



# Administrative Approval Action

Case File / Name: ASR-0054-2021  
DSLCL - Wynslow Park Apartments

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located at the intersection of Louisburg Road (east side of road) and Fox Rd (both north and south sides of road) located within the corporate city limits of the City of Raleigh. The current addresses listed for the site are 4301 Fox Rd, PIN # 1726935704 & 4300 Fox Rd, PIN #1726947046.

**REQUEST:** An apartment development comprising 3 buildings and 90 units, totaling a new gross floor area of 81,561 square feet with associated improvements such as surface parking and access drives. Buildings 1 and 2, located on Lot 4, will comprise 36 1-bedroom units and 24 2-bedroom units. Building 3, Located on Lot 1, will comprise 18 1-bedroom units and 12 2-bedroom units. The existing site is 2 parcels comprising of 1.776 and 1.165 acres, zoned NX-4-CU.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** FIL-0025-2022: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 7, 2022 by PIEDMONT LAND DESIGN, LLP (primary).

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Remove note on Sheet PA-4 for Build to. Primary Street indicated on this sheet is not consistent with the rest of the plan set and build to is no longer a requirement for apartments per TC-19-19.
2. Attach DA-0023-2021 written decision for SPR review.
3. Correct elevations on sheet A2.10. As shown, the dotted line is not clearly showing the dimension from the average grade to the top of roof.

### **Stormwater**

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A cross access agreement among the lots identified as Lot 1 & PIN 1726.16-93-3461 and Lot 2 and PIN 1736.13-03-1637 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Stormwater

4. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A fee-in-lieu for 360 LF of Sidewalk at 1' width along Louisburg Road and 360 LF of 1.5' width widening along Louisburg Road shall be paid to the City of Raleigh (UDO 8.1.10).

## Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

8. Tree impact permits must be obtained for the approved streetscape tree installations in the rights of way. This development proposes 13 street trees along Fox Road and 14 street trees along Louisburg Road for a total of 27 street trees.
9. A public infrastructure surety for 27 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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*The following are required prior to issuance of building occupancy permit:*

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of right of way street trees by Urban Forestry Staff.

## Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** June 29, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alycia Bailey Taylor  
Development Services Dir/Designee

Date: 03/02/2022

Staff Coordinator: Cara Russell

# WYNSLOW PARK APARTMENTS

## 4300 & 4301 FOX ROAD

### ADMINISTRATIVE SITE REVIEW

ASR-0054-2021

#### ZONING CONDITIONS

Ordinance (2020) 1542Z-05  
Adopted: 11/4/2020

Effective: 11/9/2020

4. **Z-19-20 - 4300 and 4301 Fox Road**, at the northeast and southeast corners of Fox Road and Louisburg Road, approximately 0.7 miles north of New Hope Road, being Wake County PINs 1726947046 & 1726935704. Approximately 2.95 acres are rezoned to Neighborhood Mixed Use-4 stories-Conditional Use (NX-4-CU)
- Conditions dated: October 16, 2020

- The following principal uses, if otherwise allowed in the NX district, shall be prohibited uses on the Property: bar, nightclub, tavern, lounge; vehicle sales/rental; detention center, jail, prison.
- When a Street Protective Yard is not provided, an area having an average width of fifteen (15) feet along the Louisburg Road frontage of the property shall be landscaped with a minimum of four (4) shade trees and fifteen (15) shrubs per 100 linear feet. Nothing in this condition shall be deemed as requiring the provision of a Street Protective Yard.

#### ZONING COMPLIANCE STATEMENT LOT 1&2

- NO BAR, NIGHTCLUB, TAVERN, LOUNGE, VEHICLE SALES/RENTAL, DETENTION CENTER, JAIL OR PRISON IS PROPOSED AS A USE ON THIS SITE.
- AN AREA HAVING AN AVERAGE WIDTH OF 15' ALONG THE LOUISBURG ROAD FRONTAGE OF THE PROPERTY SHALL BE LANDSCAPED WITH A MINIMUM OF (4) SHADE TREES AND FIFTEEN (15) SHRUBS PER 100 LINEAL FEET.

#### GENERAL NOTES

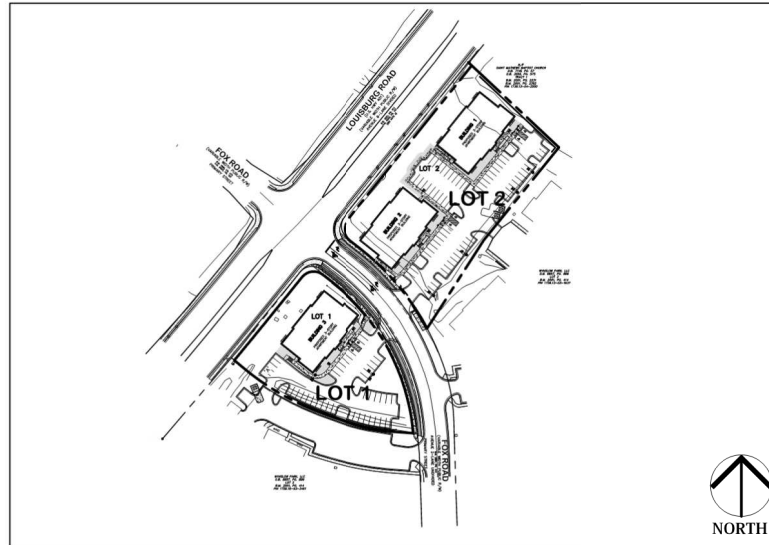
ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.

CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4849) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO DISTURBANCE.

SURVEY DATA PROVIDED BY ROBINSON & PLANTE, P.C. LAND SURVEYING, 970 TRINITY ROAD, RALEIGH, NC 27607 PHONE (919) 859-6030 FAX (919) 859-6032



VICINITY MAP SCALE: 1"=500'

#### SHEET INDEX:

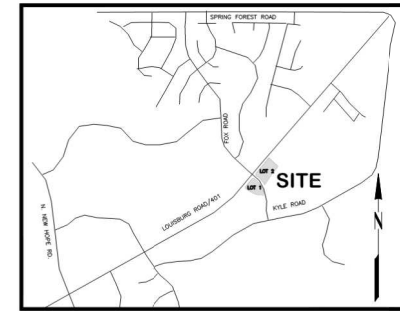
- PA.1 COVER SHEET
- PA.2 EXISTING CONDITIONS
- PA.3 STAKING PLAN
- PA.4 FIRE APPARATUS PLAN
- PA.5 GRADING PLAN
- PA.6 UTILITY PLAN
- PA.7 LANDSCAPE PLAN
- PA.8 SCENIC DETAIL SHEET
- PA.9 DETAIL SHEET
- ARCHITECTURAL ELEVATIONS

#### RIGHT-OF-WAY OBSTRUCTION NOTES:

- Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to [rightofwayservices@raleighnc.gov](mailto:rightofwayservices@raleighnc.gov).
- The street, lane, sidewalk, closure permit is required for any closure on city streets and all NC DOT streets within Raleigh's jurisdiction.
- A permit request with a TCDF Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All TCDF Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to:
  - Manual on Uniform Traffic Control (MUTCD);
  - Public Rights-of-Way Accessibility Guidelines (PROWAG);
  - American Disability Act (ADA) requirements;
  - Raleigh Street Design Manual (RSDM).
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

#### SOLID WASTE SERVICES STATEMENT

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE DEVELOPER PLANS TO USE PRIVATE HAULER TO HANDLE TRASH DENSES.



VICINITY MAP 1"=1000'

#### SITE DATA

- CURRENT PROPERTY OWNER/DEVELOPER: TIGER PARK VENTURES, LLC
- CONTACT PERSON: PIERCE HANCOCK DESIGN, LLP
- TOTAL PROJECT AREA: LOT 1: 1.965 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.3 AC NET (47,362 SF) LOT 2: 1.776 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.71 AC NET (59,481 SF)
- PARCEL DATA: LOT 1: 1726-03-5704 ADDRESS: 4301 FOX ROAD LOT 2: 1726-04-7046 ADDRESS: 4300 FOX ROAD
- ZONING: NX-4-CU
- MINIMUM LOT CRITERIA: LOT 1: 1.965 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.3 AC NET (47,362 SF) LOT 2: 1.776 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.71 AC NET (59,481 SF)
- BUILDING SUMMARY: LOT 1: 1.965 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.3 AC NET (47,362 SF) LOT 2: 1.776 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.71 AC NET (59,481 SF)
- PROPOSED PARKING SUMMARY: LOT 1: 1.965 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.3 AC NET (47,362 SF) LOT 2: 1.776 AC GROSS (50,780 SF) = 3,421 ADA ACCESSIBLE (17%) = 1.71 AC NET (59,481 SF)
- OUTDOOR AMENITY AREA: LOT 1: 50,780 SF = 5,078 SF REQUIRED/5,091 SF PROVIDED 3,421 ADA ACCESSIBLE (17%) LOT 2: 77,358 SF = 7,736 SF REQUIRED/8,987 SF PROVIDED 3,675 NON-ACCESSIBLE (48%)
- CURRENT USE: VACANT
- PROPOSED USE: APARTMENTS
- HISTORIC STRUCTURES: NONE ARE LOCATED ON SITE
- FEMA FLOODPLAIN: PROPERTY IS NOT LOCATED IN A FEMA FLOOD AREA
- WATERSHED: NEUSE RIVER
- FLOOD HAZARD SOILS: NO FLOOD HAZARD SOILS (AS LISTED IN THE WAKE COUNTY UDOT AREA PRESENT ON THE PROPERTY)
- LINEAR PORTAGE OF PROPOSED PUBLIC ROADS: 0 FT
- PRIMARY STREET: FOX ROAD



**HD**  
HDMONTAISONIP  
8522-204 SIX FORKS ROAD  
RALEIGH, NORTH CAROLINA 27615  
919.845.7600 PHONE  
919.845.7703 FAX  
ENGR. FIRM LICENSE NO. F-0843

WYNSLOW PARK APARTMENTS

4300 & 4301 FOX ROAD  
RALEIGH, NC

ISSUED: 16 JUN 2021

#### REVISIONS:

- 17 SEPT 2021
- PER CITY COMMENTS
- 9 DEC 2021
- PER CITY COMMENTS
- 7 FEB 2022
- PER CITY COMMENTS

DRAWN BY: CRP

CHECKED BY: JDL

PROJECT: KCFR401A

COVER SHEET

DWG. NO. PA.1

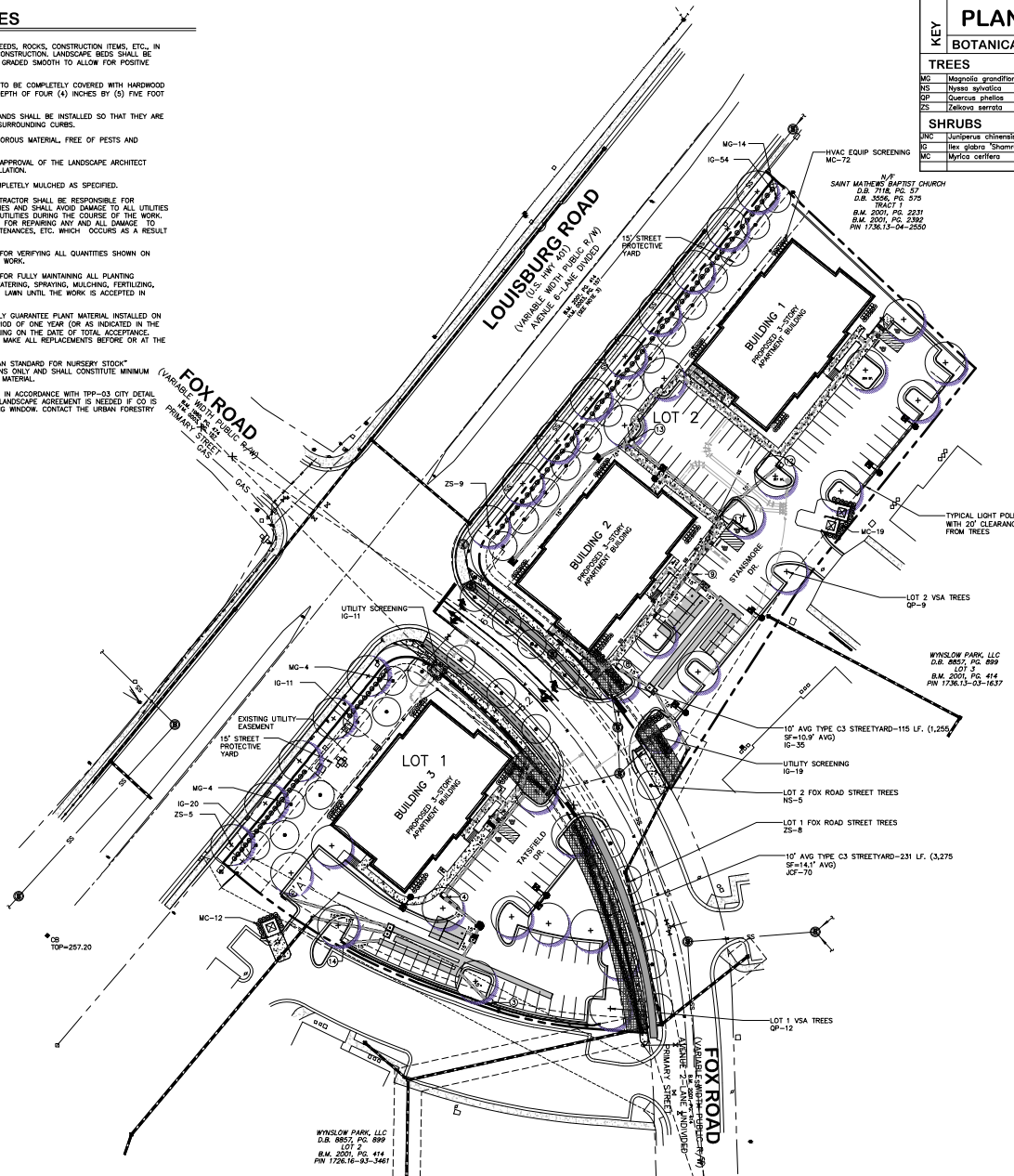






## LANDSCAPE NOTES

- CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., IN LANDSCAPE AREAS DISTURBED BY CONSTRUCTION. LANDSCAPE BEDS SHALL BE SCARIFIED TO A DEPTH OF 6" AND GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE.
- ALL NEW TREES AND SHRUBS ARE TO BE COMPLETELY COVERED WITH HARDWOOD SHREDDED MULCH TO A MINIMUM DEPTH OF FOUR (4) INCHES BY (5) FIVE FOOT DIAMETER.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LUNN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE PLANT MATERIAL INSTALLED ON FOR PRIVATE PROPERTY FOR A PERIOD OF ONE YEAR (OR AS INDICATED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TRP-03 CITY DETAIL BETWEEN LOT 1 AND APRIL 30. A LANDSCAPE AGREEMENT IS REQUIRED IF CD IS REQUIRED OUTSIDE OF THE PLANTING WINDOW. CONTACT THE URBAN FORESTRY INSPECTOR WITH QUESTIONS.

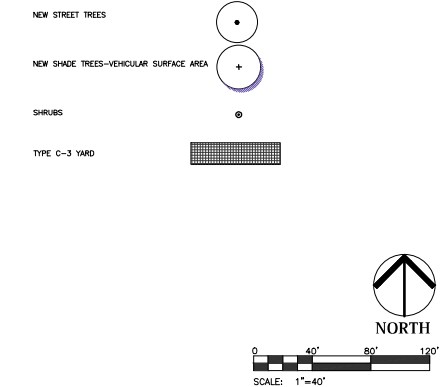


KEY	PLANT LIST		QUAN.	CALCULATED PLANTING	HEIGHT AT PLANTING	MATURE HEIGHT	REMARKS
	BOTANICAL NAME	COMMON NAME					
TREES							
MG	Magnolia grandiflora	Southern Magnolia	22	3"	10'	50'/30'	
NS	Nyssa sylvatica	Black Gum	5	3"	10'	40'/45'	
OP	Quercus phellos	Willow Oak	33	3"	10'	60'/50'	SHADE TREE
ZS	Zelkova serrata	Japanese Zelkova	22	3"	10'	60'/50'	SHADE TREE
SHRUBS							
JNC	Juniperus chinensis 'Nick's Compact'	Nick's Compact Juniper	70	18"	4'-5'/6'		
SP	Spiraea alba 'Shamrock'	Shamrock Spirea	150	18"	18'-20'/15'		
MC	Myrica cerifera	Wax Myrtle	103	18"	20'/15'		

## LANDSCAPE CALCULATIONS

STREET YARDS:		
LOT 1	LOUISBURG ROAD:	207 LF @ 4/100 LF = 8 TREES REQUIRED/PROVIDED
	FOX ROAD:	207 LF @ 1/15 LF = 31 SHRUBS REQUIRED/PROVIDED
LOT 2	LOUISBURG ROAD:	207 LF @ 1/40 LF = 8 TREES REQUIRED/PROVIDED
	FOX ROAD:	348 LF @ 1/40 LF = 5 TREES REQUIRED/PROVIDED
LOT 3	LOUISBURG ROAD:	358 LF @ 4/100 LF = 14 TREES REQUIRED/PROVIDED
	FOX ROAD:	358 LF @ 1/15 LF = 54 SHRUBS REQUIRED/PROVIDED
	FOX ROAD:	358 LF @ 1/40 LF = 9 TREES REQUIRED/PROVIDED
	FOX ROAD:	220 LF @ 1/40 LF = 5 TREES REQUIRED/PROVIDED
STREET PROTECTIVE YARD: (TYPE C-3)		
LOT 1		30 SHRUBS/100 LF x 231 LF = 70 SHRUBS REQUIRED/PROVIDED
LOT 2		30 SHRUBS/100 LF x 115 LF = 30 SHRUBS REQUIRED/PROVIDED
PARKING AREA TREES (7.1.7F):		
LOT 1		24,549 SF/2000 SF = 12 TREES REQUIRED/PROVIDED
LOT 2		18,294 SF/2000 SF = 9 TREES REQUIRED/PROVIDED

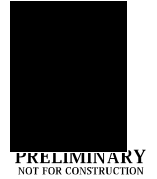
## PLANT LEGEND



ASR-0054-2021



8522-204 SIX FORKS ROAD  
RALEIGH, NORTH CAROLINA 27615  
919.845.7600 PHONE  
919.845.7703 FAX  
ENGR. FIRM LICENSE NO. F-0843



WYNSLOW PARK  
4300 & 4301 FOX ROAD  
PROJECT CITY, STATE

ISSUED: 16 JUN 2021

REVISIONS:  
17 SEPT 2021  
PER CITY COMMENTS  
9 DEC 2021  
PER CITY COMMENTS  
7 FEB 2022  
PER CITY COMMENTS

DRAWN BY: CRP  
CHECKED BY: JDL

PROJECT: KCFR01A

LANDSCAPE PLAN

DWG. NO. PA.7



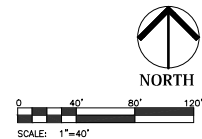
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHARLOTTE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4449) LOCATE BEFORE ANY EXCAVATION OR CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO ANY EXCAVATION.
4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. CONTRACTOR SHALL PROVIDE COVERAGE AS REQUIRED FOR ALL UTILITIES UNDER PAVED AREAS.
5. THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. CONTRACTOR SHALL PROVIDE COVERAGE AS REQUIRED FOR ALL UTILITIES UNDER PAVED AREAS.
7. ALL CLEAN-OUTS SHALL BE THIRTY INCHES AND SHALL BE PROVIDED IN CAST IRON FRAME AND COVER SIMILAR TO EXISTING INSTALLATION. PROVIDE HEAVY DUTY FRAME AND COVER IN PAVED AREAS.
8. ALL MANHOLE AND CLEAN OUT FRAMES AND COVERS/GRATES SHALL BE PAINTED WITH HIGHLY VISIBLE YELLOW OR ORANGE PAVEMENT MARKING.
9. CONTRACTOR SHALL PROVIDE CONDUITS FOR IRRIGATION LINES UNDER PAVED AREAS.
10. LANDSCAPE IRRIGATION SERVICE SHALL BE DESIGN BUILT BY OTHERS.
11. SERVICE SERVICES SHALL BE SLOPED AT 1/4" PER MINIMUM.
12. RETAINING WALL FOOTINGS SHALL NOT ENCROUGH INTO PUBLIC UTILITY EASEMENT.
13. POOL DISCHARGE INTO THE SANITARY SEWER SYSTEM SHALL NOT EXCEED 50 GPM.

BUILDING 1 AND 2 = 13R



1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
  - a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC UTILITY SOURCE. A MINIMUM 12" AIR GAP/SEPARATION RESERVOIR USED TO PREVENT CROSS-CONTAMINATION, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER SEPARATION SHALL BE SPECIFIED.
  - b. MINIMUM VERTICAL SEPARATION SHALL BE 12" FOR ALL PRIVATE SANITARY SEWERS. SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
  - c. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL PUBLIC SANITARY SEWERS. SEWERS SHALL BE 10" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE MINIMUM 12" AIR GAP/SEPARATION RESERVOIR SHALL BE USED TO PREVENT CROSS-CONTAMINATION. WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE CITY OF RALEIGH. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL PUBLIC WATER MAINS.
  - d. DIAMETER
  - e. IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DPW MAINS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - f. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & STORM SEWER SERVICES, UNLESS A WATERMAIN IS SPECIFIED FOR SANITARY SEWERS.
  - g. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & STORM SEWERS MAINTAIN 24" MIN. VERTICAL CLEARANCE AT ALL SANITARY SEWER & RCP STORM SEWER CROSSINGS.
  - h. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & RCP STORM SEWERS MAINTAIN 24" MIN. VERTICAL CLEARANCE AT ALL DETAILS.
  - i. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & RCP STORM SEWERS MAINTAIN 24" MIN. VERTICAL CLEARANCE AT ALL DETAILS.
  - j. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & RCP STORM SEWERS MAINTAIN 24" MIN. VERTICAL CLEARANCE AT ALL DETAILS.
  - k. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & RCP STORM SEWERS MAINTAIN 24" MIN. VERTICAL CLEARANCE AT ALL DETAILS.
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  - z. MINIMUM VERTICAL SEPARATION SHALL BE 18" FOR ALL SANITARY SEWERS & RCP STORM SEWERS MAINTAIN 24" MIN. VERTICAL CLEARANCE AT ALL DETAILS.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN SHEET BY THE CITY OF RALEIGH.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS MUST BE PREPARED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT.
5. 3/0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FOREMANS. 4/0" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. ALL EXISTING PIPELINES SHALL BE REMOVED TO AVOID OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING AT MAIN & ABANDONING AT SERVICE POINT. SEE ATTACHED PLAN SHEET FOR ABANDONMENT PROCEDURE.
7. INSTALL CORPUS WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE INSTALLATION IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY IDENTIFY EXISTING WATER SERVICES TO BE MAINTAINED OR TO BE REMOVED.
8. INSTALL PVC SEWER SERVICES 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT AND SPACED EVERY 75 FEET LINE MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. PRESSURE REDUCING VALVES ARE NOT REQUIRED ON WATER SERVICES HAVING BUILDING DRAIN LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCMD, NCW, OR THE STATE OF NORTH CAROLINA. BUFFER ZONE, WETLAND, &/OR FLOODPLAIN APPLICABLE (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT/RALEIGH ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTORS SHALL BE APPLIED TO ALL WATER SERVICES BEING INSTALLATION OF NEW OR EXISTING WATER SERVICES. SEE ATTACHED PLAN SHEET FOR GREASE INTERCEPTOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT T.M. BEASLEY AT (919) 986-2334 OR T.M.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE REQUIRED TO BE INSTALLED ON ALL WATER SERVICES TO THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF NORTH CAROLINA'S LIST OF APPROVED DEVICES. SEE ATTACHED PLAN SHEET FOR CROSS-CONNECTION CONTROL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. FOR MORE INFORMATION, CONTACT T.M. BEASLEY AT (919) 986-2334 OR T.M.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
14. STRENGTHENING AND/OR REPAIRS TO EXISTING WATER MAINS SHALL BE OBTAINED FROM NCMD, NCW, OR THE STATE OF NORTH CAROLINA. BUFFER ZONE, WETLAND, &/OR FLOODPLAIN APPLICABLE (RESPECTIVELY) PRIOR TO CONSTRUCTION.
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22. NCDOT/RALEIGH ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
23. GREASE INTERCEPTORS SHALL BE APPLIED TO ALL WATER SERVICES BEING INSTALLATION OF NEW OR EXISTING WATER SERVICES. SEE ATTACHED PLAN SHEET FOR GREASE INTERCEPTOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT T.M. BEASLEY AT (919) 986-2334 OR T.M.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
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1. ALL CLEANOUTS LOCATED IN PAVEMENT SHALL BE TRAFFIC RATED.



**PID**  
**PEDMONADESNIP**  
8522-204 SIX FORKS ROAD  
RALEIGH, NORTH CAROLINA 27615  
919.845.7600 PHONE  
919.845.7703 FAX  
ENGR. FIRM LICENSE NO. F-0843

**PRELIMINARY**  
NOT FOR CONSTRUCTION

## WYNSLOW PARK APARTMENTS

4300 & 4301 FOX ROAD  
RALEIGH, NC

ISSUED: 16 JUN 2021

1	17 SEPT 2021
PER CITY COMMENTS	
2	7 FEB 2022
PER CITY COMMENTS	

DRAWN BY: MLS  
CHECKED BY: JDL  
PROJECT: KCFR401A

## UTILITY PLAN

DWG. NO. **PA.6**

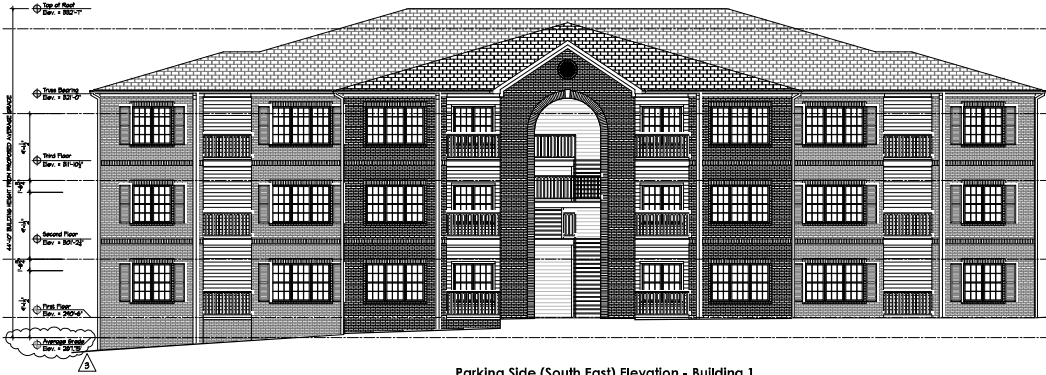
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12-150-7	12-150-7	12-150-8	12-150-8
12-150-9	12-150-9	12-150-10	12-150-10
12-150-11	12-150-11	12-150-12	12-150-12
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12-150-17	12-150-17	12-150-18	12-150-18
12-150-19	12-150-19	12-150-20	12-150-20

Exterior Finish Colors	
Material / Color	Manufacturer / Description
Black Veneer	Black - Red Veneer - Modular - To Be Selected
Windows & Sillings	Vinyl Single Hung Residential Grade - White
Asphalt Shingles	Medium Gray - as available from manuf.
Horizontal Siding 1	Vinyl Siding - Color to match existing adjacent buildings
Fascia & Trim	Vinyl & Pre-finished Alum. - White
Balcony Guardrails	Vinyl railings - White
Shutters	Vinyl Slat Shutters - Color to match existing adjacent buildings
Pre-finished	Pre-finished aluminum - White
Grilles & Drapery	

- ### ELEVATION NOTES
- SEE ROOF PLANS FOR ROOF SLOPE INFORMATION.
  - ALL PROPOSED GRADE TO SLOPE AWAY FROM BUILDING. SEE SURVEY & CIVIL DRAWINGS.
  - COORDINATE LOCATION OF DOWNSPOUTS WITH ROOF PLANS.
  - ALL EXTERIOR FINISH COLORS TO BE SELECTED BY OWNER, ARCHITECT AND/OR INTERIOR DESIGNER.
  - SEE FLOOR PLANS FOR DOOR SIZES & SIZES.
  - SEE WINDOW SCHEDULE FOR WINDOW SIZES.
  - PROVIDE MIN. 42" HIGH GUARDRAIL AT BALCONIES & OTHER AREAS INDICATED ON DRAWINGS.
  - GLAZING TO BE TEMPERED WHERE REQUIRED BY CODE.
  - PROVIDE ALL NECESSARY INTERIOR & EXTERIOR TRIM, CABINETS, STUCCO, BRICK MOLDERS, ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WINDOWS.
  - PROVIDE PROPER FLASHING AROUND ALL WINDOWS. INSTALL PER MANUFACTURER'S REQUIREMENTS.
  - REFER TO WALL SECTIONS AND DETAILS FOR HEAD AND BILL FLASHING LOCATIONS.
  - COORDINATE ALL WINDOW OPENINGS DIMENSIONS WITH MANUFACTURER, TYP.

**Harvey a+d**  
John L. Harvey  
Architecture + Design, Inc.

1213 US Highway 70 E • Suite 100  
Hillsborough, NC 27276  
Office: (819) 323-1965  
Cell: (819) 323-1473  
Email: john@harveyarchitect.com  
www.harveyarchitect.com



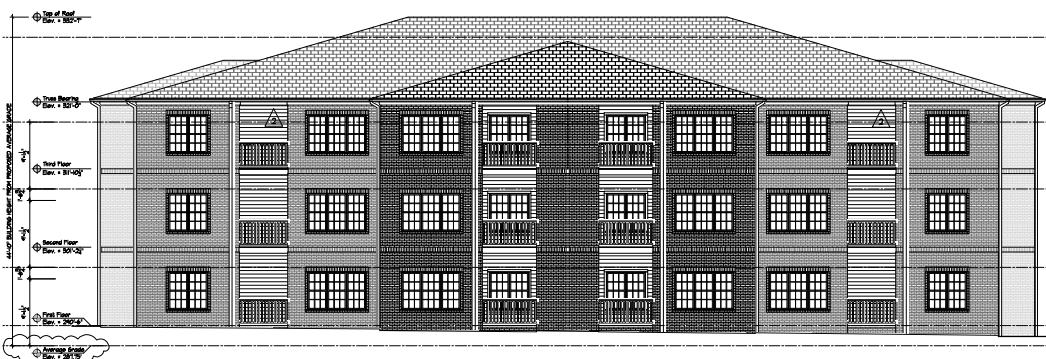
Parking Side (South East) Elevation - Building 1



Right Side (North East) Elevation - Building 1

## Exterior Elevations

SCALE: 1/8" = 1'-0"



Louisburg Road (North West) Elevation - Building 1

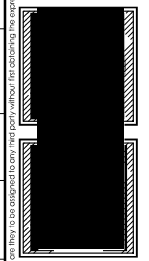


Fox Road (South West) Elevation - Building 1

## Exterior Elevations

SCALE: 1/8" = 1'-0"

### Site Review Set



**Wynslow Park Apartments**  
New Apartment Buildings - Phase 2  
4300 Fox Road and 4301 Fox Road  
Raleigh, North Carolina 26616

Revisions		
No.	Description / Date	
1	Revisions as per Site Review Comments - 8/24/2021	
2	Revisions as per Site Review Comments - 12/1/2021	
3	Revisions as per Site Review Comments - 1/28/2022	

This sheet is formatted for a 24" x 36" print. If this print does not measure that - refer to the graphic scale.

Sheet Title:  
Exterior Elevations  
Building 1

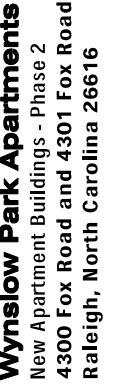
Date: Jan. 27, 2022  
Project: 21012  
Sheet Number:

9

**Prior to painting exterior of building, provide color samples and final color layout for architect approval**

4. PROVIDE ALL NECESSARY INTERIOR & EXTERIOR TRIM, CASINGS, STOOLS, BRICK MOULDS, ETC., AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WINDOWS.

## Site Review Set



Sheet Title:  
Exterior Elevations  
Building 2

**A2.20**



Graphic scale

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SCALE: 1/8" = 1'-0"

2

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SCALE: 1/8" = 1'-0"

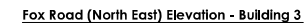
1



Exterior Finish Colors	
<b>Material / Color</b>	<b>Manufacturer &amp; Description</b>
Black Venise	Black - Red Woodcut • Modular • To Be Selected
Brick and Slat	Brick • Red Woodcut • Modular • To Be Selected
Asphalt Shingles	Vinyl Single Hung Residential Grade • White
Roofing	Medium Gray • as available from manu.
Horizontal Siding 1	Vinyl Siding • Color to match existing outdoor buildings
Fascias & Trim	Vinyl • Pre-finished Alum. • White
Galvalume Guardrails	Vinyl railings • White
Shutters	Vinyl Slat shutters • Color to match existing outdoor buildings
Pre-finished • Gutters & Downspouts	Pre-finished aluminum • White

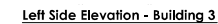
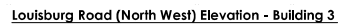
Note to potential installer of buildings: provide color samples and final color layout for architect approval

1. SEE ROOF PLANS FOR ROOF SLOPE INFORMATION.	6. GLAZING TO BE TEMPERED WHERE REQUIRED BY CODE.
2. ALL PROPOSED GLAZING TO SLOPE AWAY FROM BUILDING. SEE SURVEY & CIVIL DRAWINGS.	7. PROVIDE ALL NECESSARY INTERIOR & EXTERIOR FINISHING, STUDS & BRICK HOLDERS ETC. AS REQUIRED FOR A COMPLETE INSTALLATION OF THE WINDOW.
3. COORDINATE LOCATION OF DOWNPOUTS WITH ROOF PLANS.	8. PROVIDE PROPER FLASHING AROUND ALL WINDOWS. INSTALL PER MANUFACTURER'S REQUIREMENTS.
4. ALL EXTERIOR FINISH COLORS TO BE SELECTED BY OWNER, ARCHITECT AND/OR INTERIOR DESIGNER.	9. REFER TO WALL SECTIONS AND DETAILS FOR HEAD AND SILL FLASHING LOCATIONS.
5. SEE FLOOR PLANS FOR DOOR SIZES & SIZES.	10. COORDINATE ALL ROUGH OPENINGS DIMENSIONS WITH MANUFACTURER, TYP.
6. SEE WINDOW SCHEDULE FOR WINDOW SIZES.	
7. PROVIDE MIN. 4" HIGH GUARDRAIL AT BALCONIES & OTHER AREAS INDICATED ON DRAWINGS.	



SCALE: 1/8" = 1'-0"

2



SCALE: 1/8" = 1'-0"

1