

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b>	Tier Two Site Plan	Tier Three Site Plan	
	<b>Building Type</b>		<b>Site Transaction History</b>
	Detached	General	Subdivision case #: _____
	Attached	Mixed use	Scoping/sketch plan case #: _____
	Apartment	Open lot	Certificate of Appropriateness #: _____
	Townhouse	Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
<b>GENERAL INFORMATION</b>			
Development name:			
Inside City limits?    Yes    No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company:			Title:
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): DX-20-SH	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 1.43	New gross floor area: 590,647
# of parking spaces required:	Total sf gross (to remain and new): 590,647
# of parking spaces proposed: 389	Proposed # of buildings: 1
Overlay District (if applicable): HOD-G	Proposed # of stories for each: 20
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Residential, Retail and Parking Facility	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 1.38      Square Feet: 60,319	Proposed Impervious Surface: Acres: 1.38      Square Feet: 59,977
Is this a flood hazard area?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**RESIDENTIAL DEVELOPMENTS**


Total # of dwelling units: 387	Total # of hotel units: 0
# of bedroom units: 1br 310      2br 77      3br 0      4br or more 0	
# of lots: 1	Is your project a cottage court?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jonathan Balderson will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 7/11/22
Printed Name: M. W. A. CSORT	



# WILMINGTON STREET MIXED USE

521 SOUTH WILMINGTON STREET  
 RALEIGH, NORTH CAROLINA 27601  
**ADMINISTRATIVE SITE REVIEW**  
 CITY OF RALEIGH CASE# ASR-0054-2022 & Z-1-22  
 PROJECT NUMBER: TID-21001  
 DATE: JULY 11, 2022

**CLIENT**

WILMINGTON OWNER, LLC  
 c/o TIDAL REAL ESTATE PARTNERS, LP  
 520 WEST 27TH STREET, SUITE 403  
 NEW YORK, NEW YORK  
 PHONE: 212.352.8224

**CLIENT**

WILMINGTON OWNER, LLC  
 c/o TIDAL REAL ESTATE PARTNERS, LP  
 520 WEST 27TH STREET, SUITE 403  
 NEW YORK, NEW YORK  
 PHONE: 212.352.8224

**WILMINGTON ST. MIXED USE**  
**ADMINISTRATIVE SITE REVIEW**  
 521 WILMINGTON STREET  
 RALEIGH, NORTH CAROLINA 27601

**Administrative Site Review Application**

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Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, as amended by text change case # TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:	_____
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #:	_____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	_____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:	_____
		Zoning Case #: Z-1-2022	_____
		Administrative Alternate #:	_____

**GENERAL INFORMATION**

Development name: Wilmington Mixed Use

Inside City limits? Yes  No

Property address(es): 513, 519, 521, 529 S Wilmington St. and 108, 112 Stronachs Aly

Site P.L.N.(s): 1703763594, 1703765478, 1703765632, 1703764663, 1703763636, and 1700763631

Please describe the scope of work. Include any additions, expansions, and change of use.  
 Mixed use building that includes retail, multi-unit apartments, and a parking facility.

Current Property Owner/Developer Contact Name: Michael Walsdorf  
 NOTE: please attach purchase agreement when submitting this form.

Company: Wilmington Owner LLC Title: Authorized Signatory

Address: 520 W 27th St, STE 403

Phone #: 212-352-8224 Email: eeinik@tidalrep.com

Applicant Name: Jonathan Balderson

Company: McAdams Address: 1 Glenwood Dr. Suite 201, Raleigh, NC 27603

Phone #: 919.287.0815 Email: balderson@mcadamsco.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): <u>DX-20-SH</u>	Existing gross floor area (not to be demolished): <u>0</u>
Gross site acreage: <u>1.43</u>	New gross floor area: <u>592,898 SF</u>
# of parking spaces required: <u>0 MIN. (733 MAX.)</u>	Total gross floor area to be demolished: <u>0</u>
# of parking spaces proposed: <u>416</u>	Proposed # of buildings: <u>1</u>
Overlay District (if applicable): <u>HOD-G</u>	Proposed # of stories for each: <u>20</u>
Existing use (UDO 6.1.4): <u>Vacant</u>	
Proposed use (UDO 6.1.4): <u>Residential, Retail and Parking Facility</u>	

STORMWATER INFORMATION			
Existing Impervious Surface: Acres: <u>1.36 AC</u> Square Feet: <u>59,372 SF</u>	Proposed Impervious Surface: Acres: <u>1.43 AC</u> Square Feet: <u>62,135 SF</u>	Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____ Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: <u>387</u>	Total # of hotel units: <u>0</u>
# of bedroom units: 1br <u>310</u> 2br <u>77</u> 3br <u>0</u> 4br or more <u>0</u>	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
# of lots: <u>1</u>	

**SIGNATURE BLOCK**  
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 I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: [Signature] Date: 7/11/22  
 Printed Name: Jonathan Balderson

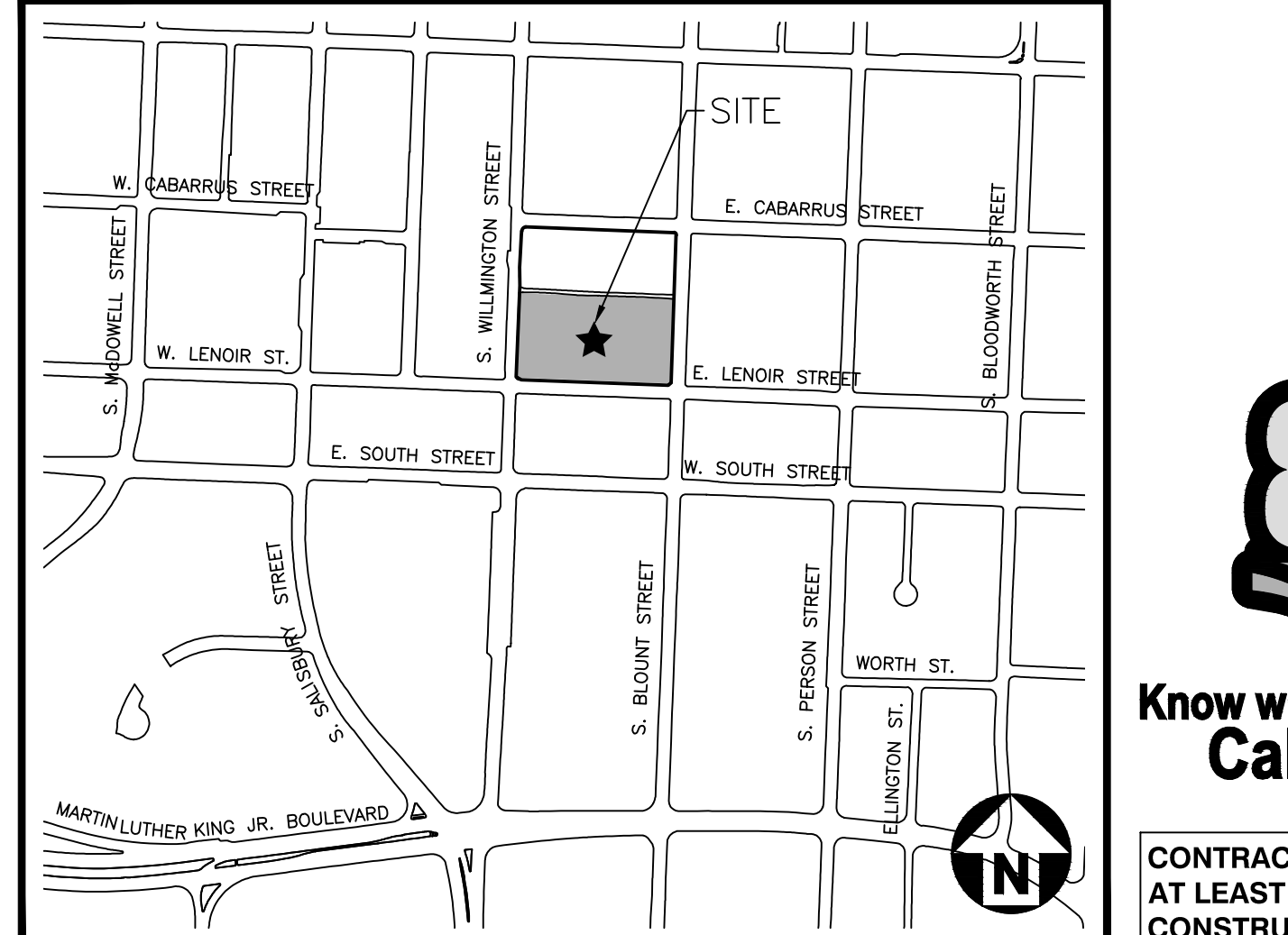
SITE DATA	
PHYSICAL ADDRESS:	521 S. WILMINGTON ST, RALEIGH NORTH CAROLINA 27601
PARCEL PIN:	1703763594, 1703765478, 1703765632, 1703764663, 1703763636, 1700763631
ZONING:	DX-20-SH DOWNTOWN MIXED USE - 20 STORIES - SHOPFRONT
OVERLAY DISTRICT:	NONE
WATERSHED:	WALNUT CREEK
SITE AREA:	62,135 SF / 1.43 AC
FLOODWAY/FLOODPLAIN:	NONE
PROPERTY OWNERS:	1703763594: BARNES MOTOR & PARTS COMPANY (16,725 SF) TRACT 1 (4,257 SF) TRACT 2 (3,168 SF) TRACT 3 (9,300 SF) 1703765478: WILMINGTON OWNER, LLC (35,863 SF) 1703765632: WILMINGTON OWNER, LLC (3,869 SF) 1703764663: DR. CARLEE ADAMS HEIRS (5,088 SF)
FRONTAGE REQUIREMENTS (SHOPFRONT):	PEDESTRIAN ACCESS: PRIMARY STREET-FACING ENTRANCE REQUIRED
BUILDING DATA:	RESIDENTIAL: 387 UNITS, 310 1-BEDROOM, 77 2-BEDROOM (405,557 SF) RETAIL: 18,650 SF PARKING DECK: 106,440 SF BUILDING 1 (MODULE 1) SF: 564,398 SF BUILDING 2 (MODULE 2) SF: 28,500 SF
PARKING DATA:	VEHICLE PARKING TOTAL MAXIMUM REQUIRED: 733 SPACES MAX. (PER UDO SEC. 7.1.3.A.1.A) RESIDENTIAL UNITS PARKING: 639 SPACES MAX. (PER UDO SEC. 7.1.3.A.1.A) RETAIL PARKING: 94 SPACES MAX. (PER UDO SEC. 7.1.3.A.1.A) TOTAL PROPOSED: 416 TOTAL SPACES (IN PARKING DECK) 335 STANDARD SPACES 71 COMPACT SPACES 2 EV SPACES 6 STANDARD ADA SPACES 2 ADA VAN SPACES
ACCESSIBLE PARKING	REQUIRED: 8 ADA SPACES (IN PARKING DECK) 2 ADA VAN SPACES (IN PARKING DECK) 8 SPACES (6 CAR AND 2 VAN) PROPOSED: 8
BIKE PARKING	REQUIRED: 67 LONG TERM SPACES; 24 SHORT TERM SPACES RESIDENTIAL: LONG TERM: 67 SPACES (1 SPACE/7 BEDROOMS) SHORT TERM: 20 SPACES (1 SPACE/20 UNITS) RETAIL: LONG TERM: 0 SPACES SHORT TERM: 4 SPACES (1 SPACE/200 SF) PROPOSED: 67 LONG TERM SPACES; 24 SHORT TERM SPACES
BUILDING + PARKING SETBACKS	BUILD-TO REQUIRED (DISTRICT) 5 BLOUNT ST (PRIMARY STREET): 52 LF (80% BUILDING WIDTH IN BUILD-TO) LENDOR ST (PRIMARY STREET): 312 LF (80% BUILDING WIDTH IN BUILD-TO) WILMINGTON ST (PRIMARY STREET): 96 LF (80% BUILDING WIDTH IN BUILD-TO) REQUIRED (SHOP FRONT FRONTAGE) 5 BLOUNT ST (PRIMARY STREET): 52 LF (80% BUILDING WIDTH IN BUILD-TO) LENDOR ST (PRIMARY STREET): 312 LF (80% BUILDING WIDTH IN BUILD-TO) WILMINGTON ST (PRIMARY STREET): 96 LF (80% BUILDING WIDTH IN BUILD-TO) PROVIDED 5 BLOUNT ST (PRIMARY STREET): 65 LF (100% BUILDING WIDTH IN BUILD-TO) LENDOR ST (PRIMARY STREET): 390 LF (100% BUILDING WIDTH IN BUILD-TO) WILMINGTON ST (PRIMARY STREET): 108.67 FT (90.5% BUILDING WIDTH IN BUILD-TO)
PARKING SETBACK	LENDOR ST (PRIMARY STREET): 30' WILMINGTON ST (PRIMARY STREET): 30' SIDE LOT LINE-REAR LOT LINE: 0'-3'
BUILDING/STRUCTURE SETBACK:	FROM PRIMARY STREET (MIN): 3' FROM SIDE STREET (MIN): 3' FROM SIDE LOT LINE (MIN): 0' OR 6' FROM REAR LOT LINE (MIN): 0' OR 6' FROM ALLEY (MIN): 5'
FLOOR HEIGHTS	GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN): 15' UPPER STORY HEIGHT, FLOOR TO FLOOR: 9'
TRANSPARENCY	REQUIRED (MIXED USE DISTRICT): 66% GROUND STORY (MIN): 20% UPPER STORY (MIN): 20% BLANK WALL (MAX): 20% PROVIDED: GROUND STORY (MIN): 71% (LENDOR STREET) UPPER STORY (MIN): 72% (LENDOR STREET) BLANK WALL (MAX): N/A
EXISTING IMPERVIOUS:	1.36 AC.
PROPOSED IMPERVIOUS ALLOCATION:	1.43 AC. (100% OF PROJECT AREA)
BUILDING HEIGHT	MAXIMUM ALLOWED: 20 STORY PROPOSED: 20 STORY
TREE CONSERVATION	NO TREE CONSERVATION SHALL BE REQUIRED PER UDO SECTION 9.1.2 AS THE EXISTING LOT IS LESS THAN 2 ACRES IN SIZE.
OUTDOOR AMENITY AREA	REQUIRED: 3,431 SF (0.08 AC) 6212 SF (10% OF SITE AREA) 600 SF PER UDO SEC. 50 SF/FLOOR ABOVE 7 (FLOORS 8-20) 3,431 SF (50% REDUCTION PER UDO SEC. 1.5.3.D.4) PROPOSED: 5,630 SF (0.13 AC)
BLOCK PERIMETER:	1,758 LF (2,000 LF MAX)

**ZONING CONDITIONS**

ADOPTED: 1/5/2021 EFFECTIVE: 1/10/2021

Z-1-22 - 521 SOUTH WILMINGTON STREET, LOCATED NEXT TO THE INTERSECTION OF EAST LENOIR STREET AND SOUTH WILMINGTON STREET, BEING WAKE COUNTY PIN 1703763594, APPROXIMATELY 1.43 ACRES REZONED TO DOWNTOWN MIXED USE, WITH CONDITIONS (IX-20-SH).  
 CONDITIONS DATED: NOVEMBER 17, 2022

- THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4 THAT ARE PERMITTED, LIMITED, OR SPECIAL USES IN THE DX- DISTRICT SHALL BE PROHIBITED: (I) DORMITORY, FRATERNITY, SORORITY; (II) ADULT ESTABLISHMENT; (III) PAWNSHOP; (IV) VEHICLE FUEL SALES; AND (V) DETENTION CENTER, JAIL, PRISON.  
 RESPONSE: THE PROHIBITED USES ARE NOT PROPOSED WITH THIS SITE PLAN.
- PUBLIC FACADES OF STRUCTURED PARKING: PARKING STRUCTURE FACADES ADJACENT TO OR FACING ANY PUBLIC PARK OR PLAZA, PUBLIC RIGHT-OF-WAY, PUBLIC SIDEWALK, OR PRIVATE STREET SHALL COMPLY WITH THE FOLLOWING: SCREENING ELEMENTS SHALL BE DESIGNED IN A STRUCTURALLY SOUND MANNER AND HAVE A GAP OF NO MORE THAN 18 INCHES FROM THE FRAME OF THE SCREENING ELEMENT TO THE WALL OPENING. ALTERNATIVE DECORATIVE ELEMENTS WHICH PROVIDE AN EQUIVALENT LEVEL OF SCREENING MAY BE ALLOWED IN AN ACCESSORY PARKING STRUCTURE WHERE SUCH ELEMENTS ARE EMPLOYED TO MATCH THE ARCHITECTURAL CHARACTER OF THE MAIN BUILDING. MESH OR DECORATIVE PANELS, LOUVERS, GREEN WALLS, TINTED OR SANDBLASTED OPAQUE SPANDREL GLASS, OR SIMILAR SCREENING ELEMENTS SHALL BE USED. CHAIN LINK FENCING AND SIMILAR SCREENING ELEMENTS SHALL BE PROHIBITED AS AN ALLOWABLE MESH OR SIMILAR SCREENING ELEMENT.  
 RESPONSE: THE PARKING STRUCTURE FACADE HAS BEEN DESIGNED SO THAT IT COMPLES WITH THE ZONING CONDITIONS LISTED ABOVE. PLEASE SEE SHEET ASR-1006 THROUGH ASR-1009 FOR BUILDING FACADES ON EACH SIDE OF THE PARKING STRUCTURE.
- LIGHTING WITHIN STRUCTURED PARKING: LIGHTING SHALL BE DESIGNED TO REDUCE LIGHT SPILLAGE OUTSIDE THE PARKING STRUCTURE ACCORDING TO THE FOLLOWING:
  - INTERNAL ILLUMINATION OF PARKING STRUCTURES SHALL BE SCREENED SO THAT INTERNAL LIGHT SOURCES SHALL NOT BE VISIBLE FROM THE ADJACENT PUBLIC RIGHT-OF-WAY OR ADJACENT PARCELS. LIGHT FIXTURES DIRECTLY VISIBLE FROM THE EXTERIOR OF A PARKING STRUCTURE SHALL BE DIRECTED INTERNALLY UPWARD OR SHALL CONTAIN SHIELDED FIXTURES TO MINIMIZE SUCH VISIBILITY.
  - INTERNAL ILLUMINATION OF PARKING STRUCTURES SHALL CONFORM TO THE STANDARDS OF UDO SECTION 7.4.7. VEHICULAR CANOPIES.
  - LIGHTING LEVELS MEASURED AT THE PROPERTY LINE OF PRIVATELY-OWNED PARCELS ADJACENT TO THE STRUCTURED PARKING DECK SHALL NOT BE GREATER THAN 0.5 FOOTCANDLES.  
 RESPONSE: LIGHTING WITHIN THE PARKING STRUCTURE HAS BEEN DESIGNED SO THAT IT MEET EACH OF THE THREE REQUIREMENTS LISTED ABOVE.
- ANY CONSTRUCTION IN CONNECTION WITH THE DEVELOPMENT OF THE SUBJECT PROPERTIES SHALL PROHIBIT THE INSTALLATION OF SHEET PILES AND PILE DRIVING OPERATIONS WITHIN ONE HUNDRED AND FIFTY FEET (150') OF THE POSE-HOUSE STRUCTURE LOCATED AT 513 S. WILMINGTON STREET.  
 RESPONSE: SHEET PILES AND PILE DRIVING OPERATIONS WILL NOT BE USED WITHIN 150' FEET OF 511 S. WILMINGTON STREET.
- THE FIRST STORY OF ANY BUILDING SITUATED WITHIN FORTY FEET (40') OF STRONACH'S ALLEY SHALL INCLUDE ANY COMBINATION OF BRICK, STONE, CONCRETE MASONRY, METAL, GLASS, CEMENTITIOUS SIDING AND/OR WOOD ON THAT FACADE OF THE BUILDING FACING STRONACH'S ALLEY. SUCH FACADE SHALL COMPRISE A MINIMUM 50% BRICK AND/OR CONCRETE MASONRY AND A MAXIMUM 50% OF GLASS AND METAL.  
 RESPONSE: THE BUILDING FACADE FACING STRONACH'S ALLEY HAS BEEN DESIGNED SO THAT IT MEETS THE REQUIREMENTS LISTED ABOVE. PLEASE SEE SHEET ASR-1007 FOR A DETAILED BREAKDOWN OF THE BUILDING FACADE.
- ANY BUILDING SITUATED WITHIN FORTY FEET (40') OF STRONACH'S ALLEY SHALL INCLUDE AT LEAST ONE DOOR FOR PEDESTRIAN ACCESS TO THE BUILDING FROM STRONACH'S ALLEY.  
 RESPONSE: ACCESS TO THE BUILDING FROM STRONACH'S ALLEY HAS BEEN PROVIDED.
- ANY BUILDING SITUATED WITHIN FORTY FEET (40') OF STRONACH'S ALLEY SHALL NOT CONTAIN LOADING DOCKS ON THAT SIDE OF THE BUILDING FACING STRONACH'S ALLEY.  
 RESPONSE: LOADING DOCKS HAVE NOT BEEN PROVIDED ON THE SIDE OF THE BUILDING THAT FACES STRONACH'S ALLEY.



**VICINITY MAP**  
 N.T.S.



Know what's below.  
 Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

**SHEET INDEX**

C0.00	PROJECT NOTES
C1.00	ALTA
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C3.01	AVERAGE GRADE PLAN
C4.00	OVERALL UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	STORM DRAINAGE & SANITARY SEWER DETAILS
C8.03	SANITARY SEWER DETAILS
C8.04	WATER DETAILS
C8.05	WATER DETAILS
C9.00	STORMWATER CONTROL MEASURE "A" PLAN VIEW
C9.01	STORMWATER CONTROL MEASURE "A" DETAILS
C9.02	STORMWATER CONTROL MEASURE "A" LANDSCAPE PLAN
L5.00	LANDSCAPE PLAN

**BY OTHERS**

BUILDING ELEVATIONS

**REVISIONS**

NO.	DATE	DESCRIPTION
1	08.26.2022	RESPONSE TO 1ST ASR REVIEW

**PLAN INFORMATION**

PROJECT NO. TID-21001  
 FILENAME:  
 CHECKED BY: ARP  
 DRAWN BY: SME  
 SCALE:  
 DATE: 07.11.2022

**SHEET**

**ADMINISTRATIVE SITE REVIEW FOR:**  
 WILMINGTON STREET MIXED USE  
 521 SOUTH WILMINGTON STREET  
 RALEIGH, NC 27601  
 PROJECT NUMBER: TID-21001

SEE SHEET C0.01 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

**NOTES:**  
 1. THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURBS; NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.  
 2. WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERNING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.  
 3. PER TC-SA-18 & SEC. 1.5.4.C, THE PRIMARY STREET DESIGN SHALL BE E. LENOIR STREET & S. BLOUNT STREET.  
 4. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2459 and the Public Utilities Department at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



















