

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: SCOPE-0048-2021
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: Z-07-2020
		Administrative Alternate #: _____

GENERAL INFORMATION

Development name: Quail Corners Shopping Center

Inside City limits? ☒ Yes ☐ No

Property address(es): 1200 & 1204 E. Millbrook Road, Raleigh, NC

Site P.I.N.(s): 1716-34-6510 and 1716-34-4505

Please describe the scope of work. Include any additions, expansions, and change of use.

Expanding current shopping center to include an additional 33,488 SF of shopping space and 138 parking spaces.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: East Millbrook, LLC

Title: Manager

Address: 5003 Falls of Neuse Rd., Ste. A, Raleigh, NC 27609

Phone #: 919-524-1356

Email: syoung@hchhomes.com

Applicant Name: Daniel C. Austin, Sr.

Company: East Millbrook, LLC

Address: 5003 Falls of Neuse Rd., Ste. A, Raleigh, NC 27609

Phone #: 919-524-1356

Email: syoung@hchhomes.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PL-CU (Commercial Mixed Use)	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 5,840 sf
Gross site acreage: 2.87	New gross floor area: 33,488sf
# of parking spaces required: 96	Total sf gross (to remain and new): <insert>
# of parking spaces proposed: 138	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Single Family	
Proposed use (UDO 6.1.4): Mixed Use	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 10.30 Square Feet: 13,076	Proposed Impervious Surface: Acres: 1.85 Square Feet: 80,801
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720171600J	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS


Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

I hereby designate Matthew Lowder, PE - Triangle Site Design, PLLC to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Joanne Austin

Signature: 

Date: June 30, 2021

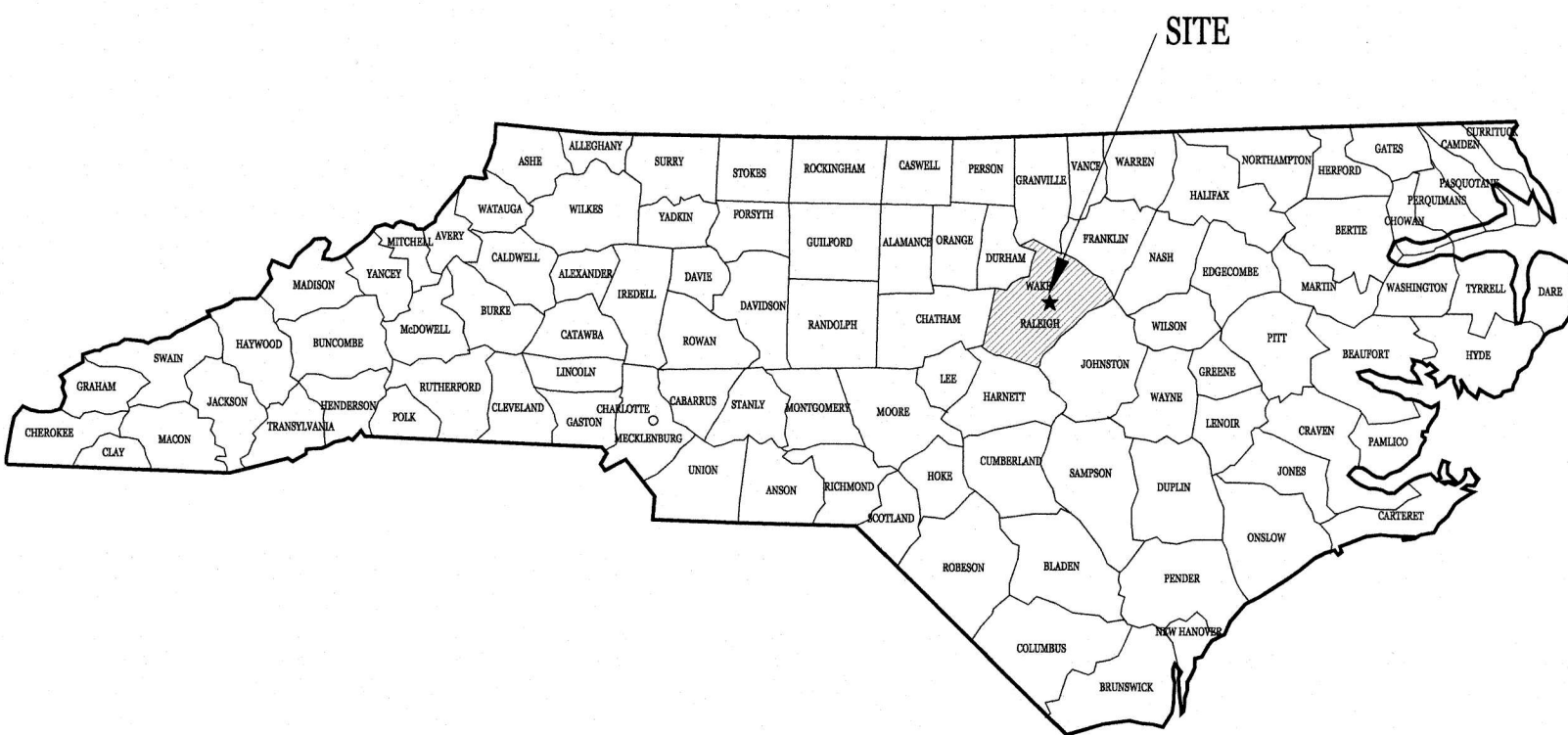
Printed Name: Joanne Austin (wife of Daniel Austin)(Power of Attorney)

ZONING CONDITIONS: Z-07-20

- Building height shall be limited to two stories.
PROPOSED BUILDING WILL HAVE 2 STORIES
- The maximum gross floor area that may be developed on the property is 40,000 square feet, of which no more than 30,000 square feet may be used for retail sales and restaurant uses.
PROPOSED BUILDING WILL BE 33,480 SF OF WHICH 18,240 SF IS PROPOSED TO BE RESTAURANT AND RETAIL USES
- Services areas for trash and recycling collection serving the property subject to this rezoning ordinance shall be located on the adjacent property described in Deed Book 7503, page 235, Wake County Registry (existing Quail Corners Shopping Center).
THE TRASH AND RECYCLING COLLECTION FOR THE PROPERTY WILL BE ON THE ADJACENT QUAIL CORNERS SHOPPING CENTER
- Pole-mounted light fixtures shall be of full cut-off design and limited to 20 feet in height, unless a more restrictive height is required by the UDO, and shall be directed away from residential uses located west and south of the property.
PROPOSED LIGHTING WILL BE FULL CUT-OFF WITH A 20FT MAX HEIGHT AND WILL BE DIRECTED AWAY FROM RESIDENTIAL USES
- Truck deliveries to the uses on the property shall only occur between the hours of 7:00 a.m. and 9:00 p.m., and shall be limited to Monday through Saturday, inclusive.
TRUCK DELIVERIES WILL BE RESTRICTED TO BETWEEN THE HOURS OF 7:00 AM TO 9:00 PM MONDAY THROUGH SATURDAY
- This condition shall apply to the portion of the property immediately adjacent to the following properties: Lots 23 through 27, inclusive, as shown on the plat recorded in Book of Maps 1968, Page 032 (1009, 1101, 1105, 1109 and 1113 Cedarhurst Road) (the "Adjacent Properties") and measuring at least 50 feet in width as measured from the Adjacent Properties (the "Buffer Area"). This Buffer Area shall consist of two zones, with one zone consisting of the area measuring at least 32 feet in width as measured from the Adjacent Properties ("Zone 1"), and the other zone consisting of the area outside of Zone 1 to a point at least 50 feet from the Adjacent Properties ("Zone 2"). No buildings or vehicular surface area may be located within the Buffer Area. See area labeled "50 ft. Buffer Area" on Exhibit 1 attached hereto for a general location of Buffer Area.
PROPOSED 50FT BUFFER LOCATED ALONG ADJACENT PROPERTIES. NO BUILDINGS OR VEHICULAR SURFACE AREAS ARE PROPOSED WITHIN BUFFER
 - This part of the condition applied when those portions of Zone 1 both meeting standards of Article 9.1 for tree conservation and are designated as tree conservation areas. Tree removal can occur in Zone 2. However, when 10 ft. or more of the width of Zone 2 is impacted by tree removal, that portion of Zone 2 shall be replaced at a rate of at least four (4) shade trees and three (3) understory trees per 100 linear feet. No buildings or vehicular surface area may be located within the Buffer area. A masonry wall measuring at least 8 feet in height shall be constructed between the Adjacent Properties or any building or vehicular surface area, but outside of the area measuring 50 feet from the Adjacent Properties.
PROPOSED TREE CONSERVATION AREAS MEET THE REQUIREMENTS. AN 8FT MASONRY WALL IS PROPOSED ALONG THE BUFFER LIMITS
 - This part of the condition applies when those portions of Zone 1 are not designated as tree conservation areas. These portions of Zone 1 shall be undisturbed except for the planting of new vegetation. Tree removal can occur in Zone 2. However, this portion of the Buffer are (Zones 1 & 2) shall be planted in compliance with Type 2 or Type 3 Zone A protective yard (UDO sec. 3.5.3) A masonry wall measuring at least 8 feet in height shall be constructed between the Adjacent Properties any any building or vehicular surface area, but outside of the area measuring 50 feet from the Adjacent Properties.
PROPOSED BUFFER AREAS MEET TREE PLANTING REQUIREMENTS. AN 8FT MASONRY WALL IS PROPOSED ALONG THE BUFFER LIMITS
- The following principal uses as listed in UDO section 6.1.4. (Allowed Principal use Table) shall be prohibited on the property: adult establishment, hotel/motel/in, vehicle fuel sales, vehicle sales/rental detention center/jail/prison, light manufacturing, research and development, self-service storage, car wash, vehicle repair (minor & major), telecommunications towers - all types, radio/tv towers, electronic sweepstakes
THE PROPOSED USES FOR THE FACILITY INCLUDE RESTAURANT, RETAIL AND OFFICE
- Residential density shall be limited to four (4) units per acre.
NO RESIDENTIAL UNITS ARE PROPOSED FOR THE PROPERTY
- Subject to the other provisions of UDO section 9.2.2, stormwater generated by the project on the property shall be collected and discharged to the pre-development rate via standards promulgated by the City of Raleigh for a 2-year, 10-year and 25-year storm event.
STORMWATER CONTROL MEASURE HAS BEEN DESIGNED TO MEET THE PRE-DEVELOPMENT RUNOFF RATE FOR THE 2-YEAR, 10-YEAR AND 25-YEAR STORM EVENTS
- Outside of the buffer described in Condition 6 of this rezoning ordinance, a buffer shall be established along the property's common boundary line with that property designated as Lot 22 on the plat recorded in Book of Maps 1968, page 032 (1025 Cedarhurst Drive) measuring at least 25 feet in width. Only tree removal associated with existing or future public or private easements shall be permitted within the buffer area required by this condition. Additionally, new vegetation may be planted within this buffer area. A masonry wall measuring at least 8 feet in height shall be installed on the east side of this buffer between the adjacent edge of this buffer and any building or vehicular surface area. See area labeled "35 Ft. Buffer Area" on Exhibit 1 attached hereto for a general location of the buffer required by this condition.
PROPOSED 35FT BUFFER SHOWN AT ADJACENT RESIDENTIAL PROPERTY. AN 8FT MASONRY WALL IS PROPOSED ALONG THE BUFFER LIMITS
- The hours of operation for any personal service, restaurant/bar and retail sales use permitted on the property shall be no earlier than 6:00 a.m. and no later than 11:00 p.m. Outdoor dining, including the consumption of alcoholic beverages and outdoor music shall not be permitted between the hours of 11:00 p.m. and 8:00 a.m.
HOURS OF OPERATION FOR USES WILL BE RESTRICTED PER ZONING REQUIREMENT
- There shall be a minimum principal building setback of 40 feet as measured from the Millbrook Road right-of-way.
BUILDING SETBACK EXCEEDS MINIMUM 40FT SETBACK REQUIREMENT
- Any drive-thru window on the property shall be located within that portion of the property measuring 200 feet from Millbrook Road right-of-way and within 200 feet from the adjacent property described in Deed book 7503, Page 235, Wake County Registry (existing Quail Corners Shopping Center.)
NO DRIVE-THRU IS PROPOSED FOR THE PROPERTY



Know what's below.
Call before you dig.



FLOOD ZONE NOTE:

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) #3720171600J WITH AN EFFECTIVE DATE OF MAY 2, 2006. FEMA FIRM MAPS SUBJECT TO CHANGE.

IMPERVIOUS AREA SUMMARY

SITE AREA = 125,138 SF (2.87 AC) (AFTER R/W DEDICATION)	16,976 SF	0.39 ACRE(S)	13.57 % OF TOTAL AREA
PAVEMENT	53,391 SF	1.22 ACRE(S)	42.66 % OF TOTAL AREA
SIDEWALK	11,172 SF	0.26 ACRE(S)	8.93 % OF TOTAL AREA
TOTAL IMPERVIOUS AREA (ON-SITE)	81,339 SF	1.87 ACRE(S)	65.16 % OF TOTAL AREA
GREEN/OPEN SPACE	43,599 SF	1.00 ACRE(S)	34.84 % OF TOTAL AREA
EXISTING IMPERVIOUS AREA TO BE DEMOLISHED:	13,076 SF	0.30 ACRE(S)	
NET INCREASE IN IMPERVIOUS (ON-SITE):	68,463 SF	1.57 ACRE(S)	
MILLBROOK ROAD R/W = 9,916 SF (0.23 AC)			
PROPOSED OFF-SITE PAVEMENT & SIDEWALK	7,183 SF	0.165 ACRE(S)	
EXISTING IMPERVIOUS TO BE DEMOLISHED	3,299 SF	0.076 ACRE(S)	
NET INCREASE IN IMPERVIOUS (OFF-SITE)	3,884 SF	0.089 ACRE(S)	
ADJACENT SHOPPING CENTER = 3,335 SF (0.08 AC)			
PROPOSED OFF-SITE PAVEMENT & SIDEWALK	1,365 SF	0.031 ACRE(S)	
EXISTING IMPERVIOUS TO BE DEMOLISHED	1,415 SF	0.032 ACRE(S)	
NET INCREASE IN IMPERVIOUS (OFF-SITE)	-50 SF	-0.001 ACRE(S)	

BULK AREA REQUIREMENTS

LOCATION:	1200 & 1204 MILLBROOK ROAD RALEIGH, NORTH CAROLINA	REFERENCE IS MADE TO THE CITY OF RALEIGH ZONING ORDINANCE & REZONING CONDITIONS
ZONE:	CX-3-PL-CU (COMMERCIAL MIXED USE) Z-07-2020	
USE:	RETAIL/RESTAURANT/OFFICE	
PIN:	1716-34-6510 & 1716-34-4505	
ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	N/A	127,465SF - 2,358SF (R/W DEDICATION) 2,87 AC (125,138SF)
MAXIMUM RETAIL USE SIZE	40,000 MAX GFA, 20,000 MAX RETAIL/RESTAURANT	33,488 SF TOTAL 18,240 SF RESTAURANT AND RETAIL USES
MAXIMUM BUILDING LOT COVERAGE	N/A	13,565% (16,976SF)
FRONT SETBACK	40 FT MIN (ZONING CONDITION)	SEE BUILDING FRONTAGE CALCULATION ON THIS SHEET
MINIMUM SIDE SETBACK	0 FT - 6 FT	> 6FT
MINIMUM REAR SETBACK	0 FT - 6 FT	> 6FT
MAXIMUM BUILDING HEIGHT	2 STORY	2 STORY
PARKING SETBACK	10 FT	>10FT
WATERSHED	NONE- NEUSE RIVER NUTRIENT STRATEGY	

PUBLIC IMPROVEMENT QUANTITIES

Phase Number(s)	1
Number of Lot (s)	1
Lot Number (s) by Phase	N/A
Number of Units	N/A
Liveable Building	N/A
Open Space?	N/A
Number of Open Space Lots	N/A
Public Water (LF)	0 LF
Public Sewer (LF)	0 LF
Public Street (LF) - FULL	0 LF
Public Street (LF) - PARTIAL	400 LF
Public Sidewalk (LF) - FULL	380 LF
Public Sidewalk (LF) - PARTIAL	0 LF
Street Signs (LF)	380 LF
Water Service Stubs	14 EA
Sewer Service Stubs	1 EA

TREE CONSERVATION

TOTAL SITE AREA:	2.87AC (125,138SF)
TREE CONSERVATION REQUIREMENT:	10% OF PROPERTY 125,138SF x 10% = 12,514SF
PROPOSED TREE CONSERVATION AREA:	10,245.46 SF

AMENITY AREA CALCULATION

TOTAL AREA:	2.87 AC (125,138 SF)
AMENITY AREA REQUIREMENT:	10% OF PROPERTY 125,138 SF x 10% = 12,514 SF
PROPOSED AMENITY AREA:	12,525 SF NOTED ON SITE PLAN

PARKING CALCULATION

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE		33,488 SF SHOPPING CENTER
PARKING REQUIRED	SHOPPING CENTER 1 SPACE REQUIRED PER 350 SF GFA 33,488SF/350 = 96 SPACES REQUIRED	136 SPACES
MIN. PARKING DIM.	8.5 FT x 18 FT	8.5 FT x 18 FT
MIN. DRIVEWAY WIDTH	22 FT	22 FT
HANDICAP SPACES	9	—
LOADING SPACE	N/A	N/A
BICYCLE SPACE (SHORT TERM)	SHOPPING CENTER 1 PER 5,000 SF GFA, MINIMUM OF 4 33,488SF/5,000 = 7 SPACES REQUIRED	8

BLOCK PERIMETER NOTE

SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER SECTION 8.2.4.2.2 OF THE UDO. THE MINIMUM SITE AREA APPLICABLE IS 5 ACRES FOR A BLOCK WITH CX-ZONING UP TO 4 STORIES IN HEIGHT. THE SIZE OF THE PROPERTY IN QUESTION IS 2.87 ACRES

BUILDING FRONTAGE CALCULATION

ITEM	REQUIREMENTS	PROVIDED
EAST MILLBROOK ROAD	PRIMARY STREET BUILD-TO- LINE=9FT MAX. BUILD-TO- LINE=100FT	STREET RIGHT-OF-WAY LENGTH = 380 LF PROPOSED BUILDING WIDTH IN 100FT BUILD-TO = 261 LF BUILDING WIDTH % IN BUILD-TO = 68.68 %

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- Prior to any work that impacts the right-of-way, closing or detouring of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services. Please direct any questions to rightofwayservices@raleighnc.gov.
- The City of Raleigh requires an approved Right-of-Way Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- A permit request with a TCPED Plan shall be submitted to Right-of-Way Services through the City of Raleigh Permit and Development Portal.
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All TCPED Plans shall comply with all Local, State, and Federal requirements and standards, including but not limited to:
 - Manual on Uniform Traffic Control (MUTCD);
 - Public Right-of-Way Accessibility Guidelines (PROWAG);
 - American Disability Act (ADA) requirements;
 - Raleigh Street Design Manual (RSDM).
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

CONDITION OF APPROVAL

A SECURITY FOR ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY MAP RECDORATION OR BUILDING PERMIT, WHICHEVER COMES FIRST.
CITY SURETY REQUIRES 125% OF CONSTRUCTION COSTS ALONG CITY MAINTAINED FRONTAGE AND 100% OF CONSTRUCTION COSTS ALONG THE NCDOT MAINTAINED FRONTAGE.

CONSTRUCTION DRAWING NOTE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SOLID WASTE NOTES

- SOLID WASTE SERVICES WILL BE PROVIDED BY PRIVATE COMPANY.
- SEE SHEET C-9 FOR SOLID WASTE DETAILS.

ADMINISTRATIVE SITE REVIEW

ASR-0055-2021

Proposed

Quail Corners Shopping Center

Millbrook Road

Raleigh, Wake County, North Carolina

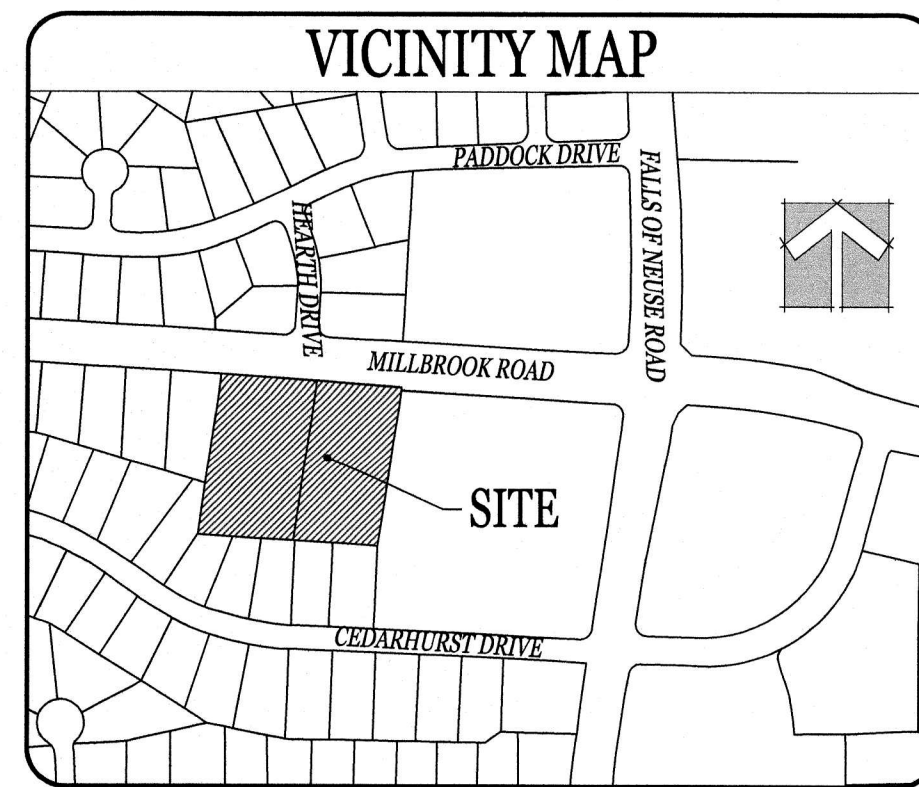
OWNER/DEVELOPER

East Millbrook, LLC
5003 Falls of Neuse Road
Suite A
Raleigh, NC 27609
Attn. Steve Young
(919) 524-1356
syoung@hchhomes.com

CIVIL ENGINEER

Bowman North Carolina, Ltd.
(Formerly Triangle Site Design, PLLC)
4004 Barrett Drive, Suite 101
Raleigh, NC 27609
(919) 553-6570
mlowder@bowman.com
FIRM# F-1445

Bowman



INDEX OF DRAWINGS

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Administrative Site Review Application

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Building Type	Site Transaction History
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<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
	Subdivision case #: _____
	Scoping/sketch plan case #: SCOPE-0048-2021
	Certificate of Appropriateness #: _____
	Board of Adjustment #: _____
	Zoning Case #: Z-07-2020
	Administrative Alternate #: _____

GENERAL INFORMATION

Development name: Quail Corners Shopping Center

Inside City limits? ☒ Yes ☐ No

Property address(es): 1200 & 1204 E. Millbrook Road, Raleigh, NC

Site P.I.N (s): 1716-34-6510 and 1716-34-4505

Please describe the scope of work. Include any additions, expansions, and change of use.

Expanding current shopping center to include an additional 33,488 SF of shopping space and 138 parking spaces.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: East Millbrook, LLC Title: Manager

Address: 5003 Falls of Neuse Rd., Ste. A, Raleigh, NC 27609

Phone #: 919-524-1356 Email: syoung@hchhomes.com

Applicant Name: Daniel C. Austin, Sr.

Company: East Millbrook, LLC Address: 5003 Falls of Neuse Rd., Ste. A, Raleigh, NC 27609

Phone #: 919-524-1356 Email: syoung@hchhomes.com

Quail Corners Shopping Center
1200 & 1204 Millbrook Road
Raleigh, NC Wake County
ASR-0055-2021

No.	Date	Desc.
1	8/3/21	REVISED PER CITY OF RALEIGH REVIEW
2	11/1/21	REVISED PER CITY OF RALEIGH REVIEW
3	2/8/22	REVISED PER CITY OF RALEIGH REVIEW
4	1/6/22	REVISED PER CITY OF RALEIGH REVIEW

Drawn
Checked
Approved

Project No. 007002
Initial Date: June 30, 2021
Title

COVER SHEET

Co.0

Bowman

Bowman North Carolina Ltd.
4008 BARRETT DR
Suite 10A
RALEIGH, NC 27609
Phone: (919) 553-6570
bowman.com
F-1445



OWNER/DEVELOPER:
East Millbrook, LLC
5003 Falls of Neuse Road
Suite A
Raleigh, NC 27609
Attn. Steve Young
(919) 524-1356
syoung@hchhomes.com

PARKING CALCULATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE		33,488 SF SHOPPING CENTER
PARKING REQUIRED	SHOPPING CENTER 1 SPACE REQUIRED PER 300 SF GFA 33,488 SF / 300 = 111.63 SPACES REQUIRED	136 SPACES
MIN. PARKING DIM.	8.5 FT x 18 FT	8.5 FT x 18 FT
MIN. DRIVEWAY WIDTH	22 FT	22 FT
HANDICAP SPACES	9	—
LOADING SPACE	N/A	N/A
BICYCLE SPACE (SHORT TERM)	SHOPPING CENTER 1 PER 5,000 SF GFA, MINIMUM OF 4 33,488 SF / 5,000 = 7 SPACES REQUIRED	8

SIGHT TRIANGLE NOTE

- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BUSHES, OR PARKED VEHICLES BETWEEN THE CORNERS IN FEET AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

- OBJECTS, WHICH MAY BE LOCATED IN THE SIGHT TRIANGLE, ARE ITEMS SUCH AS: HYDRANTS, UTILITY POLES, UTILITY JUNCTION BOXES, AND TRAFFIC CONTROL DEVICES PROVIDED THESE OBJECTS ARE LOCATED TO MINIMIZE VISUAL OBSTRUCTION.

AMENITY AREA CALCULATION

TOTAL AREA: 2.87 AC (125,138 SF)
 AMENITY AREA REQUIREMENT: 10% OF PROPERTY
 125,138 SF x 10% = 12,514 SF
 PROPOSED AMENITY AREA: 12,525 SF NOTED ON SITE PLAN

IMPERVIOUS AREA SUMMARY			
SITE AREA = 125,138 SF (2.87 AC) (AFTER R/W DEDICATION)			
BUILDINGS	16,976 SF	0.39 AC (8.5)	13.57 % OF TOTAL AREA
PAVEMENT	53,391 SF	1.22 AC (26.8)	42.66 % OF TOTAL AREA
SIDEWALK	11,172 SF	0.26 AC (5.8)	8.93 % OF TOTAL AREA
TOTAL IMPERVIOUS AREA (ON-SITE)	81,539 SF	1.87 AC (41.1)	65.16 % OF TOTAL AREA
GREEN/OPEN SPACE	43,599 SF	1.00 AC (22.1)	34.84 % OF TOTAL AREA
EXISTING IMPERVIOUS AREA TO BE DEMOLISHED:	13,076 SF	0.30 AC (6.7)	
NET INCREASE IN IMPERVIOUS (ON-SITE):	68,463 SF	1.57 AC (34.4)	
MILLBROOK ROAD R/W = 9,916 SF (0.23 AC)			
PROPOSED OFF-SITE PAVEMENT & SIDEWALK	7,183 SF	0.16 AC (3.5)	
EXISTING IMPERVIOUS TO BE DEMOLISHED	3,299 SF	0.07 AC (1.6)	
NET INCREASE IN IMPERVIOUS (OFF-SITE):	3,884 SF	0.09 AC (2.0)	
ADJACENT SHOPPING CENTER = 3,335 SF (0.08 AC)			
PROPOSED OFF-SITE PAVEMENT & SIDEWALK	1,365 SF	0.03 AC (0.7)	
EXISTING IMPERVIOUS TO BE DEMOLISHED	1,415 SF	0.03 AC (0.7)	
NET INCREASE IN IMPERVIOUS (OFF-SITE):	-50 SF	-0.001 AC (0.0)	

BUILDING FRONTAGE CALCULATION		
ITEM	REQUIREMENTS	PROVIDED
EAST MILLBROOK ROAD	PRIMARY STREET BUILT-TO MIN. BUILD-TO LINE=5FT MAX. BUILD-TO LINE=100FT	STREET RIGHT-OF-WAY LENGTH = 380 LF PROPOSED BUILDING WIDTH IN 100FT BUILD-TO = 261 LF BUILDING WIDTH % IN BUILD-TO = 68.68 %
BUILDING WIDTH		
REQUIRED IN BUILD-TO=50%		

CONDITION OF APPROVAL

- A SECURITY FOR ALL PUBLIC IMPROVEMENTS WILL BE REQUIRED TO BE PAID PRIOR TO ANY MAP RECORDATION OR BUILDING PERMIT, WHICHEVER COMES FIRST.

- CITY SURETY REQUIREMENTS: 100% OF CONSTRUCTION COSTS ALONG CITY MAINTAINED FRONTAGE AND 100% OF CONSTRUCTION COSTS ALONG THE NCDOT MAINTAINED FRONTAGE.

CONSTRUCTION DRAWING NOTE

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

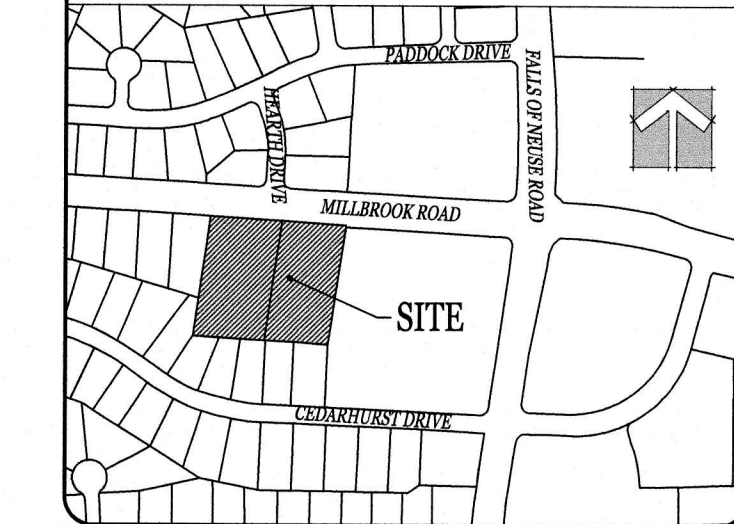
CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RIGHT-OF-WAY OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

TREE CONSERVATION

TOTAL SITE AREA: 2.87 AC (125,138 SF)
 TREE CONSERVATION: 10% OF PROPERTY
 REQUIREMENT: 125,138 SF x 10% = 12,514 SF
 PROPOSED TREE CONSERVATION AREA: 10,245.46 SF

VICINITY MAP



PUBLIC WORKS NOTES:

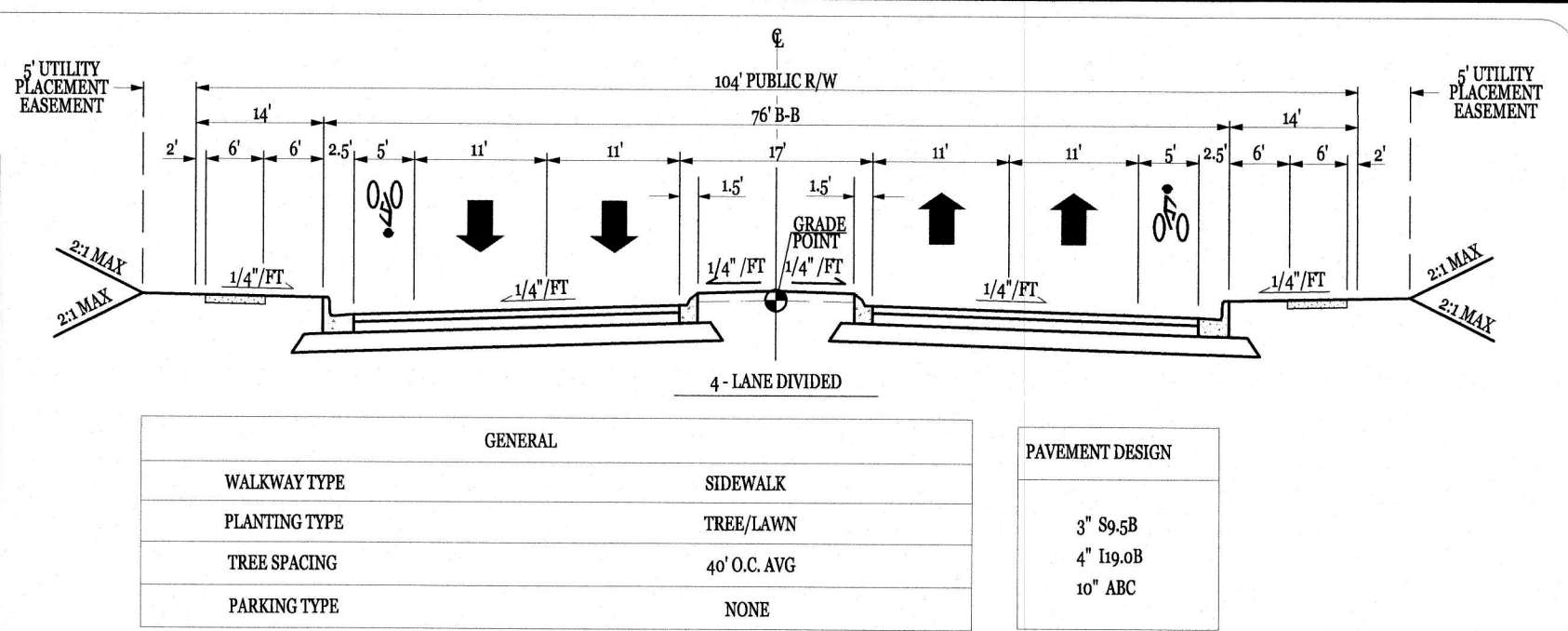
ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS. THE FULL WIDTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR AND SENSITIVE AREA THOROUGHFARES.

SITE KEYNOTES

- DUMPSTER ENCLOSURE (PER REZONING CONDITION TRASH & RECYCLING SERVICE FOR DEVELOPMENT) TO BE PROVIDED WITHIN ADJACENT QUAIL CORNERS SHOPPING CENTER.
- INSTALL NEW CONCRETE PAD OF 4000 PSI BROOM FINISHED CONCRETE WITH 6"x6"x1/8" WFF STEEL REINFORCEMENT. REFER TO DETAIL SHEET.
- ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE.
- CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL.
- PROVIDE HANDICAP RAMP PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAIL.
- HANDICAP PARKING SIGN. REFER TO DETAIL SHEET.
- NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AT 1/4" FT. MAX. FOR POSITIVE DRAINAGE.
- ASPHALT PAVEMENT DESIGN AS PER GEOTECHNICAL REPORT SPECIFICATIONS.
 STANDARD DUTY ASPHALT PAVEMENT
 HEAVY DUTY ASPHALT PAVEMENT
 NCDOT PAVEMENT SECTION
 CONCRETE PAVEMENT
- LANDSCAPING - AREA OF NEW SOD.
- BOLLARDS
- SEEDING AREA
- SITE LIGHT
- PROPOSED PARKING COUNT

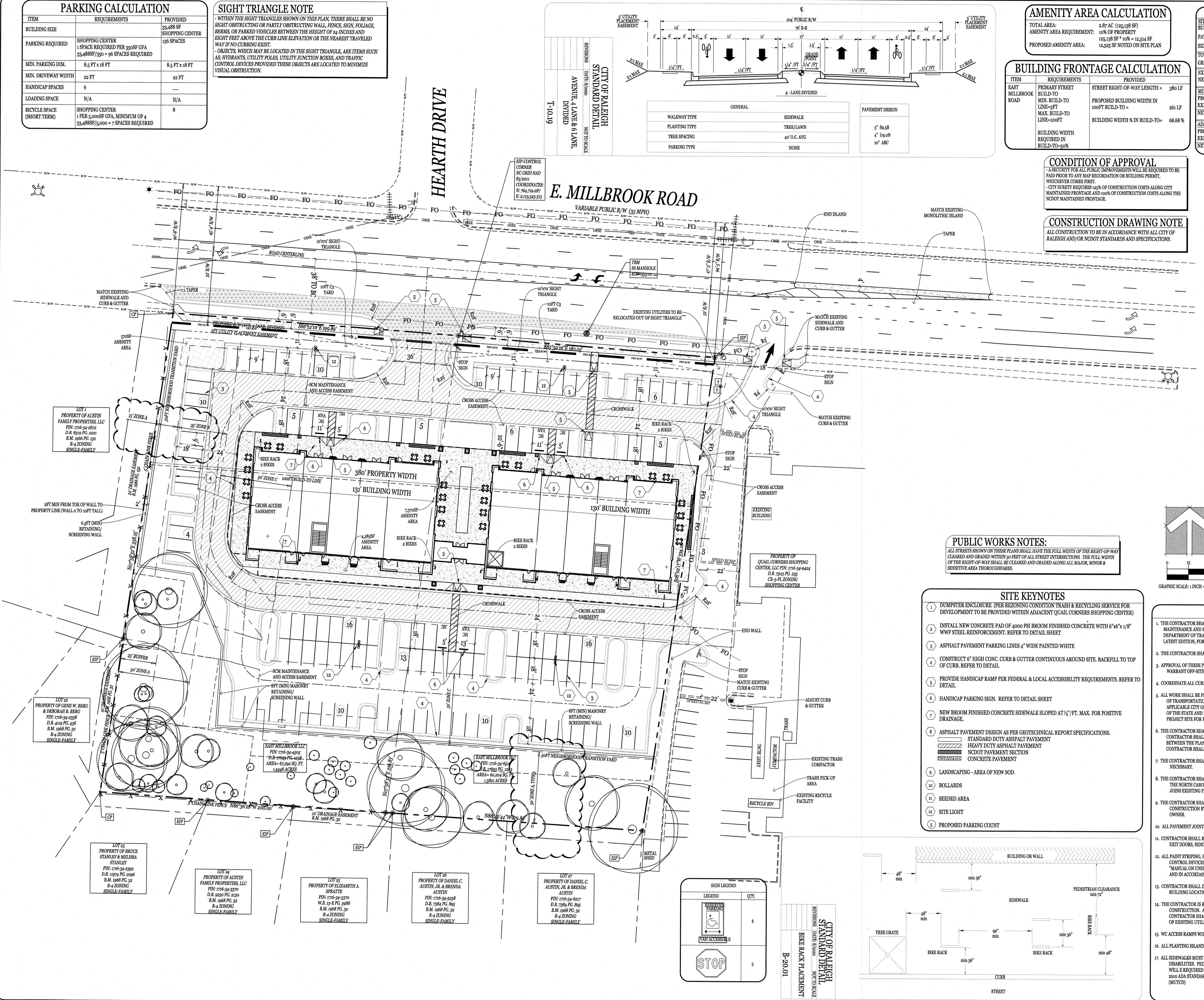
GENERAL NOTES

- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, FLAGMEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE CITY OF RALEIGH AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. REFER TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, FOR DETAILS OF TRAFFIC CONTROL STANDARDS AND DEVICES.
- THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION "STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND APPLICABLE CITY OF RALEIGH CODES AND ORDINANCES. THE CONTRACTOR SHALL MAINTAIN A CURRENT EDITION OF THE STATE AND LOCAL CODES, ORDINANCES, STANDARD SPECIFICATION AND STANDARD DETAILS ON THE PROJECT SITE FOR REFERENCE DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATIVE IMMEDIATELY. CONTRACTOR SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- THE CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS WHERE NEW PAVEMENT JOINS EXISTING PAVEMENT.
- THE CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- ALL PAVEMENT JOINTS SHALL BE SAW-CUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TRUCK DOCKS, EXIT DOORS, SIDEWALKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS OTHERWISE SPECIFIED. ALL REFERENCED SIGN STANDARDS ARE TAKEN FROM THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES". ALL NEW SIGNS SHALL BE MOUNTED ON GALVANIZED POSTS AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL INSTALL ACCESSIBLE RAMPS PER LOCAL MUNICIPALITY AND ADA STANDARDS AT ALL DRIVE AND BUILDING LOCATIONS AS REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENTS FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE PROJECT SITE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD #20.11.
- ALL PLANTING ISLANDS WITH A SHADE TREE SHALL BE A MINIMUM OF 350 SQUARE FEET.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



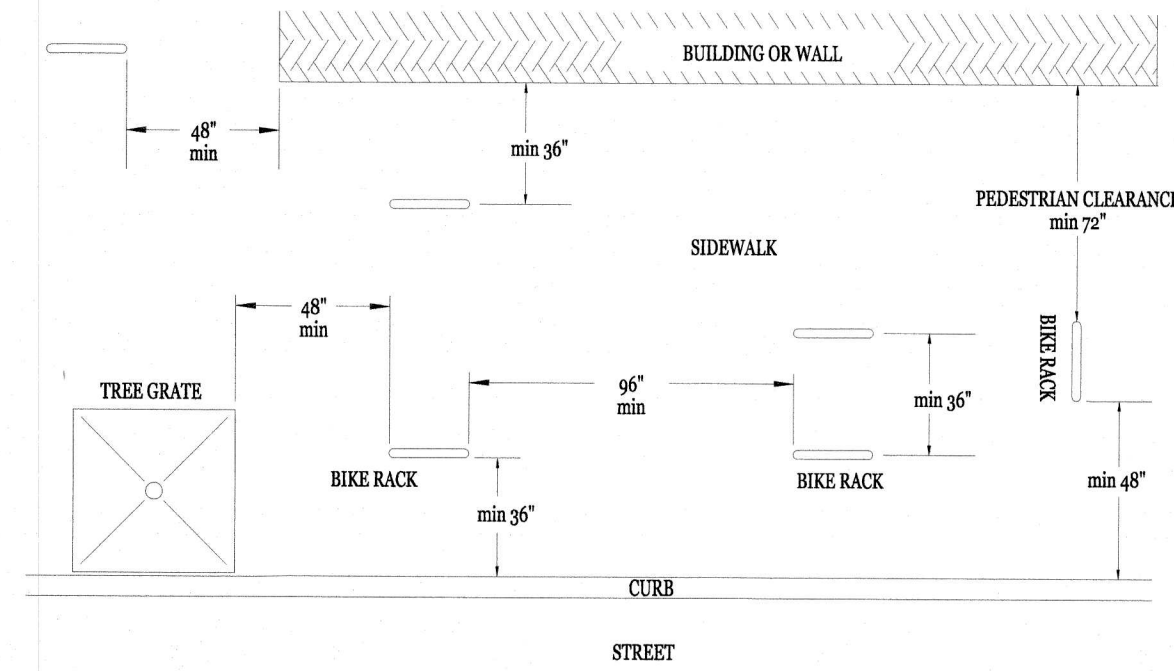
GENERAL		PAVEMENT DESIGN	
WALKWAY TYPE	SIDEWALK	3" 5gSB	
PLANTING TYPE	TREE/LAWN	4" 19gSB	
TREE SPACING	40' O.C. AVG.	10" ABC	
PARKING TYPE	NONE		

CITY OF RALEIGH
 STANDARD DETAIL
 DATE: 8/2000
 NOT TO SCALE
 AVENUE, ALANE & LANE,
 DIVIDED
 T-10.19



SIGN LEGEND		QTY.
LEGEND		
Handicap Parking	6	
Van Accessible	3	
STOP	3	

CITY OF RALEIGH
 STANDARD DETAIL
 DATE: 8/2000
 NOT TO SCALE
 BIKE RACK PLACEMENT
 B-20.01



Bowman

Bowman North Carolina Ltd.
 4006 BARRETT DR
 Suite 104
 RALEIGH, NC 27609
 Phone: (919) 553-6570
 bowman.com
 F-1445

OWNER/DEVELOPER:
 East Millbrook, LLC
 5003 Falls of Neuse Road
 Suite A
 Raleigh, NC 27609
 Attn: Steve Young
 (919) 524-1356
 syoung@bchhomes.com

Quail Corners Shopping Center
 1200 & 1204 Millbrook Road
 Raleigh, NC Wake County
 ASR-0055-2021

REVISIONS		Desc.
No.	Date	
1	9/2/21	REVISED PER CITY OF RALEIGH REVIEW
2	10/1/21	REVISED PER CITY OF RALEIGH REVIEW
3	2/8/22	REVISED PER CITY OF RALEIGH REVIEW
4	3/6/22	REVISED PER CITY OF RALEIGH REVIEW

Drawn
 Checked
 Approved

Project No. 007002
 Initial Date: June 30, 2021
 Title

SITE PLAN

Sheet No.

C1.0