Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _

Planner (print): _

Please review UDO Section 10.2.8. as amended by text change case <u>TC-14-19</u> to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the <u>Permit and Development Portal</u>. (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Si	ite Plan	Tier Three S	er Three Site Plan				
	Buildin	д Туре		Site Transaction History				
	Detached		General	Subdivision case #:				
	Attached		Mixed use	Scoping/sketch plan case #: Certificate of Appropriateness #:				
	Apartment		Open lot	Board of Adjustment #:				
-	Townhouse		Civic	Zoning Case #:				
	rownnouse		CIVIC	Administrative Alternate #:				
			GENERAL IN	FORMATION				
Development na	ime:							
Inside City limits	? Yes	No						
Property address	s(es):							
Site P.I.N.(s):								
Please describe	the scope of	f work. Include a	any additions, e	expansions, and change of use.				
Current Property	/ Owner/Dev	eloper Contact	Name:					
NOTE: please a	ttach purch	ase agreement	t when submi	tting this form.				
Company:				Title:				
Address:								
Phone #:			Email:					
Applicant Name:	:							
Company:			Address:					
Phone #:			Email:					

REVISION 02.19.21

	E + SITE DATE TABLE Il developments)
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished): 0
DX-20-SH	Existing gross floor area to be demolished: 0
Gross site acreage: 1.43	New gross floor area: 590,647
# of parking spaces required:	Total sf gross (to remain and new): 590,647
# of parking spaces proposed: 389	Proposed # of buildings: 1
Overlay District (if applicable): HOD-G	Proposed # of stories for each: 20
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Residential, Retail and Parking Facility	

	STORMWATER I	NFORMATION	u (* 2. ji u s	entra da collectad
Existing Impervious Surface:		Proposed Impervic	us Surface:	
Acres: 1.38 Square Fee	t: <u>60,319</u>	Acres: 1.38	_ Square Feet:	59,977
Is this a flood hazard area? Yes	No 🖌			Y
If yes, please provide:				
Alluvial soils:				
Flood study:				
FEMA Map Panel #:				
Neuse River Buffer Yes	No 🖌	Wetlands	Yes 🗌	No 🗹

	RESID	ENTIAL DE	VELOPMENTS		÷.,
Total # of dwelling units: 387			Total # of hotel units: 0		
# of bedroom units: 1br 310	2br 77	3br 0	4br or more 0		
# of lots: 1			Is your project a cottage court?	Yes No	

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jonathan Balderson

_ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:	4	Date: $7/11/22$
Printed Name:	M.WA-CSDORF	

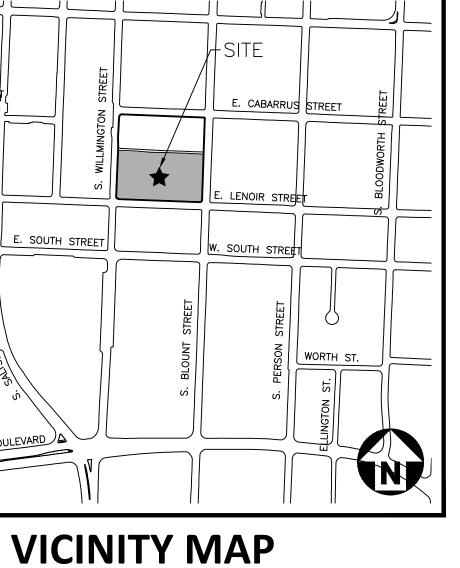
REVISION 02.19.21

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ssistance determining a Site Plan Tier is needed a Site I Permit and Development Portal. (Note: There is a fee for	Plan Tier Verification request can be submitted online via the this verification service.)	ZONING:	
Site Plan Tier: Tier Two Site Plan Tier Three Building Type	e Site Plan 🖌 Site Transaction History	WATERSHED: SITE AREA	
Detached Gener		FLOODWAY/FLOODPLAIN PROPERTY OWNERS:	:
Attached Mixed us	Certificate of Appropriateness #:		
Apartment Open I Townhouse Civ	Zoning Case #: Z-1-2022		
GENERAL	Administrative Alternate #:	FRONTAGE REQUIREMEN BUILDING DATA:	TS (SHOPFRO
Development name: Wilmington Mixed Use			
Inside City limits? Yes ✔ No Property address(es): 513 519 521 529 S M	/ilmington St. and 108, 112 Stronachs Aly		
	55632, 1703764663, 1703763636, and 1700763631	PARKING DATA:	VEHICLE
Please describe the scope of work. Include any addition	s, expansions, and change of use.		
Mixed use building that includes retail, multi-unit a	apartments, and a parking facility.		
			ACCESSIE
Current Property Owner/Developer Contact Name: Micl NOTE: please attach purchase agreement when sub			ACCESSI
Company: Wilmington Owner LLC	Title: Authorized Signatory		BIKE PAF
Address: 520 W 27th St, STE 403 Phone #: 212-352-8224 Email: eei	inik@tidalrep.com		
Applicant Name: Jonathan Balderson		BUILDING + PARKING	BUILD-TO
	Glenwood Dr. Suite 201, Raleigh, NC 27603		
	Iderson@mcadamsco.com REVISION 02.19.21 raleighnc.gov		
	REVISION 02.19.21		PARKING
age 1 of 2 DEVELOPMENT TY	REVISION 02.19.21 raleighnc.gov	BUILDING/STRUCTURE SET	
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DEVELOPMENT TY (Applicable to SITE DATA Zoning district (if more than one, please provide the acreage of each): DX-20-SH Gross site acreage: 1,43 # of parking spaces required; 0 MIN. (733 MAX.) # of parking spaces proposed: 416 Overlay District (if applicable): HOD-G Existing use (UDO 6.1.4): Vacant Proposed use (UDO 6.1.4): Nacant Proposed use (UDO 6.1.4): Vacant STORMWATI Existing Impervious Surface; Acres; 1.36 AC Acres; 1.36 AC Square Feet: 59,372 SF Is this a flood hazard area? Yes No If yes, please provide: Alluvial soils: Flood study:	REVISION 02.19.21 raleighnc.gov PE + SITE DATE TABLE all developments) BUILDING DATA Existing gross floor area to be demolished): 0 New gross floor area: 592,898 SF 1 Total sf gross (to remain and new): 592,898 SF Proposed # of stories for each: 20 It Proposed # of stories for each: 20 It Proposed Impervious Surface: Acres: 1.43 AC Square Feet: 62,135 SF 0 4br or more 0 Is your project a cottage court? Yes No ✓ IRE BLOCK Wate of this application and that the proposed project Coth of the city of Raleigh Unified Development Ordinance. serve as the agent regarding this application, and will receive and application frequirements applicable with the ation is subject to the filing calendar and submittal policy, tivy. Date: #/iU/22	FLOOR HEIGHTS TRANSPARENCY EXISTING IMPERVIOUS: PROPOSED IMPERVIOUS BUILDING HEIGHT TREE CONSERVATION OUTDOOR AMENITY ARE BLOCK PERIMETER:	A
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DEVELOPMENT TY (Applicable to SITE DATA Zoning district (if more than one, please provide the acreage of each): DX-20-SH Gross site acreage: 1,43 # of parking spaces required; 0 MIN. (733 MAX.) # of parking spaces proposed: 416 Overlay District (if applicable): HOD-G Existing use (UDO 6.1.4): Vacant Proposed use (UDO 6.1.4): Residential, Retail and Parking Facil STORMWATI Existing Impervious Surface; Acres; 1.36 AC Square Feet: 59,372 SF Is this a flood hazard area? Yes No If yes, please provide: Alluvial soils: Flood study: FEMA Map Panel #: Neuse River Buffer Yes No Neuse River Buffer Yes No Signature: Method on units: 1br 310 2br 77 3br Signature: Mill and in accordance with the provisions and regular i, Jonathan Balderson will and respond to administrative comments, resubmit plans a owner(s) in any public meeting regarding this application. //we have read, acknowledge, and affirm that this project in proposed development use. I acknowledge that this application. //we have read, acknowledge, and affirm that this project in proposed development use. I acknowledge that this application. //we have read, acknowledge, and affirm that this project in proposed development use. I acknowledge that this application. //we have read,	REVISION 02.19.21 raleighnc.gov PE + SITE DATE TABLE all developments) BUILDING DATA Existing gross floor area to be demolished): 0 New gross floor area: 592,898 SF 1 Total sf gross (to remain and new): 592,898 SF Proposed # of stories for each: 20 It Proposed # of stories for each: 20 It Proposed Impervious Surface: Acres: 1.43 AC Square Feet: 62,135 SF 0 4br or more 0 Is your project a cottage court? Yes No ✓ IRE BLOCK Wate of this application and that the proposed project Coth of the city of Raleigh Unified Development Ordinance. serve as the agent regarding this application, and will receive and application frequirements applicable with the ation is subject to the filing calendar and submittal policy, tivy. Date: #/iU/22	FLOOR HEIGHTS TRANSPARENCY EXISTING IMPERVIOUS: PROPOSED IMPERVIOUS BUILDING HEIGHT TREE CONSERVATION OUTDOOR AMENITY ARE BLOCK PERIMETER:	A

WILMINGTON STREET MIXED USE **521 SOUTH WILMINGTON STREET**

RALEIGH, NORTH CAROLINA 27601 **ADMINISTRATIVE SITE REVIEW** CITY OF RALEIGH CASE# ASR-0054-2022 & Z-1-22 PROJECT NUMBER: TID-21001 DATE: JULY 11, 2022

	521 S. WILMINGTON ST, RALEI	IGH NORTH C	AROLINA 27601
	1703763594, 1703765478, 17	03765632, 17	703764663, 1703763636, 1700763631
	DX-20-SH DOWNTOWN MIXED USE - 20		OPERONIT
	NONE	5101(12) - 511	ornon
	WALNUT CREEK		
	62,135 SF / 1.43 AC		
	NONE		
	1703763594: BARNES MOTOR	t & PARTS CO	MPANY (16,725 SF)
	TRACT 1 (4,257 SF) TRACT 2 (3,168 SF)		
	TRACT 3 (9,300 SF)		
	1703765478: WILMINGTON O		
	1703765632: WILMINGTON O 1703764663: D. CARLYLE ADA	, ,	· ·
PFRONT):	PEDESTRIAN ACCESS: PRIMAR		,
			BEDROOM, 77 2 BEDROOM (405,557 SF)
	RETAIL: 18,65	50 SF	, , , , , ,
	PARKING DECK: 166,4	440 SF	
	BUILDING 1 (MODULE 1) SF:	564,3 28,50	
	BUILDING 2 (MODULE 2) SF:		
HICLE PARKING			MAX. (PER UDO SEC. 7.1.3.A.1.A) MAX. (PER UDO SEC. 7.1.3.A.1.A)
	RETAIL PARKING:		MAX. (PER UDO SEC. 7.1.3.A.1.A)
	TOTAL PROPOSED:		SPACES (IN PARKING DECK)
	TOTAL PROPOSED.		ARD SPACES
		71 COMPAC 2 EV SPACE	
		6 STANDAR	D ADA SPACES
		2 ADA VAN	SPACES
CESSIBLE PARKING	REQUIRED:		PACES (IN PARKING DECK)
	PROPOSED:		AN SPACES (IN PARKING DECK) 5 (6 CAR AND 2 VAN)
			· ·
E PARKING			PACES; 24 SHORT TERM SPACES PACES (1 SPACE/7 BEDROOMS)
			SPACES (1 SPACE/20 UNITS)
		G TERM: 0 SP	
			PACES (1 SPACE/5000 SF) PACES; 24 SHORT TERM SPACES
LD-TO	REQUIRED (DISTRICT)		
	S BLOUNT ST (PRIMARY STI LENOIR ST (PRIMARY STREE		52 LF (80% BUILDING WIDTH IN BUILD-TO) 312 LF (80% BUILDING WIDTH IN BUILD-TO
	WILMINGTON ST (PRIMARY STREE		96 LF (80% BUILDING WIDTH IN BUILD-TO)
	REQUIRED (SHOP-FRONT FROM		
	S BLOUNT ST (PRIMARY STI LENOIR ST (PRIMARY STREE		52 LF (80% BUILDING WIDTH IN BUILD-TO) 312 LF (80% BUILDING WIDTH IN BUILD-TO
	WILMINGTON ST (PRIMARY		96 LF (80% BUILDING WIDTH IN BUILD-TO)
	PROVIDED S BLOUNT ST (PRIMARY STI	RFFT).	65 LF (100% BUILDING WIDTH IN BUILD-TO
	LENOIR ST (PRIMARY STREE	ET):	390 LF (100% BUILDING WIDTH IN BUILD-TO
	WILMINGTON ST (PRIMAR) BUILD-TO)	Y STREET):	108.67 LF (90.5% BUILDING WIDTH IN
RKING SETBACK	LENOIR ST (PRIMARY STREET): WILMINGTON ST (PRIMARY ST		30' 30'
	SIDE LOT LINE:		30'
	REAR LOT LINE:		<u>0'-3'</u> 3'
	FROM PRIMARY STREET (MIN): FROM SIDE STREET (MIN):	•	3'
	FROM SIDE LOT LINE (MIN):		0' OR 6'
	FROM REAR LOT LINE (MIN): FROM ALLEY (MIN):		0' OR 6' 5'
	GROUND STORY HEIGHT, FLOC		_
	UPPER STORY HEIGHT, FLOOR		9'
	REQUIRED (MIXED USE DISTRIC	CT):	
	GROUND STORY (MIN): UPPER STORY (MIN):		66% 20%
	BLANK WALL (MAX):		20%
	PROVIDED: GROUND STORY (MIN):		71% (LENOIR STREET)
	UPPER STORY (MIN):		72% (LENOIR STREET)
	BLANK WALL (MAX):		N/A
	1.36 AC.		
ION:	1.43 AC. (100% OF PROJECT A	KEA)	
		TORY TORY	
	NO TREE CONSERVATION SHA		RED PER UDO SECTION 9.1.2 AS THE E.
	REQUIRED: 3,431 SF (0.	.08 AC)	
	6213	SF (10% OF S	
			SEC. 50 SF/FLOOR ABOVE 7 (FLOORS 8-20) DUCTION PER UDO SEC. 1.5.3.D.4)
		0 SF (0.13 AC)	
	1,758 LF (2,000 LF MAX)		
.	/ SITE		
	11 /11	11	11



N.T.S.

ZONING CONDITIONS ADOPTED: 1/5/2021 EFFECTIVE: 1/10/2021

Z-1-22 – 521 SOUTH WILMINGTON STREET, LOCATED NEXT TO THE INTERSECTION OF EAST LENOIR STREET AND SOUTH WILMINGTON STREET, BEING WAKE COUNTY PIN 1703763594. APPROXIMATELY 1.43 ACRES REZONED TO DOWNTOWN MIXED USE WITH CONDITIONS (DX-20-SH). CONDITIONS DATED: NOVEMBER 17, 2020 THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4. THAT ARE PERMITTED, LIMITED, OR

- SPECIAL USES IN THE DX- DISTRICT SHALL BE PROHIBITED: (I) DORMITORY, FRATERNITY, SORORITY; (II) ADULT ESTABLISHMENT; (III) PAWNSHOP; (IV) VEHICLE FUEL SALES; AND (V) DETENTION CENTER, JAIL, PRISON. RESPONSE: THE PROHIBITED USES ARE NOT PROPOSED WITH THIS SITE PLAN.
- PUBLIC FACADES OF STRUCTURED PARKING: PARKING STRUCTURE FACADES ADJACENT TO OR FACING ANY PUBLIC PARK OR PLAZA, PUBLIC RIGHT-OF-WAY, PUBLIC SIDEWALK, OR PRIVATE STREET SHALL COMPLY WITH THE FOLLOWING: SCREENING ELEMENTS SHALL BE DESIGNED IN A STRUCTURALLY SOUND MANNER AND HAVE A GAP OF NO MORE THAN 18 INCHES FROM THE FRAME OF THE SCREENING ELEMENT TO THE WALL OPENING. ALTERNATIVE DECORATIVE ELEMENTS WHICH PROVIDE AN EQUIVALENT LEVEL OF SCREENING MAY BE ALLOWED IN AN ACCESSORY PARKING STRUCTURE WHERE SUCH ELEMENTS ARE EMPLOYED TO MATCH THE ARCHITECTURAL CHARACTER OF THE MAIN BUILDING. MESH OR DECORATIVE PANELS, LOUVERS, GREEN WALLS, TINTED OR SANDBLASTED OPAQUE SPANDREL GLASS, OR SIMILAR SCREENING ELEMENTS SHALL BE USED. CHAIN LINK FENCING AND SIMILAR SCREENING ELEMENTS SHALL BE PROHIBITED AS AN ALLOWABLE MESH OR SIMILAR SCREENING ELEMENT. RESPONSE: THE PARKING STRUCTURE FACADE HAS BEEN DESIGNED SO THAT IT COMPLIES WITH THE ZONING CONDITIONS LISTED ABOVE. PLEASE SEE SHEET ASR-1006 THROUGH ASR-1009 FOR BUILDING FACADES ON EACH SIDE OF THE PARKING STRUCTURE.
- LIGHTING WITHIN STRUCTURED PARKING: LIGHTING SHALL BE DESIGNED TO REDUCE LIGHT SPILLAGE OUTSIDE THE PARKING STRUCTURE ACCORDING TO THE FOLLOWING: A. INTERNAL ILLUMINATION OF PARKING STRUCTURES SHALL BE SCREENED SO THAT INTERNAL LIGHT SOURCES SHALL NOT BE VISIBLE FROM THE ADJACENT PUBLIC RIGHT-OF-WAY OR ADJACENT PARCELS. LIGHT FIXTURES DIRECTLY VISIBLE FROM THE EXTERIOR OF A PARKING STRUCTURE SHALL BE DIRECTED INTERNALLY UPWARD OR SHALL CONTAIN SHIELDED FIXTURES TO MINIMIZE SUCH VISIBILITY.
- B. INTERNAL ILLUMINATION OF PARKING STRUCTURES SHALL CONFORM TO THE STANDARDS OF UDO SECTION 7.4.7. VEHICULAR CANOPIES. C. LIGHTING LEVELS MEASURED AT THE PROPERTY LINE OF PRIVATELY-OWNED PARCELS ADJACENT TO THE STRUCTURED PARKING DECK SHALL NOT BE GREATER THAN 0.5 FOOTCANDLES. RESPONSE: LIGHTING WITHIN THE PARKING STRUCTURE HAS BEEN DESIGNED SO THAT IT MEET EACH

OF THE THREE REQUIREMENTS LISTED ABOVE.

- ANY CONSTRUCTION IN CONNECTION WITH THE DEVELOPMENT OF THE SUBJECT PROPERTIES SHALL PROHIBIT THE INSTALLATION OF SHEET PILES AND PILE DRIVING OPERATIONS WITHIN ONE HUNDRED AND FIFTY FEET (150') OF THE POPE HOUSE STRUCTURE LOCATED AT 511 S. WILMINGTON STREET. RESPONSE: SHEET PILES AND PILE DRIVING OPERATIONS WILL NOT BE USED WITHIN 150' FEET OF 511 S. WILMINGTON STREET.
- THE FIRST STORY OF ANY BUILDING SITUATED WITHIN FORTY FEET (40') OF STRONACH'S ALLEY SHALL INCLUDE ANY COMBINATION OF BRICK, STONE, CONCRETE MASONRY, METAL, GLASS, CEMENTITIOUS SIDING AND/OR WOOD ON THAT FACADE OF THE BUILDING FACING STRONACH'S ALLEY. SUCH FACADE SHALL COMPRISE A MINIMUM 50% BRICK AND/OR CONCRETE MASONRY AND A MAXIMUM 50% OF GLASS AND METAL. RESPONSE: THE BUILDING FACADE FACING STRONACH'S ALLEY HAS BEEN DESIGNED SO THAT IT MEETS THE REQUIREMENTS LISTED ABOVE. PLEASE SEE SHEET ASR-1007 FOR A DETAILED BREAKDOWN OF THE BUILDING FACADE.
- ANY BUILDING SITUATED WITHIN FORTY FEET (40') OF STRONACH'S ALLEY SHALL INCLUDE AT LEAST ONE DOOR FOR PEDESTRIAN ACCESS TO THE BUILDING FROM STRONACH'S ALLEY. RESPONSE: ACCESS TO THE BUILDING FROM STRONACH'S ALLEY HAS BEEN PROVIDED.
- ANY BUILDING SITUATED WITHIN FORTY (40') OF STRONARCH'S ALLEY SHALL NOT CONTAIN LOADING DOCKS ON THAT SIDE OF THE BUILDING FACING STRONARCH'S ALLEY. RESPONSE: LOADING DOCKS HAVE NOT BEEN PROVIDED ON THE SIDE OF THE BUILDING THAT FACES STRONACH'S ALLEY.



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

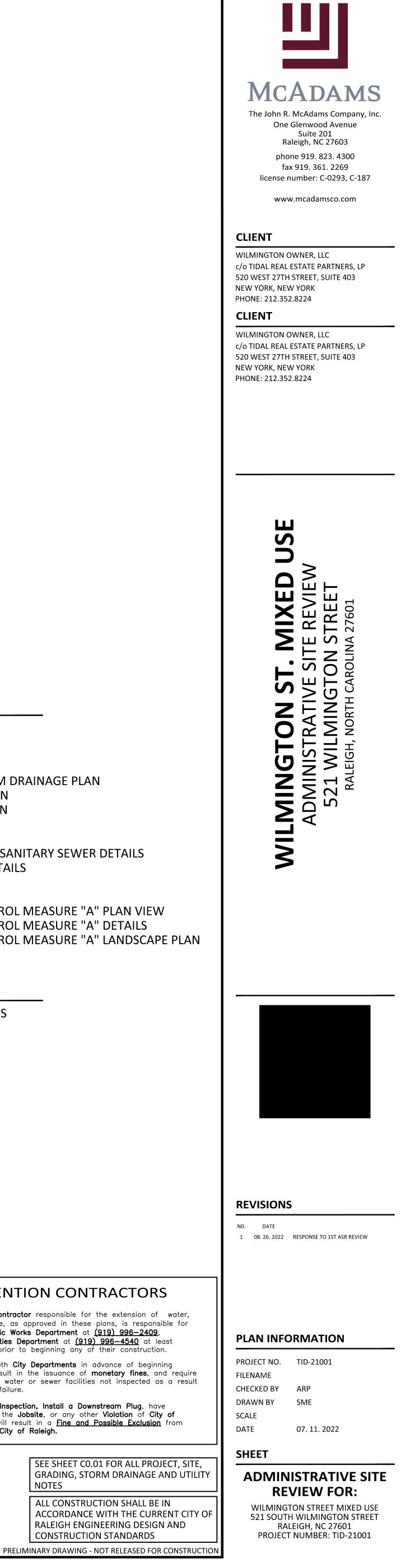
C0.00	PROJECT NOTES
C1.00	ALTA
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C3.01	AVERAGE GRADE PLAN
C4.00	OVERALL UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	STORM DRAINAGE & SANITARY SEWER DETAILS
C8.03	SANITARY SEWER DETAILS
C8.04	WATER DETAILS
C8.05	WATER DETAILS
C9.00	STORMWATER CONTROL MEASURE "A" PLAN VIEW
C9.01	STORMWATER CONTROL MEASURE "A" DETAILS
C9.02	STORMWATER CONTROL MEASURE "A" LANDSCAPE
L5.00	LANDSCAPE PLAN

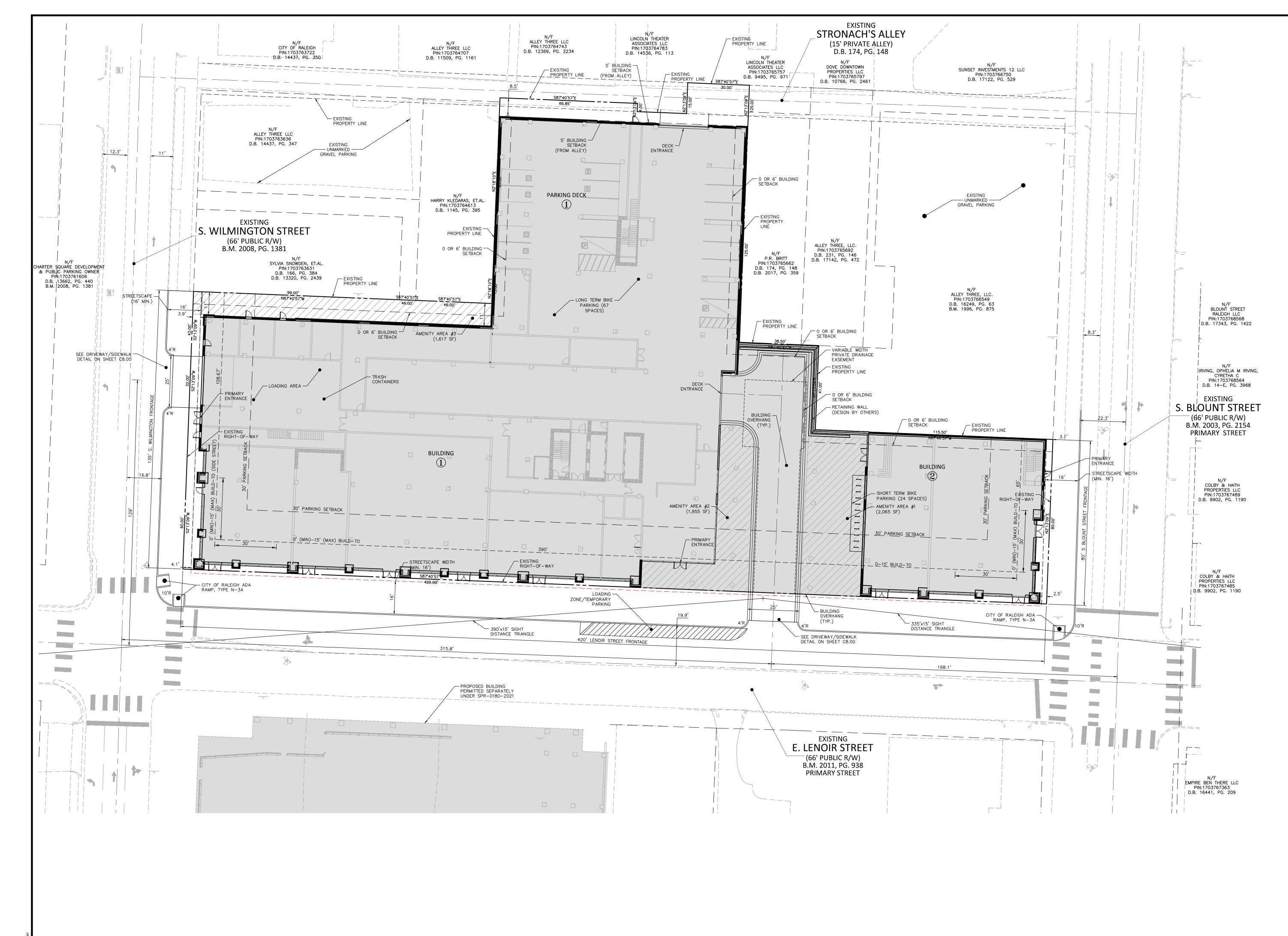
CONSTRUCTION STANDARDS

BY OTHERS

BUILDING ELEVATIONS

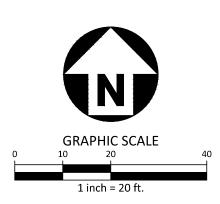
 NOTES: 1. THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCROACH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D. 2. WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS. 3. PER TC-5A-18 & SEC. 1.5.4.C, THE PRIMARY STREET DESIGN SHALL BE E. LENOIR STREET & S. BLOUNT STREET. 4. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. 	ATTEINTION CONTRACTORSThe Construction Contractor responsible for the extension of wate sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996–2409, and the Public Utilities Department at (919) 996–4540 at least twenty four hours prior to beginning any of their construction.Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a re of this notification failure.Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.
	SEE SHEET CO.01 FOR ALL PROJECT, S GRADING, STORM DRAINAGE AND U NOTES
	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT O RALEIGH ENGINEERING DESIGN AND



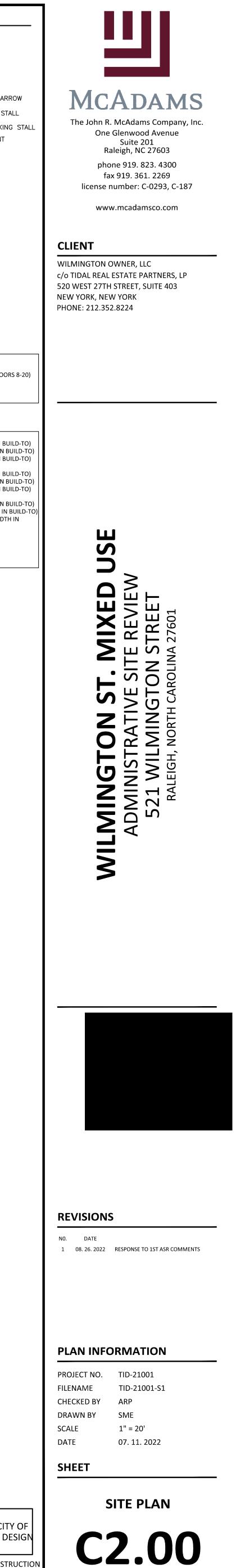


cts\TID\TID21001\04-Production\Engineering\Civil Drawings\Current Drawings\TID-21001-S1.dwg, 8/26/2022 12:52:18 PM, Jackson Shear

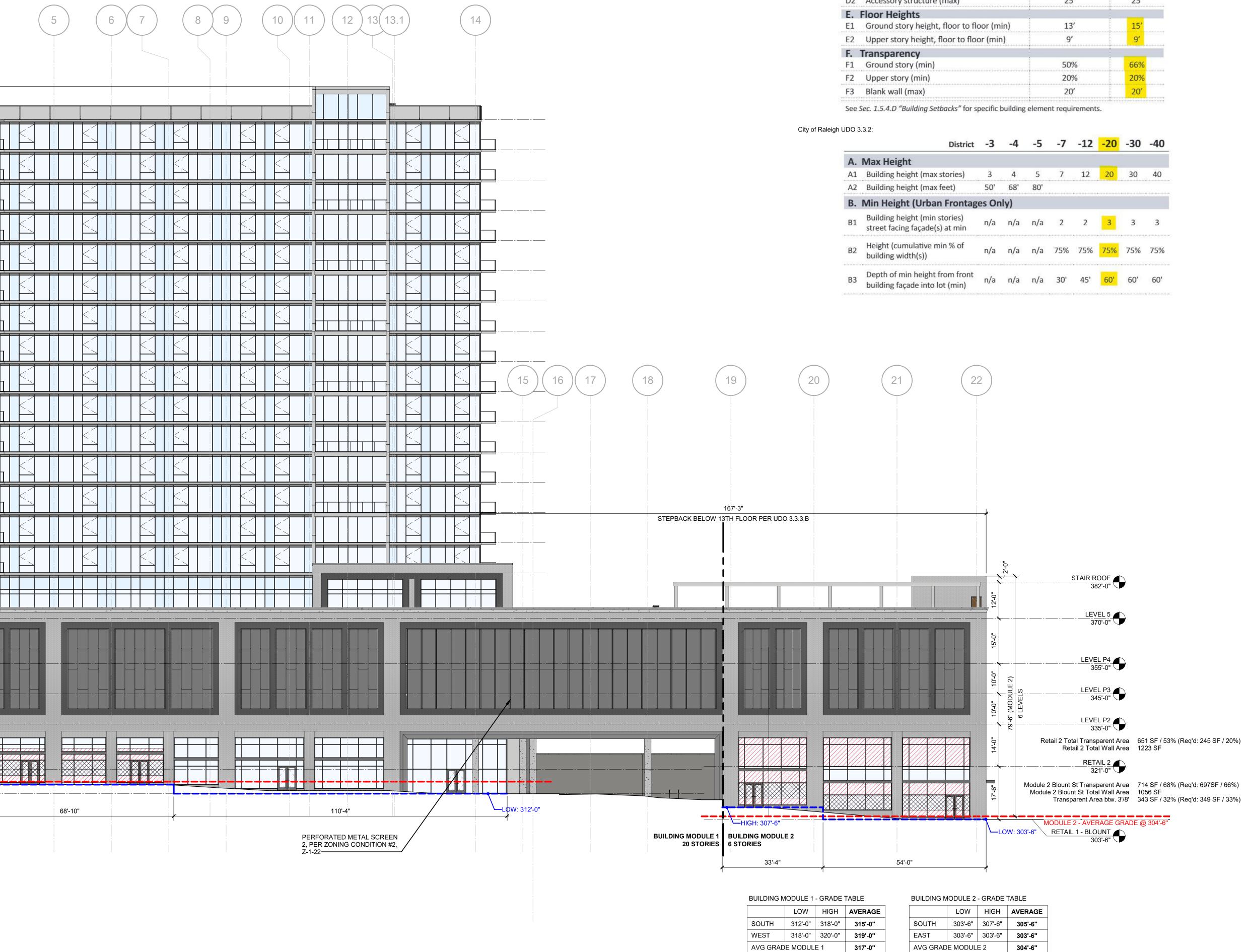
SITE LEGEND	
-0-	SIGNAGE
7	YARD LIGHTS
*	LIGHT POLE
	POWER POLE
→	TRAFFIC DIRECTIONAL AR
ACC	ACCESSIBLE PARKING ST
	VAN ACCESSIBLE PARKIN PARKING SPACE COUNT
	ACCESSIBLE RAMPS
TYPE A TYPE B TYPE C)
•••••	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	AMENITY AREA
OUTDOOR AMENITY ARE REQUIRED: 3,431 SF (0.08 AC)	Ā
0.14 ACRES (6,213 SF, 1 650 SF (PER UDO SEC. 5	0.0% OF 1.42 ACRES) 0SF/FLOOR ABOVE 7 FLOORS (FLOO ON PER UDO SEC. 1.5.3.D.4)
PROVIDED: 5,630 SF (0.13 AC)	
BUILD-TO REQUIREMEN	ГS
S BLOUNT ST (PRIMARY STREET): LENOIR ST (PRIMARY STREET): WILMINGTON ST (PRIMARY STREET):	52 LF (80% BUILDING WIDTH IN BL 312 LF (80% BUILDING WIDTH IN B 96 LF (80% BUILDING WIDTH IN BL
REQUIRED (SHOP FRONT FRONTAGE) S BLOUNT ST (PRIMARY STREET): LENOIR ST (PRIMARY STREET): WILMINGTON ST (PRIMARY STREET):	52 LF (80% BUILDING WIDTH IN BL 312 LF (80% BUILDING WIDTH IN B 96 LF (80% BUILDING WIDTH IN BL
PROVIDED S BLOUNT ST (PRIMARY STREET): LENOIR ST (PRIMARY STREET): WILMINGTON ST (PRIMARY STREET): BUILD-TO)	65 LF (100% BUILDING WIDTH IN B 390 LF (100% BUILDING WIDTH IN 108.67 LF (90.5% BUILDING WIDTI
LENOIR ST (PRIMARY STREET): WILMINGTON ST (PRIMARY STREET): SIDE LOT LINE:	30' 30' 30'
REAR LOT LINE:	0'-3'



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

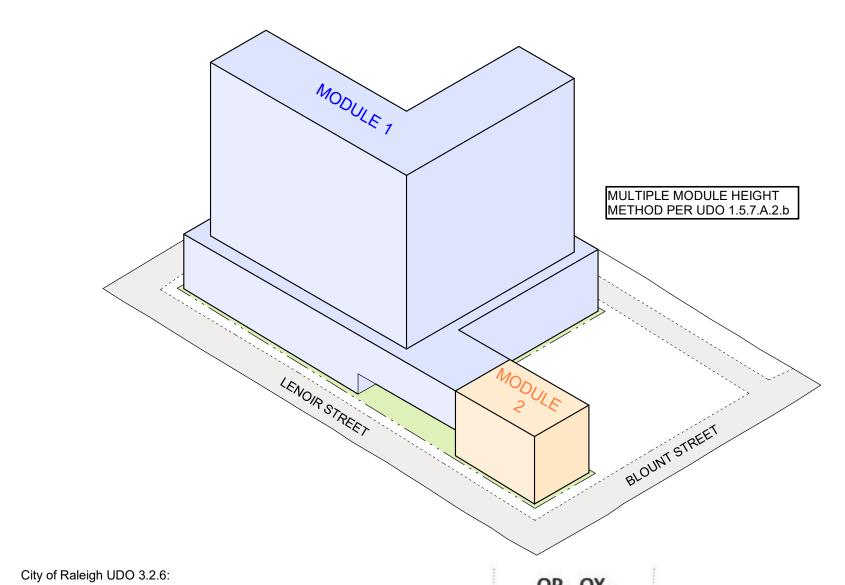


D			\			2		3)			4)	
	ROOF 535'-0"							-						T
	LEVEL 20 525'-0"		0"											
	LEVEL 19 515'-0"		10'-0"											
	LEVEL 18 505'-0"		10'-0"										Ê	
	LEVEL 17 495'-0"		10-0"											
	LEVEL 16 485'-0"		10:-0											
	LEVEL 15 475'-0"		10-0"											
С	LEVEL 14 465'-0"		10:-0"											
	LEVEL 13 455'-0"		100											
	LEVEL 12 445'-0"		s 10'-0"											
	LEVEL 11 435'-0"		230-0" (MODULE 1) 20 LEVELS)" 10'-0" 10'-											
	425'-0"		230 10'-0"											
	LEVEL 8 405'-0"		10'-0"											
	LEVEL 7		10-0"											
	LEVEL 6 385'-0"		10:-0"	11'-8" — STEPBACH										
			15'-0"	BELOW 13TH F PER UDO 3.3.3	·L.						·····			
B	LEVEL 5 370'-0"		15'-0"					1						
	LEVEL P4 355'-0"										= == 		= = 	
	LEVEL P3 345'-0"		0" 10'-0"											
	LEVEL P2 335'-0"		10-0"		·····		······································							
_	Module 1 Lenoir St Transparent Area Module 1 Lenoir St Total Wall Area Transparent Area btw. 3'/8'	1157 SF / 68% (Req'd: 1118 SF 1694 SF 557 SF / 32% (Req'd: 559 SF /3	/ 66%) "ọ [- 3%)											
	MODULE 1 - AVERAG				HIGH:	318'-0"								
	 ✓ 320'-0" ✓ LOBBY - LI ✓ 312'-0" 			k		45'-8"		/	2	28'-4"	,			
			SCREE	DRATED MET/ EN 1, PER ZOI ITION #2, Z-1-;	NING									
A														
A														
õ PM	1 ELE 1/16" = 1'-0	VATION- EX	TER	IOR-	SO	UTŀ	4							
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TRANSPARENCY LEGEND



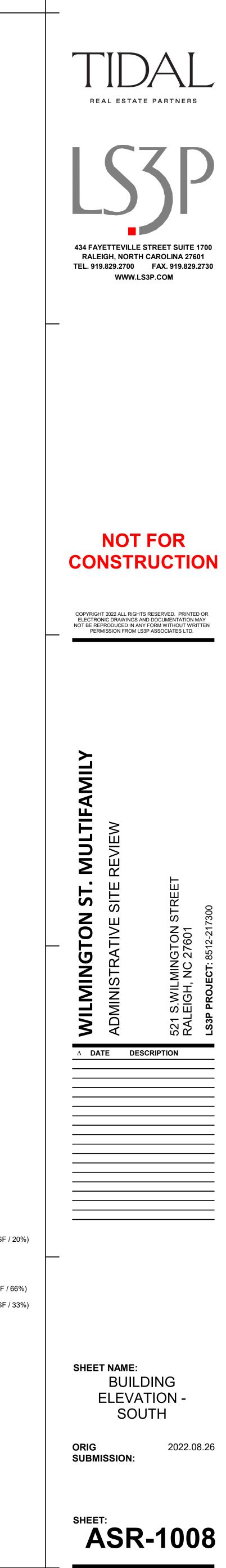


0 3.2.6		OP-, OX- NX-, CX-, IX-	DX-
D. H	leight		
D1	Principal building (max)	Set by district	Set by district
D2	Accessory structure (max)	25'	25'
E. F	loor Heights		-
E1	Ground story height, floor to floor (min)	13'	15'
E2	Upper story height, floor to floor (min)	9'	9′
F. T	ransparency		
F1	Ground story (min)	50%	<mark>66%</mark>
F2	Upper story (min)	20%	<mark>20%</mark>
F3	Blank wall (max)	20'	20'

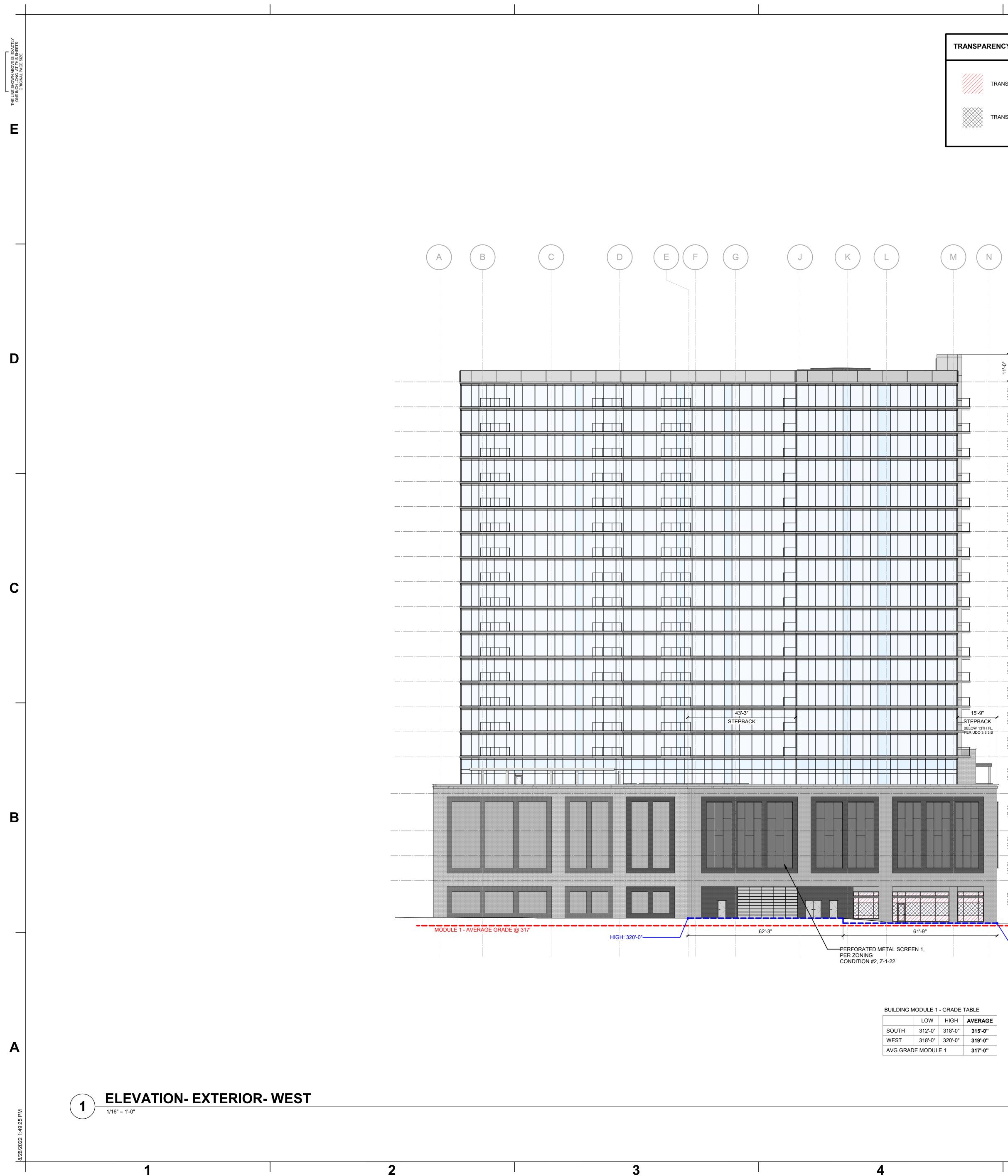
	District	-3	-4	-5	-7	-12	-20	-30	-40
A.	Max Height								
A1	Building height (max stories)	3	4	5	7	12	20	30	40
A2	Building height (max feet)	50'	68'	80'					
B.	Min Height (Urban Frontag	es On	ly)						
B1	Building height (min stories) street facing façade(s) at min	n/a	n/a	n/a	2	2	3	3	3
B2	Height (cumulative min % of building width(s))	n/a	n/a	n/a	75%	75%	75%	75%	75%
B3	Depth of min height from front building façade into lot (min)	n/a	n/a	n/a	30'	45'	60'	60'	60'

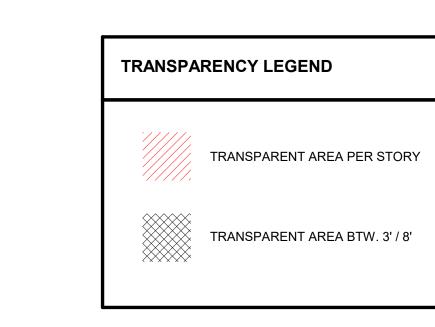
UTH	312'-0"	318'-0"	315'-0"	SOUTH	303'-6"	307'-6"	305'-6"
ST	318'-0"	320'-0"	319'-0"	EAST	303'-6"	303'-6"	303'-6"
G GRADE MODULE 1 317'-0"			AVG GRADE MODULE 2			304'-6"	

304'-6"

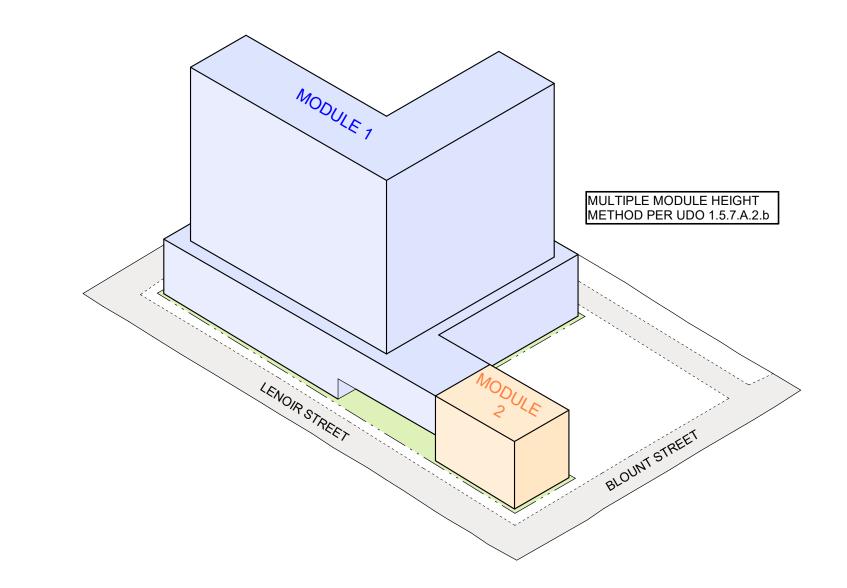


SUBMITTAL 2





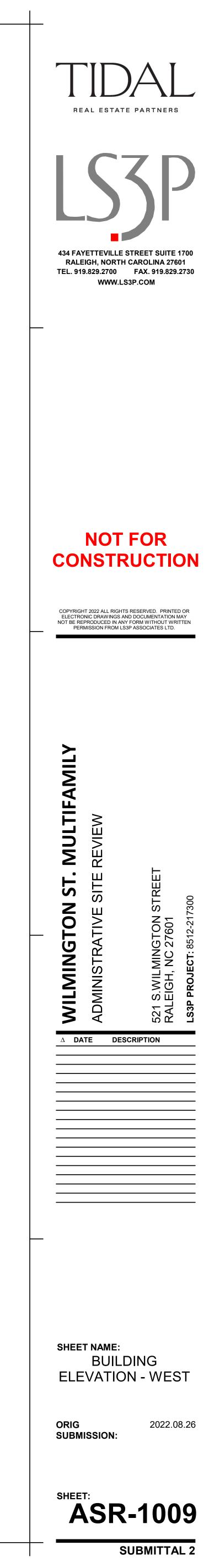
BUILDING MODULE 1 - GRAD					
	LOW	HIGH			
SOUTH	312'-0"	318'-0			
WEST	318'-0"	320'-0			
AVG GRADE MODULE 1					

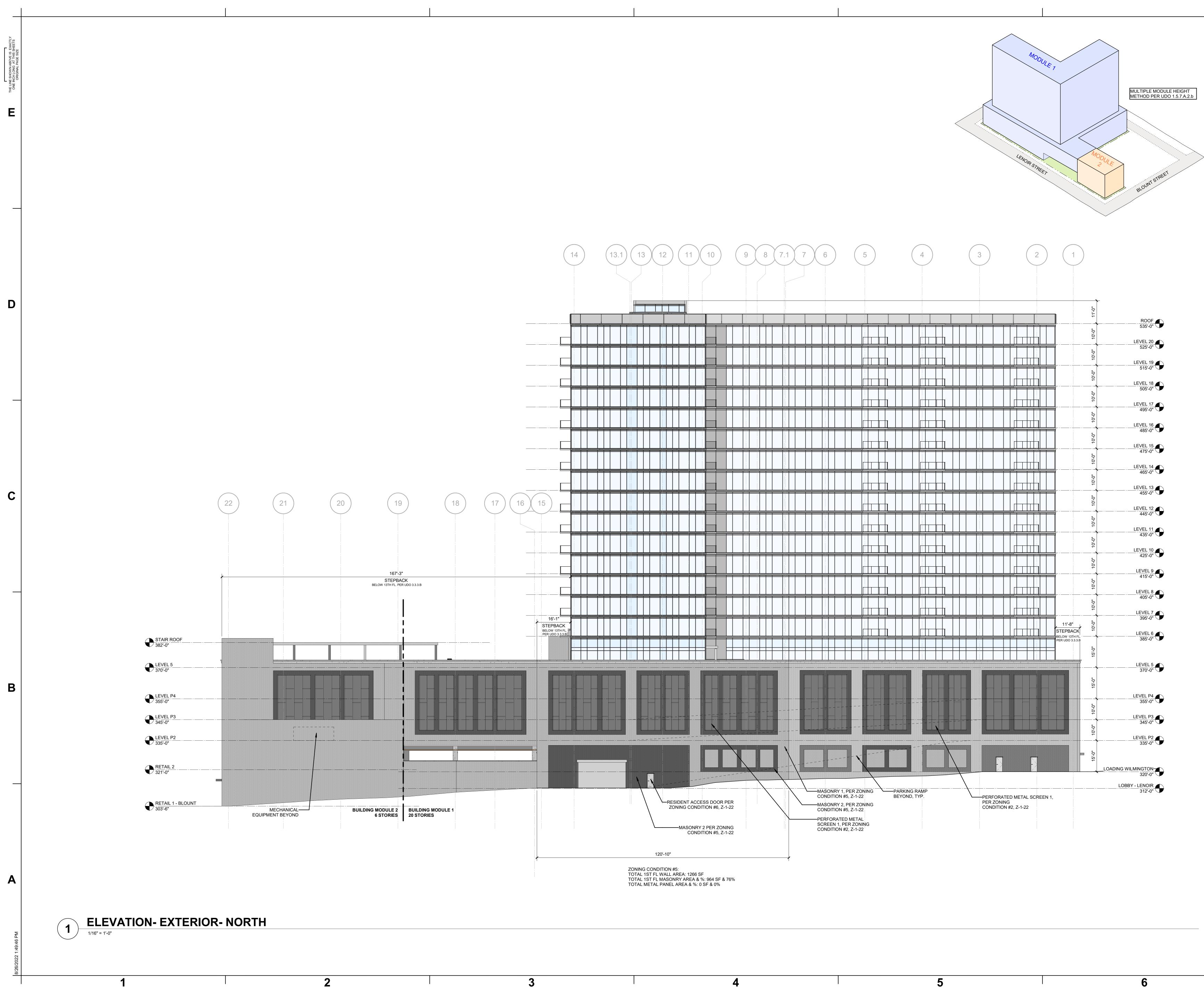


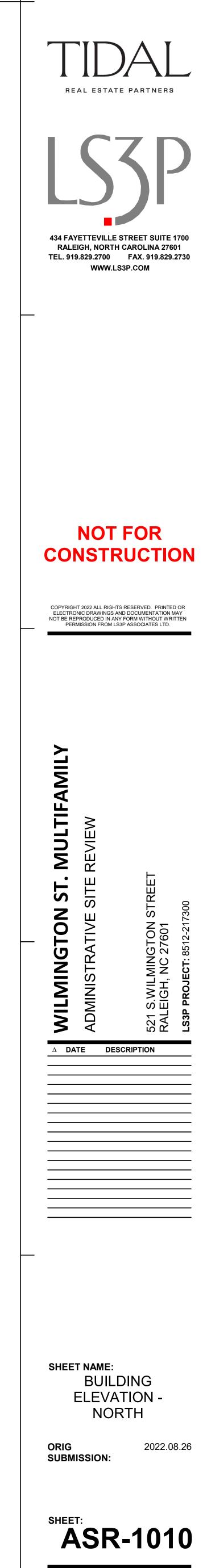
-	_		
L	11'-0"		
	10-0"	<u>ROOF</u>	
	·	LEVEL 20 525'-0"	
-	10-0"	LEVEL 19	
	10'-0"	<u>LEVEL 19</u> 515'-0"	
	· k	LEVEL 18 505'-0"	
	10'-0"	LEVEL 17 495'-0"	
	10-0"	LEVEL 16	
	10-0"	485'-0"	
	·	LEVEL 15 475'-0"	
	10-0"	<u>LEVEL 14</u>	
	10'-0"		
	10'-0"	LEVEL 13 455'-0"	
	·	LEVEL 12 445'-0"	
	10-0"		
	10'-0"		
	10'-0"	LEVEL 10 425'-0"	
	·	LEVEL 9 415'-0"	
	10-0"		
15'-9" STEPBACK	10'-0"		
BELOW 13TH FL. PER UDO 3.3.3.B	10'-0"	<u>LEVEL 7</u> 395'-0"	
	↓	LEVEL 6 385'-0"	
	15'-0"		
		LEVEL 5 370'-0"	
	15'-0"		
· · · · ·	 	LEVEL P4 355'-0"	
	10-0"	LEVEL P3	
	10'-0"	345'-0"	
	\ _	LEVEL P2 335'-0"	
	15'-0"	Wilmington Street Transparent Area Wilmington Street Total Wall Area Transparent Area btw. 3'/8'	436 SF / 33% (Req'd: 873 SF / 66%) 1323 SF 216 SF / 25% (Req'd: 437 SF / 33%)
		LOADING WILMINGTON 320'-0"	
k		-LOW: 318'-0"	

ADE TABLE GH AVERAGE 3'-0" **315'-0"** 0'-0" **319'-0" 317'-0"**

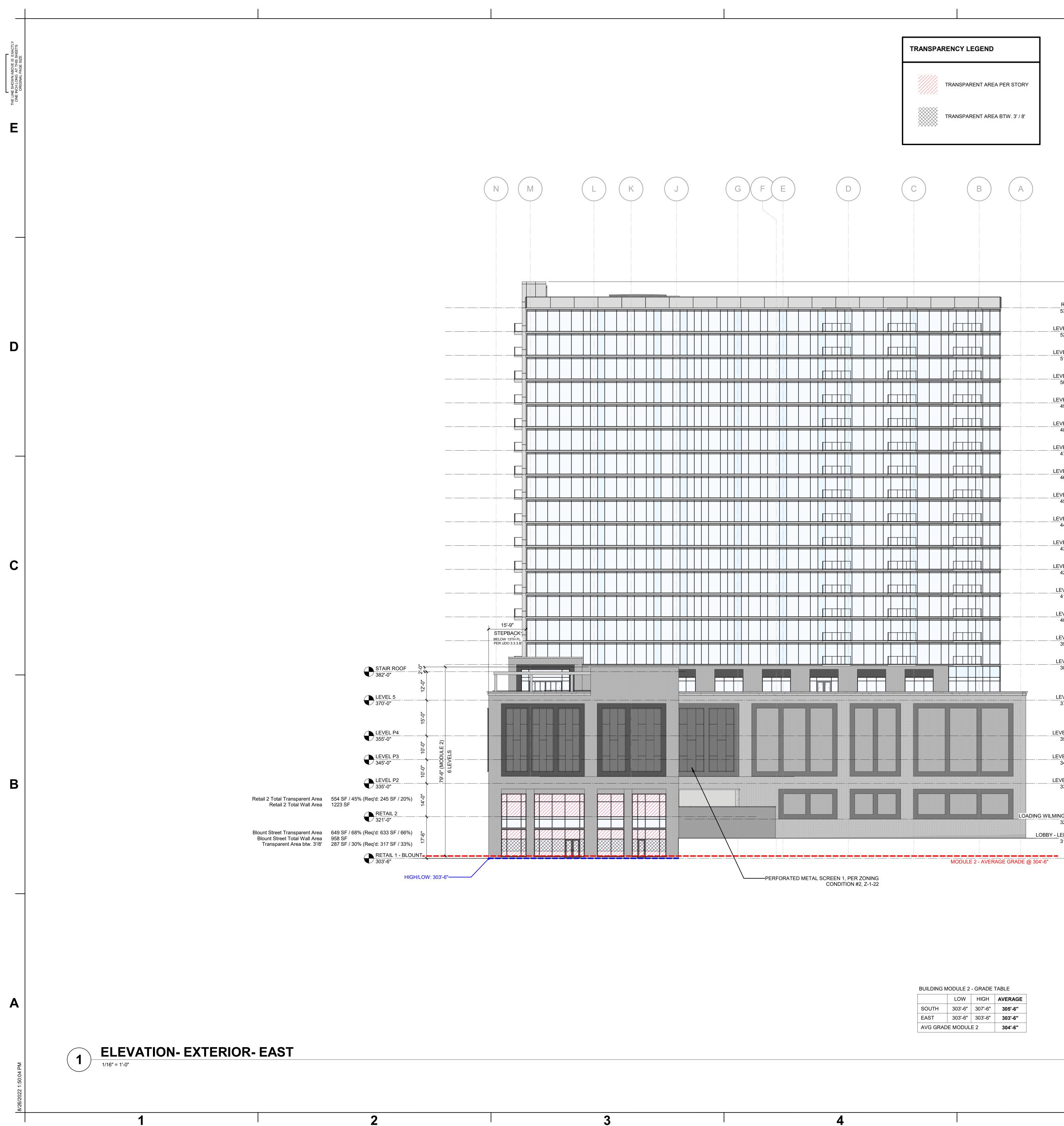
5



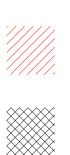


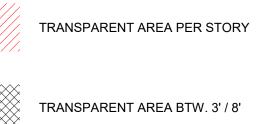


SUBMITTAL 2



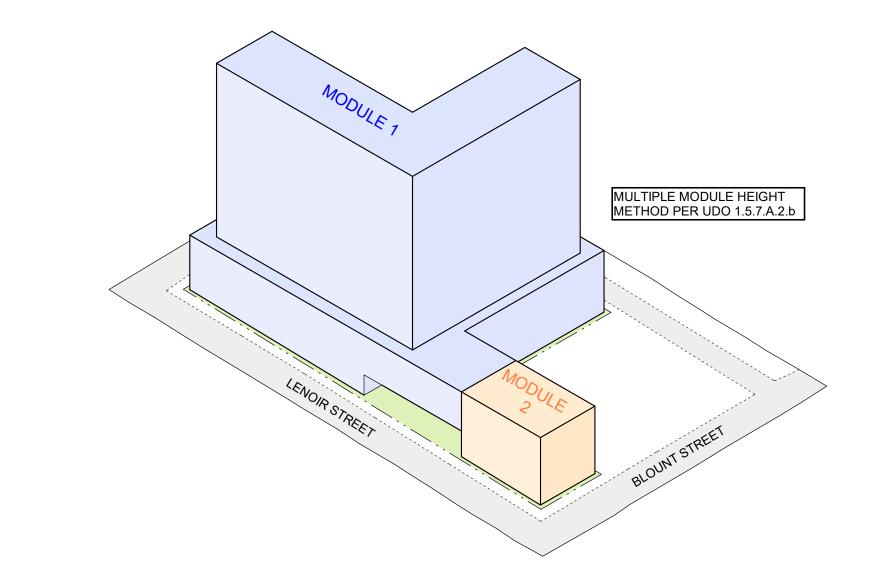






(в)

(A)



	v
ROOP	11'-0"
535'-0	
	10'-0"
LEVEL 20 525'-0	
	10'-0"
LEVEL 19	9 🖌 🔪
515'-0	
	10'-0"
505'-0	"
	10'-0"
LEVEL 1 495'-0	"
	9 10'-0"
LEVEL 10 485'-0	
465-0	10'-0"
475'-0	
LEVEL 14 465'-0	
	10'-0"
LEVEL 13 455'-0	3 🖌 🔪
400-0	10'-0"
LEVEL 12	2 🖌 🔪
445'-0	۳ ب
LEVEL 1	10'-0"
435'-0	"
) (10'-0"
LEVEL 10 425'-0	
	10'-0"
	9 🖌 🔪
415'-0	10'-0"
	10,
405'-0	
	10'-0"
LEVEL 3395'-0	<u>.</u>
	+ (
LEVEL (6 🖉 🔪 ,
385'-0	
	15'-0"
370'-0	
	15'-0"
LEVEL P4 355'-0	
355-0	-0
LEVEL P	3
345'-0	
) (10'-0"
LEVEL P2 335'-0	2 🖌 🔍
	15'-0"
320'-0	8'-0"
LOBBY - LENOIF 312'-0	
	"\

MODULE 2 - AVERAGE GRADE @ 304'-6"

BUILDING MODULE 2 - GRADE TABLE

	LOW	HIGH	AVERAGE
SOUTH	303'-6"	307'-6"	305'-6"
EAST	303'-6"	303'-6"	303'-6"
AVG GRAD	304'-6"		

