



Administrative Approval Action

Case File / Name: ASR-0055-2019
Oak Forest Pointe

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on the north side of Oak Forest Drive with a common street address of 5700 Oak Forest Drive and PIN 1726380863.

REQUEST: Proposed 4 story 120 unit senior apartment building with a gross floor area of approximately 154,305 square feet on an approximately 5.94 acre lot zoned Commercial Mixed Use with Parking Limited Frontage (CX-4-PL-CU with zoning conditions of Z-40-16).

Administrative Alternate (AAD-22-19) approved to permit 46% building within the build-to area in lieu of the 50% required per UDO Sections 1.5.6 and 3.4.5.C. The applicant proposes outdoor amenity area including a covered amenity shelter within the build-to area bringing the combined total area within the build-to to 52%.

Variances (A-110-19) approved granting a maximum block perimeter of 10,492 feet in lieu of 2,500 feet required per UDO Section 8.3.2.A; granting complete relief from the minimum ground floor elevation requirements in Section 3.2.4.F.1; and granting complete relief from the primary street-facing entrance with direct access from a public sidewalk requirement in Section 3.4.7.E.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SPR-0075-2020: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 30, 2020 by J DAVIS ARCHITECTS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).



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4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Slope Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Transit Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The sight distance easements associated with the sight triangle placement shall be shown on a map for recordation as identified on the approved administrative site plan.

Engineering

2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. A cross access agreement among the lots identified on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. Slope easements and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Stormwater

6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Transportation

10. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

11. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.59 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering



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1. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 22 street trees along Oak Forest Drive.
4. A public infrastructure surety for the street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right-of-way street trees by Urban Forestry Staff
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

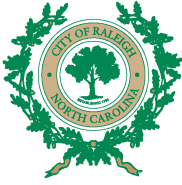
EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 18, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the



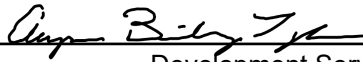
Administrative Approval Action

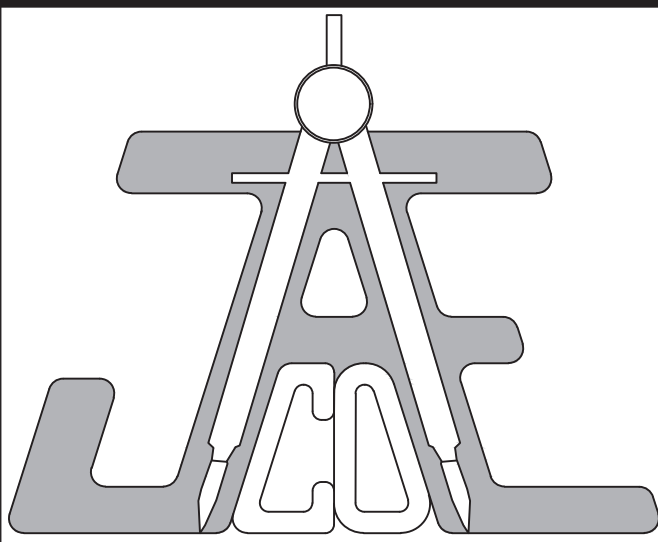
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construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 02/19/2020
Development Services Dir/Designee
Staff Coordinator: Ryan Boivin



JAECO
Consulting Engineers and Land Surveyors

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Seals

Project

**OAK FOREST
POINTE**
5700 OAK FOREST DRIVE
RALEIGH, NC 27616

Client

**CAROLINA PROJECT
EQUITIES, LLC**

ABBREVIATIONS

AC	ACRE	HDPE	HIGH DENSITY POLYETHYLENE
APPROX	APPROXIMATE	IPS	IRON PIPE SET
B-B	BACK-TO-BACK	LF	LINEAR FEET
BM	BOOK OF MAPS	LOC	LOCATION
BR	BOTTOM OF RISE	MH	MANHOLE
BW	BOTTOM OF WALL	NIF	NOW OR FORMERLY
C/O	CLEANOUT	PG	PAGE
CB	CATCH BASIN	PROP	PROPOSED
CIP	CAST IRON PIPE	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	R/W	RIGHT OF WAY
CORWLE	CITY OF RALEIGH WATER LINE	RSDM	RALEIGH STREET DESIGN MANUAL
DE	DEED BOOK	SF	SQUARE FEET
ELEC	ELECTRIC	SS	SANITARY SEWER
EIP	EX IRON PIPE	SWM	STORMWATER MANAGEMENT
EIR	EX IRON ROD	TBD	TO BE DETERMINED
ELEV	ELEVATION	TBR	TO BE REMOVED
ESMT	EASEMENT	TBLR	TO BE RELOCATED
EX	EXISTING	TC	TOP OF CURB
FDC	FIRE DEPARTMENT CONNECTION	TF	TRANSFORMER
FFE	FINISHED FLOOR ELEVATION	TR	TOP OF RISE
FH	FIRE HYDRANT	TW	TOP OF WALL
G	GRADE	TYP	TYPICAL
GAR	GARAGE	UNIF	UNIFIED
GIS	GEOGRAPHIC INFORMATION SYSTEM	UDO	DEVELOPMENT ORDINANCE
GP	GALVANIZED PIPE		

LEGEND

EX PROPERTY LINE	---
EX ADJACENT PROPERTY LINE	---
EX EASEMENT	---
EX MAJOR CONTOUR	---
EX MINOR CONTOUR	---
EX FENCE	X X
EX WATER LINE	W W
EX SEWER LINE	SS
EX OVERHEAD LINE	OHP OHP

Drawing Title

**EXISTING CONDITIONS
AND DEMOLITION PLAN**

Revisions

Number	Description	Date
1	PER CITY COMMENTS	10/07/19
2	PER CITY COMMENTS	01/30/20

JAECO #: 522-06

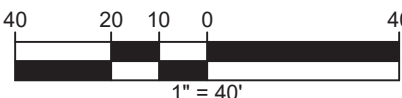
DRAWING SCALE: 1" = 40'

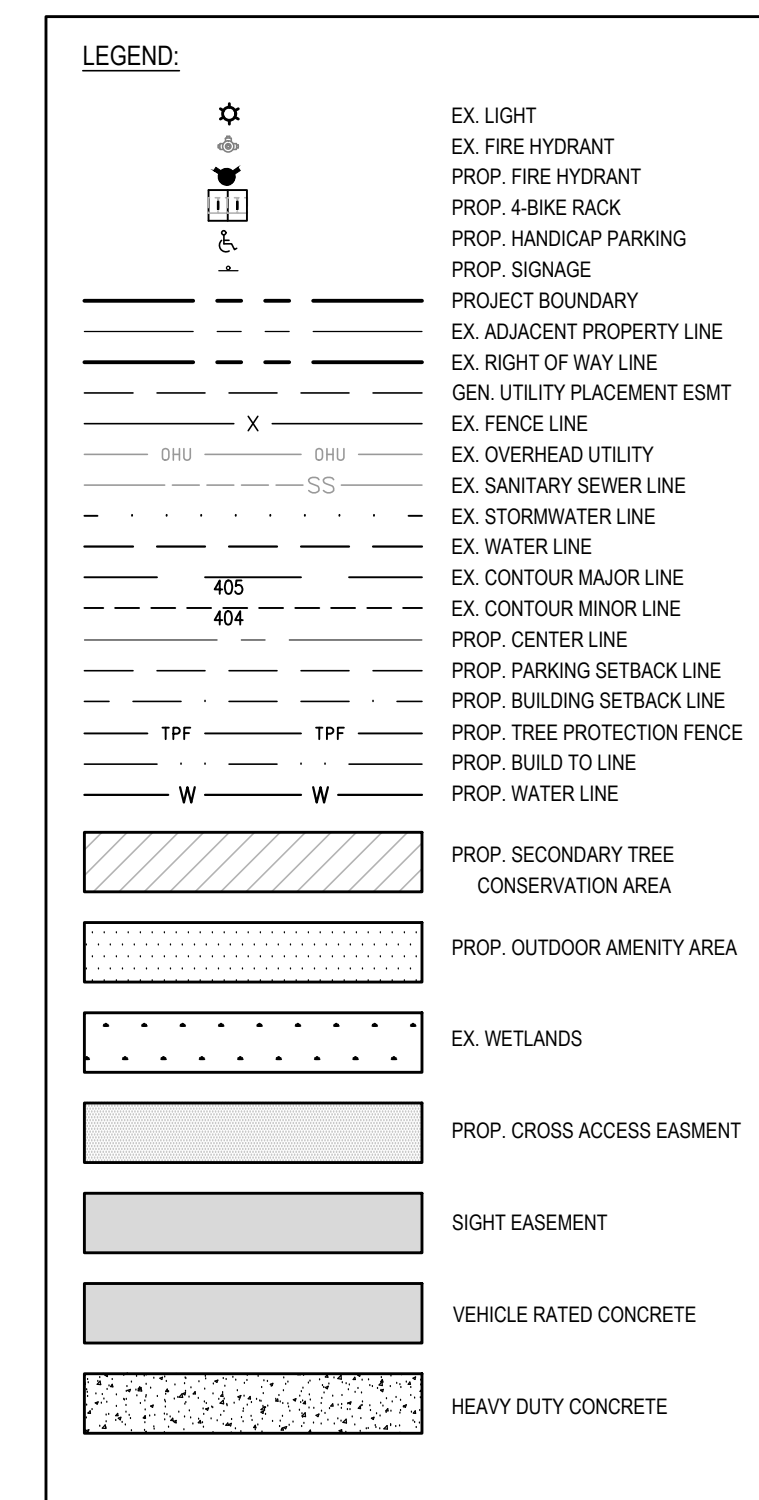
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CHECKED BY: JRC

DATE ISSUED: 7/08/19

C.1





SEE LS3.1 FOR SITE DETAILS.
SEE L0.1 FOR ADMINISTRATIVE ALTERNATE DECISION
SEE L0.2 FOR BOARD OF ADJUSTMENT FINDINGS.

UDO SECTION 8.3.5.D CROSS ACCESS

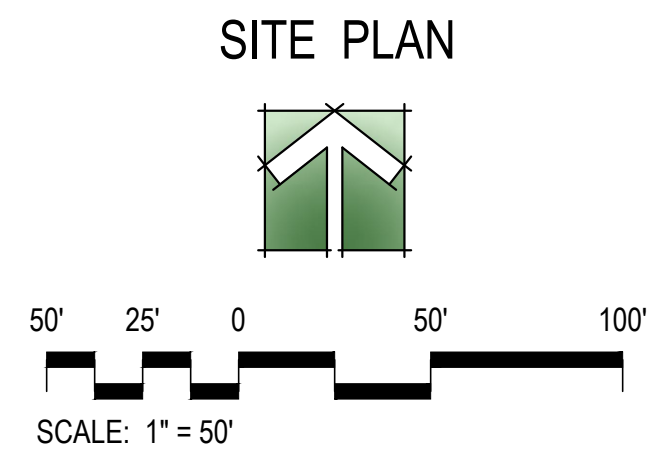
PER TC-6-19 SECTION 7

CROSS ACCESS CANNOT BE PROVIDED TO ADJACENT PROPERTY TO THE EAST DUE TO:

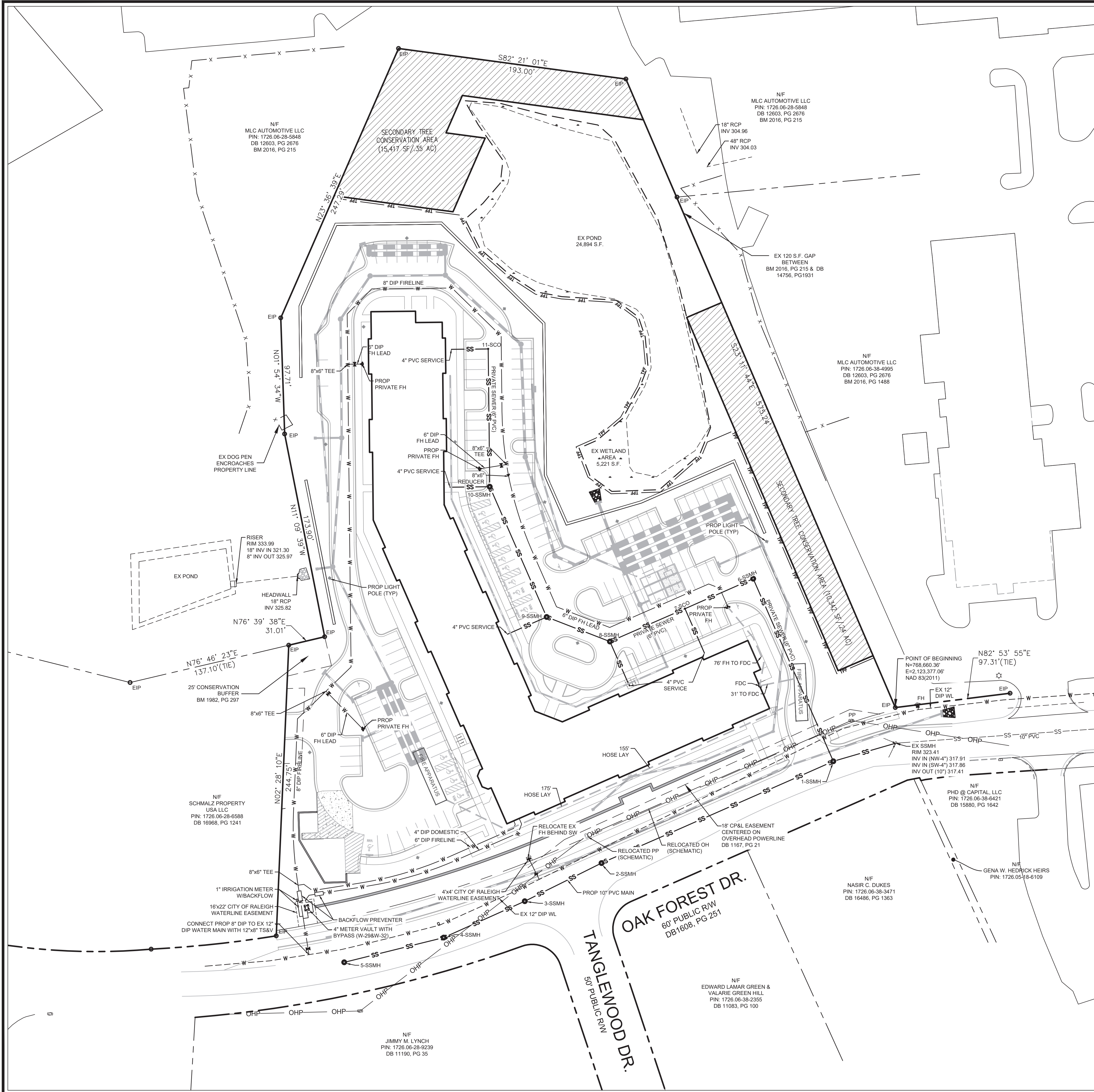
1. STEEP SLOPES IN EXCESS OF 25% WITHIN 10' OF THE PROPERTY LINE (8.3.5.D.5.b.ii)
2. PREVIOUSLY ESTABLISHED TREE CONSERVATION AREA (8.3.5.D.5.b.v) AS NOTED ON BM 2016 PG 1849.

Overall Site Data			
Project: Oak Forest Pointe			
Date: 07/29/2019 (updated 6/13/2020)			
1	Zoning		CX4-PL-CU
2	Section 3.2.4 Apartment		
A Lot Dimensions			
A1 Area (min)			10,000 SF
A2 Width (min)			N/A FT
A3 Outdoor Amenity (min)			10 %
B Building setbacks			
B1 From primary street (min)			5 FT
B2 From side street (min)			5 FT
B3 From side lot line (min)			0 or 6 FT
B4 From rear lot line (min)			0 or 6 FT
B4 From alley			4 or 20 FT
C. Parking setbacks			
C1 From primary street (min)			10 FT
C2 From side street (min)			10 FT
C3 From side lot line (min)			0 or 3 FT
C4 From rear lot line (min)			0 or 3 FT
C4 From alley			4 FT
D. Build-to			
D1 Primary street build-to (min/max)		See item #3 Frontages below	
D2 Building width in primary build-to (min)		See item #3 Frontages below	
D3 Side street build-to (min/max)		See item #3 Frontages below	
D4 Building width in side build-to (min)		See item #3 Frontages below	
E. Height			
E1 Principal building (max)		(62' max)	4 Story
E2 Accessory structure (max)			25 FT
F. Floor Heights			
F1 Ground floor elevation (min)			2'
G. Transparency			
G1 Ground story (min)			20 %
G2 Upper story (min)			15 %
G3 Blank wall area (max)			35 FT
H. Allowed building elements			Porch, Stoop, Balcony
3	Frontage requirements (Sec. 3.4.5)		PL (Parking Limited)
C. Build-to			
C1 Primary street build-to (min/max)			0 to 100 FT
C2 Building width in primary build-to (min)			50 %
C1 Side street build-to (min/max)			0 to 100 FT
C2 Building width in side build-to (min)			25 %
E. Additional parking limitations			
E1 A maximum of 2 bays of on-site parking with a single drive aisle is permitted between the building and the street			
F. Pedestrian access			
E1 Primary street-facing entrance required			yes
E2 Direct pedestrian access is required from the public sidewalk to the primary street facing entrance of the building			yes
F. Streetscape requirement		see Sec. 8.5.2.C Commercial Center	
4	Streetscape requirements (Sec. 8.5.2.C)		Commercial Center
A Streetscape width (max.)			65 FT
Streetscape requirements (Sec. 8.5.2.C)			
B Building setback (min./max.)			20 to 50 FT
C Utility placement			5 FT
D Maintenance strip			2 FT
E Sidewalk (min)			6 FT
F Planting area (min)			9 FT
General			
Walkway type			Sidewalk
Planting type			tree lawn
Tree spacing			40 C.O. avg.
5	Site Data		
6 Tract area			
172830663		(from ex. conditions plan)	5.94 AC
Less right of way dedication			-0.05
Net acreage			5.89 AC
7	Proposed use		Multi-unit infillment
Multi-unit infill 1 BR			48 DU
Multi-unit infill 2 BR			72 DU
Total			120 DU
8	Gross square footage		154,305 SF
Proposed FAR		154,305 / 5.89 =	60.2%
Building coverage		38,574 / 5.89 =	15.0%
Proposed density		120 / 5.89 =	20.4 DU/AC
9	Outdoor amenity area (UDO section 3.2.6 A3)		
Area required - 10% of net acreage		5,888 x 10% =	0.589 AC
		=	25,633 SF
Area provided - OAA #1			0.650 AC
			28,327.30 SF
Building height			
Allowed height			(62' max) 4 Story
Proposed height			(57'-31") 4 Story
11	Neighborhood transition (UDO section 3.5)		n/a
12	Build-to		Oak Forest Dr.
D1 Primary street build-to (min/max)			
Required		50% x 555 =	278 LF
Provided			
Building			254 LF
Outdoor amenity area			261 LF
Total			290 LF
Administrative Alternate required (See note #1)		Proposed outdoor amenity area is 36 LF	
13	Required parking (UDO section 7.1.2 & 7.1.4 B)		
Multi-unit infill 1 BR		48 x 1.0 =	48 SP
Multi-unit infill 2 BR		72 x 1.0 =	72 SP
Visitor		120 x 10% =	12 SP
Total required			132 SP
Parking provided			
Standard space			117 SP
HOV space			15 SP
Total spaces provided			132 SP
14	Required bicycle parking (UDO section 7.1.2)		
Multi-unit infill			
Short term (1 space per 20 rooms, min. 4)		120 / 20 =	6 SP
Short term bike parking provided			8 SP
Impervious area			
Existing		16,553 SF	0.38 AC
Proposed		127,631 SF	2.93 AC
16	#1 An Administrative Alternate has been obtained for Primary Street Build-to. Ref AAD-22-19		
#2 A BOA variance has been obtained for Sec. 8.3.2.A - Block Perimeter. Ref A10-2019			

ASR-0055-2019



Carolina Project Equities, LLC
Oak Forest Pointe
5700 Oak Forest Drive
Raleigh, North Carolina 27616



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. UTILITY POLE AND LINE TO BE RELOCATED BY UTILITY PROVIDER. SCHEMATIC LOCATIONS SHOWN, FINAL DESIGN LOCATIONS AND IMPACTS TO BE DETERMINED BY UTILITY PROVIDER.

STANDARD UTILITY NOTES (as applicable):

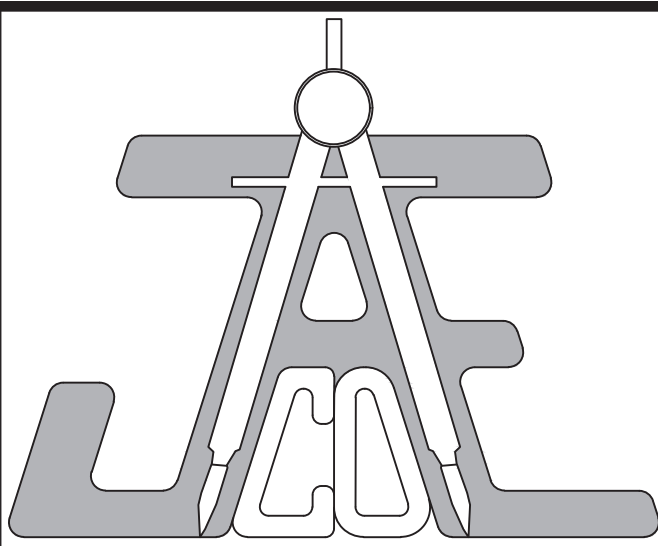
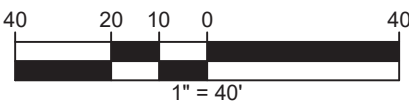
1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to wateline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to wateline specifications
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
5. 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement
7. per CORPUD Handbook procedure
8. Install 1/2" copper* water services with meters located at ROW or within a 2'x2' Wateline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure*
9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-5334 or timothy.beasley@raleighnc.gov for more information
13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.



JAECO
Consulting Engineers and Land Surveyors

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Seals

Project

**OAK FOREST
POINTE**
5700 OAK FOREST DRIVE
RALEIGH, NC 27616

Client

**CAROLINA PROJECT
EQUITIES, LLC**

ABBREVIATIONS

AC	ACRE	HDPE	HIGH DENSITY POLYETHYLENE
APPROX	APPROXIMATE	IPS	IRON PIPE SET
B-B	BACK-TO-BACK	LF	LINEAR FEET
BM	BOOK OF MAPS	LOC	LOCATION
BR	BOTTOM OF RISER	MH	MANHOLE
BW	BOTTOM OF WALL	N/F	NOW OR FORMERLY
C/O	CLEANOUT	PG	PAGE
CB	CATCH BASIN	PROP	PROPOSED
CIP	CAST IRON PIPE	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	ROW	RIGHT OF WAY
CORWLE	CITY OF RALEIGH WATER LINE EASEMENT	RSDM	RALEIGH STREET DESIGN MANUAL
DB	DEED BOOK	SS	SANITARY SEWER
ELEC	ELECTRIC	SWM	STORMWATER MANAGEMENT
EIP	EX IRON PIPE	TBD	TO BE DETERMINED
EIR	EX IRON ROD	TBR	TO BE REMOVED
ELEV	ELEVATION	TBRL	TO BE RELOCATED
ESMT	EASEMENT	TC	TOP OF CURB
EX	EXISTING	TF	TRANSFORMER
FDC	FIRE DEPARTMENT CONNECTION	TR	TOP OF RISER
FFE	FINISHED FLOOR ELEVATION	TW	TOP OF WALL
FH	FIRE HYDRANT	TYP	TYPICAL
G	GRADE	UNIF	UNIFIED
GAR	GARAGE	UDO	DEVELOPMENT
GIS	GEOGRAPHIC INFORMATION SYSTEM		ORDINANCE
GP	GALVANIZED PIPE		

LEGEND

PROP WATER LINE	— W —
PROP SEWER LINE	— SS —
EX WATER LINE	— W —
EX SEWER LINE	— SS —

Drawing Title

UTILITY PLAN

Revisions		
Number	Description	Date
1	PER CITY COMMENTS	10/07/19
2	PER CITY COMMENTS	01/30/20

JAECO #: 522-06

DRAWING SCALE: 1" = 40'

DRAWN BY: CS

CHECKED BY: JRC

DATE ISSUED: 7/08/19

C.2

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City of Raleigh UDO Landscape & Screening Requirements
Project: Oak Forest Senior Apartments
Date: 01.05.2019 (Rev. 10.07.2019)

Oak Forest Drive Street Trees					
Length of Right of Way					555 LF
Less Driveways					24 LF
Net Length					531 LF
OHE Present					366 LF
Understory Trees Required (1-1/2" cal. 6' ht. @ 20' o.c. average)	366 /	20	=		18.3 EA
Understory Trees Provided (1-1/2" cal. 6' ht. @ 20' o.c. average)					18 EA
No OHE Present					165
Large Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	165 /	40	=		4.1 EA
Large Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)					4 EA
Vehicular Parking Lot					
Yard Type:					C3 @ Parking Area Only
Length of Parking Area					108 LF
Shrubs Required (Min. 18" H, 30 shrubs/100 LF = 0.3 /1LF)	108 x	0.30	=		32.3 EA
Shrubs Provided					32 EA
Vehicular Surface Area					63,609 SF
Shade Trees Required (3" cal. 10' ht per 2,000 sf)	63,609 /	2,000	=		31.8 EA
Shade Trees Provided (3" cal. 10' ht)					33 EA

PLANT LIST - THIS SHEET ONLY						
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	REMARKS
T R E E S						
3	JV	Juniperus virginiana	Eastern Red Cedar		8' MIN	Screening
18	PC	Pistachia chinensis	Chinese Pistache	1-1/2" Min	6' Min	Street Tree
16	QP	Quercus phellos	Willow Oak	3" Min	10' Min	VPL
21	QR	Quercus rubra	Red Oak	3" Min	10' Min	VPL
S H R U B S						
45	ICBN	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly		18" Min	HVAC Screening
48	LIEB	Ligustrum japonicum 'East Bay'	East Bay Ligustrum		18" Min	VPL Screening

LEGEND:	
	EX. LIGHT
	EX. FIRE HYDRANT
	PROP. FIRE HYDRANT
	PROP. 4-BIKE RACK
	PROP. HANDICAP PARKING
	PROP. SIGNAGE
	PROJECT BOUNDARY
	EX. ADJACENT PROPERTY LINE
	EX. RIGHT OF WAY LINE
	GEN. UTILITY PLACEMENT ESMT
	EX. FENCE LINE
	EX. OVERHEAD UTILITY
	EX. SANITARY SEWER LINE
	EX. STORMWATER LINE
	EX. WATER LINE
	EX. CONTOUR MAJOR LINE
	EX. CONTOUR MINOR LINE
	PROP. PARKING SETBACK LINE
	PROP. CENTER LINE
	PROP. BUILDING SETBACK LINE
	PROP. TREE PROTECTION FENCE
	PROP. BUILD TO LINE
	PROP. WATER LINE
	PROP. SECONDARY TREE CONSERVATION AREA
	PROP. OUTDOOR AMENITY AREA
	EX. WETLANDS
	SIGHT EASEMENT
	VEHICLE RATED CONCRETE
	HEAVY DUTY CONCRETE

SEE LP3.1 FOR PLANTING DETAILS.

SITE DATA:

SITE ADDRESS: 5700 OAK FOREST DRIVE
PIN NUMBER: 1726380863
DEED BOOK: DB 014765, PAGE 01931-01934
RECORDED MAP: BM 1983, PG 1327
ZONING(S): CX-4-PL-CU
ACREAGE: 5.94 AC
EXISTING USE: SINGLE FAMILY RESIDENTIAL
PROPOSED USE: MULTI-UNIT LIVING (SENIOR)

PLANT LEGEND:

- QUERCUS PHELLOS, WILLOW OAK
3" CALIPER MIN., 10' HEIGHT MIN.
- QUERCUS RUBRA, RED OAK
3" CALIPER MIN., 10' HEIGHT MIN.
- PISTACHIA CHINENSIS, CHINESE PISTACHE
1-1/2" CALIPER MIN., 6' HEIGHT MIN.
- JUNIPERUS VIRGINIANA, EASTERN RED CEDAR
8' HEIGHT MIN.
- LIGUSTRUM JAPONICUM 'EAST BAY',
EAST BAY LIGUSTRUM, 18" HEIGHT MIN.
- ILEX CORNUTA 'BURFORDII NANA',
DWARF BURFORD HOLLY, 18" HEIGHT MIN.

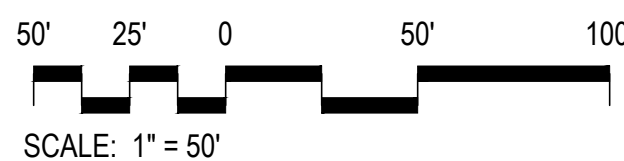
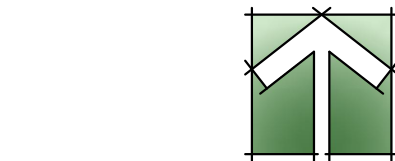
LANDSCAPE NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
- ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3", MAXIMUM DEPTH OF 4", WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
- ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURER'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN. NO DENUDEED AREAS AREA ACCEPTABLE.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
- TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
- TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
- CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
- A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

REFERENCE:
Sketch Plan (TA: 573748), Z-40-16

ASR-SR-XX-18

LANDSCAPE PLAN



ADMINISTRATIVE SITE REVIEW

DATE	
PROJECT:	JAE-18043
ISSUE:	Administrative Site Review
PROJECT DATE:	07.30.2019
REVISIONS:	
1st Review Comments	10.15.2019
2nd Review Comments	01.30.2020
DRAWN BY: CHK	
CHECKED BY: KT	
CONTENT: LANDSCAPE PLAN	

Carolina Project Equities, LLC
Oak Forest Pointe
5700 Oak Forest Drive
Raleigh, North Carolina 27616

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

LP1.1

JDAVIS

510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
1218 Central Street, 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

ASR-00555-2019

TRANSACTION NO. 573748 (Sketch Plan Review)

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ELEVATION MATERIAL KEY

- 01

30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE
- 02

STANDING SEAM METAL ROOF
- 03

VINYL DOUBLE 6" LAP SIDING (Color A)
- 04

VINYL DOUBLE 6" LAP SIDING (Color B)
- 05

VINYL DOUBLE 4" LAP SIDING (Color C)
- 06

VINYL DOUBLE 4" LAP SIDING (Color D)
- 07

VINYL SHAKES SIDING (Color E)
- 08

VINYL SHAKES SIDING (Color F)
- 09

VINYL SINGLE 8" LAP SIDING
- 10

VINYL OUTSIDE CORNER POST (WHITE)
- 11

SQUARE PVC COLUMN COVER
- 12

NOT USED
- 13

MFR STONE VENEER
- 14

MFR STONE SILL
- 15

MFR STONE SOLDIER COURSE
- 16

PVC GUARDRAIL
- 17

RIDGE VENT

18

VINYL LOUVER

19

ALUMINUM WRAPPED WOOD TRIM

20

PRE-FINISHED ALUM DOWNSPOUT

21

PRE-FINISHED SEAMLESS GUTTER

22

VINYL SINGLE HUNG WINDOW

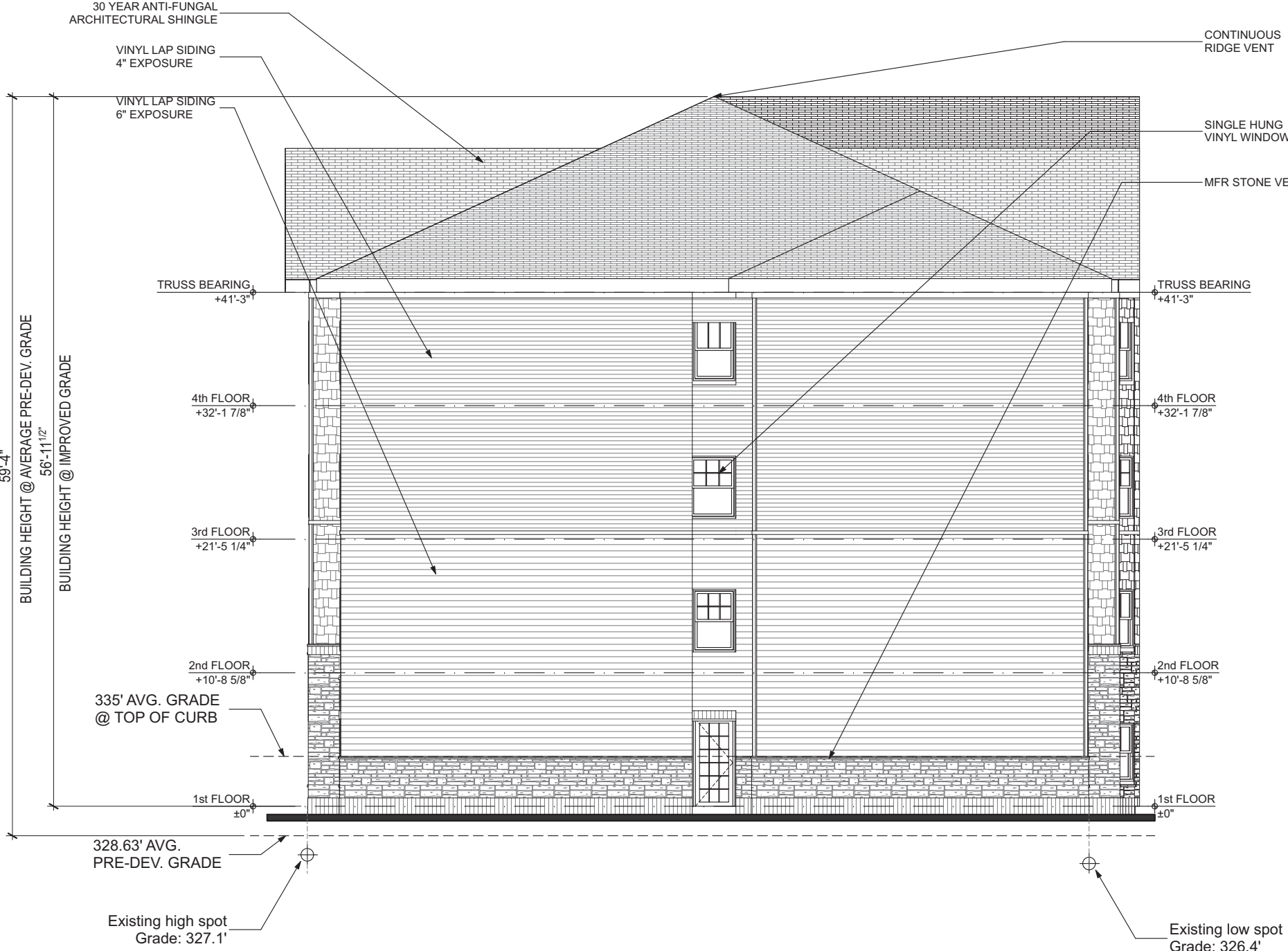
23

PRE-FINISHED ALUM WALL CAP

24

RECTANGULAR SCUPPER

Average Grade Calculation - Oak Forest						
	Existing			Proposed		
	High	Low		High	Low	
North plane (Short)	323.10	321.80	Average	322.45	331.00	331.00
East plane (Long)	334.40	322.00		328.20	331.00	331.00
North plane (Long)	334.40	326.40		330.40	331.00	331.00
East plane (Short)	327.10	326.40		326.75	331.00	330.95
South plane	339.50	327.10		333.30	331.00	331.00
West plane	339.50	321.80		330.65	331.00	331.00
Average of wall planes						
				328.63		330.81
Per section 1.5.7 A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.						
Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.						
The more restrictive condition occurs in the existing condition with an average grade of 328.63'						



E3 EAST CORNER ELEVATION (East plane short)
SCALE: 3/32" = 1'-0"



E7 MAIN ENTRY ELEVATION
SCALE: 3/32" = 1'-0"



A1 SOUTH ELEVATION (South Plane)
SCALE: 3/32" = 1'-0"

ELEVATION MATERIAL KEY

- 01

30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE
- 02

STANDING SEAM METAL ROOF
- 03

VINYL DOUBLE 6" LAP SIDING (Color A)
- 04

VINYL DOUBLE 6" LAP SIDING (Color B)
- 05

VINYL DOUBLE 4" LAP SIDING (Color C)
- 06

VINYL DOUBLE 4" LAP SIDING (Color D)
- 07

VINYL SHAKES SIDING (Color E)
- 08

VINYL SHAKES SIDING (Color F)
- 09

VINYL SINGLE 8" LAP SIDING
- 10

VINYL OUTSIDE CORNER POST (WHITE)
- 11

SQUARE PVC COLUMN COVER
- 12

NOT USED
- 13

MFR STONE VENEER
- 14

MFR STONE SILL
- 15

MFR STONE SOLDIER COURSE
- 16

PVC GUARDRAIL
- 17

RIDGE VENT

18

VINYL LOUVER

19

ALUMINUM WRAPPED WOOD TRIM

20

PRE-FINISHED ALUM DOWNSPOUT

21

PRE-FINISHED SEAMLESS GUTTER

22

VINYL SINGLE HUNG WINDOW

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PRE-FINISHED ALUM WALL CAP

24

RECTANGULAR SCUPPER

Average Grade Calculation - Oak Forest

	Existing			Proposed		
	High	Low	Average	High	Low	Average
North plane (Short)	323.10	321.80	322.45	331.00	331.00	331.00
East plane (Long)	334.40	322.00	328.20	331.00	331.00	331.00
North plane (Long)	334.40	326.40	330.40	331.00	331.00	331.00
East plane (Short)	327.10	326.40	326.75	331.00	329.70	325.85
South plane	339.50	327.10	333.30	331.00	331.00	331.00
West plane	339.50	321.80	330.65	331.00	331.00	331.00

Average of wall planes

Per section 1.5.7 A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

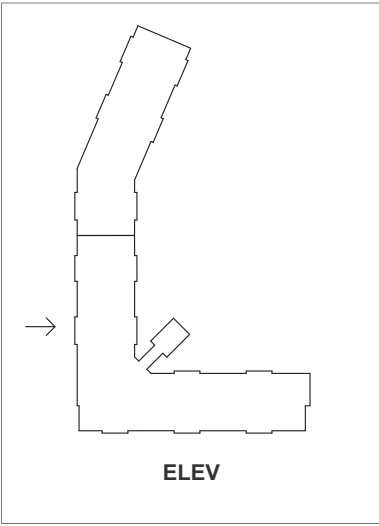
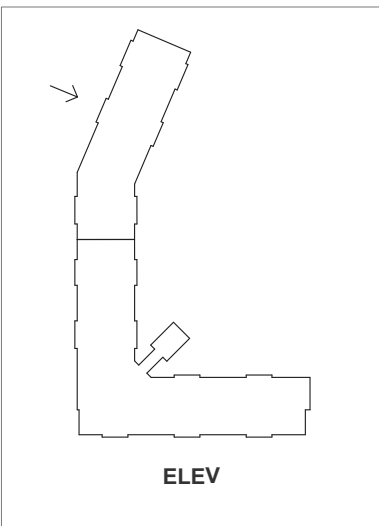
The more restrictive condition occurs in the existing condition with an average grade of 328.63'



E3 PLAN WEST ELEVATION (West Plane)
SCALE: 3/32" = 1'-0"



A1 PLAN WEST ELEV (West Plane Cont.)
SCALE: 3/32" = 1'-0"



REVISIONS:

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DATE: 10-16-19
PROJECT NUMBER: 190150
SHEET TITLE: BUILDING ELEVATIONS

SHEET:

ELEVATION MATERIAL KEY

01	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE	18	VINYL LOUVER
02	STANDING SEAM METAL ROOF	19	ALUMINUM WRAPPED WOOD TRIM
03	VINYL DOUBLE 6" LAP SIDING (Color A)	20	PRE-FINISHED ALUM DOWNSPOUT
04	VINYL DOUBLE 6" LAP SIDING (Color B)	21	PRE-FINISHED SEAMLESS GUTTER
05	VINYL DOUBLE 4" LAP SIDING (Color C)	22	VINYL SINGLE HUNG WINDOW
06	VINYL DOUBLE 4" LAP SIDING (Color D)	23	PRE-FINISHED ALUM WALL CAP
07	VINYL SHAKES SIDING (Color E)	24	RECTANGULAR SCUPPER
08	VINYL SHAKES SIDING (Color F)		
09	VINYL SINGLE 8" LAP SIDING		
10	VINYL OUTSIDE CORNER POST (WHITE)		
11	SQUARE PVC COLUMN COVER		
12	NOT USED		
13	MFR STONE VENEER		
14	MFR STONE SILL		
15	MFR STONE SOLDIER COURSE		
16	PVC GUARDRAIL		
17	RIDGE VENT		

Average Grade Calculation - Oak Forest

	Existing			Proposed		
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North plane (Short)	323.10	321.80	322.45	331.00	331.00	331.00
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East plane (Short)	327.10	326.40	326.75	331.00	328.70	329.85
South plane	339.50	327.10	333.30	331.00	331.00	331.00
West plane	339.50	321.80	330.65	331.00	331.00	331.00

Average of wall planes 328.63 330.81

Per section 1.5.7 A.2 (7C-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

The more restrictive condition occurs in the existing condition with an average grade of 328.63'



E3 PLAN EAST ANGLED ELEVATION (East Plane long)
SCALE: 3/32" = 1'-0"



A3 PLAN EAST ELEV (East Plane Long Cont.)
SCALE: 3/32" = 1'-0"

ELEVATION MATERIAL KEY

01	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE	18	VINYL LOUVER
02	STANDING SEAM METAL ROOF	19	ALUMINUM WRAPPED WOOD TRIM
03	VINYL DOUBLE 6" LAP SIDING (Color A)	20	PRE-FINISHED ALUM DOWNSPOUT
04	VINYL DOUBLE 6" LAP SIDING (Color B)	21	PRE-FINISHED SEAMLESS GUTTER
05	VINYL DOUBLE 4" LAP SIDING (Color C)	22	VINYL SINGLE HUNG WINDOW
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08	VINYL SHAKES SIDING (Color F)		
09	VINYL SINGLE 8" LAP SIDING		
10	VINYL OUTSIDE CORNER POST (WHITE)		
11	SQUARE PVC COLUMN COVER		
12	NOT USED		
13	MFR STONE VENEER		
14	MFR STONE SILL		
15	MFR STONE SOLDIER COURSE		
16	PVC GUARDRAIL		
17	RIDGE VENT		

Average Grade Calculation - Oak Forest

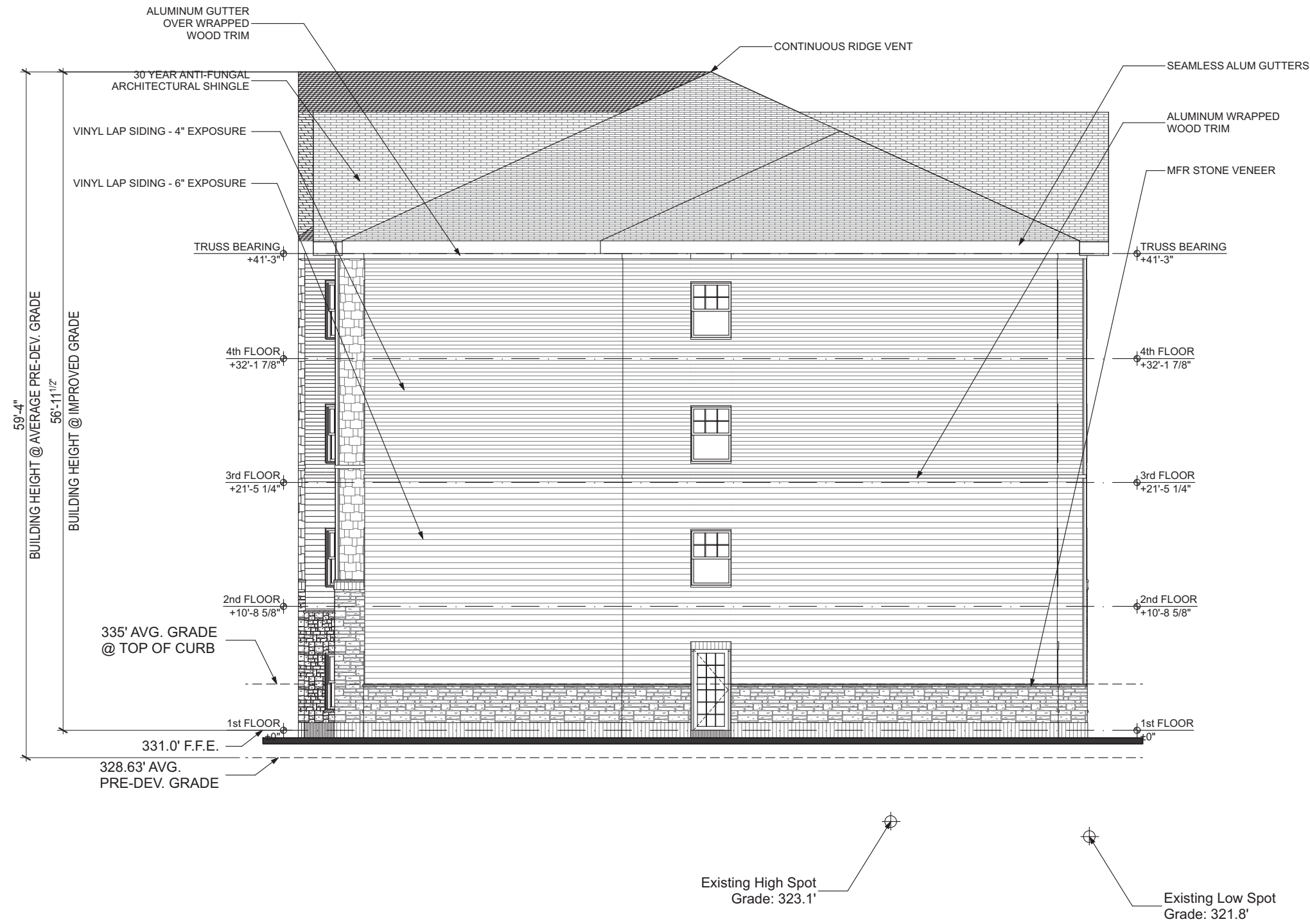
	Existing			Proposed		
	High	Low	Average	High	Low	Average
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East plane (Long)	334.40	322.00	328.20	331.00	331.00	331.00
North plane (Long)	334.40	326.40	330.40	331.00	331.00	331.00
East plane (Short)	327.10	326.40	326.75	331.00	328.70	329.85
South plane	339.50	327.10	333.30	331.00	331.00	331.00
West plane	339.50	321.80	330.65	331.00	331.00	331.00

Average of wall planes 328.63

Per section 1.5.7 A.2 (7C-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

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The more restrictive condition occurs in the existing condition with an average grade of 328.63'



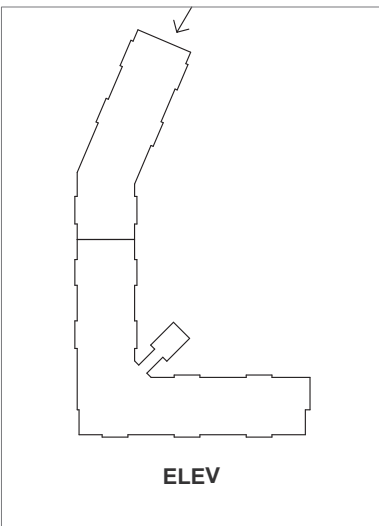
E6 PLAN NORTH ELEVATION (North Plane Short)

SCALE: 3/32" = 1'-0"



A1 NORTH ELEVATION (North Plane long)

SCALE: 3/32" = 1'-0"



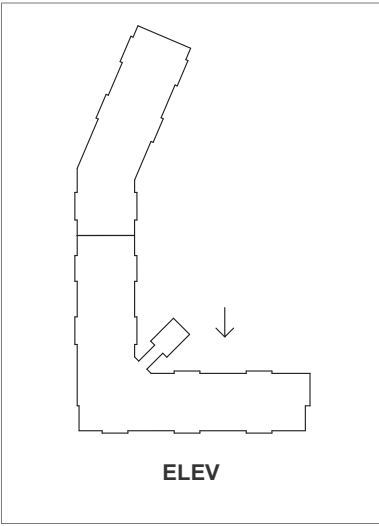
CSBO+
architecture P.C.

CSBO architecture P.C.
1589 Skeet Club Rd. Suite 102-172
Hight Point, NC 27265

STATUS:
PRELIMINARY
FOR REVIEW ONLY

CAROLINA PROJECT
EQUITIES, LLC
2013 Rolling Rock Rd.
Wake Forest, NC 27587

OAK FOREST POINTE
SENIOR APARTMENTS
5700 OAK FOREST DRIVE
RALEIGH, NC 27616



REVISIONS:

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DATE:
10-16-19
PROJECT NUMBER:
190150
SHEET TITLE:
BUILDING ELEVATIONS

SHEET:

A3.14