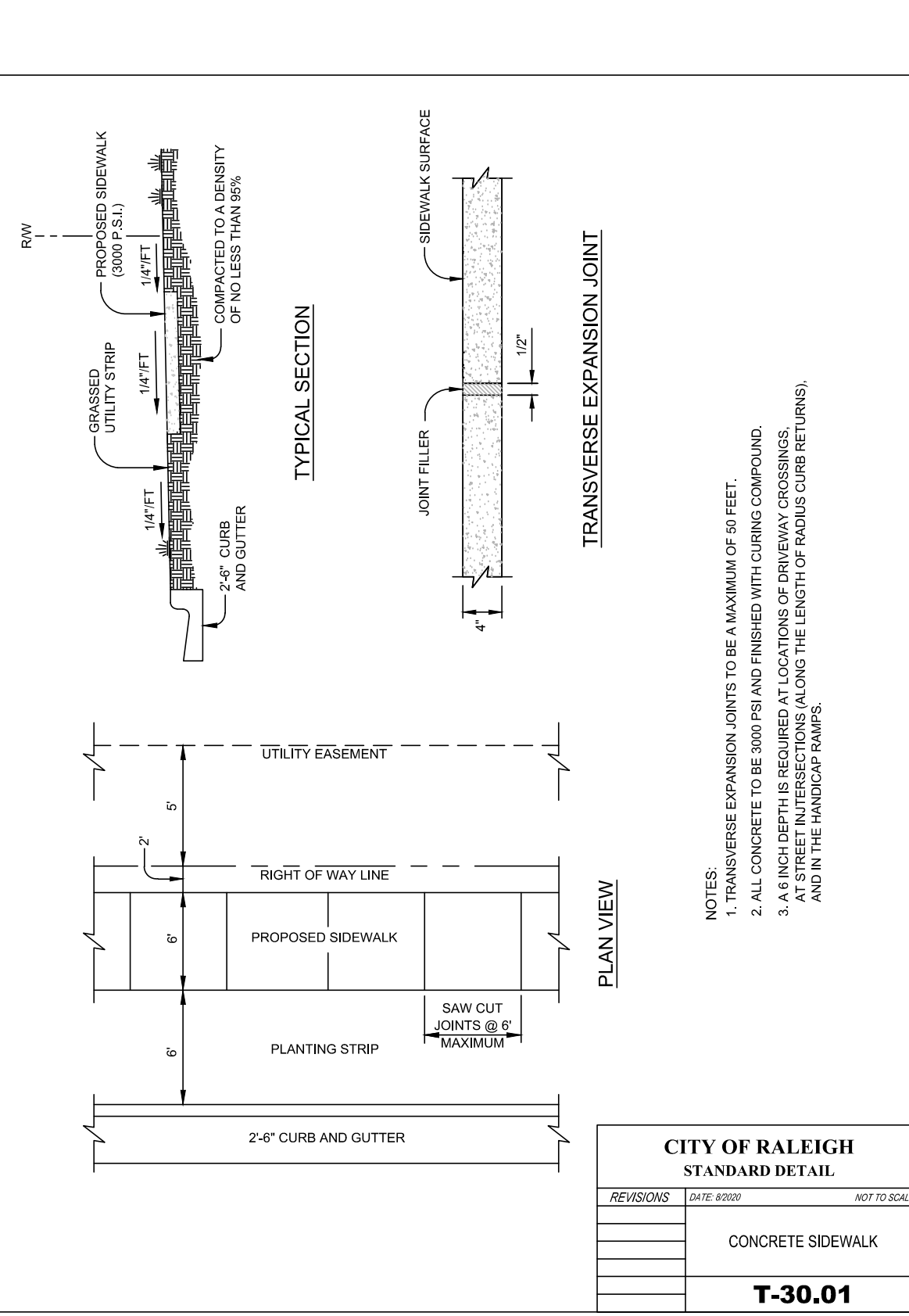
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CITY OF RALEIGH STANDARD DETAIL			
DETECTABLE WARNING SURFACE PAVERS			
T-20.04.2			



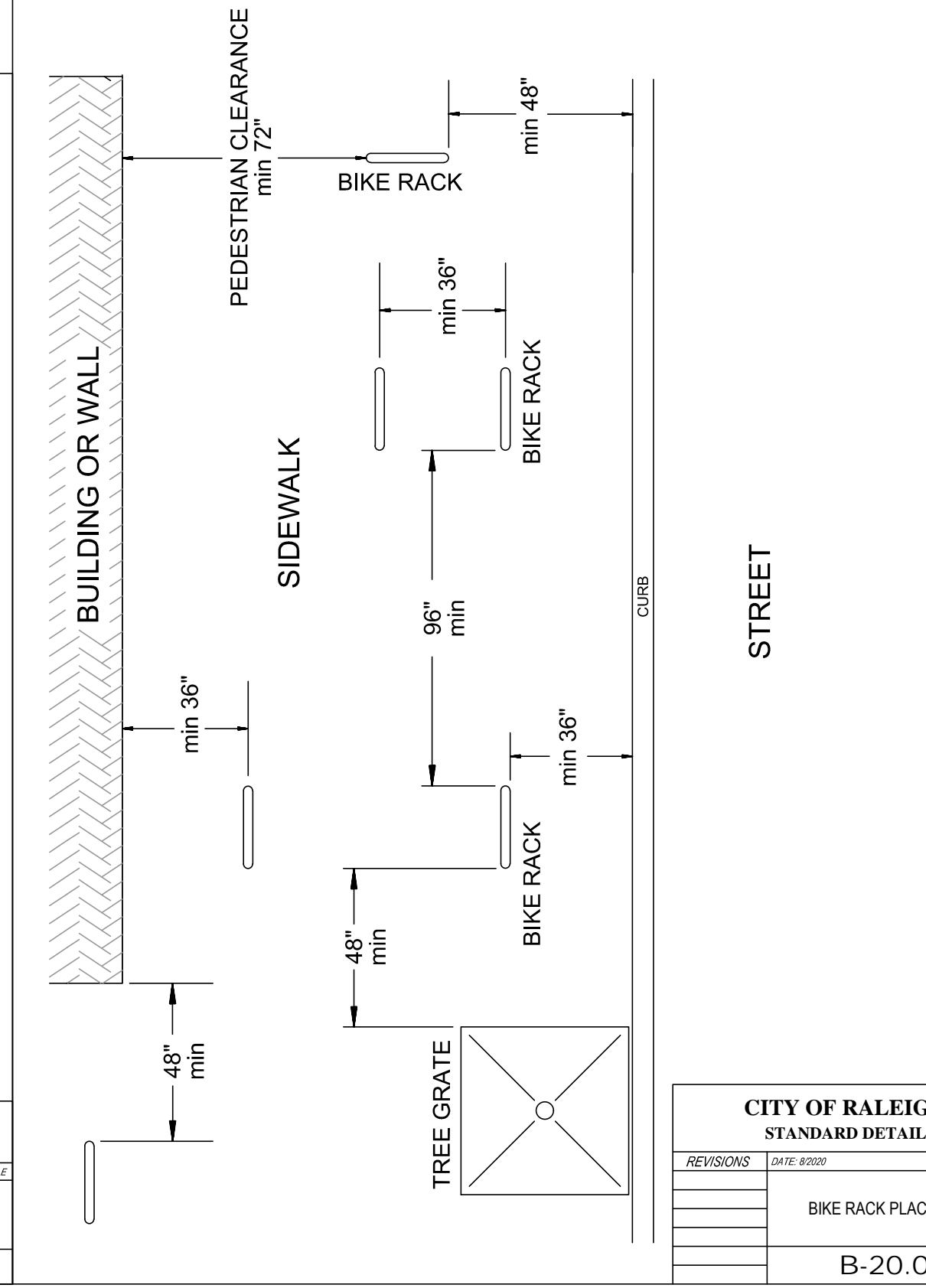
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CITY OF RALEIGH STANDARD DETAIL			
DETECTABLE WARNING SURFACE PAVERS			
T-20.04.4			



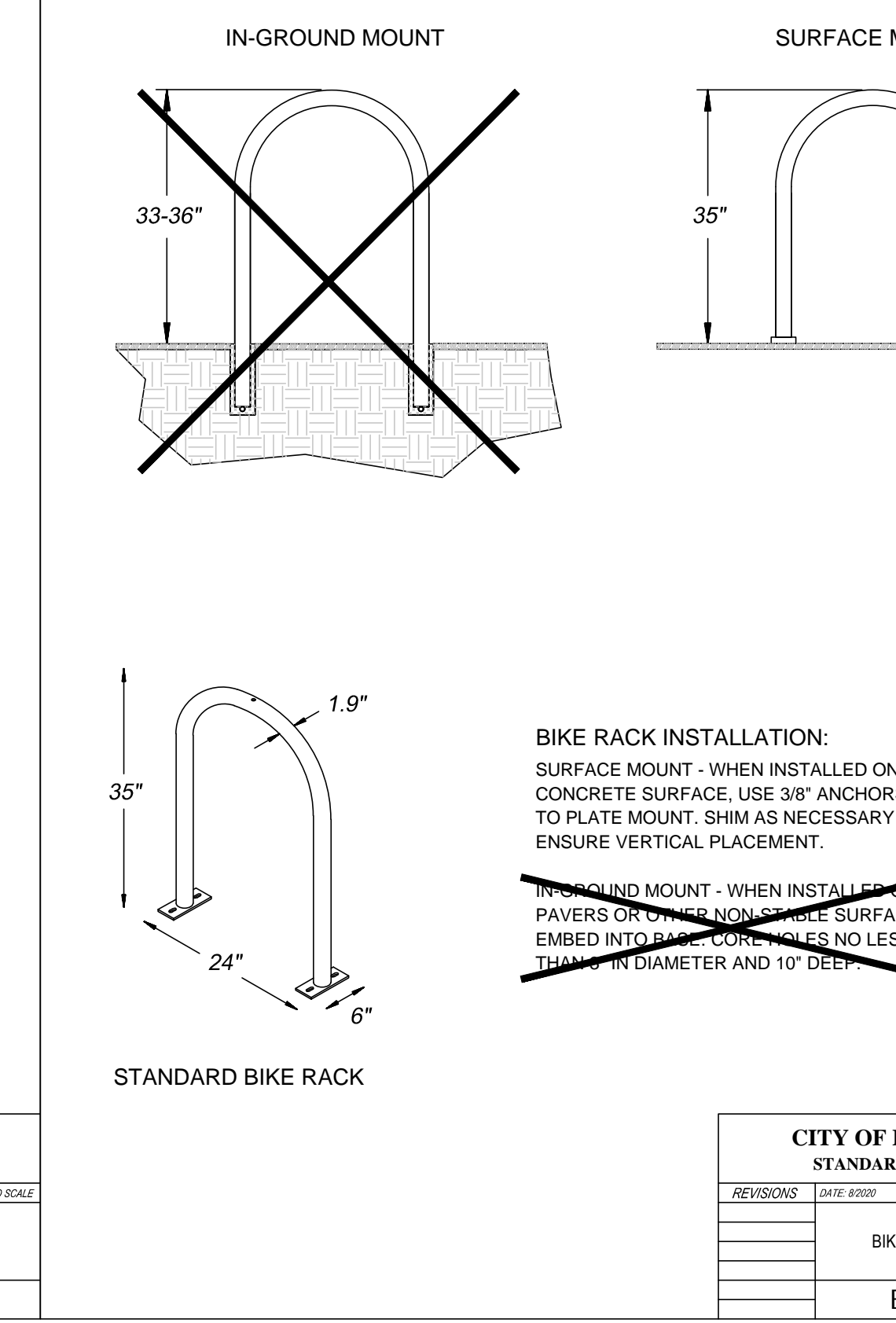
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CITY OF RALEIGH STANDARD DETAIL			
PAVEMENT MARKINGS VISIBILITY PEDESTRIAN CROSSWALK			
T-20.05			



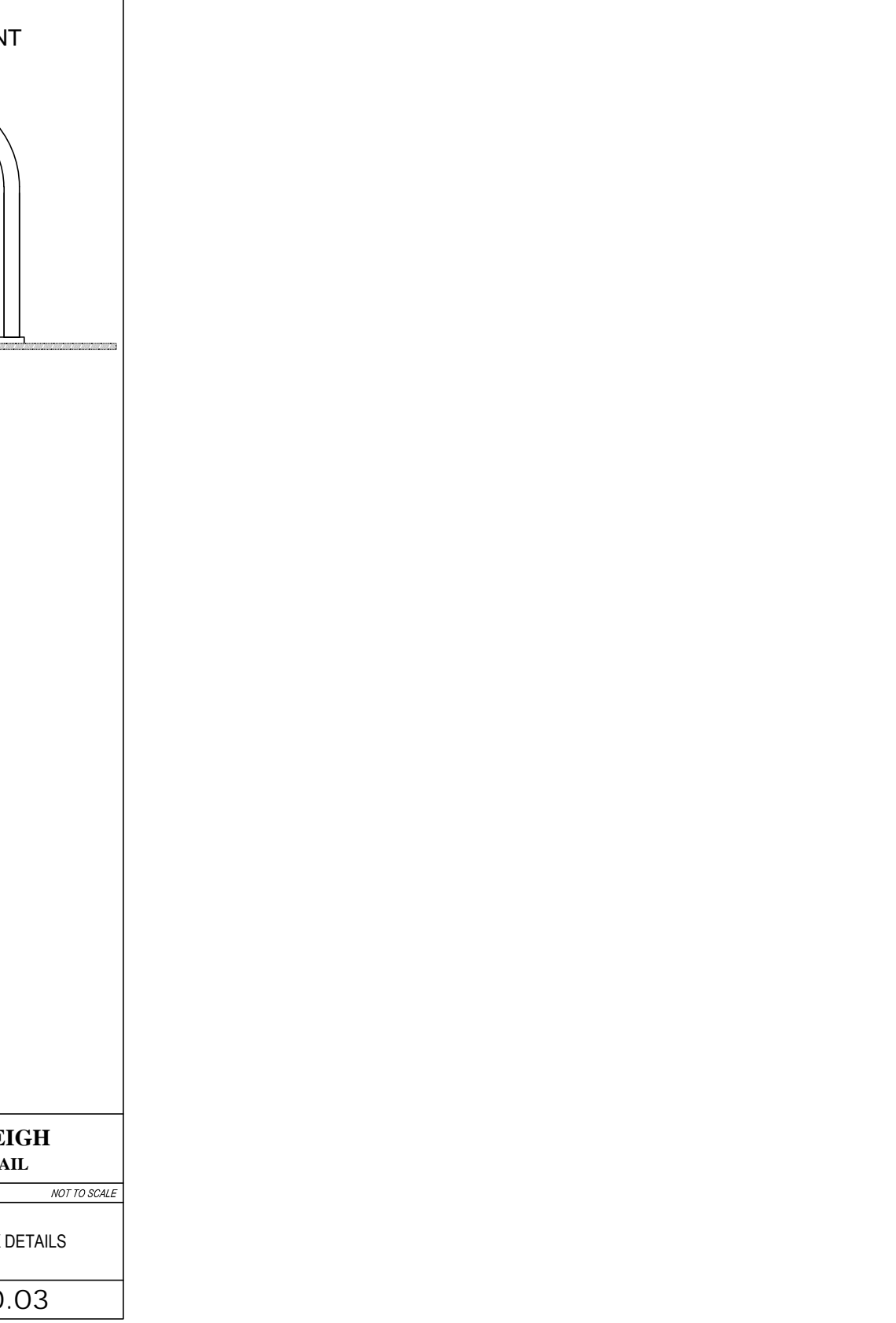
REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
CONCRETE SIDEWALK			
T-30.01			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
BIKE RACK PLACEMENT			
B-20.01			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
BIKE RACK DETAILS			
B-20.03			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
BIKE RACK DETAILS			
B-20.03			



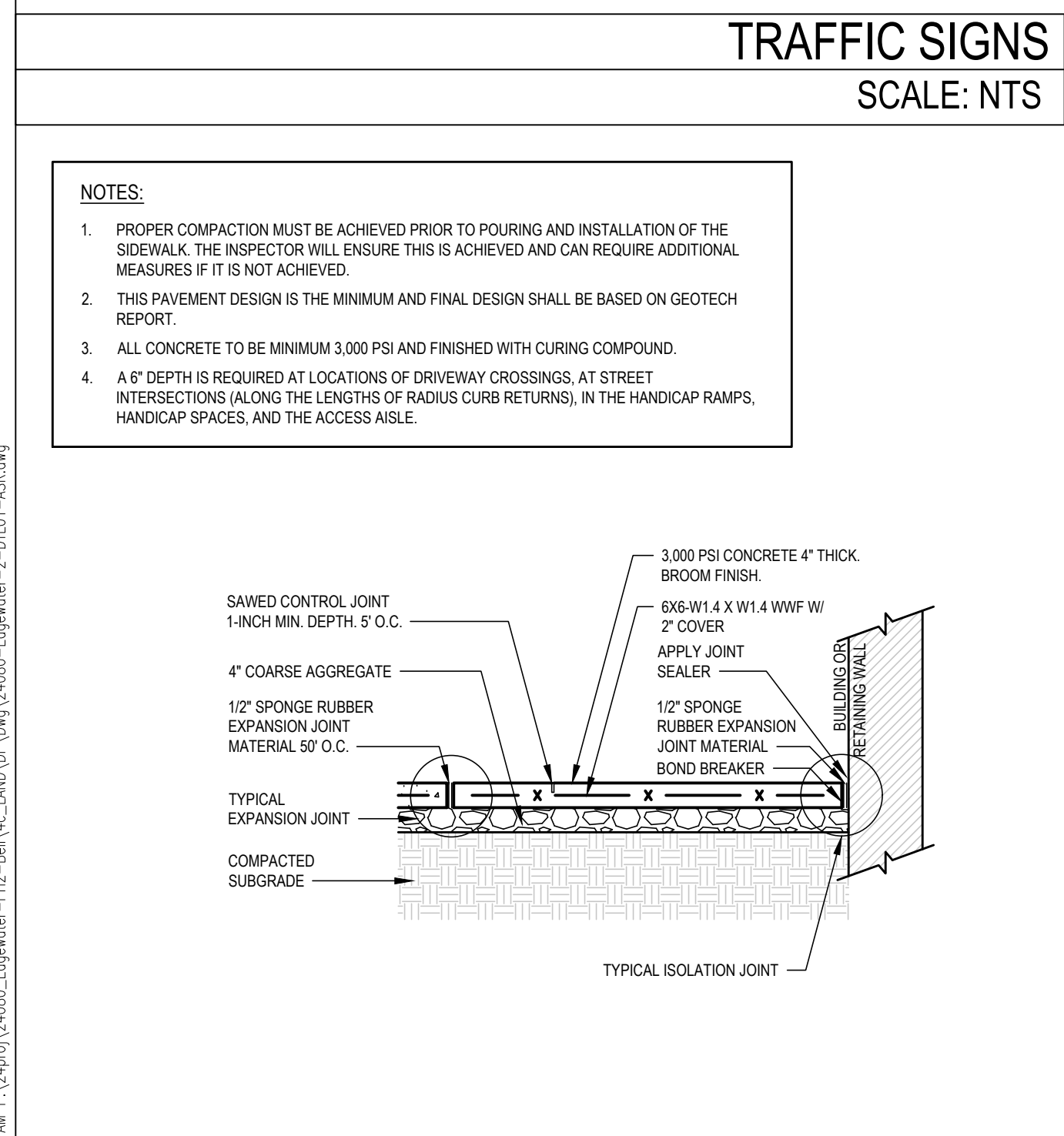
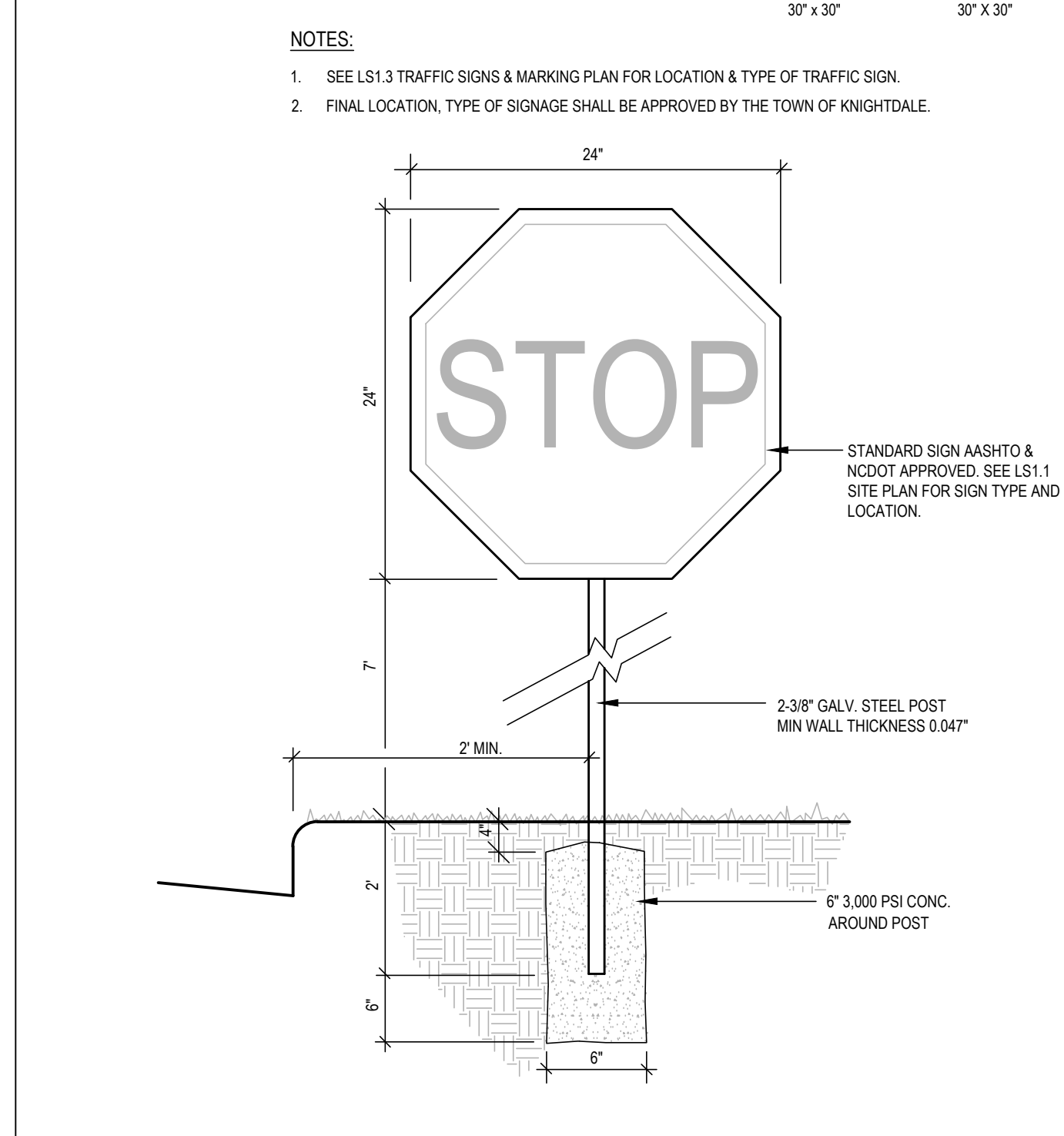
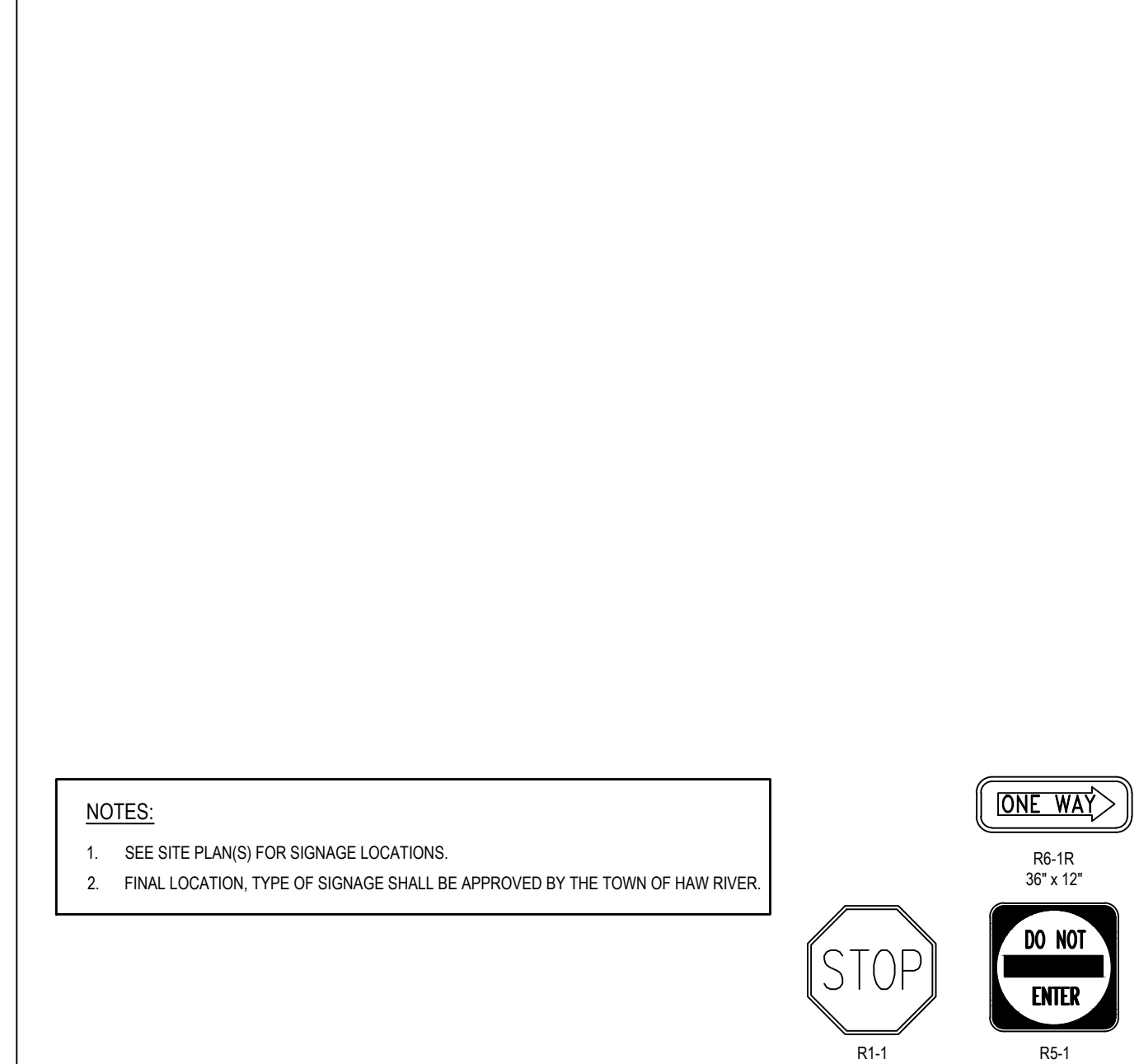
REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
CONCRETE SIDEWALK			
T-30.01			

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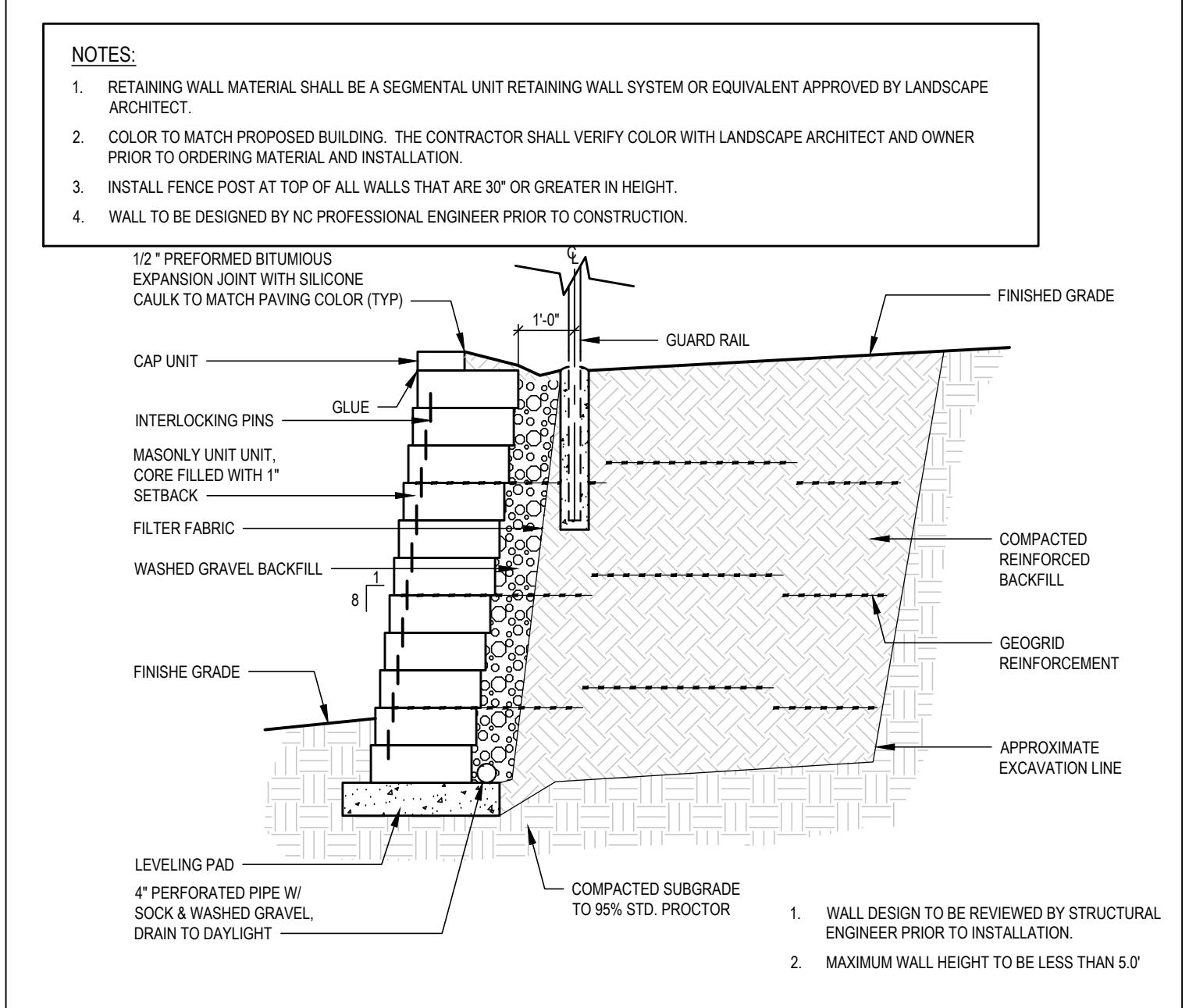
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1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121
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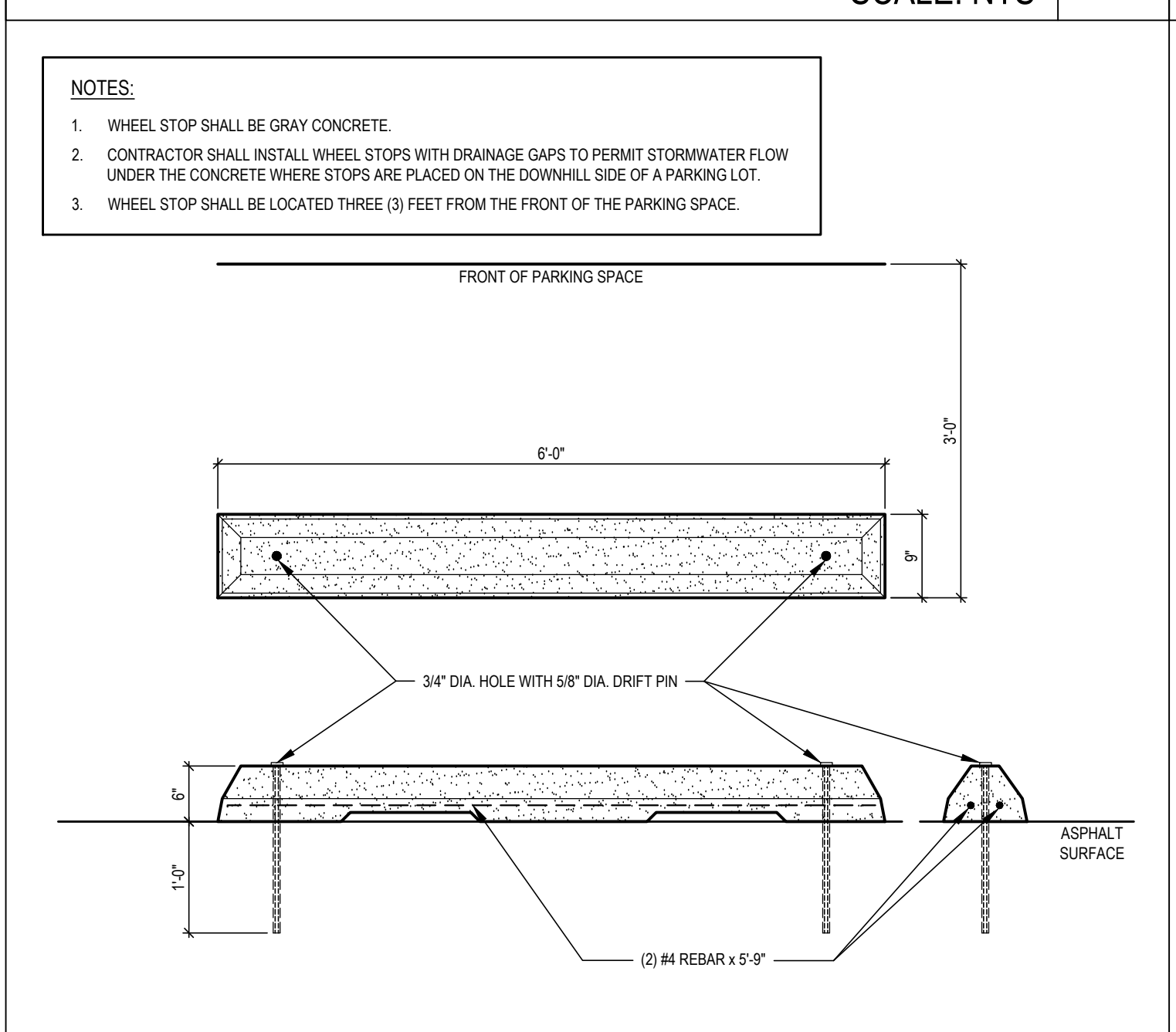
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ISSUE:	Administrative Site Review	08.01.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	CITY OF RALEIGH STANDARD DETAILS		



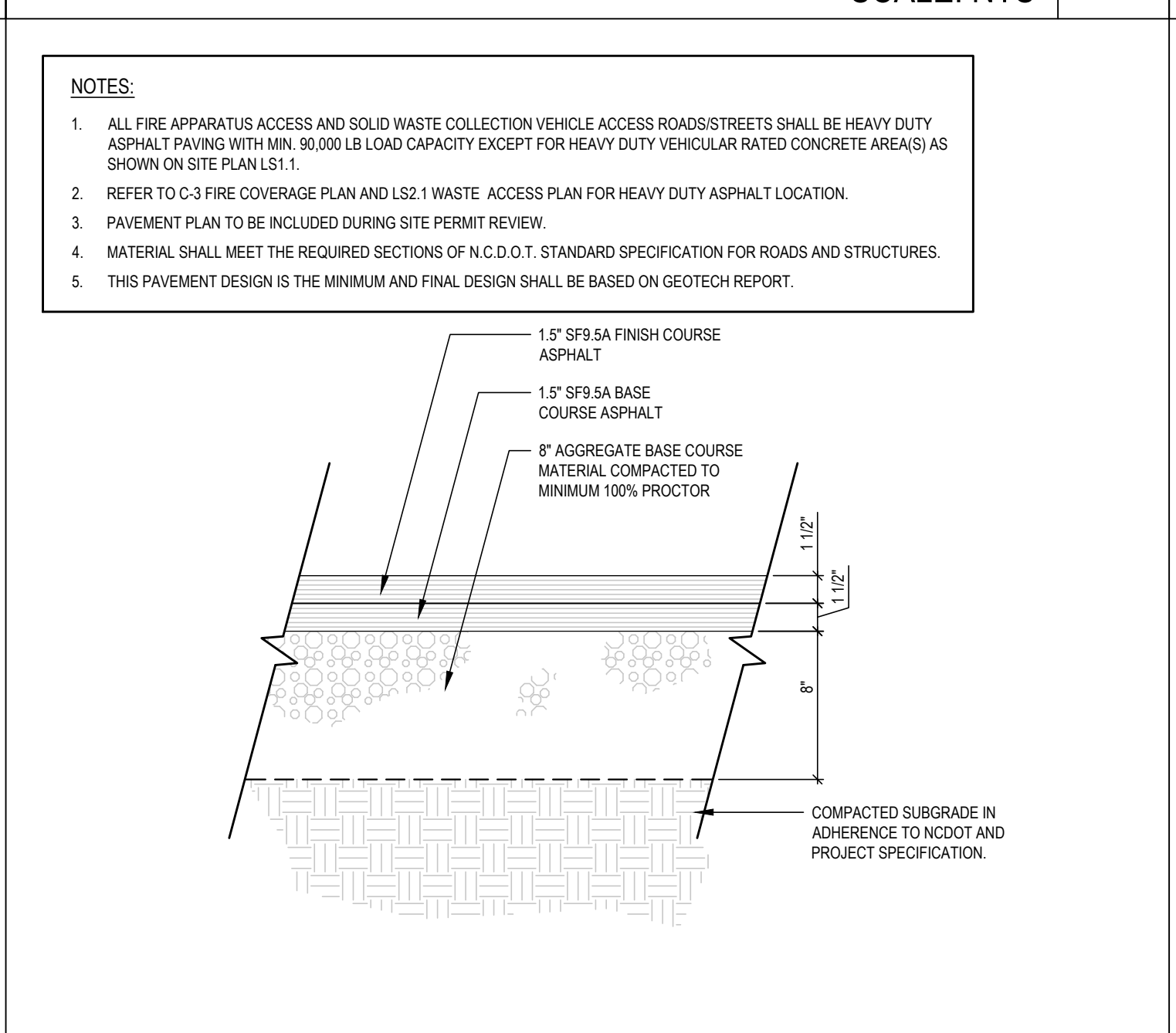
4" CONCRETE SIDEWALK
SCALE: NTS 3



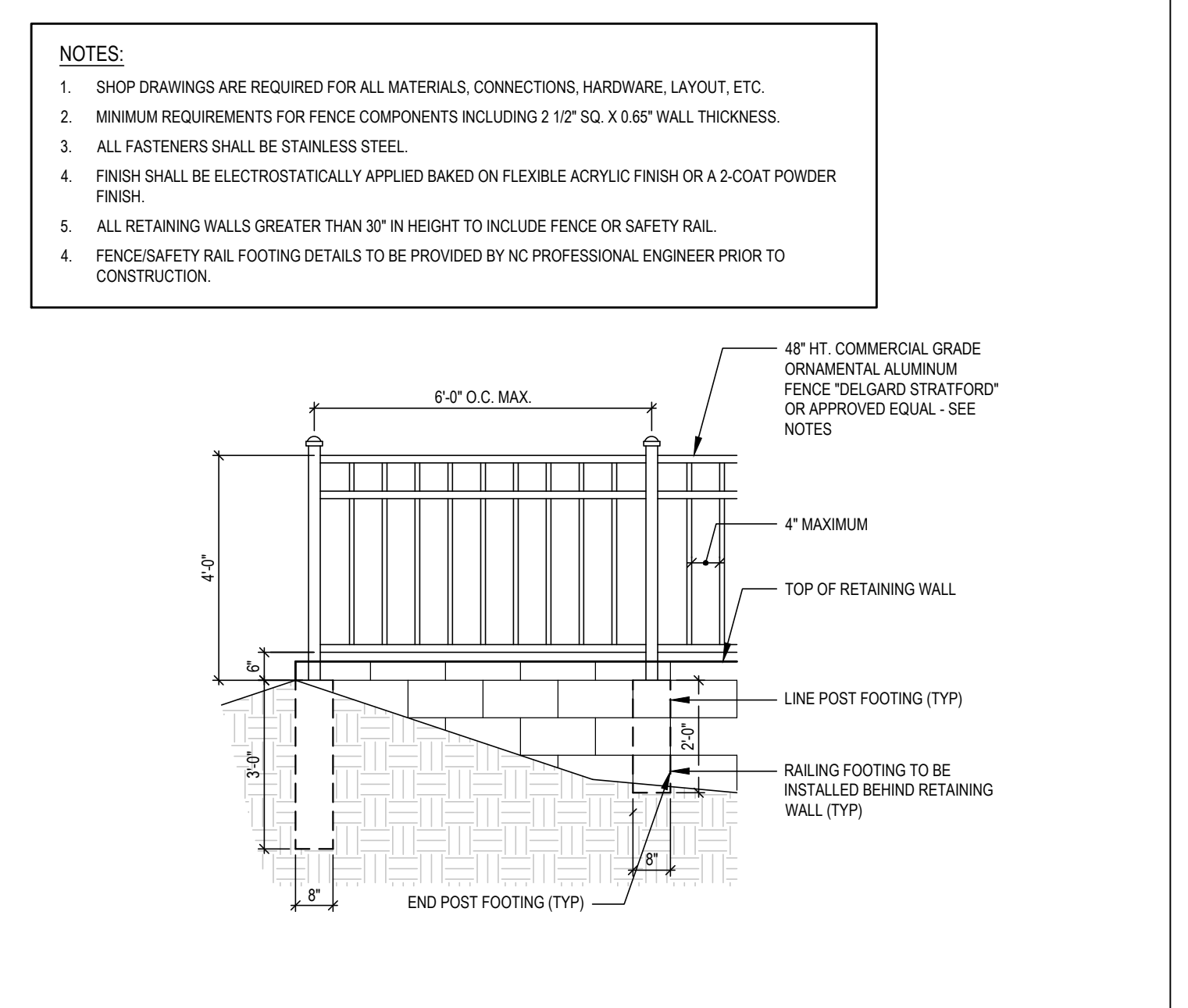
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SCALE: NTS 10



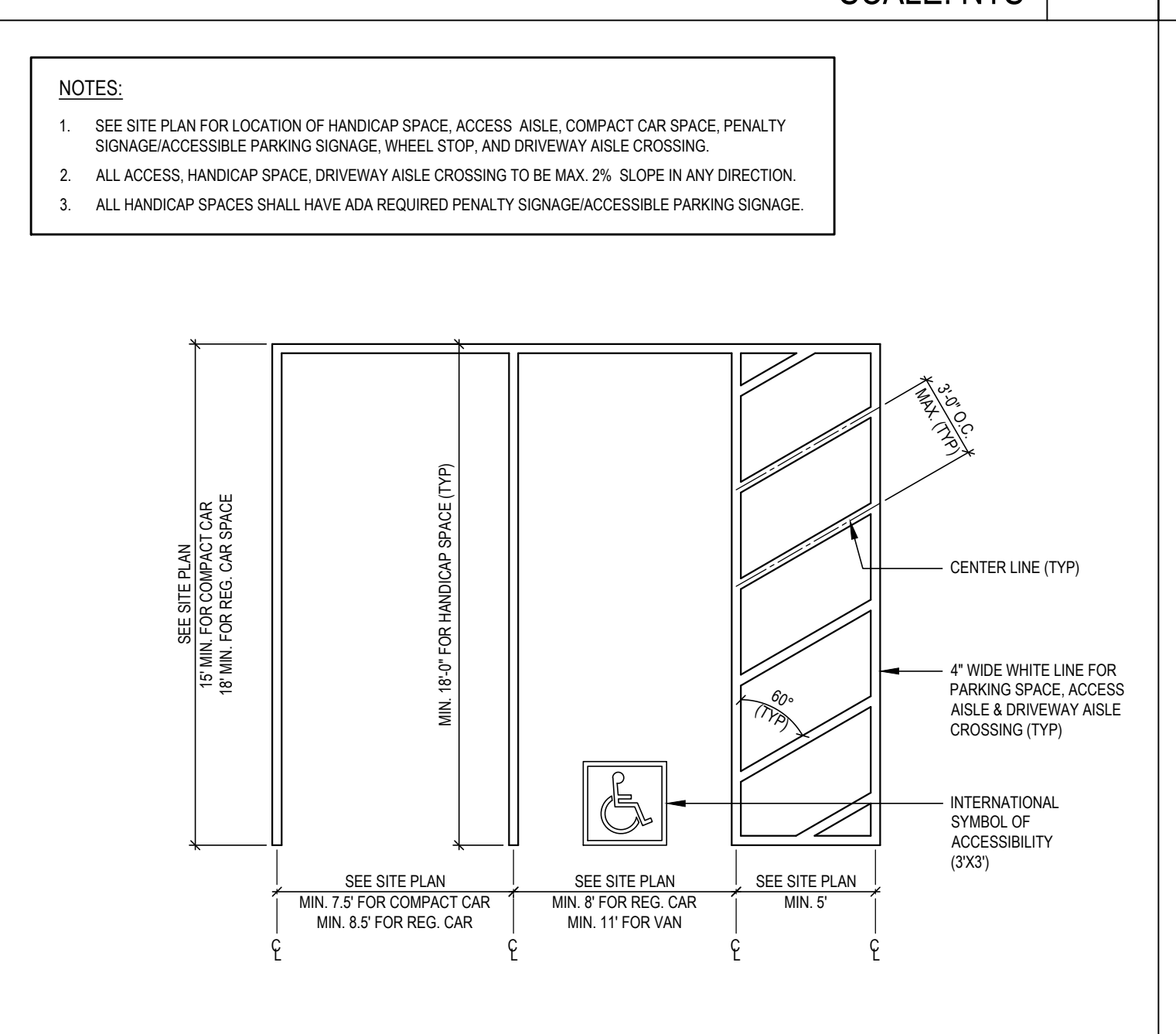
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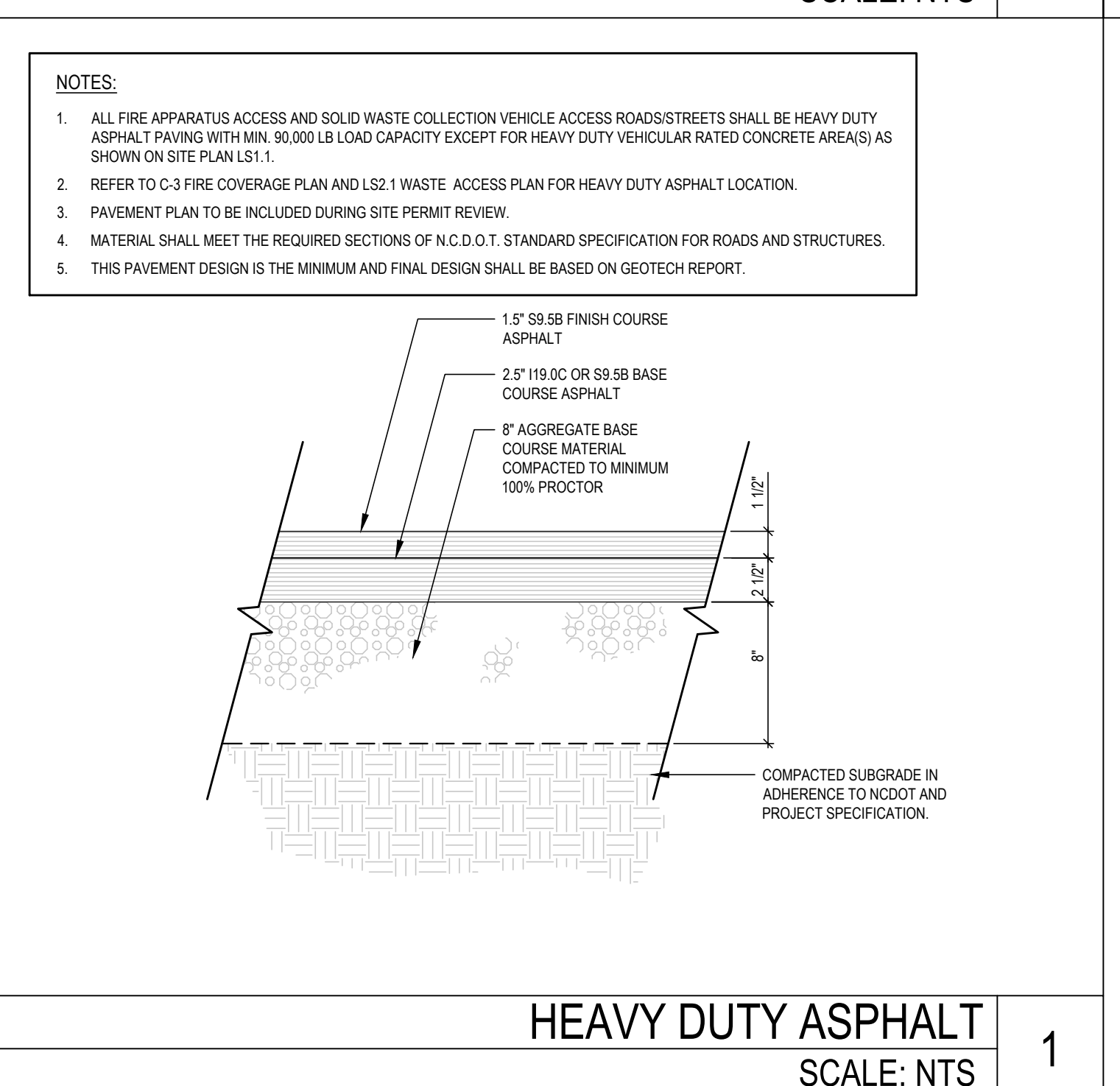
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SCALE: NTS 2



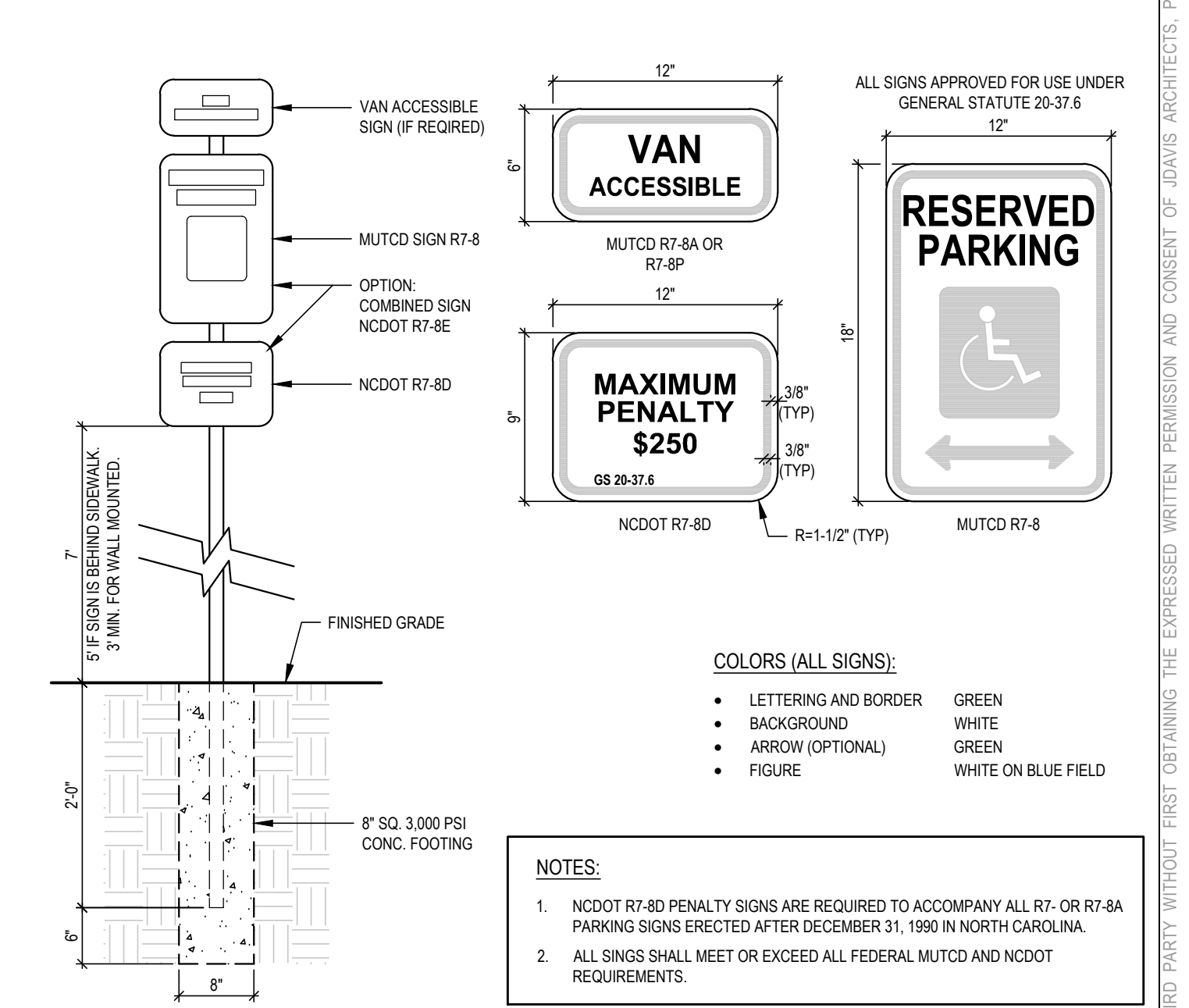
HEAVY DUTY ASPHALT
SCALE: NTS 1



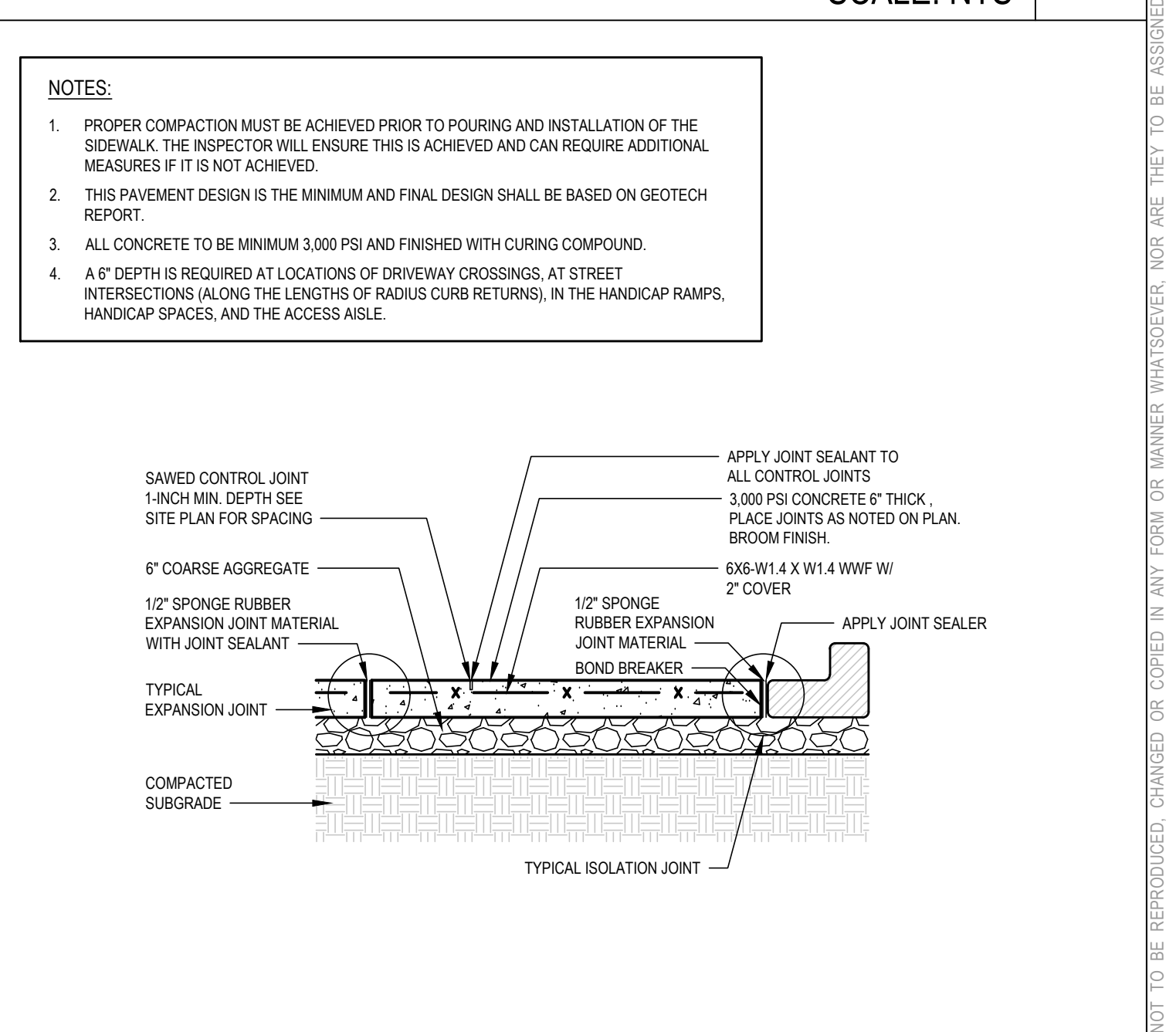
PARKING MARKING
SCALE: NTS 5



HANDICAP SIGNAGE
SCALE: NTS 8



VEHICULAR RATED CONC. PAVEMENT
SCALE: NTS 4



HEAVY DUTY ASPHALT
SCALE: NTS 1



TYPICAL SEGMENTAL RETAINING WALL
SCALE: NTS 10

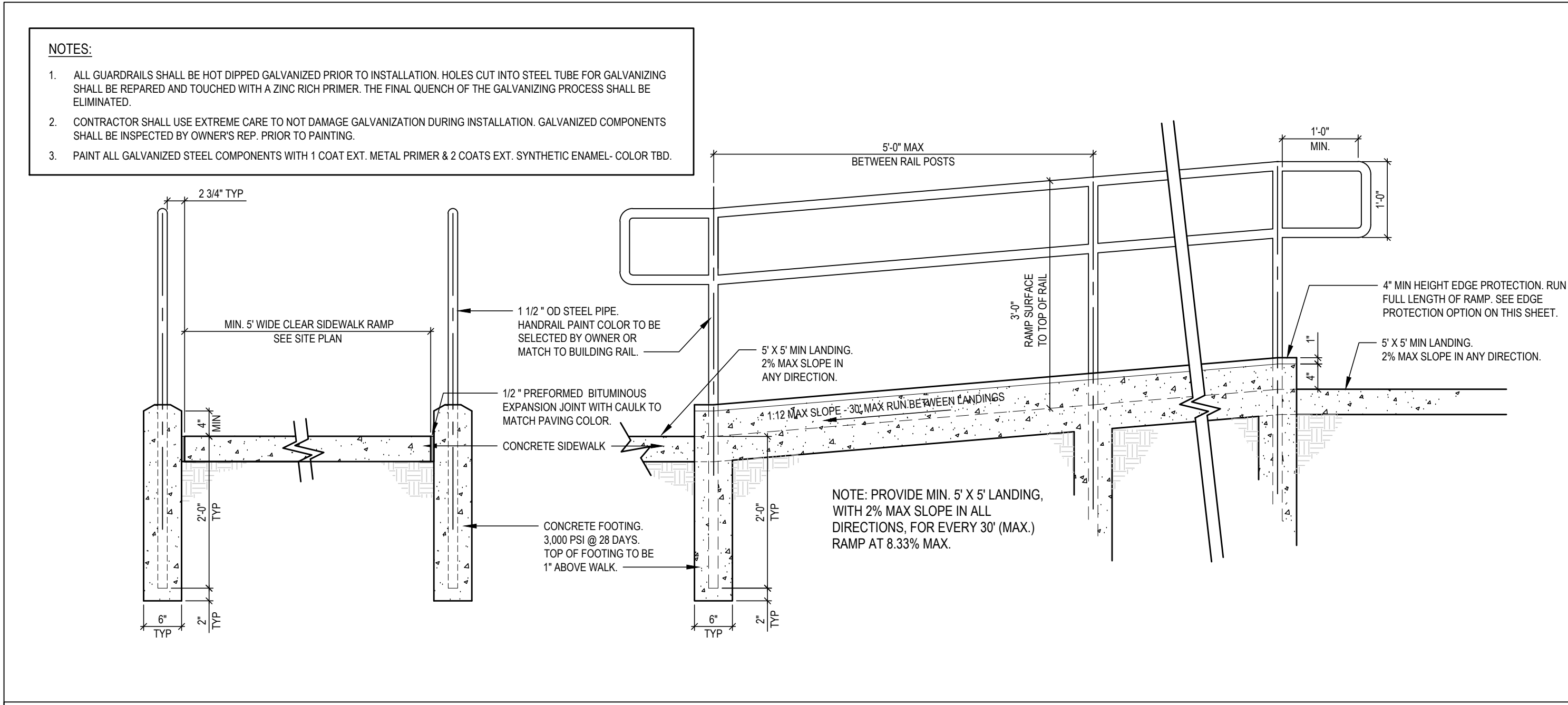
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1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121
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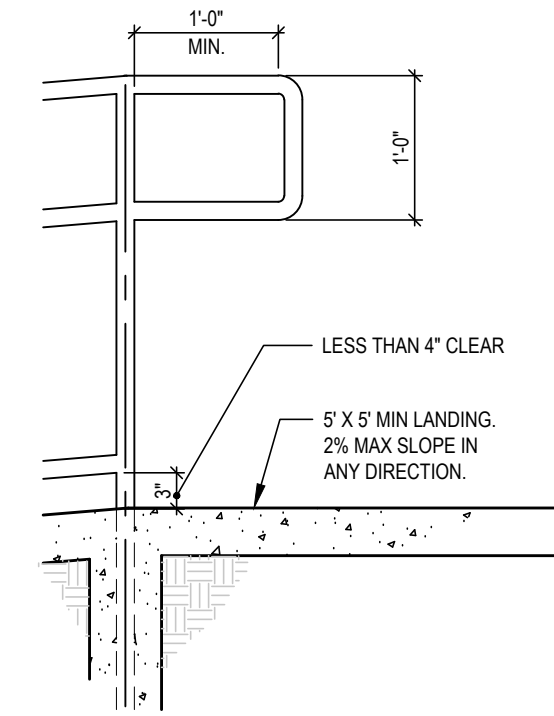
PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	DATE:	08.01.2024
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	SITE DETAILS		

L9.02



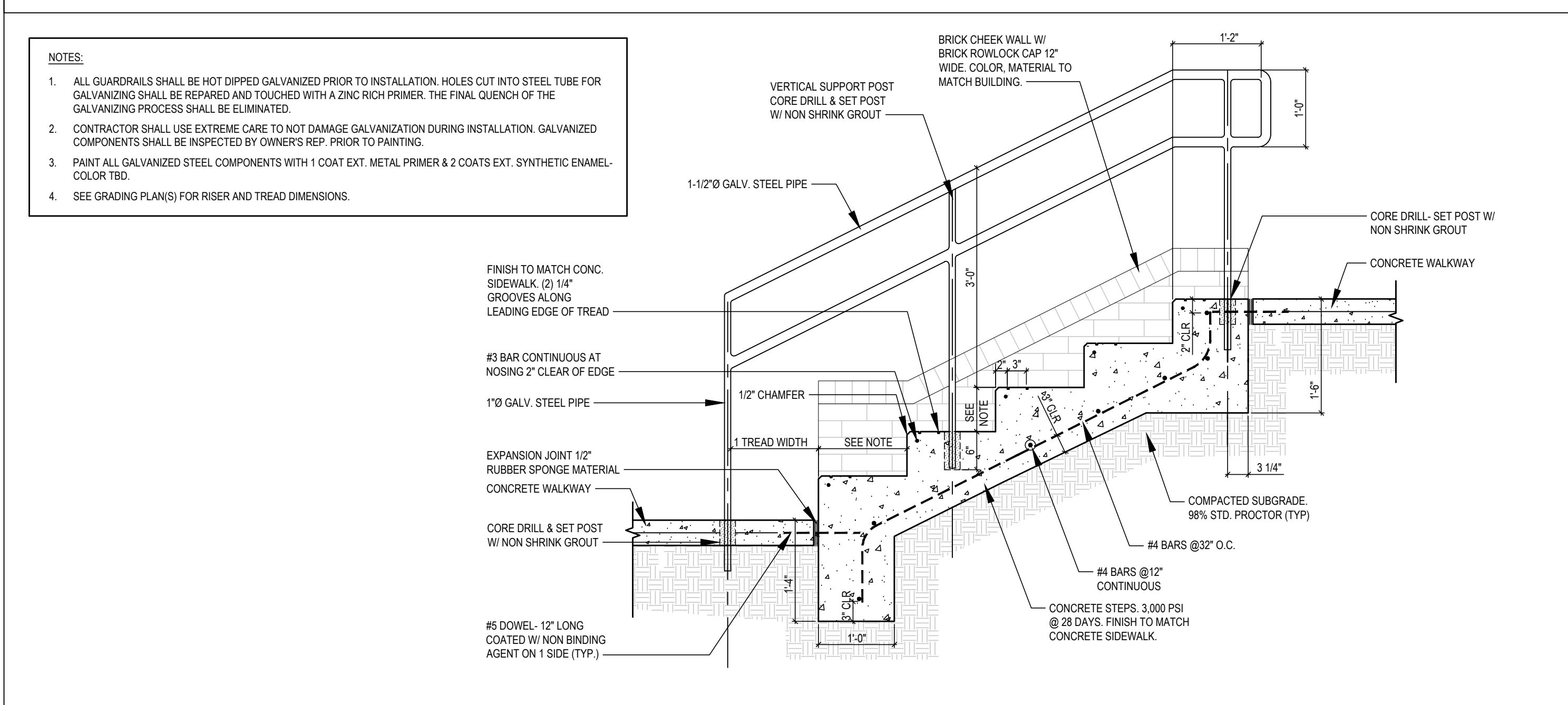
- NOTES:**
1. ALL GUARDRAILS SHALL BE HOT DIPPED GALVANIZED PRIOR TO INSTALLATION. HOLES CUT INTO STEEL TUBE FOR GALVANIZING SHALL BE REPAIRED AND TOUCHED WITH A ZINC RICH PRIMER. THE FINAL QUENCH OF THE GALVANIZING PROCESS SHALL BE ELIMINATED.
 2. CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE GALVANIZATION DURING INSTALLATION. GALVANIZED COMPONENTS SHALL BE INSPECTED BY OWNER'S REP. PRIOR TO PAINTING.
 3. PAINT ALL GALVANIZED STEEL COMPONENTS WITH 1 COAT EXT. METAL PRIMER & 2 COATS EXT. SYNTHETIC ENAMEL- COLOR TBD.

- EDGE PROTECTION OPTION:**
1. PROVIDE BAR AT BOTTOM OF RAILING WITH LESS THAN 4" CLEARANCE AS EDGE PROTECTION.



TYPICAL RAMP AND RAILINGS
SCALE: NTS

2



- NOTES:**
1. ALL GUARDRAILS SHALL BE HOT DIPPED GALVANIZED PRIOR TO INSTALLATION. HOLES CUT INTO STEEL TUBE FOR GALVANIZING SHALL BE REPAIRED AND TOUCHED WITH A ZINC RICH PRIMER. THE FINAL QUENCH OF THE GALVANIZING PROCESS SHALL BE ELIMINATED.
 2. CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE GALVANIZATION DURING INSTALLATION. GALVANIZED COMPONENTS SHALL BE INSPECTED BY OWNER'S REP. PRIOR TO PAINTING.
 3. PAINT ALL GALVANIZED STEEL COMPONENTS WITH 1 COAT EXT. METAL PRIMER & 2 COATS EXT. SYNTHETIC ENAMEL- COLOR TBD.
 4. SEE GRADING PLAN(S) FOR RISER AND TREAD DIMENSIONS.

TYPICAL CONCRETE STEPS, CHEEKWALL, & RAILING
SCALE: NTS

1

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	BCD-24080	DATE
ISSUE:	Administrative Site Review	08.01.2024
REVISIONS:		
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	SITE DETAILS	

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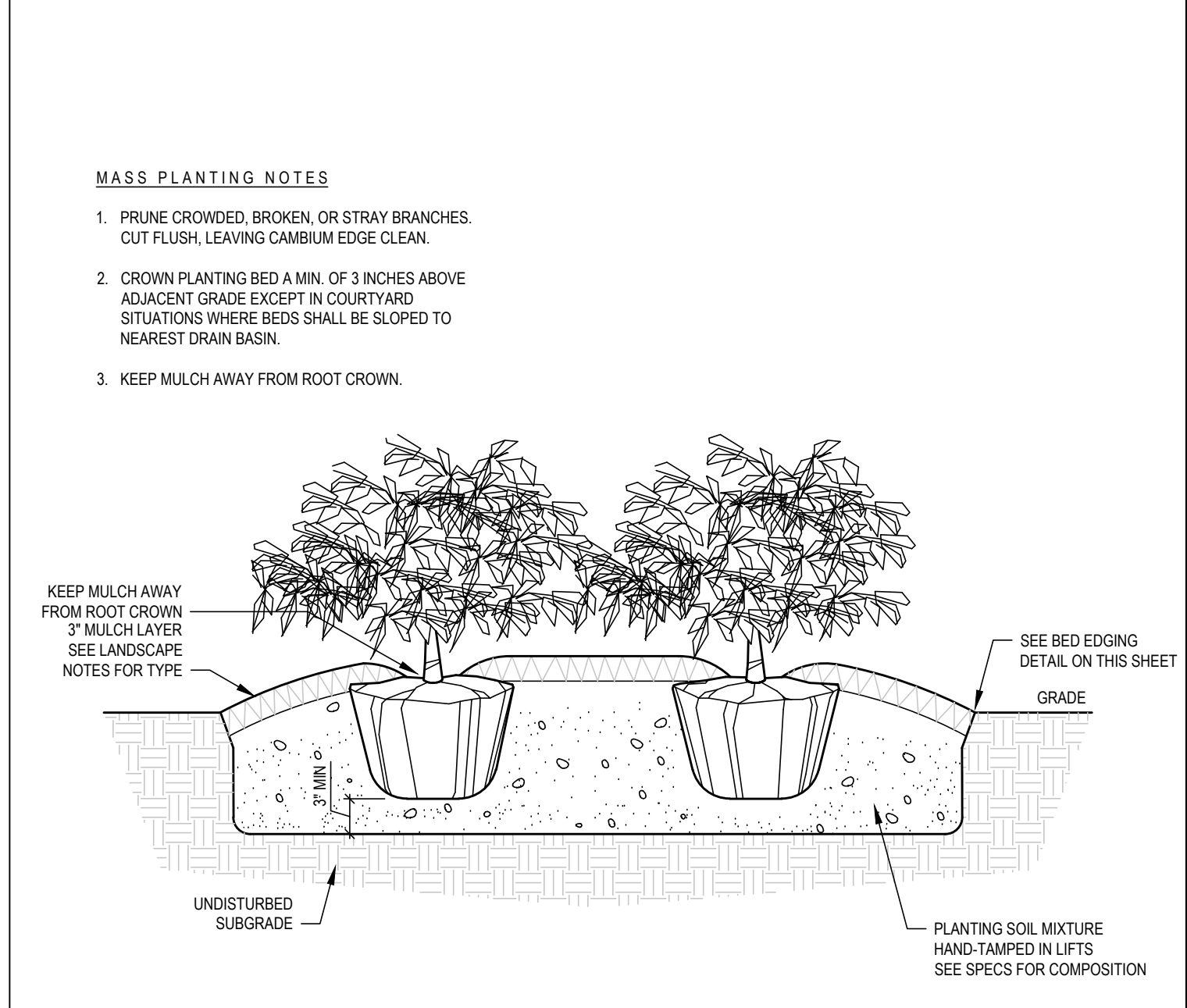
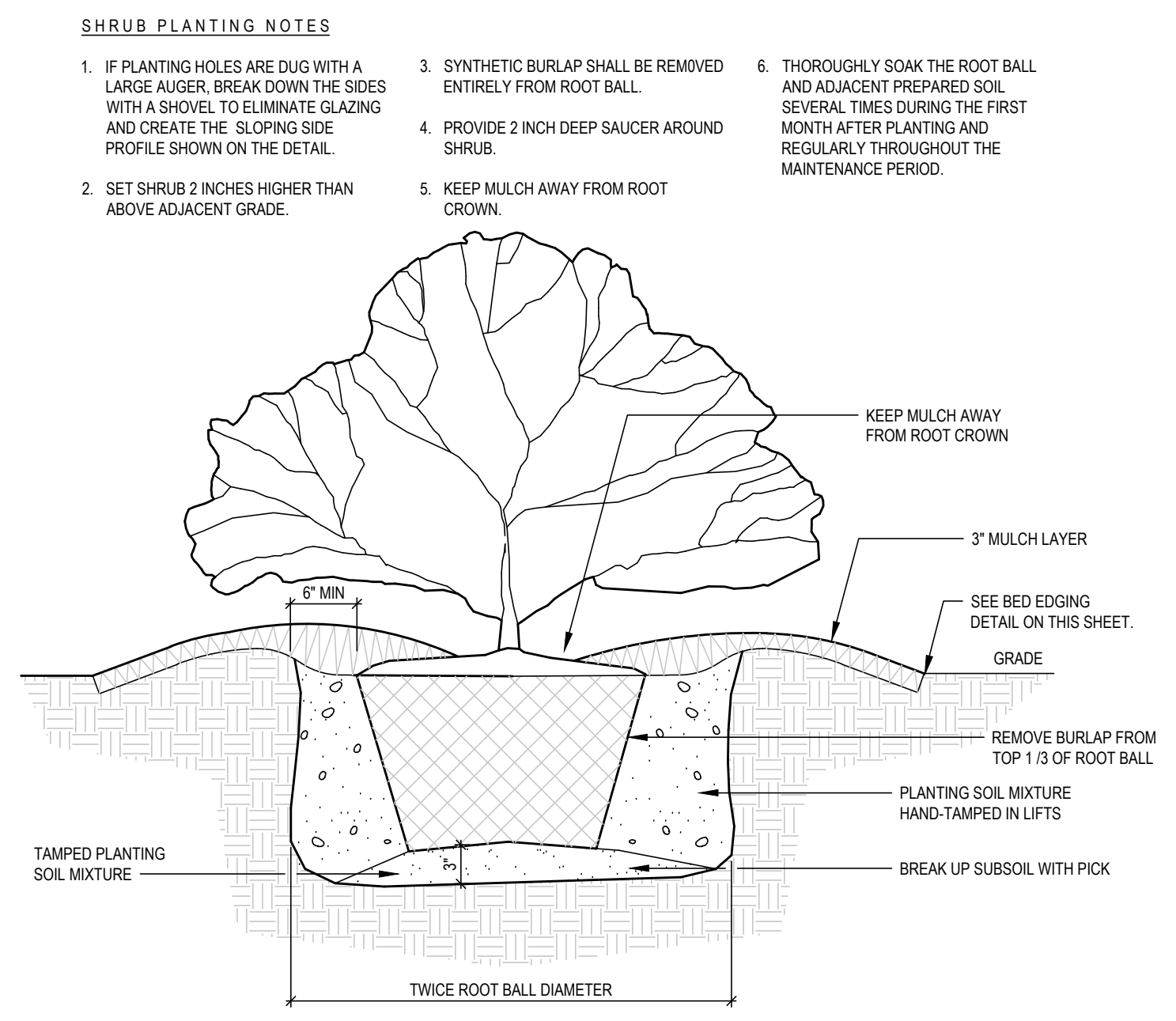
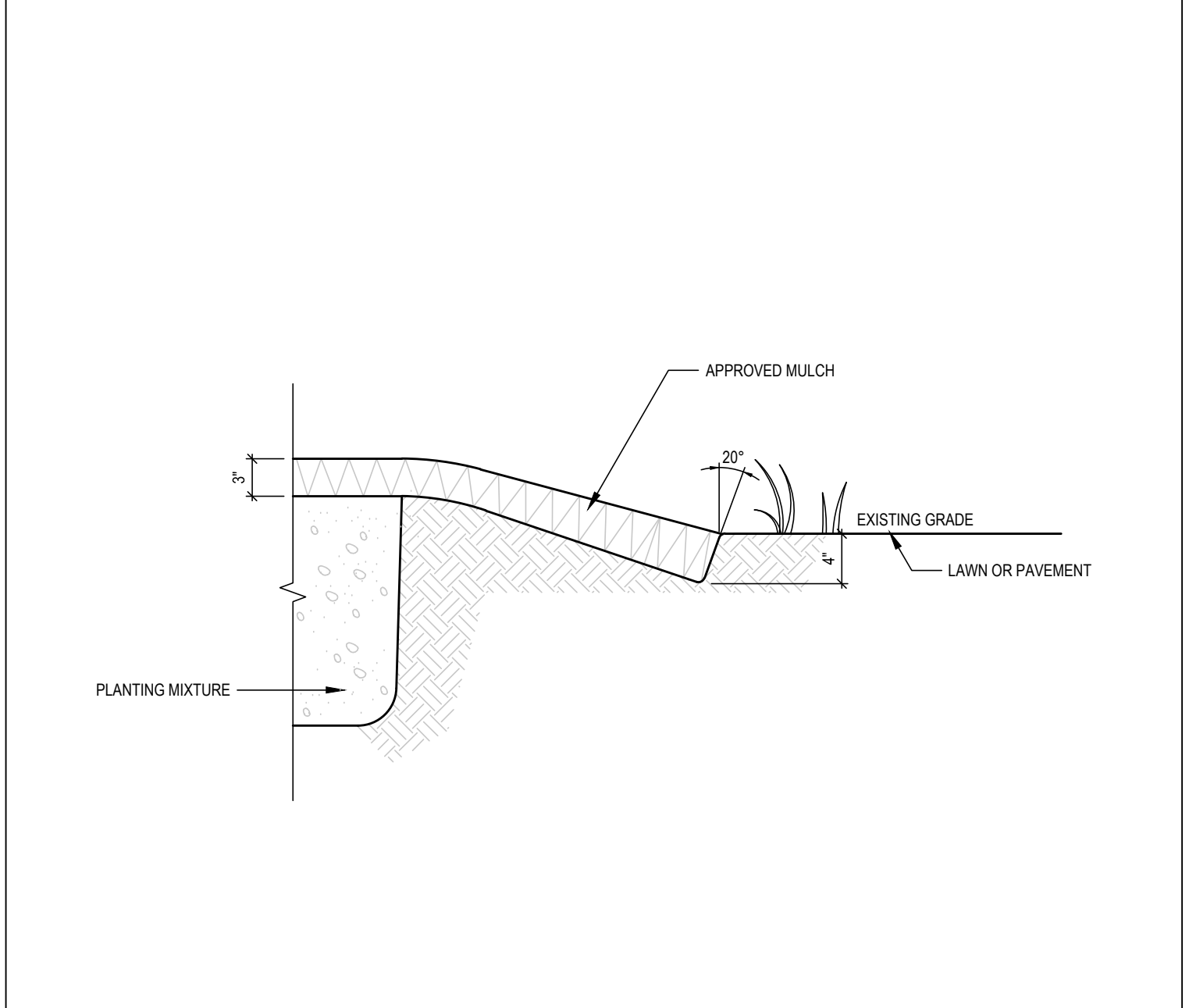
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LANDSCAPE NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
- ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
- ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLANS). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
- ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TRP-03 AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
- MIN. 10' DISTANCE SHALL BE PROVIDED BETWEEN FIRE HYDRANT/FIRE DEPARTMENT CONNECTION AND TREE TRUNKS.
- TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
- TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
- CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
- A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).



LANDSCAPE NOTES SCALE: NTS		4
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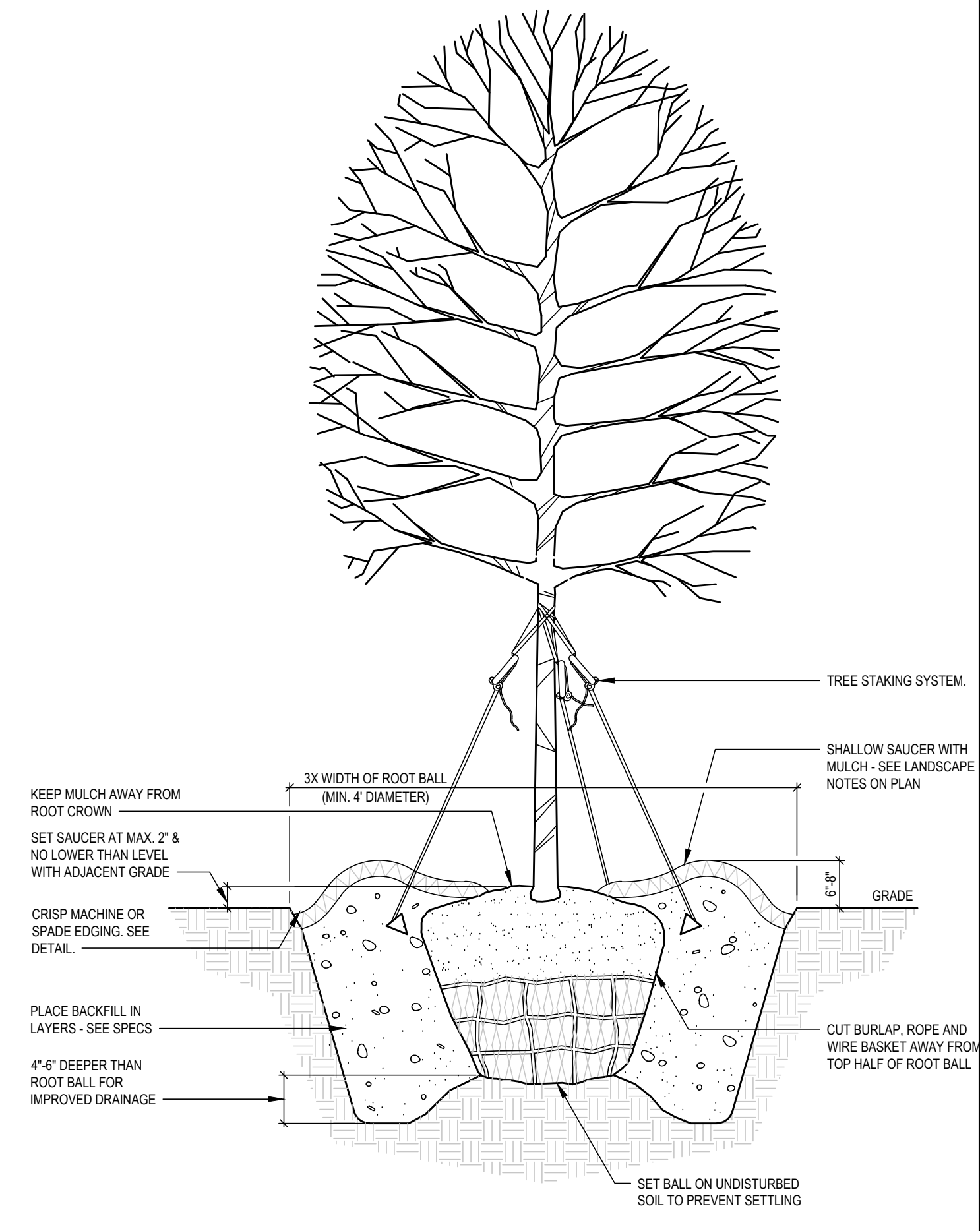
BED EDGING SCALE: NTS		3
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B & B SHRUB INSTALLATION SCALE: NTS		2
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CONTAINER PLANT INSTALLATION SCALE: NTS		1
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TREE PLANTING NOTES

- MATCH PLANTING PROCEDURE FOR EVERGREEN TREES.
- DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
- IF TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4" TO 6" OVER THE ENTIRE BED AREA.
- FOR CONTAINER-GROWN TREES, EXTRACT THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.
- IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.
- IN MEDIAN ISLANDS, SET PLANT MATERIAL AS CLOSE TO FINISHED GRADE AS POSSIBLE.
- SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.
- KEEP MULCH AWAY FROM ROOT CROWN.

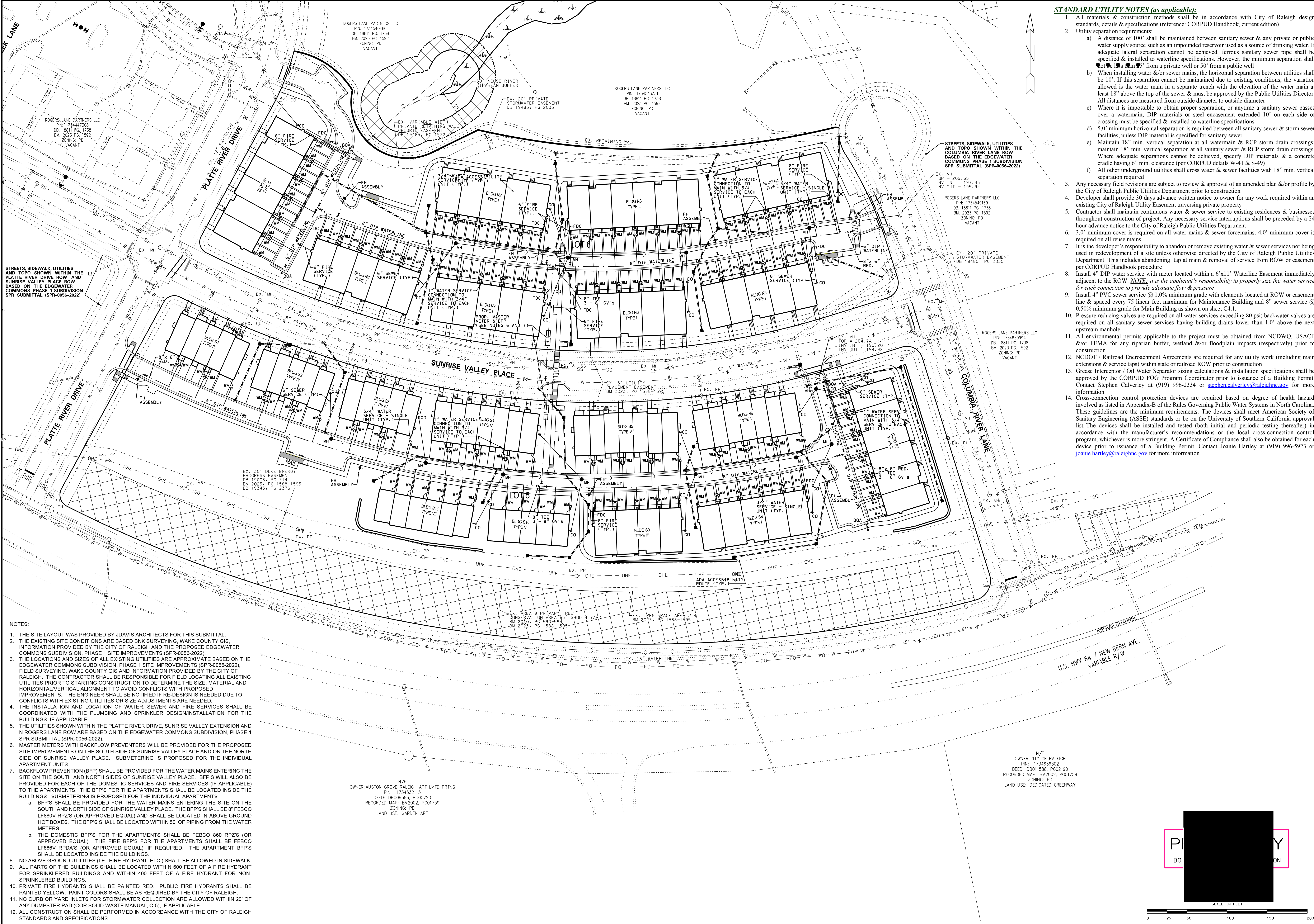


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Bell Creek Capital, LLC
Quinn Residences at Edgewater Commons
Raleigh, North Carolina

PROJECT:	BCD-24080	DATE:	
ISSUE:	Administrative Site Review	DATE:	08.01.2024
REVISIONS:			
DRAWN BY:			
CHECKED BY:	KT		
CONTENT:	LANDSCAPE DETAILS AND NOTES		



- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall be 10' from a private well or 50' from a public well
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
 - Any necessary field reviews are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
 - Install 4" DIP water service with meter located within a 6'x11' Waterline Easement immediately adjacent to the ROW. **NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure**
 - Install 4" PVC sewer service @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum for Maintenance Building and 8" sewer service @ 0.50% minimum grade for Main Building as shown on sheet C4.1
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
 - NCDOT / Railroad Easement Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephen.calverley@raleighnc.gov for more information
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained for each device prior to issuance of a Building Permit. Contact Joanic Hartley at (919) 996-5923 or joanic.hartley@raleighnc.gov for more information

- NOTES:**
- THE SITE LAYOUT WAS PROVIDED BY JDAVIS ARCHITECTS FOR THIS SUBMITTAL.
 - THE EXISTING SITE CONDITIONS ARE BASED ON BK SURVEYING, WAKE COUNTY GIS INFORMATION PROVIDED BY THE CITY OF RALEIGH AND THE PROPOSED EDGEWATER COMMONS SUBDIVISION, PHASE 1 SITE IMPROVEMENTS (SPR-0056-2022).
 - THE LOCATIONS AND SIZES OF ALL EXISTING UTILITIES ARE APPROXIMATE BASED ON THE EDGEWATER COMMONS SUBDIVISION, PHASE 1 SITE IMPROVEMENTS (SPR-0056-2022), FIELD SURVEYING, WAKE COUNTY GIS AND INFORMATION PROVIDED BY THE CITY OF RALEIGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION TO DETERMINE THE SIZE, MATERIAL AND HORIZONTAL/VERTICAL ALIGNMENT TO AVOID CONFLICTS WITH PROPOSED IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IF RE-DESIGN IS NEEDED DUE TO CONFLICTS WITH EXISTING UTILITIES OR SIZE ADJUSTMENTS ARE NEEDED.
 - THE INSTALLATION AND LOCATION OF WATER, SEWER AND FIRE SERVICES SHALL BE COORDINATED WITH THE PLUMBING AND SPRINKLER DESIGN/INSTALLATION FOR THE BUILDINGS, IF APPLICABLE.
 - THE UTILITIES SHOWN WITHIN THE PLATTE RIVER DRIVE, SUNRISE VALLEY EXTENSION AND N ROGERS LANE ROW ARE BASED ON THE EDGEWATER COMMONS SUBDIVISION, PHASE 1 SPR SUBMITTAL (SPR-0056-2022).
 - MASTER METERS WITH BACKFLOW PREVENTERS WILL BE PROVIDED FOR THE PROPOSED SITE IMPROVEMENTS ON THE SOUTH SIDE OF SUNRISE VALLEY PLACE AND ON THE NORTH SIDE OF SUNRISE VALLEY PLACE. SUBMETERING IS PROPOSED FOR THE INDIVIDUAL APARTMENT UNITS.
 - BACKFLOW PREVENTION (BFP) SHALL BE PROVIDED FOR THE WATER MAINS ENTERING THE SITE ON THE SOUTH AND NORTH SIDES OF SUNRISE VALLEY PLACE. BFP'S WILL ALSO BE PROVIDED FOR EACH OF THE DOMESTIC SERVICES AND FIRE SERVICES (IF APPLICABLE) TO THE APARTMENTS. THE BFP'S FOR THE APARTMENTS SHALL BE LOCATED INSIDE THE BUILDINGS. SUBMETERING IS PROPOSED FOR THE INDIVIDUAL APARTMENTS.
 - BFP'S SHALL BE PROVIDED FOR THE WATER MAINS ENTERING THE SITE ON THE SOUTH AND NORTH SIDE OF SUNRISE VALLEY PLACE. THE BFP'S SHALL BE 8" FIBCO LF880V RPZ'S (OR APPROVED EQUAL) AND SHALL BE LOCATED IN ABOVE GROUND HOT BOXES. THE BFP'S SHALL BE LOCATED WITHIN 50' OF PIPING FROM THE WATER METERS.
 - THE DOMESTIC BFP'S FOR THE APARTMENTS SHALL BE FIBCO 860 RPZ'S (OR APPROVED EQUAL). THE FIRE BFP'S FOR THE APARTMENTS SHALL BE FIBCO LF880V RPZ'S (OR APPROVED EQUAL). IF REQUIRED, THE APARTMENT BFP'S SHALL BE LOCATED INSIDE THE BUILDINGS.
 - NO ABOVE GROUND UTILITIES (I.E., FIRE HYDRANT, ETC.) SHALL BE ALLOWED IN SIDEWALK.
 - ALL PARTS OF THE BUILDINGS SHALL BE LOCATED WITHIN 600 FEET OF A FIRE HYDRANT FOR SPRINKLERED BUILDINGS AND WITHIN 400 FEET OF A FIRE HYDRANT FOR NON-SPRINKLERED BUILDINGS.
 - PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED. PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW. PAINT COLORS SHALL BE AS REQUIRED BY THE CITY OF RALEIGH.
 - NO CURB OR YARD INLETS FOR STORMWATER COLLECTION ARE ALLOWED WITHIN 20' OF ANY DUMPSTER PAD (COR SOLID WASTE MANUAL, C-5), IF APPLICABLE.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

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BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919) 981-4422; FAX: (919) 851-8868
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

UTILITY PLAN

JONES
DATE: 7-23-24
DRAWN BY

23095
JOB NO.

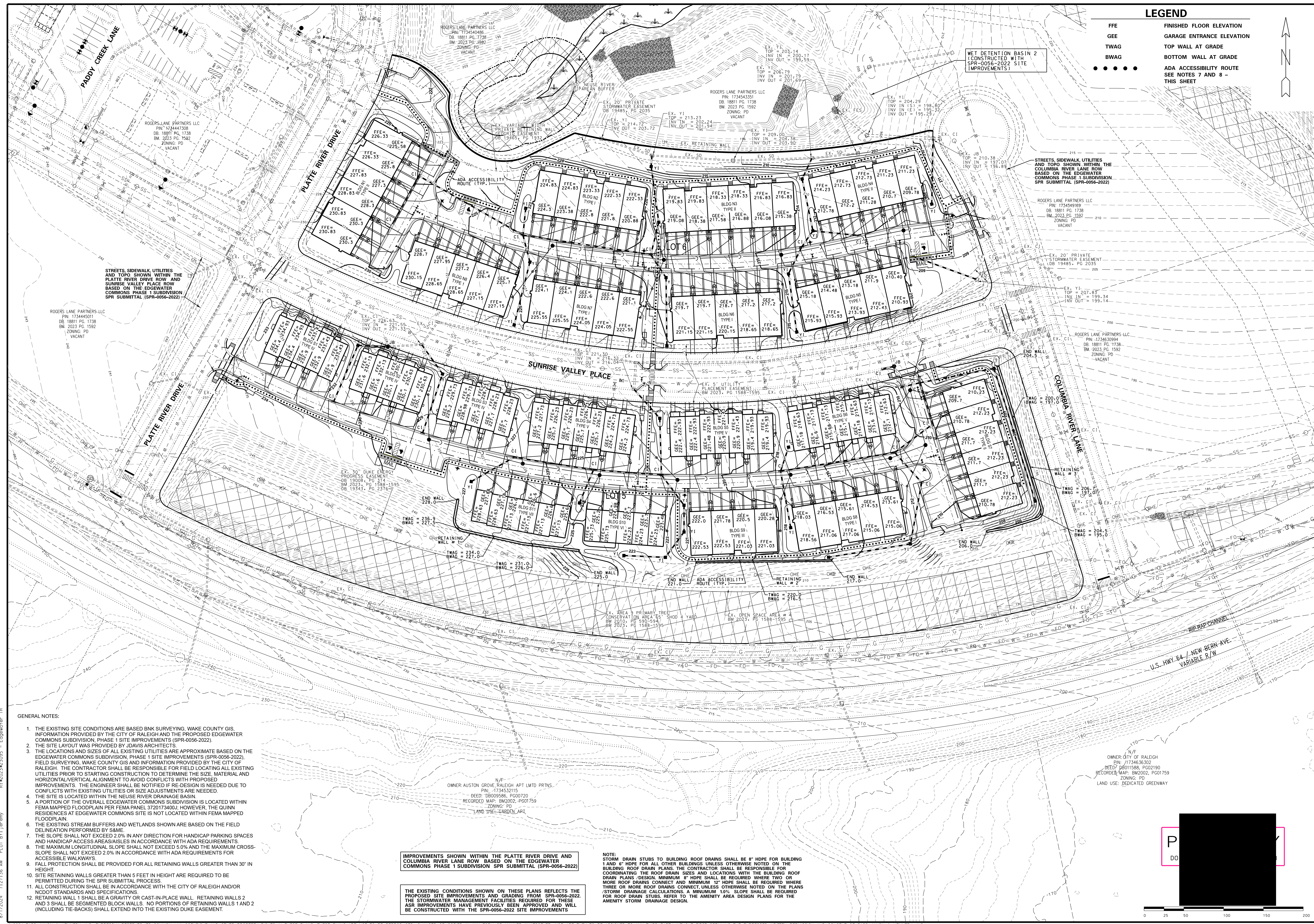
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NO. DATE DESCRIPTION REVISIONS

SHEET C2.1

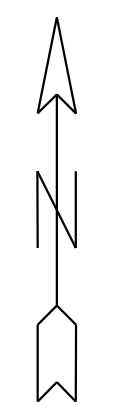
QUINN RESIDENCES at EDGEWATER COMMONS
DEVELOPER: BELL CREEK CAPITAL, LLC
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



LEGEND

- FFE FINISHED FLOOR ELEVATION
- GEE GARAGE ENTRANCE ELEVATION
- TWAG TOP WALL AT GRADE
- BWAG BOTTOM WALL AT GRADE
- • • • • ADA ACCESSIBILITY ROUTE
SEE NOTES 7 AND 8 - THIS SHEET



STREETS, SIDEWALK, UTILITIES AND TOPO SHOWN WITHIN THE PLATTE RIVER DRIVE ROW AND SUNRISE VALLEY PLACE ROW BASED ON THE EDGEWATER COMMONS PHASE 1 SUBDIVISION SPR SUBMITTAL (SPR-0056-2022)

STREETS, SIDEWALK, UTILITIES AND TOPO SHOWN WITHIN THE COLUMBIA RIVER LANE ROW BASED ON THE EDGEWATER COMMONS PHASE 1 SUBDIVISION SPR SUBMITTAL (SPR-0056-2022)

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BM: 2023 PG. 1592
ZONING: PD
VACANT

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PIN: 1734543151
DB: 18811 PG. 1738
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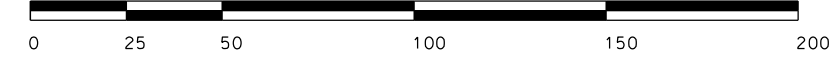
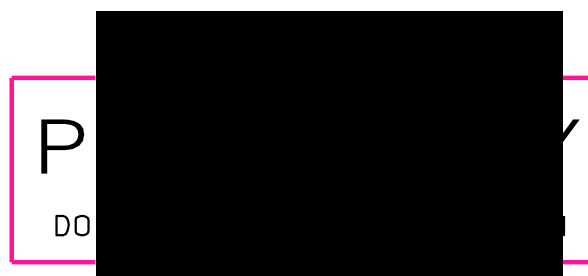
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BM: 2023 PG. 1592
ZONING: PD
VACANT

- GENERAL NOTES:**
- THE EXISTING SITE CONDITIONS ARE BASED ON BK SURVEYING, WAKE COUNTY GIS, INFORMATION PROVIDED BY THE CITY OF RALEIGH AND THE PROPOSED EDGEWATER COMMONS SUBDIVISION, PHASE 1 SITE IMPROVEMENTS (SPR-0056-2022).
 - THE SITE LAYOUT WAS PROVIDED BY JDAVIS ARCHITECTS.
 - THE LOCATIONS AND SIZES OF ALL EXISTING UTILITIES ARE APPROXIMATE BASED ON THE EDGEWATER COMMONS SUBDIVISION, PHASE 1 SITE IMPROVEMENTS (SPR-0056-2022). FIELD SURVEYING, WAKE COUNTY GIS AND INFORMATION PROVIDED BY THE CITY OF RALEIGH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION TO DETERMINE THE SIZE, MATERIAL AND HORIZONTAL/VERTICAL ALIGNMENT TO AVOID CONFLICTS WITH PROPOSED IMPROVEMENTS. THE ENGINEER SHALL BE NOTIFIED IF RE-DESIGN IS NEEDED DUE TO CONFLICTS WITH EXISTING UTILITIES OR SIZE ADJUSTMENTS ARE NEEDED.
 - THE SITE IS LOCATED WITHIN THE NEUSE RIVER DRAINAGE BASIN.
 - A PORTION OF THE OVERALL EDGEWATER COMMONS SUBDIVISION IS LOCATED WITHIN FEMA MAPPED FLOODPLAIN PER FEMA PANEL 37017300J. HOWEVER, THE QUINN RESIDENCES AT EDGEWATER COMMONS SITE IS NOT LOCATED WITHIN FEMA MAPPED FLOODPLAIN.
 - THE EXISTING STREAM BUFFERS AND WETLANDS SHOWN ARE BASED ON THE FIELD DELINEATION PERFORMED BY S&ME.
 - THE SLOPE SHALL NOT EXCEED 2.0% IN ANY DIRECTION FOR HANDICAP PARKING SPACES AND HANDICAP ACCESS AREAS/AISLES IN ACCORDANCE WITH ADA REQUIREMENTS.
 - THE MAXIMUM LONGITUDINAL SLOPE SHALL NOT EXCEED 5.0% AND THE MAXIMUM CROSS-SLOPE SHALL NOT EXCEED 2.0% IN ACCORDANCE WITH ADA REQUIREMENTS FOR ACCESSIBLE WALKWAYS.
 - FALL PROTECTION SHALL BE PROVIDED FOR ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT.
 - SITE RETAINING WALLS GREATER THAN 5 FEET IN HEIGHT ARE REQUIRED TO BE PERMITTED DURING THE SPR SUBMITTAL PROCESS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 - RETAINING WALL # 1 SHALL BE A GRAVITY OR CAST-IN-PLACE WALL. RETAINING WALLS 2 AND 3 SHALL BE SEGMENTED BLOCK WALLS. NO PORTIONS OF RETAINING WALLS 1 AND 2 (INCLUDING TIE-BACKS) SHALL EXTEND INTO THE EXISTING DUKE EASEMENT.

IMPROVEMENTS SHOWN WITHIN THE PLATTE RIVER DRIVE AND COLUMBIA RIVER LANE ROW BASED ON THE EDGEWATER COMMONS PHASE 1 SUBDIVISION SPR SUBMITTAL (SPR-0056-2022)

THE EXISTING CONDITIONS SHOWN ON THESE PLANS REFLECTS THE PROPOSED SITE IMPROVEMENTS AND GRADING FROM SPR-0056-2022. THE STORMWATER MANAGEMENT FACILITIES REQUIRED FOR THESE ASP IMPROVEMENTS HAVE PREVIOUSLY BEEN APPROVED AND WILL BE CONSTRUCTED WITH THE SPR-0056-2022 SITE IMPROVEMENTS.

NOTE:
STORM DRAIN STUBS TO BUILDING ROOF DRAINS SHALL BE 8" HDPE FOR BUILDING 1 AND 6" HDPE FOR ALL OTHER BUILDINGS UNLESS OTHERWISE NOTED ON THE BUILDING ROOF DRAIN PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE ROOF DRAIN SIZES AND LOCATIONS WITH THE BUILDING ROOF DRAIN PLANS/DESIGN. MINIMUM 8" HDPE SHALL BE REQUIRED WHERE TWO OR MORE ROOF DRAINS CONNECT AND MINIMUM 12" HDPE SHALL BE REQUIRED WHERE THREE OR MORE ROOF DRAINS CONNECT, UNLESS OTHERWISE NOTED ON THE PLANS/STORM DRAINAGE CALCULATIONS. A MINIMUM 1.0% SLOPE SHALL BE REQUIRED FOR ROOF DRAIN STUBS. REFER TO THE AMENITY AREA DESIGN PLANS FOR THE AMENITY STORM DRAINAGE DESIGN.



BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS

6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919) 851-4422; FAX: (919) 851-8868
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

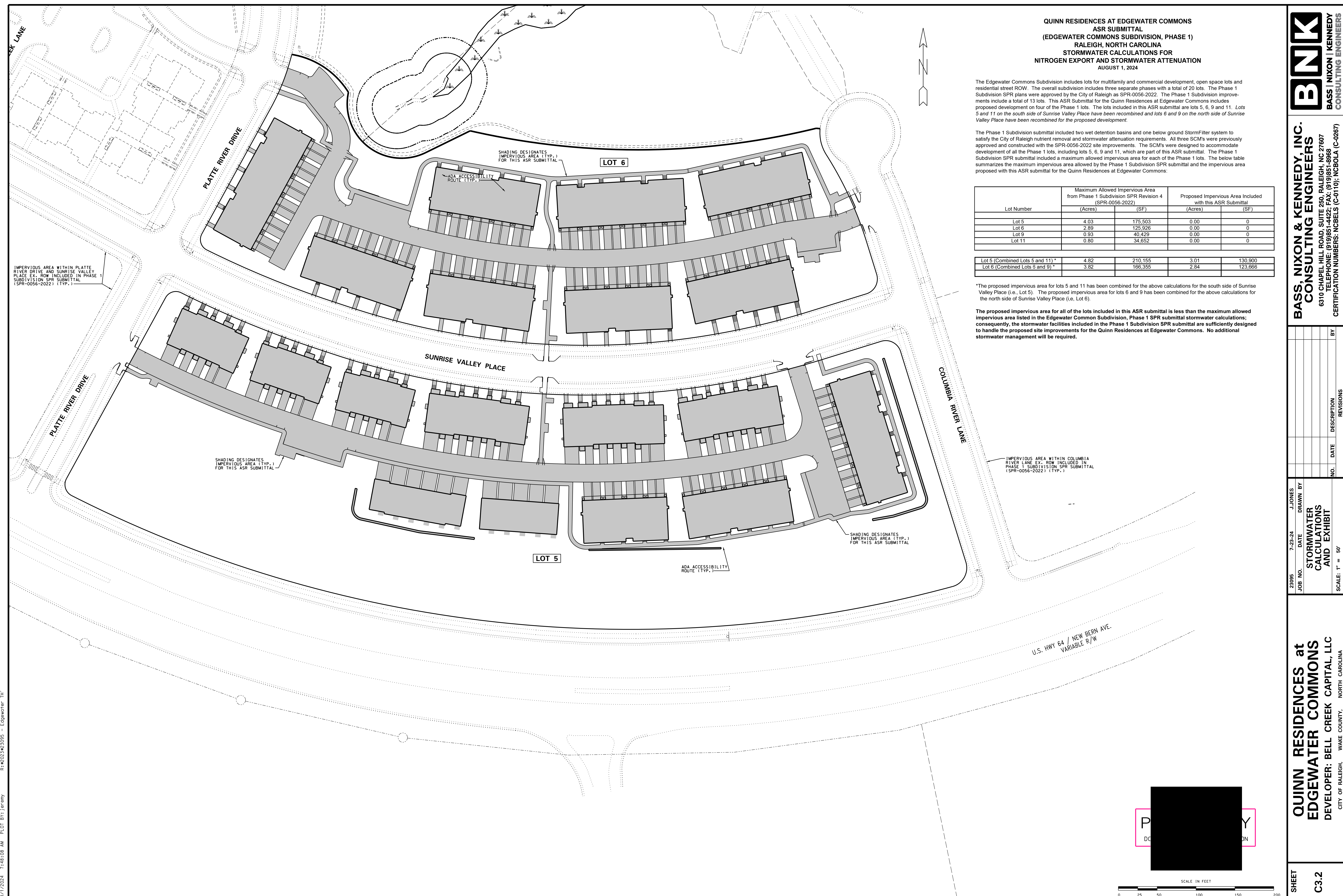
23095	7-23-24	J.JONES	DRAWN BY		
			GRADING AND DRAINAGE PLAN		
			SCALE: 1" = 50'		

QUINN RESIDENCES at EDGEWATER COMMONS

DEVELOPER: BELL CREEK CAPITAL, LLC

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION



**QUINN RESIDENCES AT EDGEWATER COMMONS
ASR SUBMITTAL
(EDGEWATER COMMONS SUBDIVISION, PHASE 1)
RALEIGH, NORTH CAROLINA
STORMWATER CALCULATIONS FOR
NITROGEN EXPORT AND STORMWATER ATTENUATION
AUGUST 1, 2024**

The Edgewater Commons Subdivision includes lots for multifamily and commercial development, open space lots and residential street ROW. The overall subdivision includes three separate phases with a total of 20 lots. The Phase 1 Subdivision SPR plans were approved by the City of Raleigh as SPR-0056-2022. The Phase 1 Subdivision improvements include a total of 13 lots. This ASR Submittal for the Quinn Residences at Edgewater Commons includes proposed development on four of the Phase 1 lots. The lots included in this ASR submittal are lots 5, 6, 9 and 11. Lots 5 and 11 on the south side of Sunrise Valley Place have been recombined and lots 6 and 9 on the north side of Sunrise Valley Place have been recombined for the proposed development.

The Phase 1 Subdivision submittal included two wet detention basins and one below ground StormFilter system to satisfy the City of Raleigh nutrient removal and stormwater attenuation requirements. All three SCM's were previously approved and constructed with the SPR-0056-2022 site improvements. The SCM's were designed to accommodate development of all the Phase 1 lots, including lots 5, 6, 9 and 11, which are part of this ASR submittal. The Phase 1 Subdivision SPR submittal included a maximum allowed impervious area for each of the Phase 1 lots. The below table summarizes the maximum impervious area allowed by the Phase 1 Subdivision SPR submittal and the impervious area proposed with this ASR submittal for the Quinn Residences at Edgewater Commons.

Lot Number	Maximum Allowed Impervious Area from Phase 1 Subdivision SPR Revision 4 (SPR-0056-2022)		Proposed Impervious Area Included with this ASR Submittal	
	(Acres)	(SF)	(Acres)	(SF)
Lot 5	4.03	175,503	0.00	0
Lot 6	2.89	125,926	0.00	0
Lot 9	0.93	40,429	0.00	0
Lot 11	0.80	34,652	0.00	0
Lot 5 (Combined Lots 5 and 11) *	4.82	210,155	3.01	130,900
Lot 6 (Combined Lots 6 and 9) *	3.82	166,355	2.84	123,666

*The proposed impervious area for lots 5 and 11 has been combined for the above calculations for the south side of Sunrise Valley Place (i.e., Lot 5). The proposed impervious area for lots 6 and 9 has been combined for the above calculations for the north side of Sunrise Valley Place (i.e., Lot 6).

The proposed impervious area for all of the lots included in this ASR submittal is less than the maximum allowed impervious area listed in the Edgewater Commons Subdivision, Phase 1 SPR submittal stormwater calculations; consequently, the stormwater facilities included in the Phase 1 Subdivision SPR submittal are sufficiently designed to handle the proposed site improvements for the Quinn Residences at Edgewater Commons. No additional stormwater management will be required.

IMPERVIOUS AREA WITHIN PLATTE RIVER DRIVE AND SUNRISE VALLEY PLACE EX. ROW INCLUDED IN PHASE 1 SUBDIVISION SPR SUBMITTAL (SPR-0056-2022) (TYP.)

SHADING DESIGNATES IMPERVIOUS AREA (TYP.) FOR THIS ASR SUBMITTAL

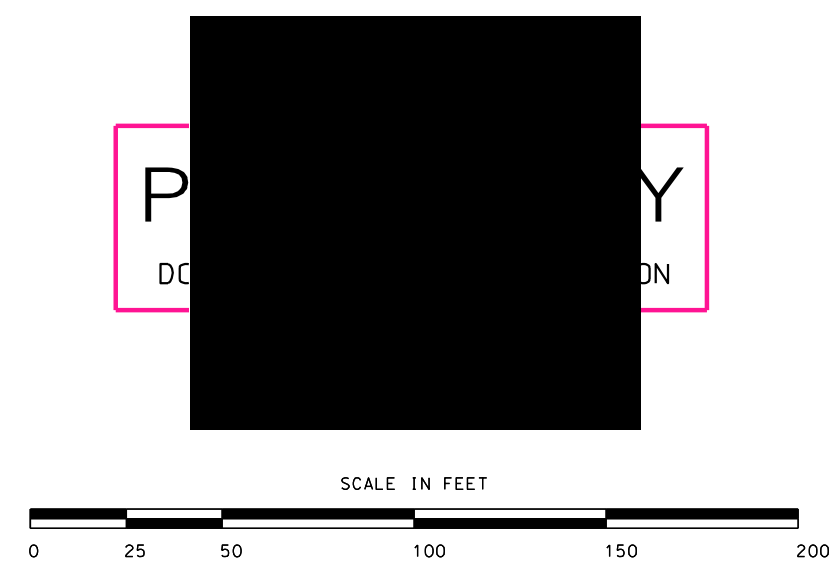
SHADING DESIGNATES IMPERVIOUS AREA (TYP.) FOR THIS ASR SUBMITTAL

ADA ACCESSIBILITY ROUTE (TYP.)

SHADING DESIGNATES IMPERVIOUS AREA (TYP.) FOR THIS ASR SUBMITTAL

IMPERVIOUS AREA WITHIN COLUMBIA RIVER LANE EX. ROW INCLUDED IN PHASE 1 SUBDIVISION SPR SUBMITTAL (SPR-0056-2022) (TYP.)

ADA ACCESSIBILITY ROUTE (TYP.)



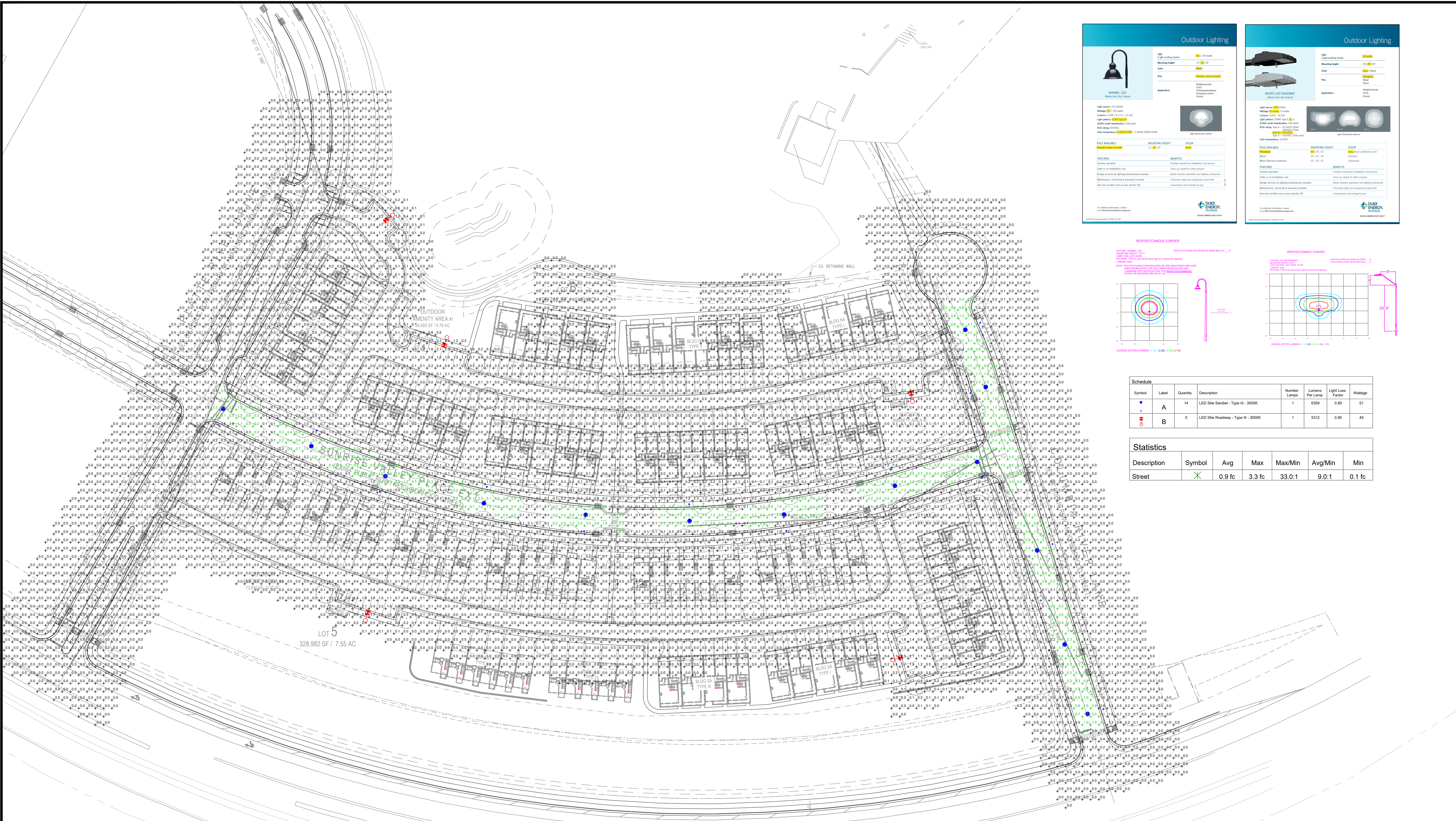
BASS, NIXON & KENNEDY, INC.
CONSULTING ENGINEERS
6310 CHAPEL HILL ROAD, SUITE 250, RALEIGH, NC 27607
TELEPHONE: (919)851-4422; FAX: (919)851-8968
CERTIFICATION NUMBERS: NCBELS (C-0110); NCBOLA (C-0267)

NO.	DATE	DESCRIPTION	BY

**QUINN RESIDENCES at
EDGEWATER COMMONS**
DEVELOPER: BELL CREEK CAPITAL, LLC
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

SHEET C3.2

23095 JOB NO. 7-23-24 DATE DRAWN BY J.JONES
STORMWATER CALCULATIONS AND EXHIBIT
SCALE: 1" = 50'



Outdoor Lighting

SANBEL LED
Micro LED Roadway
Height: 5.0 ft

Light fixture (LED) | Power: 30W
Mounting height: 5.0 ft | Lumens: 4350 lm
Color: Warm White | Beam angle: 120°
Applications: Micro LED Roadway

POLE AVAILABLE | MOUNTING HEIGHT: 5.0 ft | COLOR: Warm White

FEATURES | BENEFITS

Light fixture (LED) | Power: 30W
Mounting height: 5.0 ft | Lumens: 4350 lm
Color: Warm White | Beam angle: 120°
Applications: Micro LED Roadway

DUKE ENERGY

Outdoor Lighting

MICRO LED ROADWAY
Height: 5.0 ft

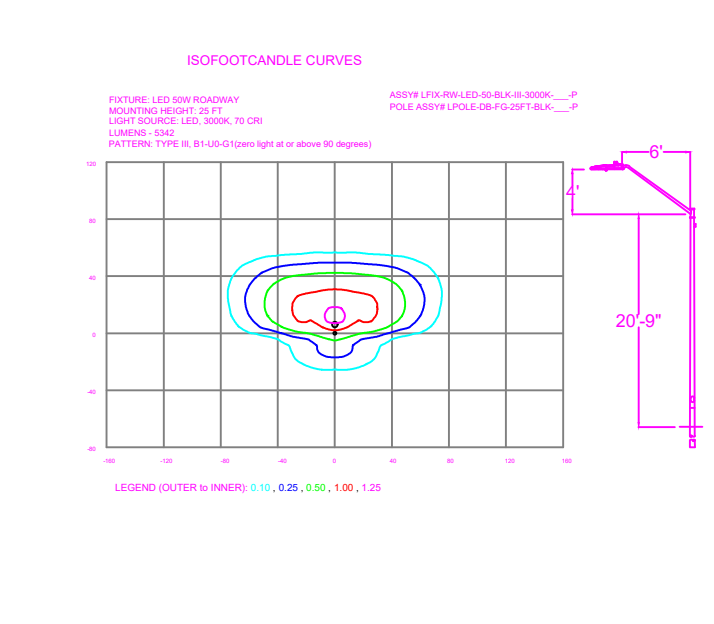
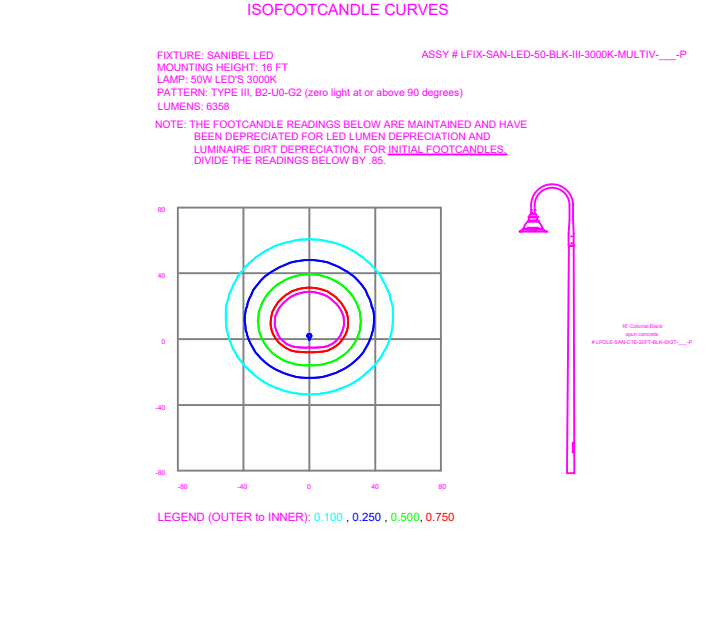
Light fixture (LED) | Power: 30W
Mounting height: 5.0 ft | Lumens: 4350 lm
Color: Warm White | Beam angle: 120°
Applications: Micro LED Roadway

POLE AVAILABLE | MOUNTING HEIGHT: 5.0 ft | COLOR: Warm White

FEATURES | BENEFITS

Light fixture (LED) | Power: 30W
Mounting height: 5.0 ft | Lumens: 4350 lm
Color: Warm White | Beam angle: 120°
Applications: Micro LED Roadway

DUKE ENERGY



Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wastage
•	A	14	LED 50w Sanbel - Type III - 3000K	1	6359	0.85	51
•	B	5	LED 50w Roadway - Type III - 3000K	1	5312	0.85	45

Statistics						
Description	Symbol	Avg	Max	Max/Min	Avg/Min	Min
Street	X	0.9 fc	3.3 fc	33.0:1	9.0:1	0.1 fc

REV	DATE	REVISION	BY
REVB	7/25/24	Updated Site Plan. Removed Lights From Platte River Drive & Added Lights to Parking	AH

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL

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Quinn Residences at Edgewater Commons		
RALEIGH, NC		
STREET LIGHTING ARRANGEMENT		
Designed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS		
Reviewed by A. Herrera	Scale 1" = 5'	
Date 8/1/2024	Size Drawing size "D"	
Description LED Sanbel		
Drawing No. 24-0102B	Sht.	1 OF 1

PRINT RECORD

#	DATE	DESCRIPTION
1	8.05.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N1
TEASLEY & TANYARD
STACKED TOWNHOMES**

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EDGEWATER COMMONS BUILDING N1 - PLATTE RIVER DRIVE ELEVATION
SCALE 1/8"=1'-0"

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10

PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 5, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

A2.01

Project#

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N2
TEASLEY & TANYARD
STACKED TOWNHOMES**

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

A2.01

Project#

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10



UNITS #1 #10
ELEVATION "D"
FFE: 224.83

**EDGEWATER COMMONS BUILDING N2
COLUMBIA RIVER LANE ELEVATION**
SCALE 3/16"=1'-0"



1100 CIRCLE 75 PARKWAY
SUITE 270
ATLANTA, GA 30339

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10



1 EDgewater Commons Building N3
Columbia River Lane Elevation
SCALE 1/8"=1'-0"

EDGEWATER COMMONS
BUILDING N3
TEASLEY & TANYARD
STACKED TOWNHOMES

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

Project#

A2.01



1100 CIRCLE 75 PARKWAY
SUITE 270
ATLANTA, GA 30339

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N4
TEASLEY & TANYARD
STACKED TOWNHOMES**

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SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

A2.01

Project#

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10



UNITS #9 #10
ELEVATION "D"
FFE: 214.23

**EDGEWATER COMMONS BUILDING N4
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N5
TEASLEY & TANYARD
STACKED TOWNHOMES**

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE
August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE
**BUILDING
ELEVATIONS**

Drawn By
MP
Checked By
Project#

A2.01

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10



UNITS #1 #10
ELEVATION "D"
FFE: 215.93

**EDGEWATER COMMONS BUILDING N5
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N6
TEASLEY & TANYARD
STACKED TOWNHOMES**

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

A2.01

Project#

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10



**UNITS #9 #10
ELEVATION "D"
FFE: 221.15**

**EDGEWATER COMMONS BUILDING N6
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N7
TEASLEY & TANYARD
STACKED TOWNHOMES**

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE
August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE
**BUILDING
ELEVATIONS**

Drawn By
MP
Checked By
Project#
A2.01

BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10



**UNITS #9 #10
ELEVATION "D"
FFE: 225.55**

**EDGEWATER COMMONS BUILDING N7
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"



PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING N8
TEASLEY & TANYARD
STACKED TOWNHOMES**

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

BUILDING ELEVATIONS

Drawn By

MP

Checked By

A2.01

Project#

BUILDING ELEVATIONS - Lot 1				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG N 1	PLATTE RIVER DRIVE	230.60	225.20	227.90
BLDG N 2	PLATTE RIVER DRIVE	224.30	223.00	223.65
BLDG N 3	PLATTE RIVER DRIVE	219.10	218.10	218.60
BLDG N 4	PLATTE RIVER DRIVE	212.80	212.10	212.45
BLDG N 5	PLATTE RIVER DRIVE	215.20	215.00	215.10
BLDG N 6	PLATTE RIVER DRIVE	220.00	219.70	219.85
BLDG N 7	PLATTE RIVER DRIVE	225.00	224.10	224.55
BLDG N 8	PLATTE RIVER DRIVE	229.50	228.70	229.10

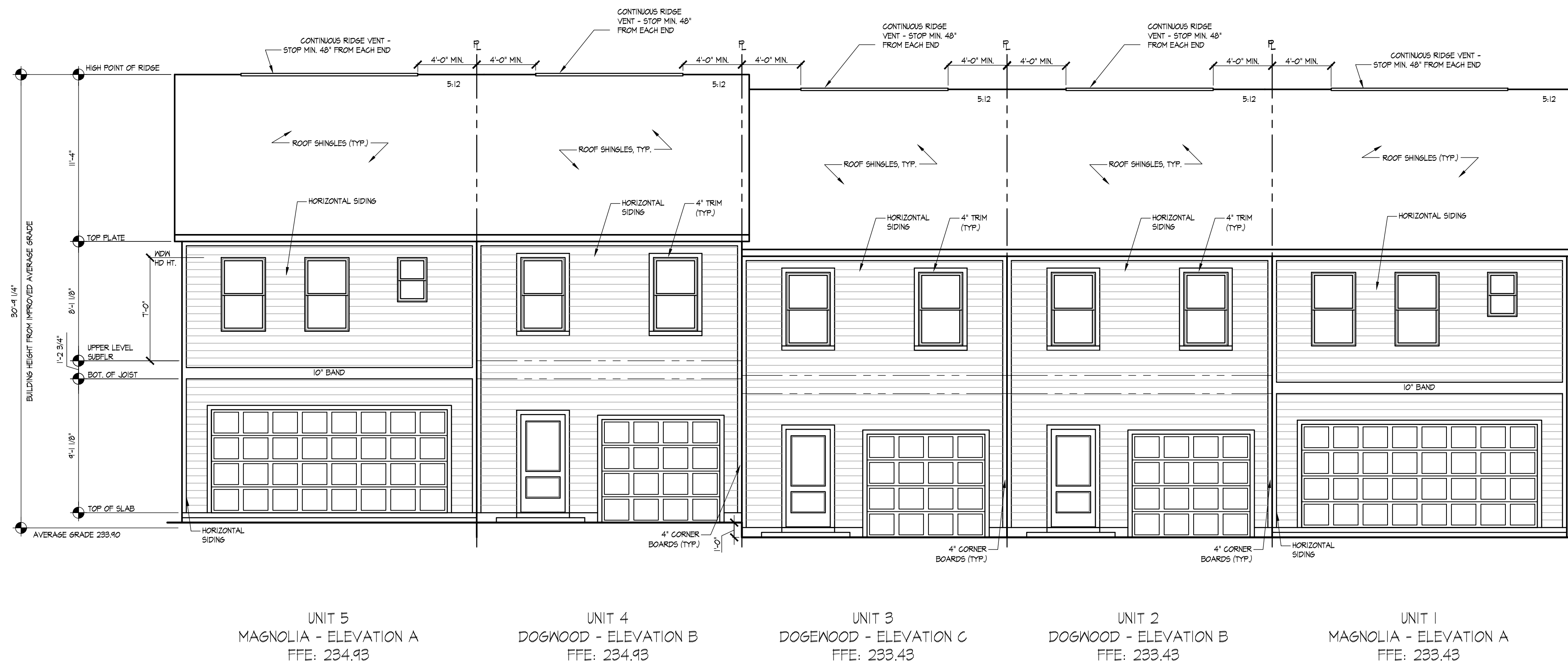


UNITS #9 #10
ELEVATION "D"
FFE: 230.15

**EDGEWATER COMMONS BUILDING N8
PLATTE RIVER DRIVE ELEVATION**

SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



1 EDgewater Commons Building S1 - New Bern Avenue Elevation
SCALE 3/16"=1'-0" 7 UNIT BUILDING



2 EDgewater Commons Building S1
Columbia River Lane Elevation
SCALE 3/16"=1'-0"

1100 CIRCLE 75 PARKWAY
SUITE 270
ATLANTA, GA 30339

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
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EDGEWATER COMMONS
BUILDING S1

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PHASE ADMINISTRATIVE
SITE REVIEW

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

BUILDING
ELEVATIONS

Drawn By

MP

Checked By

A2.01

Project#

PRINT RECORD

#	DATE	DESCRIPTION
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EDGEWATER COMMONS
BUILDING S2

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SITE REVIEW

RELEASE DATE
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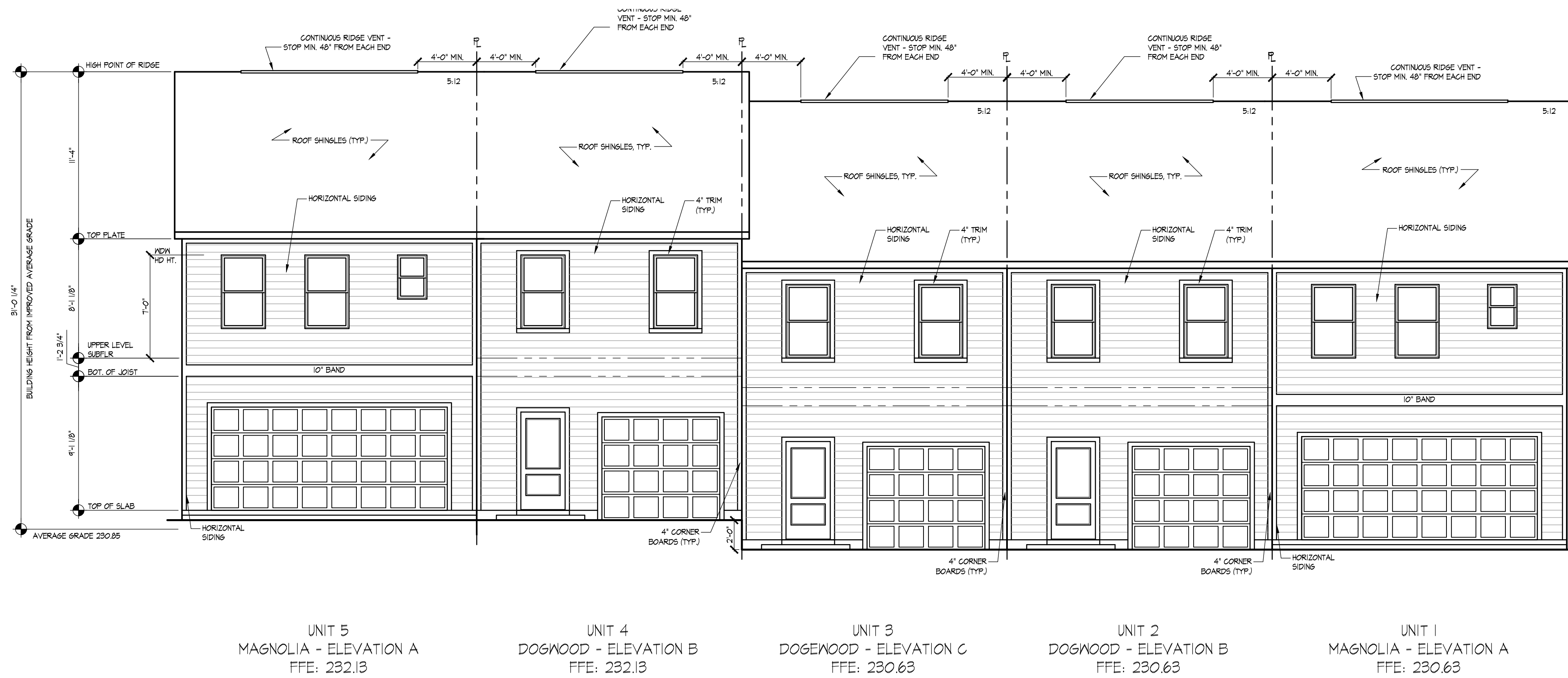
SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE
BUILDING ELEVATIONS

Drawn By
MP
Checked By
Project#

A2.01

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



1 EDgewater Commons Building S2 - New Bern Avenue Elevation
SCALE 3/16"=1'-0"



2 EDgewater Commons Building S2
Platte River Drive Elevation
SCALE 3/16"=1'-0"



PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
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EDGEWATER COMMONS
BUILDING S3

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SITE REVIEW

RELEASE DATE
August 2, 2024

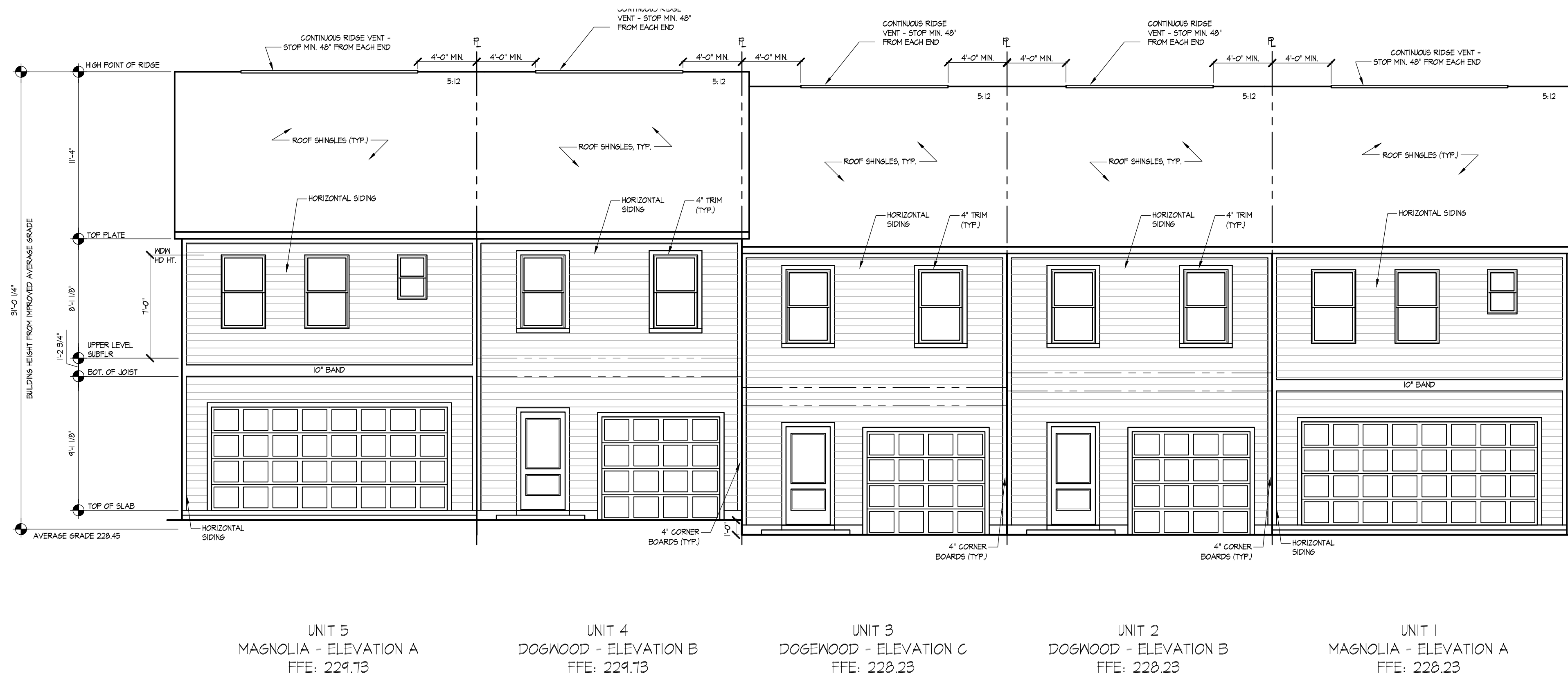
SCALE: 1/8"=1'-0" ON 11x17 SHEET

BUILDING ELEVATIONS

Drawn By
MP
Checked By
Project#

A2.01

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



1 EDgewater Commons Building S3 - New Bern Avenue Elevation
SCALE 3/16"=1'-0"



2 EDgewater Commons Building S3
Platte River Drive Elevation
SCALE 3/16"=1'-0"

1100 CIRCLE 75 PARKWAY
SUITE 270
ATLANTA, GA 30339

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
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**EDGEWATER COMMONS
BUILDING S4**

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PHASE ADMINISTRATIVE
SITE REVIEW

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

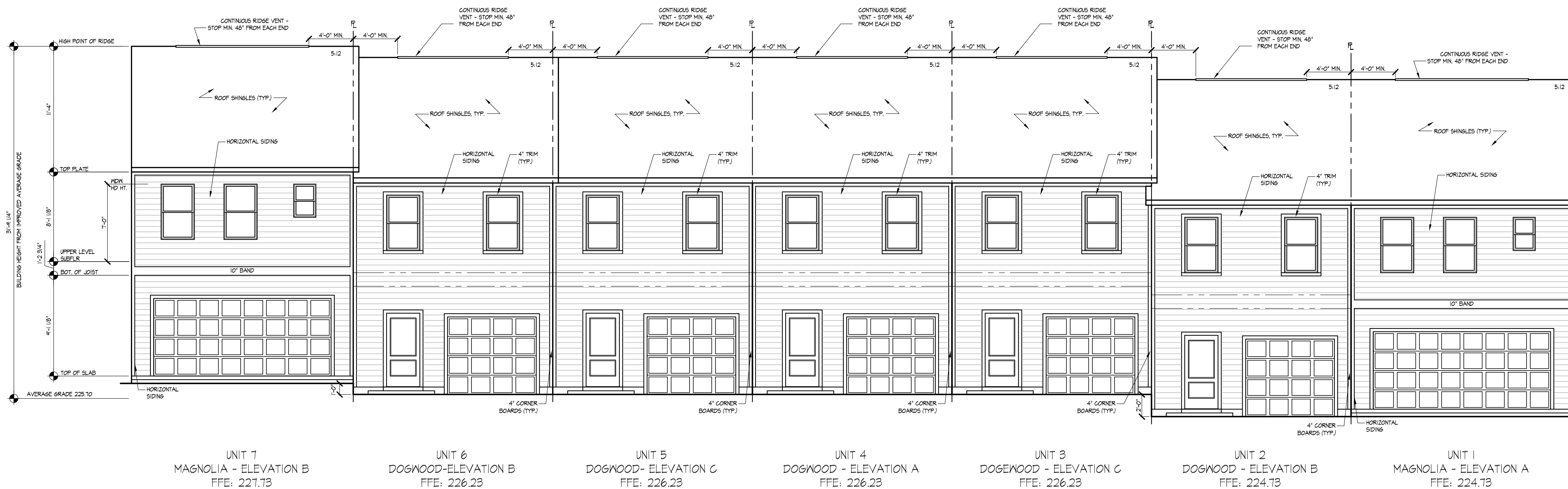
Drawn By

MP

Checked By

A2.01

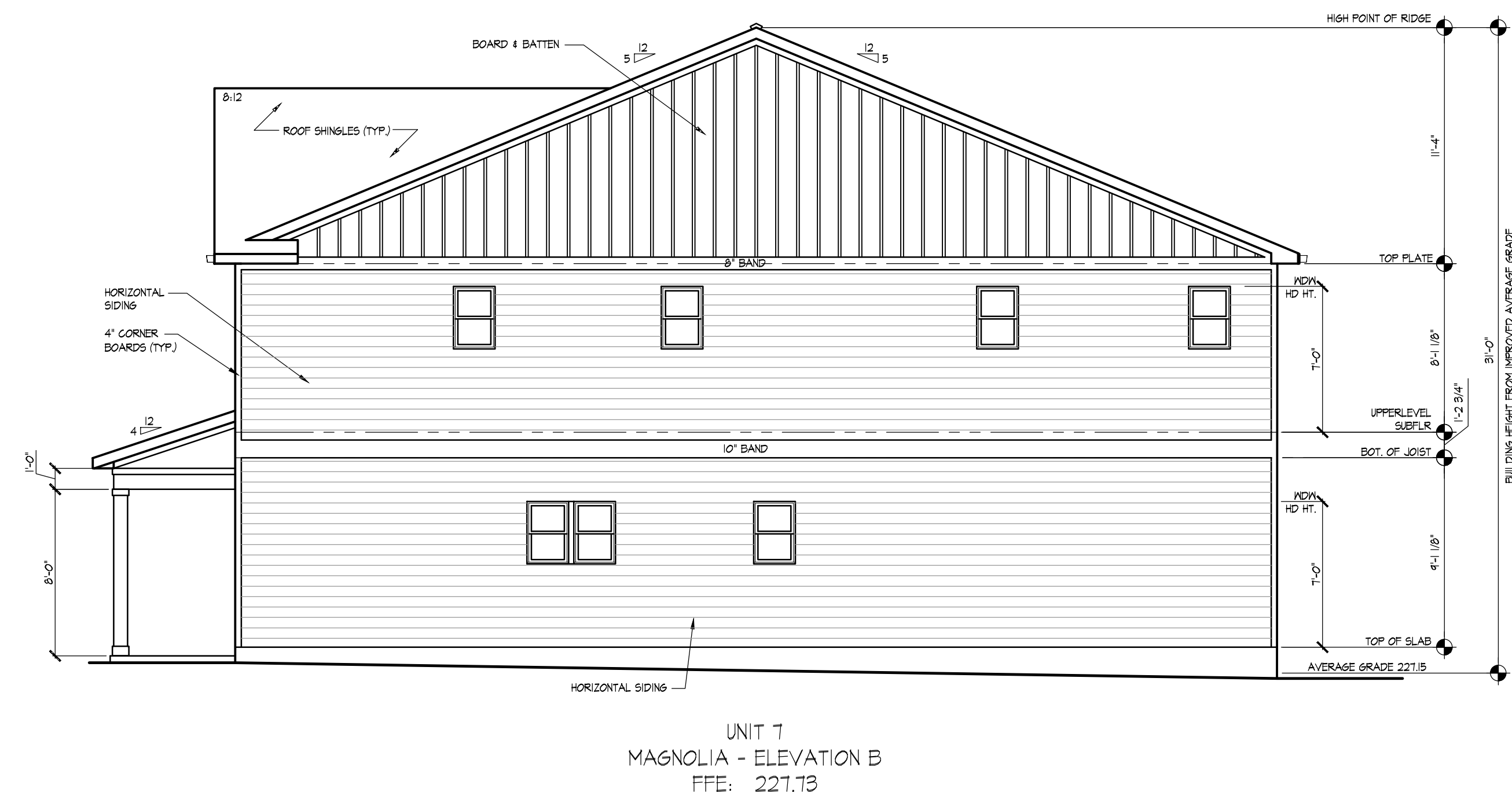
Project#



UNIT 7 MAGNOLIA - ELEVATION B FFE: 227.73
 UNIT 6 DOGWOOD-ELEVATION B FFE: 226.23
 UNIT 5 DOGWOOD- ELEVATION C FFE: 226.23
 UNIT 4 DOGWOOD - ELEVATION A FFE: 226.23
 UNIT 3 DOGWOOD - ELEVATION C FFE: 226.23
 UNIT 2 DOGWOOD - ELEVATION B FFE: 224.73
 UNIT 1 MAGNOLIA - ELEVATION A FFE: 224.73

1 EDgewater Commons BUILDING S4 - NEW BERN AVENUE ELEVATION
 SCALE 3/16"=1'-0" 7 UNIT BUILDING

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



UNIT 7
 MAGNOLIA - ELEVATION B
 FFE: 227.73

2 EDgewater Commons BUILDING S4
 PLATTE RIVER DRIVE ELEVATION
 SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING S5**

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SITE REVIEW

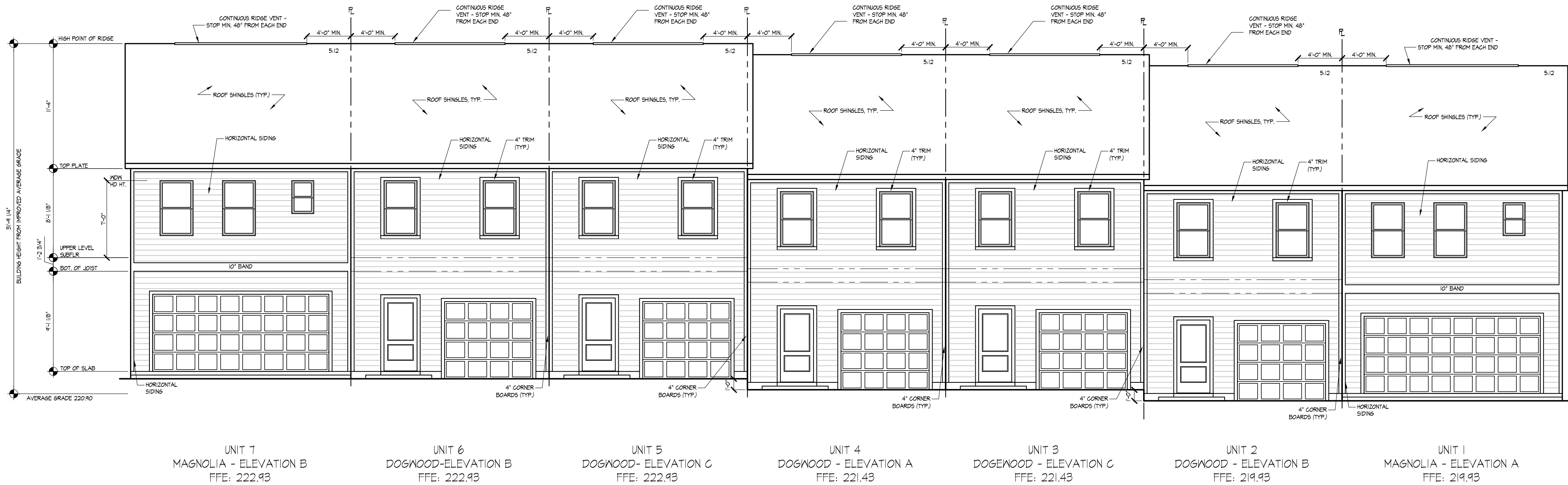
RELEASE DATE
August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

**BUILDING
ELEVATIONS**

Drawn By
MP
Checked By
Project#

A2.01



1 EDgewater Commons Building S5 - New Bern Avenue Elevation
SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



2 EDgewater Commons Building S5
Platte River Drive Elevation
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
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**EDGEWATER COMMONS
BUILDING S6**

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SITE REVIEW

RELEASE DATE
August 2, 2024

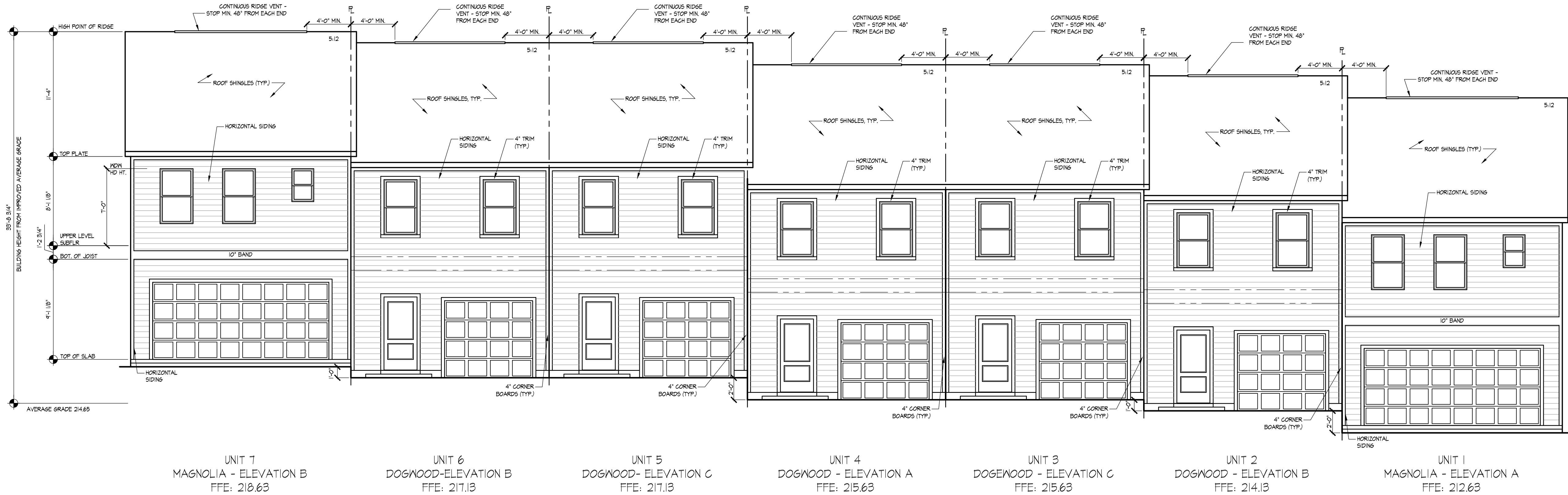
SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By
MP
Checked By
Project#

A2.01



UNIT 7
MAGNOLIA - ELEVATION B
FFE: 218.63

UNIT 6
DOGWOOD-ELEVATION B
FFE: 217.13

UNIT 5
DOGWOOD- ELEVATION C
FFE: 217.13

UNIT 4
DOGWOOD - ELEVATION A
FFE: 215.63

UNIT 3
DOGWOOD - ELEVATION C
FFE: 215.63

UNIT 2
DOGWOOD - ELEVATION B
FFE: 214.13

UNIT 1
MAGNOLIA - ELEVATION A
FFE: 212.63

EDGEWATER COMMONS BUILDING S6 - NEW BERN AVENUE ELEVATION
SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



UNIT 7
MAGNOLIA - ELEVATION B
FFE: 218.63

**EDGEWATER COMMONS BUILDING S6
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"



1100 CIRCLE 75 PARKWAY
SUITE 270
ATLANTA, GA 30339

PRINT RECORD

#	DATE	DESCRIPTION
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**EDGEWATER COMMONS
BUILDING S7
TEASLEY & TANYARD
STACKED TOWNHOMES**

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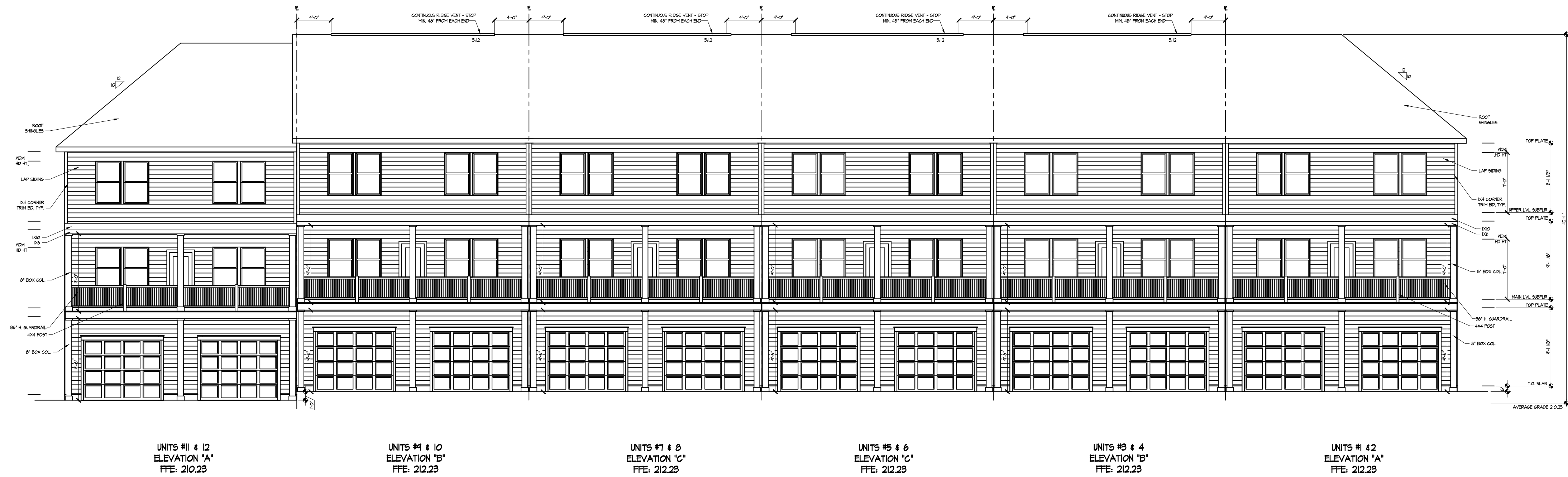
SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By
MP
Checked By
Project#

A2.01



1 EDgewater Commons BLDG S7 - PLATTE RIVER DRIVE ELEVATION
SCALE 1/8"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



**2 EDgewater Commons Building S7
Sunrise Valley Place ELEVATION**
SCALE 1/8"=1'-0"



1100 CIRCLE 75 PARKWAY
SUITE 270
ATLANTA, GA 30339

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.2024	PERMIT
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**EDGEWATER COMMONS
BUILDING S8
TEASLEY & TANYARD
STACKED TOWNHOMES**

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SITE REVIEW

SEAL

RELEASE DATE

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SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

A2.01

Project#



UNITS #1 & 2
ELEVATION "D"
FFE: 210.56

UNITS #3 & 4
ELEVATION "C"
FFE: 217.06

UNITS #5 & 6
ELEVATION "B"
FFE: 217.06

UNITS #7 & 8
ELEVATION "C"
FFE: 215.06

UNITS #9 & 10
ELEVATION "D"
FFE: 215.06

EDGEWATER COMMONS BLDG S8 - SUNRISE VALLEY PLACE ELEVATION
SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



UNIT 1 & 2
ELEVATION "D"

**EDGEWATER COMMONS BUILDING S8
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.2024	PERMIT
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**EDGEWATER COMMONS
BUILDING S9
TEASLEY & TANYARD
STACKED TOWNHOMES**

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SITE REVIEW

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RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By
MP
Checked By

A2.01

Project#



1 EDGEWATER COMMONS BLDG S9 - SUNRISE VALLEY PLACE ELEVATION
SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



2 EDGEWATER COMMONS BUILDING S9
PLATTE RIVER DRIVE ELEVATION
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

**EDGEWATER COMMONS
BUILDING S10
TEASLEY & TANYARD
STACKED TOWNHOMES**

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

**BUILDING
ELEVATIONS**

Drawn By

MP

Checked By

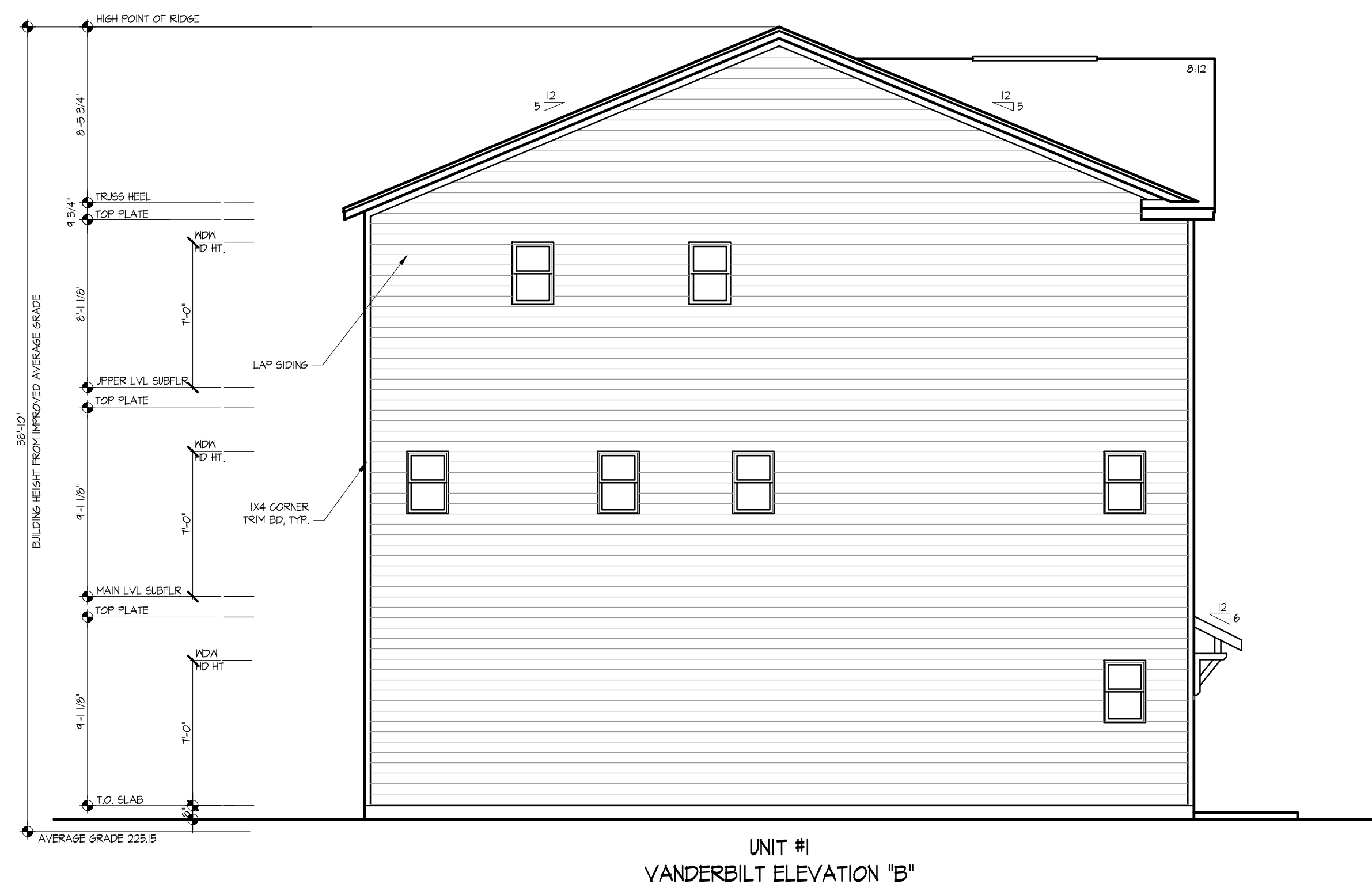
A2.01

Project#



1 EDgewater Commons Building S10 - New Bern Avenue Elevation
SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



2 EDgewater Commons Building S10
Platte River Drive Elevation
SCALE 3/16"=1'-0"

PRINT RECORD

#	DATE	DESCRIPTION
1	8.02.24	CONSTRUCTION
2		
3		
4		

EDGEWATER COMMONS
BUILDING S11

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PHASE ADMINISTRATIVE
SITE REVIEW

SEAL

RELEASE DATE

August 2, 2024

SCALE: 1/8"=1'-0" ON 11x17 SHEET

DRAWING TITLE

BUILDING ELEVATIONS

Drawn By

MP

Checked By

A2.01

Project#



1 **EDGEWATER COMMONS BUILDING S11 - NEW BERN AVENUE ELEVATION**
SCALE 3/16"=1'-0"

BUILDING ELEVATIONS - Lot 2				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG S 1	NEW BERN AVENUE	234.40	232.90	233.65
	PLATTE RIVER DRIVE	234.40	233.40	233.90
BLDG S 2	NEW BERN AVENUE	231.60	230.10	230.85
	PLATTE RIVER DRIVE	231.60	231.40	231.50
BLDG S 3	NEW BERN AVENUE	229.20	227.70	228.45
	PLATTE RIVER DRIVE	229.20	228.10	228.65
BLDG S 4	NEW BERN AVENUE	227.20	224.20	225.70
	PLATTE RIVER DRIVE	227.20	227.10	227.15
BLDG S 5	NEW BERN AVENUE	222.40	219.40	220.90
	PLATTE RIVER DRIVE	222.40	222.20	222.30
BLDG S 6	NEW BERN AVENUE	217.20	212.10	214.65
	PLATTE RIVER DRIVE	217.20	217.00	217.10
BLDG S 7	NEW BERN AVENUE	210.80	208.80	209.80
	PLATTE RIVER DRIVE	210.80	209.70	210.25
BLDG S 8	NEW BERN AVENUE	218.00	214.40	216.20
	PLATTE RIVER DRIVE	218.00	218.00	218.00
BLDG S 9	NEW BERN AVENUE	221.80	220.00	220.90
	PLATTE RIVER DRIVE	222.00	221.80	221.90
BLDG S 10	NEW BERN AVENUE	225.10	223.50	224.30
	PLATTE RIVER DRIVE	225.20	225.10	225.15
BLDG S 11	NEW BERN AVENUE	227.30	226.40	226.85
	PLATTE RIVER DRIVE	227.90	227.30	227.60



2 **EDGEWATER COMMONS BUILDING S11
PLATTE RIVER DRIVE ELEVATION**
SCALE 3/16"=1'-0"