

ASR-0055-2019

DEVELOPMENT SERVICES



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

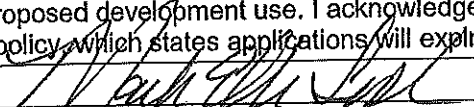
This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____		Planning Coordinator: <u>Ryan Bowen</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: <u>S-97-2007</u>	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: <u>573748</u>	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-40-2016</u>	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Oak Forest Senior Apartments</u>			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): <u>5700 Oak Forest Drive, Raleigh, NC 27616</u>			
Site P.I.N.(s): <u>1726380863</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Construction of new senior living apartments</u>			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: <u>Carolina Project Equities, LLC c/o Mark Tipton</u>		Title: <u>Managing Member</u>	
Address: <u>2013 Rolling Rock Rd, Wake Forest, NC 27587</u>			
Phone #: <u>919-435-1597</u>		Email: <u>mark.tipton@whistlerinvestmentgroup.com</u>	
Applicant Name: <u>Ken Thompson</u>			
Company: <u>JDavis Architects</u>		Address: <u>510 S Wilmington Street, Raleigh, NC 27601</u>	
Phone #: <u>919-835-1500</u>		Email: <u>kent@jdavisarchitects.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-4-PL-CU	Existing gross floor area (not to be demolished): 0 SF
	Existing gross floor area to be demolished: 0 SF
Gross site acreage: 5.94 ac	New gross floor area: 154,305 SF
# of parking spaces required: 132 SPACES	Total sf gross (to remain and new): 154,305 SF
# of parking spaces proposed: 132 SPACES	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 4
Existing use (UDO 6.1.4): Single Family Residential	
Proposed use (UDO 6.1.4): Apartments	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: .38 AC Square Feet: 16,553 SF	Proposed Impervious Surface: Acres: 2.93 AC Square Feet: 127,631 SF
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 120	Total # of hotel units: 0
# of bedroom units: 1br: 48 2br: 72 3br: _____ 4br or more: _____	
# of lots: 1	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Ken Thompson</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy which states applications will expire after 180 days of inactivity.	
Signature: 	Date: 7/12/2019
Printed Name: Mark Tipton, Managing Member	

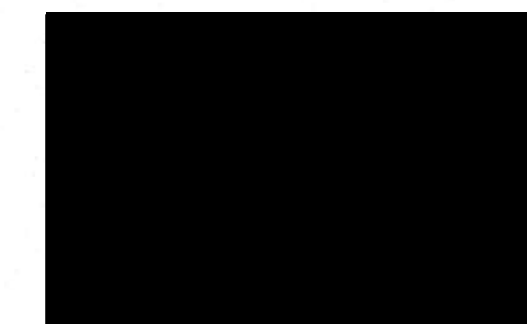


JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
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Seals



Project

**OAK FOREST
SENIOR APARTMENTS**
5700 OAK FOREST DRIVE
RALEIGH, NC 27616

Client

**CAROLINA PROJECT
EQUITIES, LLC**

ABBREVIATIONS

AC	ACRE	HDPE	HIGH DENSITY POLYETHYLENE
APPROX	APPROXIMATE	IPS	IRON PIPE SET
B-B	BACK-TO-BACK	LF	LINEAR FEET
BM	BOOK OF MAPS	LOC	LOCATION
BR	BOTTOM OF RISER	MH	MANHOLE
BW	BOTTOM OF WALL	N/F	NOW OR FORMERLY
C/O	CLEANOUT	PG	PROPOSED
CIP	CATCH BASIN	PROP	PROPOSED
CONC	CONCRETE	PVC	POLYVINYL CHLORIDE
CORWLE	CITY OF RALEIGH	ROW	RIGHT OF WAY
DB	DEED BOOK	RSDM	RALEIGH STREET DESIGN MANUAL
ELEC	ELECTRIC	SF	SQUARE FEET
EIP	EX IRON PIPE	SS	SANITARY SEWER
EIR	EX IRON ROD	SWM	STORMWATER MANAGEMENT
ELEV	ELEVATION	TBD	TO BE DETERMINED
ESMT	EASEMENT	TBR	TO BE REMOVED
EX	EXISTING	TR	TOP OF RISER
FDC	FIRE DEPARTMENT CONNECTION	TF	TRANSFORMER
FFE	FINISHED FLOOR ELEVATION	TR	TOP OF RISER
FH	FIRE HYDRANT	TC	TOP OF CURB
G	GRADE	TR	TOP OF RISER
GAR	GARAGE	TR	TOP OF WALL
GIS	GEOGRAPHIC INFORMATION SYSTEM	TYP	TYPICAL
GP	GALVANIZED PIPE	UDO	UNIFIED DEVELOPMENT ORDINANCE

LEGEND

EX PROPERTY LINE	---
EX ADJACENT PROPERTY LINE	---
EX EASEMENT	---
EX MAJOR CONTOUR	---
EX MINOR CONTOUR	---
EX FENCE	---
EX WATER LINE	---
EX SEWER LINE	---
EX OVERHEAD LINE	---

EXISTING CONDITIONS AND DEMOLITION PLAN

Number	Description	Date

JAECO #: 522-06
DRAWING SCALE: 1" = 40'
DRAWN BY: CS
CHECKED BY: JRC
DATE ISSUED: 7/08/19

C.1


























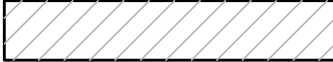
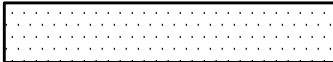
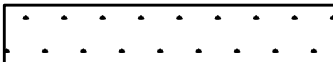


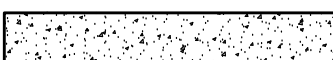
Know what's below.
Call before you dig.

AFFORDABLE HOUSING NOTES:

1. NC HOUSING FINANCE AGENCY AWARDED LOW-INCOME HOUSING TAX CREDIT ALLOCATIONS TO THIS PROJECT. ALL UNITS AT THIS SITE WILL BE RESTRICTED TO HOUSEHOLDS WITH INCOMES AT OR BELOW 60% OF THE AREA MEDIAN INCOME FOR 30 YEARS AS REQUIRED BY THE LOW-INCOME HOUSING TAX CREDIT PROGRAM. COMPLIANCE IS MONITORED BY NC HOUSING FINANCE AGENCY AND OTHERS.
2. ALL AFFORDABLE UNITS TO BE COMPLIANCE WITH DEFINITION OF "AFFORDABLE HOUSING" PER UDO 12.2 DEFINED TERMS.

LEGEND:

	EX. LIGHT
	EX. FIRE HYDRANT
	PROP. FIRE HYDRANT
	PROP. 4-BIKE RACK
	PROP. HANDICAP PARKING
	PROP. SIGNAGE
	PROJECT BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY LINE
	GEN. UTILITY PLACEMENT ESMT
	EX. FENCE LINE
	EX. OVERHEAD UTILITY
	EX. SANITARY SEWER LINE
	EX. STORMWATER LINE
	EX. WATER LINE
	EX. CONTOUR MAJOR LINE
	EX. CONTOUR MINOR LINE
	PROP. CENTER LINE
	PROP. PARKING SETBACK LINE
	PROP. BUILDING SETBACK LINE
	PROP. TREE PROTECTION FENCE
	PROP. BUILD TO LINE
	PROP. WATER LINE

	PROP. SECONDARY TREE CONSERVATION AREA
	PROP. OUTDOOR AMENITY AREA
	EX. WETLANDS
	SIGHT EASEMENT
	VEHICLE RATED CONCRETE
	HEAVY DUTY CONCRETE

Overall Site Data			
Project: Oak Forest Senior Apartments			
Date: 07/28/2019 (updated x/x/x/2019)			
1	Zoning		CK4-PL-CU
2	Section 3.2.4 Apartment		
A	Lot Dimensions		
A1	Area (min)		10,000 SF
A2	Width (min)		15A 11 FT
A3	Outdoor Amenity (min)		10 FT
B	Building setbacks		5 %
B1	From primary street (min)		5 FT
B2	From side street (min)		5 FT
B3	From side lot line (min)		0 or 6 FT
B4	From rear lot line (min)		0 or 6 FT
B4	From alley		4 or 20 FT
C	Parking setbacks		
C1	From primary street (min)		10 FT
C2	From side street (min)		10 FT
C3	From side lot line (min)		0 or 3 FT
C4	From rear lot line (min)		0 or 3 FT
C4	From alley		4 FT
D	Build-to		
D1	Primary street build-to (min/max)	See item #3 Frontages below	
D2	Side street in primary build-to (min)	See item #3 Frontages below	
D3	Side street build-to (min/max)	See item #3 Frontages below	
D4	Building width in side lot (min)	See item #3 Frontages below	
E	Height		
E1	Principal building (max)	(62' max)	4 Story
E2	Accessory structure (max)		
F	Floor Heights		2'
F1	Ground floor elevation (min)		25'
G	Transparency		
G1	Ground story (min)		20 %
G2	Upper story (min)		15 %
G3	Blank wall area (max)		35 FT
H	Allowed building elements		Porch, Stoop Balcony
3	Frontage requirements (sec. 3.4.5)		PL (Parking Limited)
C	Build-to		
C1	Primary street build-to (min/max)		0 to 100 FT
C2	Building width in primary build-to (min)		50 %
C1	Side street build-to (min/max)		0 to 100 FT
C2	Building width in side build-to (min)		25 %
E	Additional parking limitations		
E1	A maximum of 2 bays of on-site parking with a single drive aisle is permitted between the building and the street		
F	Pedestrian access		
E1	Primary street-facing entrance required		yes
E2	Direct pedestrian access is required from the public		yes
F	Access to the primary street facing entrance of the building	See Sec. 8.5.2.C Commercial	
F	Streetscape requirement		Commercial
4	Streetscape requirements (sec. 8.5.2.C)		
A	Streetscape width (max.)		65 FT
A	Streetscape requirements (sec. 8.5.2.C)		
B	Building setback (min./max.)		20 to 50 FT
C	Utility placement		5 FT
D	Maintenance strip		2 FT
E	Sidewalk (min)		6 FT
F	Planting area (min)		6 FT
	General		
	Walkway type		Sidewalk
	Planting type		tree lawn
	Tree spacing		40 O.C. avg.
5	Site Data		
6	Tract area		
	172630863	(from Imaps)	5.94 AC
	Less right of way dedication		-0.05
	Net acreage		5.89 AC
7	Proposed use		Apartment
	Multi-unit living 1 BR		48 Unit
	Multi-unit living 2 BR		72 Unit
	Total		120 Unit
8	Gross square footage		154,305 SF
	Proposed FAR	154,305 / 5.89 =	26,200
	Building lot coverage	38,574 / 5.89 =	15.05%
	Proposed density	120 / 5.89 =	20.4 DU/AC
9	Outdoor amenity area (UDO section 3.2.6 A.3)		
	Area required - 10% of net acreage	5.896 x 10% =	0.589 AC
			26,638 SF
	Area provided - OAA #1		0.663 AC
			28,886.67 SF
10	Building height		
	Allowed height	(62' max)	4 Story
	Proposed height	(57'-3")	4 Story
11	Neighborhood transition (UDO section 3.5)		n/a
12	Build-to		
D1	Primary street build-to (min/max)	Oak Forest Dr	
	Required	50% x 555 =	278 LF
	Provided		
	Building		254 LF
	Total		36 LF
	Outdoor amenity area		260 LF
	Administrative Alternate required (See note #1)		Proposed outdoor amenity area is 360 LF
13	Required parking (UDO section 7.1.2 & 7.1.3 A.)		
	Multi-unit living 1 BR	48 x 1.0 =	48 SP
	Multi-unit living 2 BR	72 x 1.0 =	72 SP
	Visitor	120 x 10% =	12 SP
	Total required		132 SP
	Parking provided		
	Standard space		117 SP
	HC space		15 SP
	Total spaces provided		132 SP
14	Required bicycle parking (UDO section 7.1.2)		
	Multi-unit living		
	Short term (1 space per 20 rooms, min. 4)	120 / 20 =	6 SP
	Short term bike parking provided		6 SP
15	Impervious area		</

ASR-SR-XX-19

SITE PLAN

50' 25' 0 50' 100'

SCALE: 1" = 50'

Carolina Project Equities, LLC	
Oak Forest Senior Apartments	
5700 Oak Forest Drive	
Raleigh, North Carolina 27616	
PRELIMINARY	
FOR REVIEW ONLY NOT FOR CONSTRUCTION	
PROJECT:	JAE-18043
ISSUE:	Administrative Site Review
DATE:	07.30.2019
DRAWN BY:	CHK
CHECKED BY:	KT
CONTENT:	SITE PLAN
LS1.1	

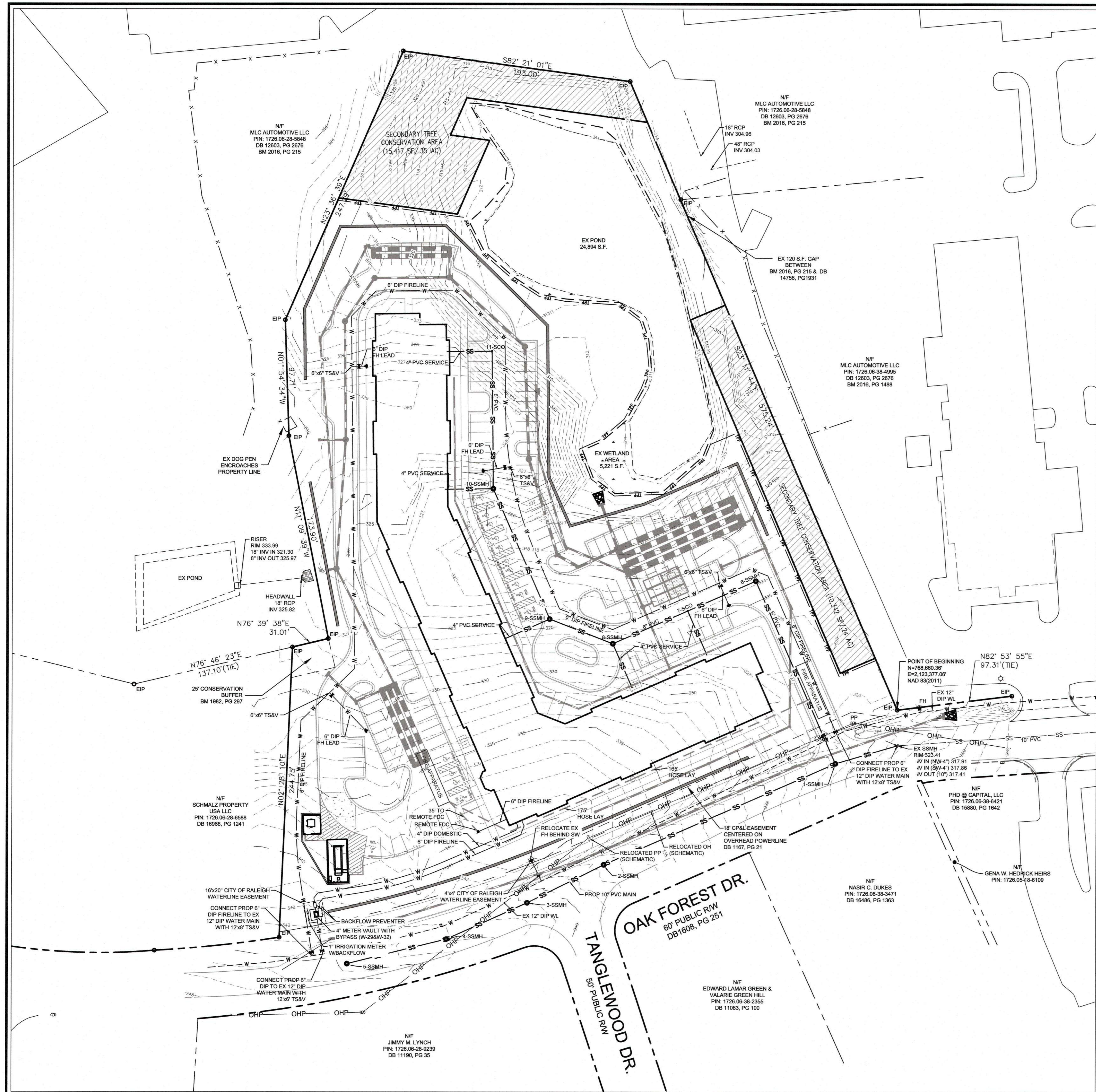
Carolina Project Equities, LLC
Oak Forest Senior
5700 Oak Forest Drive
Raleigh, North Carolina 27616

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

		DATE	
PROJECT:	JAE-18043	PROJECT DATE	
ISSUE:	Administrative Site Review	07.30.2019	
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DRAWN BY:	CHK		
CHECKED BY:	KT		
CONTENT:	SITE PLAN		
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LS1.1



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. UTILITY POLE AND LINE TO BE RELOCATED BY UTILITY PROVIDER. SCHEMATIC LOCATIONS SHOWN. FINAL DESIGN LOCATIONS AND IMPACTS TO BE DETERMINED BY UTILITY PROVIDER.

STANDARD UTILITY NOTES (as applicable):

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director.
 - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
7. Install 3/4" copper* water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. *NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure*
8. Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-923 or joanie.hartley@raleighnc.gov for more information

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.

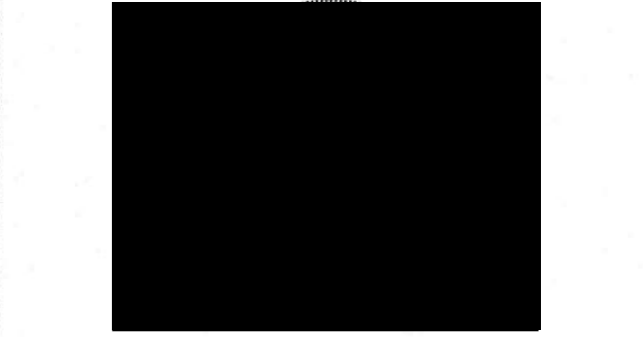


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SENIOR APARTMENTS**
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Client

**CAROLINA PROJECT
EQUITIES, LLC**

ABBREVIATIONS

AC	ACRE	HDPE	HIGH DENSITY
APPROX	APPROXIMATE	HPPE	POLYETHYLENE
B-B	BACK-TO-BACK	IPS	IRON PIPE SET
BM	BOOK OF MAPS	LF	LINEAR FEET
BR	BOTTOM OF RISER	LOC	LOCATION
BW	BOTTOM OF WALL	MH	MANHOLE
C/O	CLEANOUT	NIF	NOW OR
CB	CATCH BASIN	NT	NOW OR
CIP	CAST IRON PIPE	PG	PAGE
CONC	CONCRETE	PROP	PROPOSED
CORWLE	CITY OF RALEIGH	PVC	POLYVINYL CHLORIDE
	WATER LINE	ROW	RIGHT OF WAY
DB	DEED BOOK	RSDM	RALEIGH STREET
ELEC	ELECTRIC	SE	SEWER
EIP	EX IRON PIPE	SF	SQUARE FEET
EIR	EX IRON ROD	SS	SANITARY SEWER
ELEV	ELEVATION	SWM	STORMWATER
ESMT	EASEMENT	TBD	TO BE DETERMINED
EX	EXISTING	TBR	TO BE RELOCATED
FDC	FIRE DEPARTMENT	TBR	TO BE RELOCATED
	CONNECTION	TC	TOP OF CURB
FFE	FINISHED FLOOR	TF	TRANSFORMER
	ELEVATION	TR	TOP OF RISER
FH	FIRE HYDRANT	TW	TOP OF WALL
G	GRADE	UD	UNIFIED
GAR	GARAGE	UDO	UNIFIED DEVELOPMENT
GIS	GEOGRAPHIC		ORDINANCE
	INFORMATION		
GP	GALVANIZED PIPE		

LEGEND

PROP WATER LINE	— W — W — W —
PROP SEWER LINE	— S — S — S — S —
EX WATER LINE	— W — W — W — W —
EX SEWER LINE	— S — S — S — S —

Drawing Title

UTILITY PLAN

Revisions		
Number	Description	Date

JAECO #: 522-06

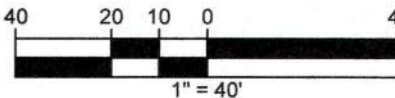
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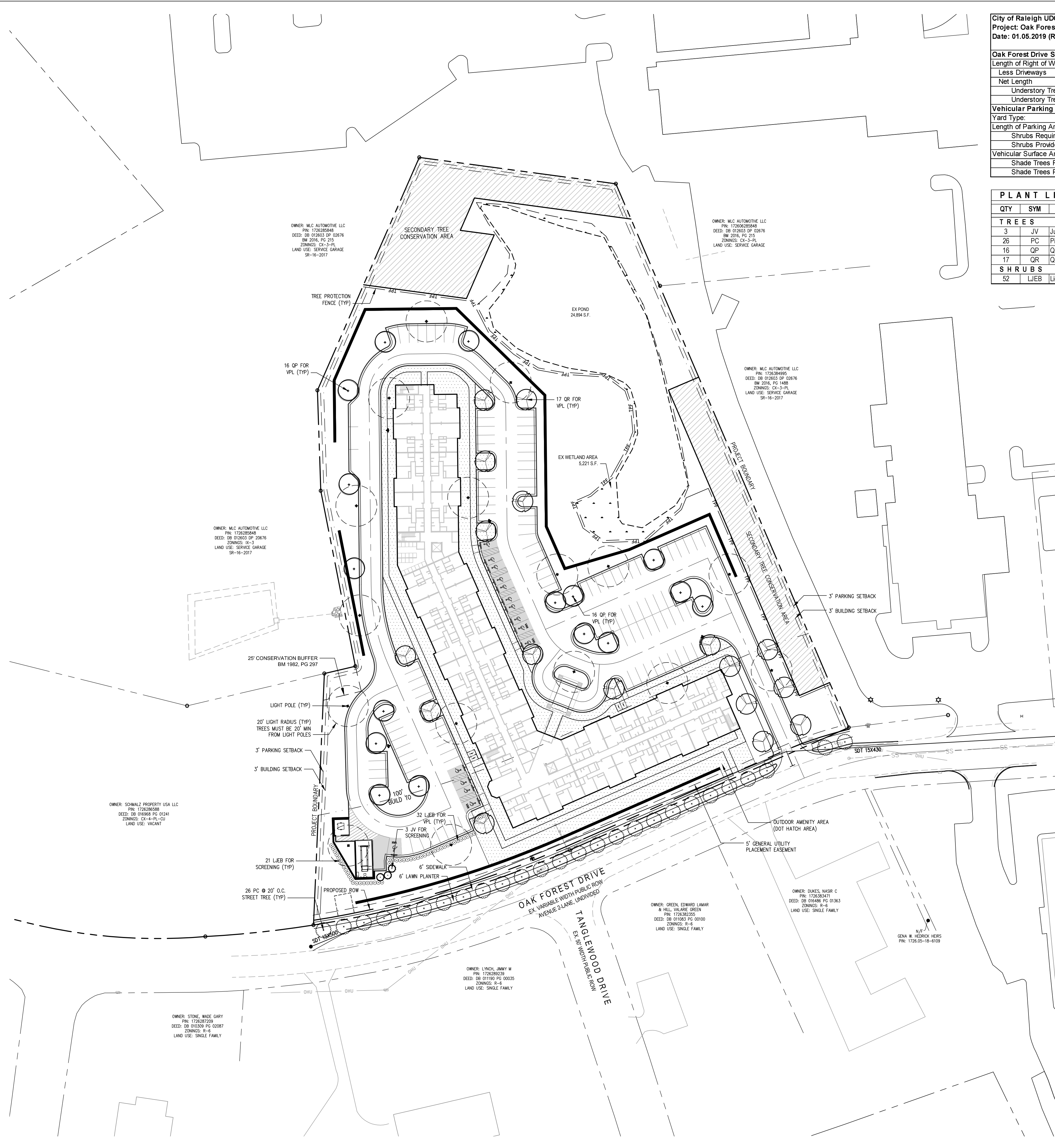
DRAWN BY: CS

CHECKED BY: JRC

DATE ISSUED: 7/08/19






C.2





City of Raleigh UDO Landscape & Screening Requirements						
Project: Oak Forest Senior Apartments						
Date: 01.05.2019 (Rev. 07.16.2019)						
Oak Forest Drive Street Trees						
Length of Right of Way						555' LF
Less Driveways						24' LF
Net Length						531'
Understory Trees Required (1-1/2" cal. 6' ht. @ 20' o.c. average)	531 /	20	=			26.6 EA
Understory Trees Provided (1-1/2" cal. 6' ht. @ 20' o.c. average)						26 EA
Vehicular Parking Lot						
Yard Type:						C3 @ Parking Area Only
Length of Parking Area						108' LF
Shrubs Required (Min. 18" H, 30 shrubs/100 LF = 0.3 /1LF)	108 x	0.30	=			32.3 EA
Shrubs Provided						32 EA
Vehicular Surface Area						60,883 SF
Shade Trees Required (3" cal. 10' ht per 2,000 sf)	60,883 /	2,000	=			30.4 EA
Shade Trees Provided (3" cal. 10' ht)						33 EA






























PLANT LIST - THIS SHEET ONLY						
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	REMARKS
T R E E S						
3	JV	Juniperus virginiana	Eastern Red Cedar		8' Min	
26	PC	Pistacia chinensis	Chinese Pistache	1-1/2" Min	6' Min	Street Tree
16	QP	Quercus phellos	Willow Oak	3" Min	10' Min	VPL
17	QR	Quercus nuba	Red Oak	3" Min	10' Min	VPL
S H R U B S						
52	WLB	Ligustrum japonicum 'East Bay'	East Bay Ligustrum		18' Min	VPL, Screening

- | | |
|-------------------|-----------------------------|
| SITE DATA: | |
| SITE ADDRESS: | 5700 OAK FOREST DRIVE |
| PIN NUMBER: | 172630063 |
| DEED BOOK: | DB 014765, PAGE 01931-01934 |
| RECORDED MAP: | BM 1983, PG 1327 |
| ZONING(S): | CX-4 PL-CU |
| ACREAGE: | 5.94 AC |
| EXISTING USE: | SINGLE FAMILY RESIDENTIAL |
| PROPOSED USE: | SENIOR APARTMENTS |
-
- | | |
|---|--|
| <u>PLANT LEGEND:</u> | |
|  | QUERCUS PHELLOS, WILLLOW OAK
3" CALIPER MIN., 10' HEIGHT MIN. |
|  | QUERCUS 'RUBRA', RED OAK
3" CALIPER MIN., 10' HEIGHT MIN. |
|  | PISTACHIA CHINENSIS, CHINESE PISTACHE
1-1/2" CALIPER MIN., 6' HEIGHT MIN. |
|  | JUNIPERUS VIRGINIANA, EASTERN RED CEDAR
8' HEIGHT MIN. |
|  | LIGUSTRUM JAPONICUM 'EAST BAY.'
EAST BAY LIGUSTRUM, 18" HEIGHT MIN. |

- ## LANDSCAPE NOTES:
1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
 2. THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
 3. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 4. ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 5. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 6. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
 7. ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3". MAXIMUM DEPTH OF 4". WITH AGED TRIPLE SHREDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2" INCHES. FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 2 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
 8. ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURER'S SPECIFICATIONS. REFER TO LANDSCAPE PLANS(). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN. NO DENUDED AREAS AREA ACCEPTABLE.
 9. WITHIN THE RIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGN OBSTRUCTING OR PARTLY OBSTRUCTING THE WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES FROM THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURB EXISTING.
 10. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO) TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
 11. ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
 12. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
 13. MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
 14. TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
 15. TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
 16. TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
 17. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
 18. A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
 19. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

SEE LP3.1 FOR PLANTING DETAILS.

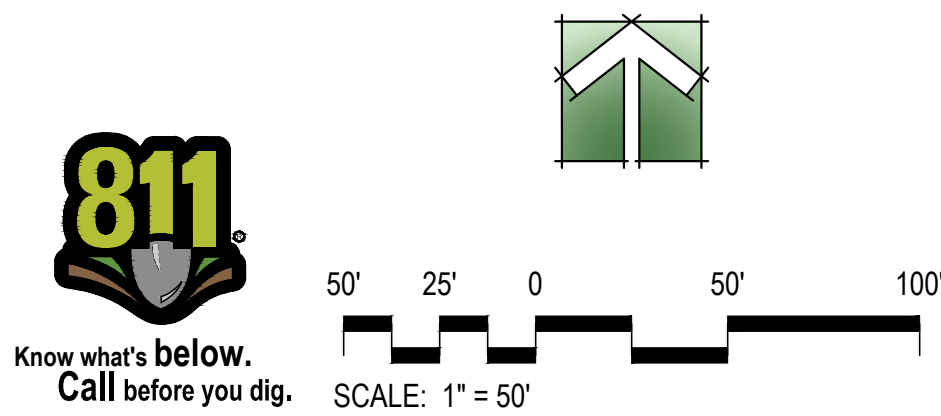
LEGEND:

	EX. LIGHT
	EX. FIRE HYDRANT
	PROP. FIRE HYDRANT
	PROP. 4-BIKE RACK
	PROP. HANDICAP PARKING
	PROP. SIGNAGE
	PROJECT BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY LINE
	GEN. UTILITY PLACEMENT ESMT
	EX. FENCE LINE
	EX. OVERHEAD UTILITY
	EX. SANITARY SEWER LINE
	EX. STORMWATER LINE
	EX. WATER LINE
	EX. CONTOUR MAJOR LINE
	EX. CONTOUR MINOR LINE
	PROP. CENTER LINE
	PROP. PARKING SETBACK LINE
	PROP. BUILDING SETBACK LINE
	PROP. TREE PROTECTION FENCE
	PROP. BUILD TO LINE
	PROP. WATER LINE
	PROP. SECONDARY TREE CONSERVATION AREA
	PROP. OUTDOOR AMENITY AREA
	EX. WETLANDS
	SIGHT EASEMENT
	VEHICLE RATED CONCRETE
	HEAVY DUTY CONCRETE

REFERENCE: Sketch Plan (TA: 573748)

ASR-SR-XX-18

LANDSCAPE PLAN

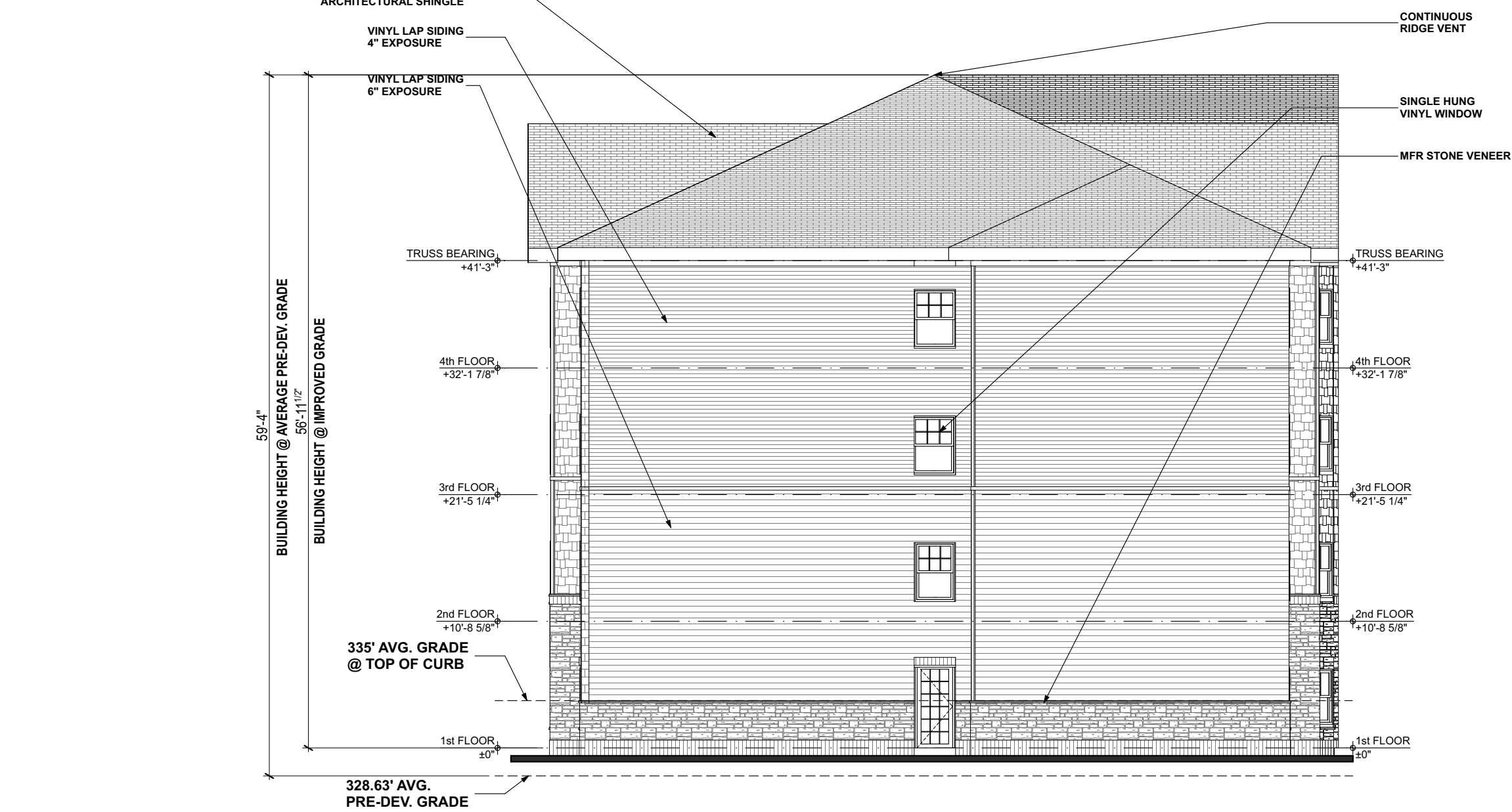
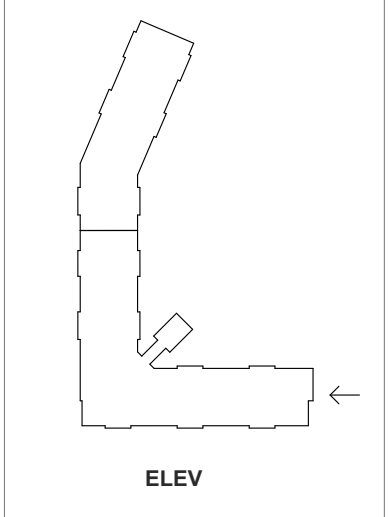


Average Grade Calculation - Oak Forest						
	Existing			Proposed		
	High	Low	Average	High	Low	Average
North plane (Short)	323.10	321.80	322.45	331.00	331.00	331.00
East plane (Long)	334.40	322.00	328.20	331.00	331.00	331.00
North plane (Long)	334.40	326.40	330.40	331.00	331.00	331.00
East plane (Short)	327.10	326.40	326.75	331.00	331.00	331.00
South plane	339.50	327.00	333.30	331.00	331.00	331.00
West plane	339.50	321.80	330.65	331.00	331.00	331.00
Average of wall planes			328.63			331.00

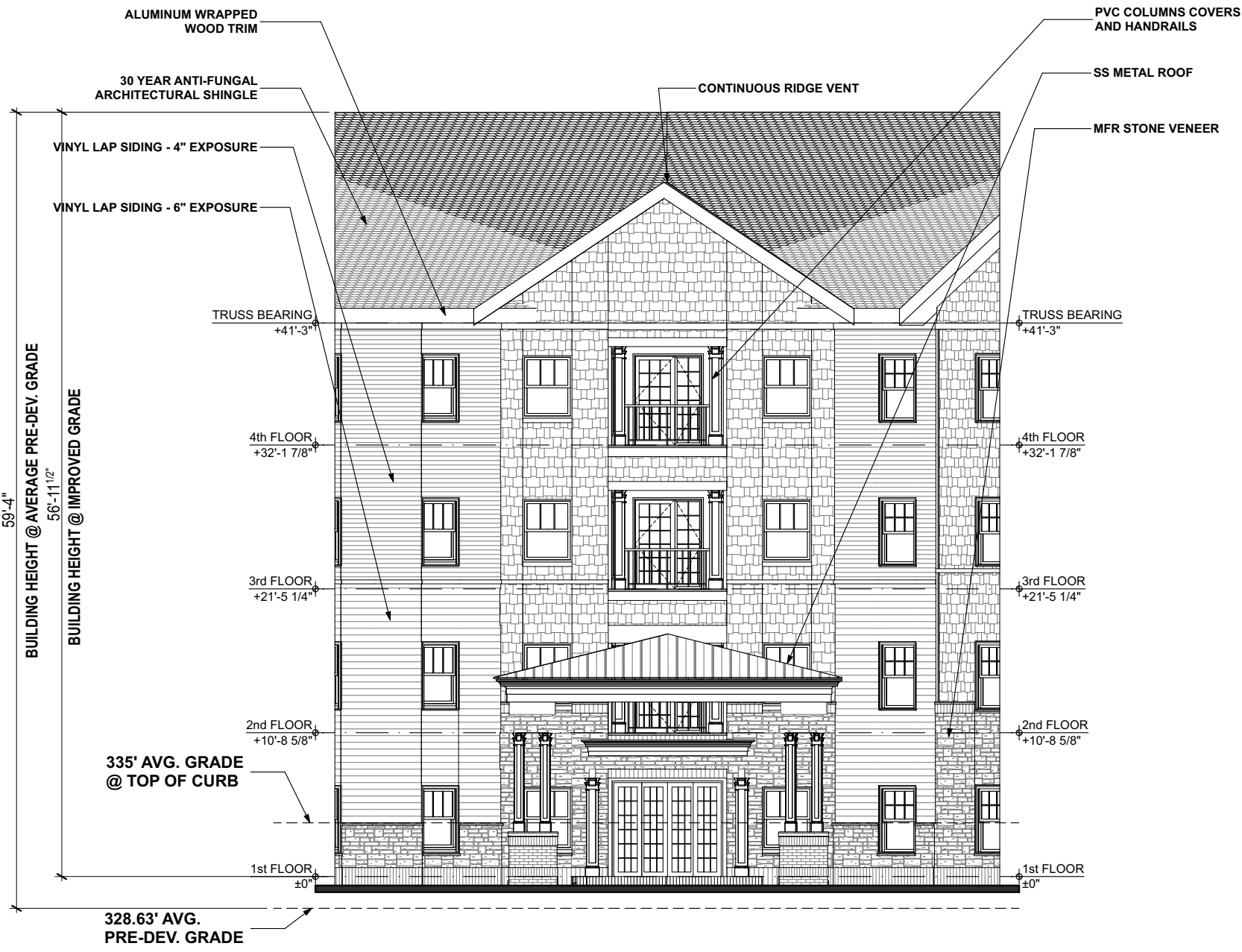
Per section 1.5.7.A.2 (16-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

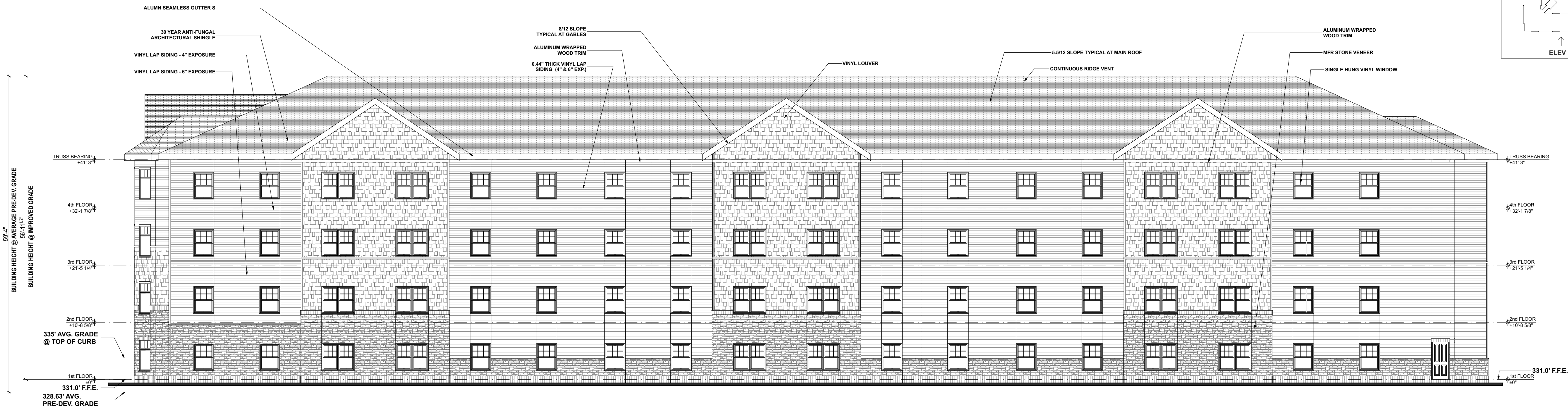
The more restrictive condition occurs in the existing condition with an average grade of 328.63'



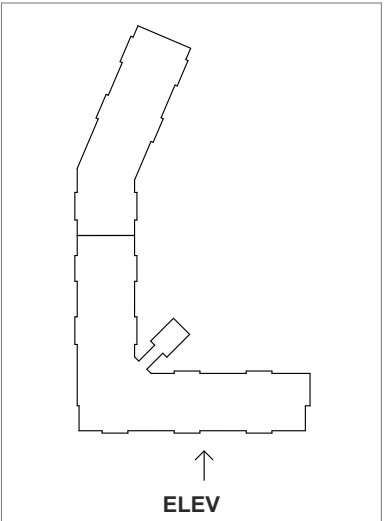
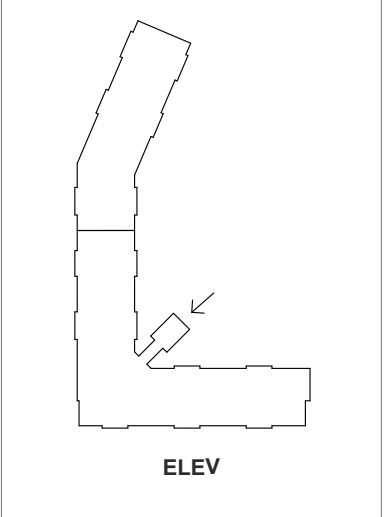
E1 PLAN EAST CORNER ELEVATION
SCALE: 3/32" = 1'-0"



E6 MAIN ENTRY ELEVATION
SCALE: 3/32" = 1'-0"



A1 PLAN SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



Average Grade Calculation - Oak Forest						
	Existing			Proposed		
	High	Low	Average	High	Low	Average
North plane (Short)	323.10	321.80	322.45	331.00	331.00	331.00
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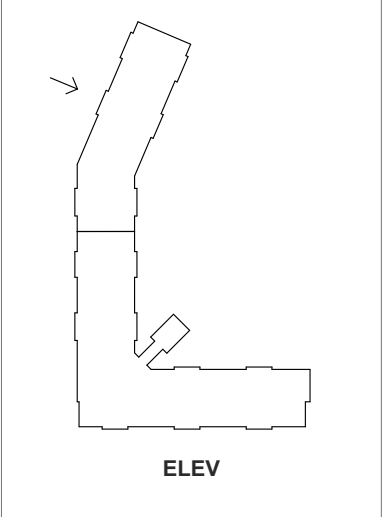
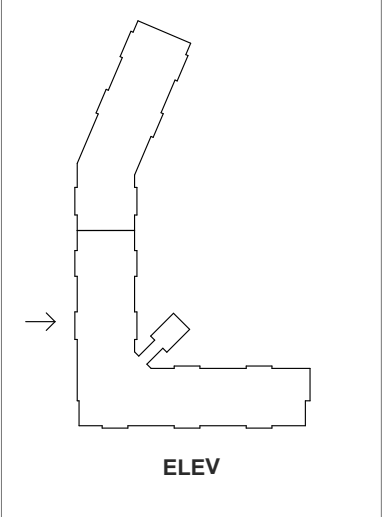
The more restrictive condition occurs in the existing condition with an average grade of 328.63'



E1 PLAN WEST EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



A1 PLAN WEST ANGLED ELEVATION
SCALE: 3/32" = 1'-0"



Average Grade Calculation - Oak Forest						
	Existing			Proposed		
	High	Low	Average	High	Low	Average
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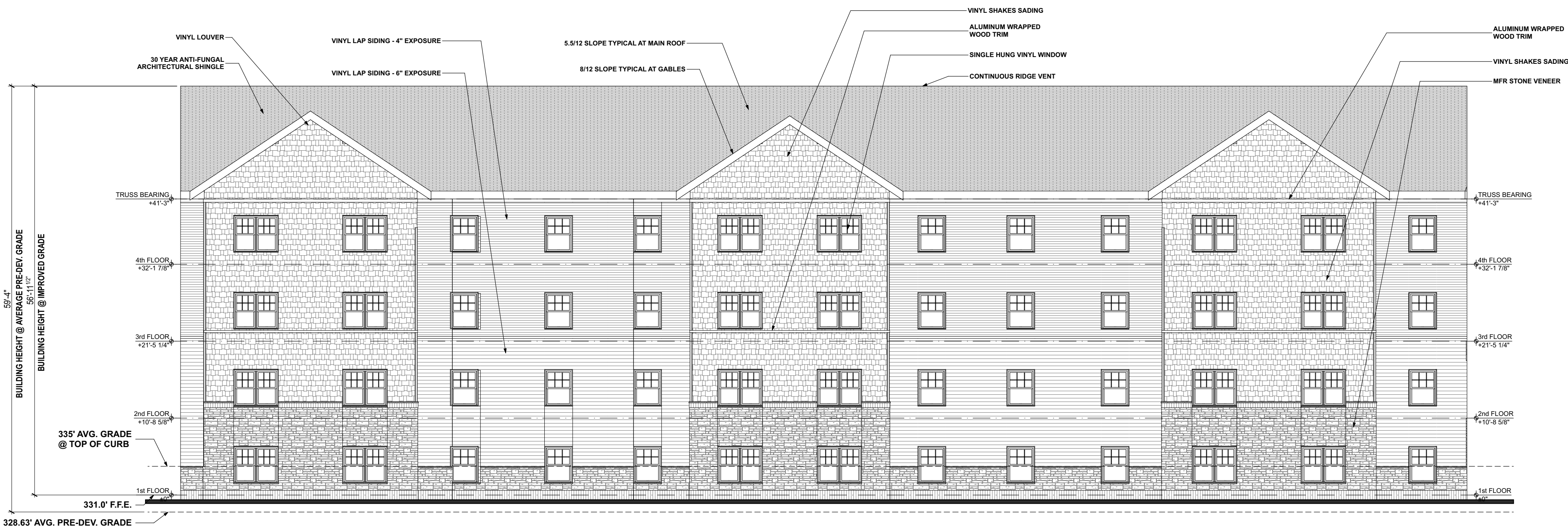
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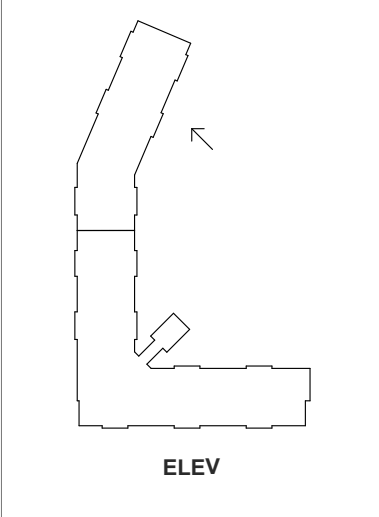
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E1 PLAN EAST ANGLED ELEVATION
SCALE: 3/32" = 1'-0"



A1 PLAN EAST ELEVATION
SCALE: 3/32" = 1'-0"



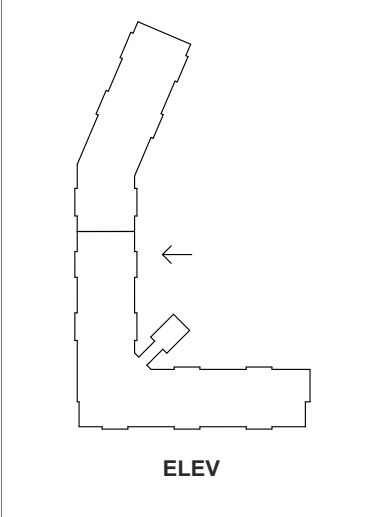
CSBO
architecture P.C.

CSBO architecture P.C.
1589 Skeet Club Rd. Suite 102-172
Hight Point, NC 27265

STATUS: ASR Submittal

CAROLINA PROJECT
EQUITIES, LLC
2013 Rolling Rock Rd.
Wake Forest, NC 27587

OAK FOREST
SENIOR APARTMENTS
5700 OAK FOREST DRIVE
RALEIGH, NC 27616



REVISIONS:

©2019 CSBO architecture P.C.

DATE: 07-23-19
PROJECT NUMBER: 190150
SHEET TITLE: BUILDING ELEVATIONS

SHEET:

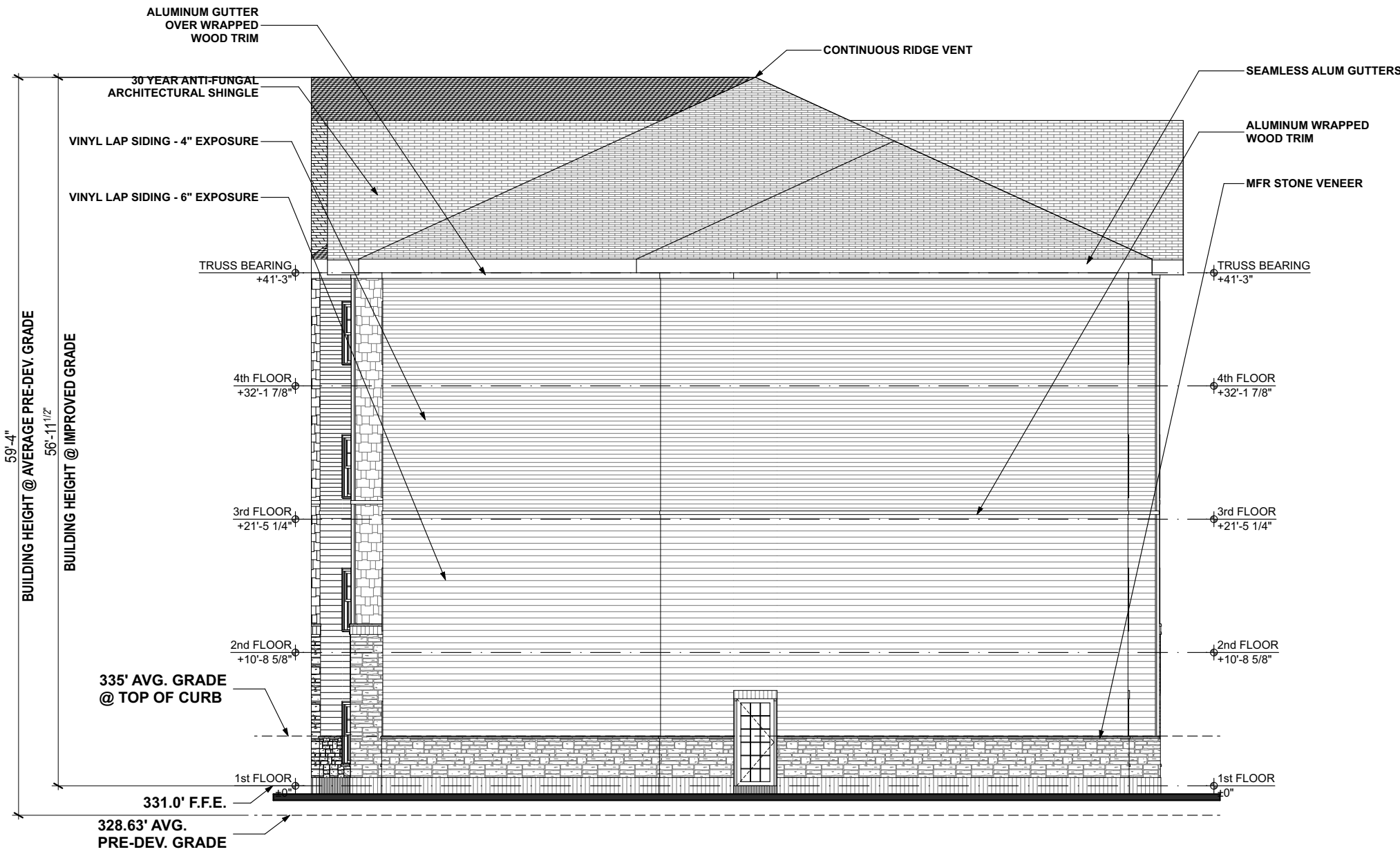
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Average Grade Calculation - Oak Forest						
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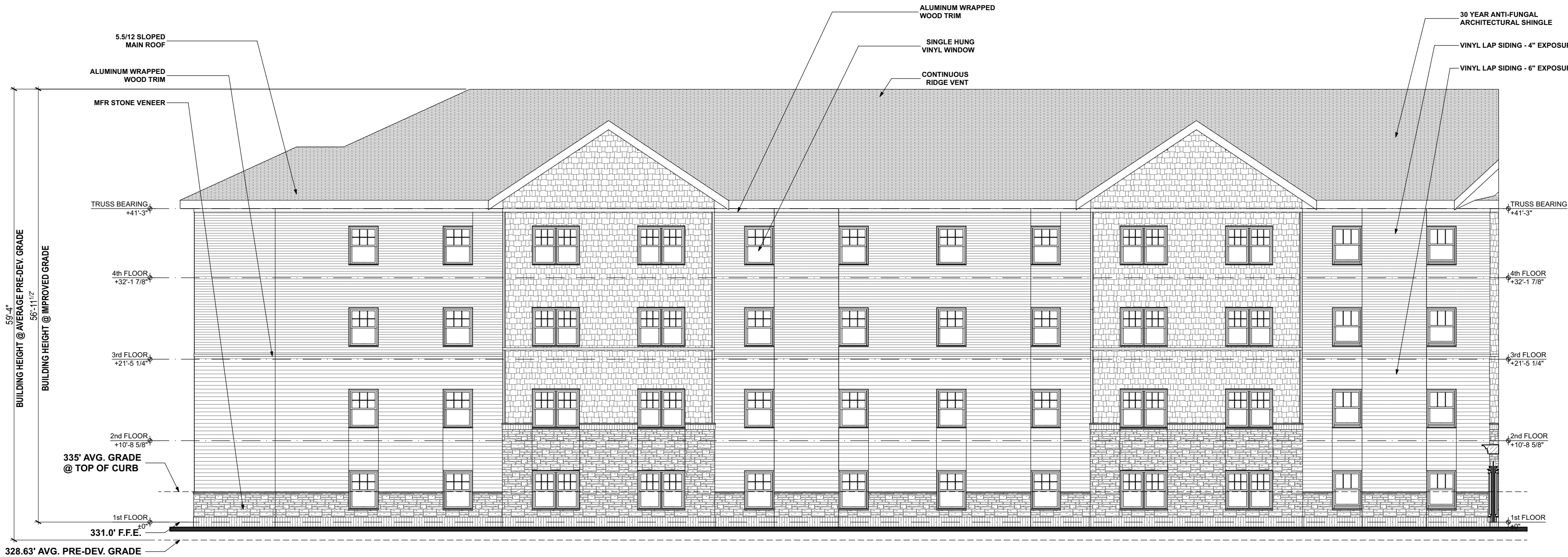
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E6 PLAN NORTH EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



A1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

