



# Administrative Approval Action

Case File / Name: ASR-0055-2024  
DSLCL - NOMAD DEVELOPMENT

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 2.36 acre site zoned RX-3 CU (TCZ-5-19) and SHOD-1 is located on the southeast corner of the intersection of Rock Quarry and Sunnybrook Roads at 3708 Rock Quarry Road, PIN 1722268336.
- REQUEST:** This is a proposed cottage court consisting of an existing attached house with two units (permitted separately- see BLDR-008845-2023), plus 10 tiny house duplexes (attached houses), a common building, and associated infrastructure.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 18, 2024 by The Site Group.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Correction to the Common Building elevation (height) is needed. (Sheet ARCH 1.0) As per code, the common building must be a detached house building type (3.6.1 I 3), with a maximum building height of 30' (3.6.1 H1). Civic building type is not allowable in a mixed use cottage court (see 3.6.1 C)

### Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

### Urban Forestry

3. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
4. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Public Utilities

1. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Urban Forestry

2. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .257 acres of tree conservation area.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. Demonstrate compliance with the floor area maximums for each dwelling unit as set forth in UDO Section 3.6.1.

## Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Urban Forestry

3. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
4. Recorded Tree Conservation Areas to be impacted by proposed development will be replaced and recorded prior to issuance of building permits, per UDO 9.1.5.A.2.

***The following are required prior to issuance of building occupancy permit:***

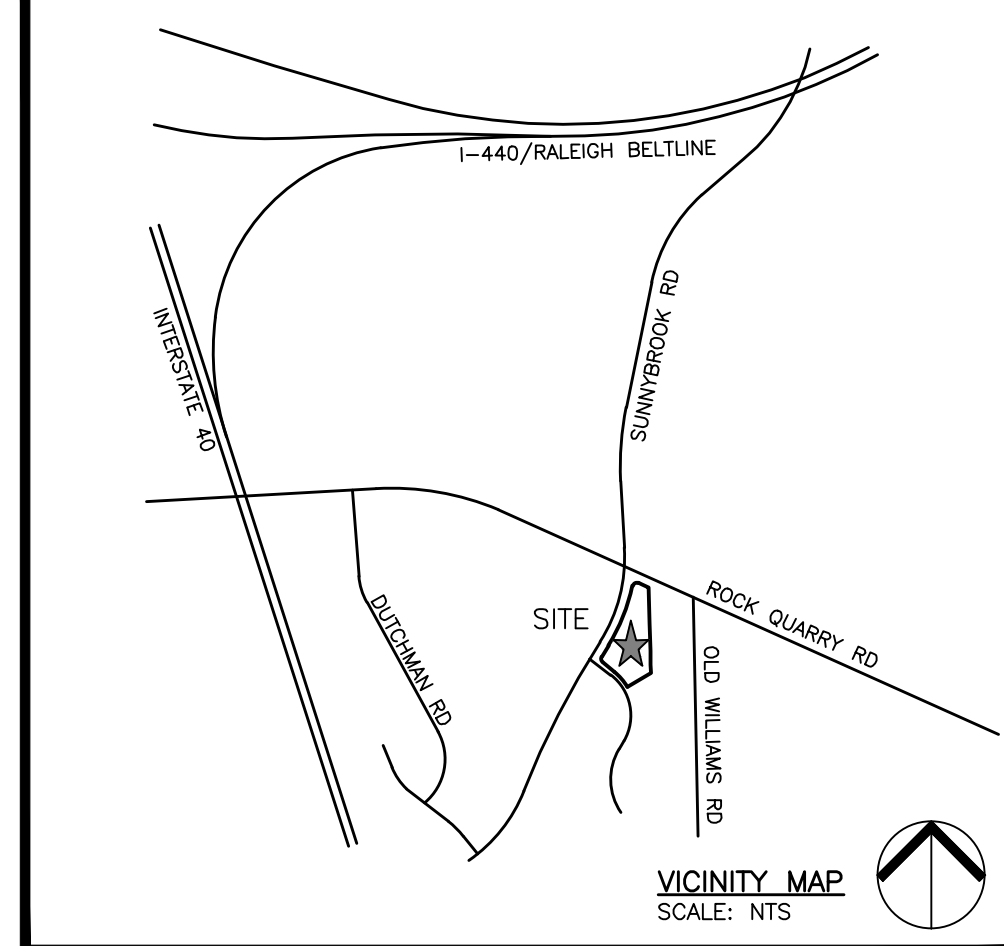
## General



# NOMAD DEVELOPMENT

## 2511 & 2513 SUNNYBROOK ROAD Raleigh, North Carolina

### TIER TWO SITE PLANS ASR-0055-2024



**Administrative Site Review Application**  
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-496-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.  
Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_  
Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #:
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Cottage Court	Board of Adjustment #:
<input checked="" type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #:
<input type="checkbox"/> Open lot		Design Alternate #:

**GENERAL INFORMATION**

Development name: NOMAD DEVELOPMENT  
Inside City limits? Yes  No   
Property address(es): 3708 ROCK QUARRY ROAD, RALEIGH NC 27610  
Site P.I.N.(s): 1722-26-8336  
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
We are proposing (10) additional tiny house duplexes in addition to the existing, extending the existing gravel access drive, (1) 1.5 story civic building, community amenities, and utility service connections.

Current Property Owner(s): Zachary Milburn  
Company: NOMAD DEVELOPMENT, INC. Title: Executive Officer/Director  
Address: 4308 Graham Newton Road, Raleigh, NC 27606  
Phone #: 801-819-6541 Email: zach@nomadliving.io  
Applicant Name (if different from owner. See "who can apply" in instructions): Sam Nye, PE  
Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
Company: The Site Group Address: 1111 Oberlin Road

Revision 03.01.24  
raleighnc.gov

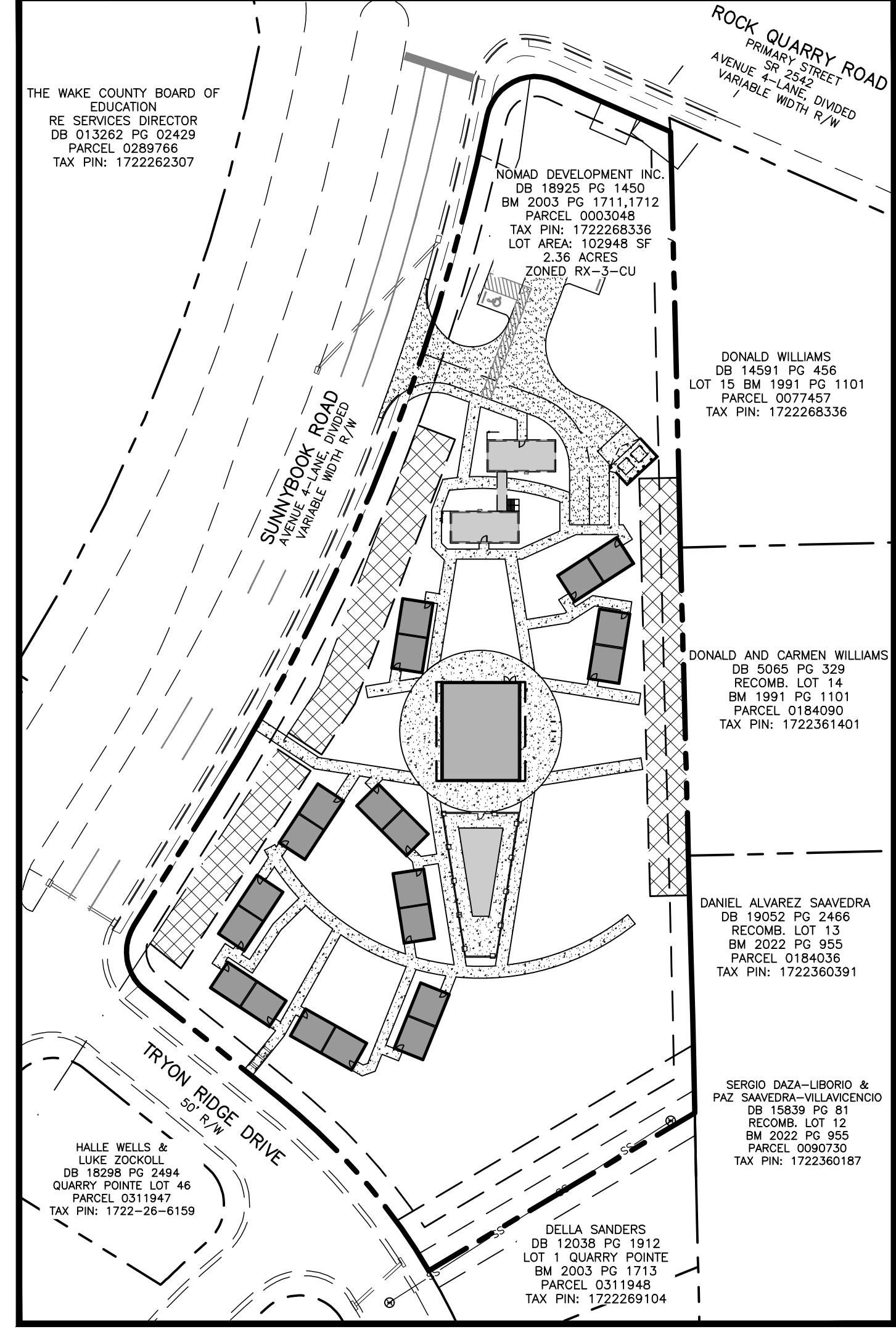
Phone #: 919-835-4787 Email: bdm@thesitegroup.net  
**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**  
Developer Contact: Zachary Milburn  
Company: Nomad Development, Inc. Title: Executive Officer/Director  
Address: 4308 Graham Newton Road, Raleigh, NC 27606  
Phone #: 801-819-6541 Email: zach@nomadliving.io  
Applicant Name: Sam Nye, PE  
Company: The Site Group Address: 1111 Oberlin Road  
Phone #: 919-835-4787 Email: sm@thesitegroup.net

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): RX-3-CU	Existing gross floor area (not to be demolished): 1,126 sf
Gross site acreage: 2.36 AC	Existing gross floor area to be demolished: 0
# of parking spaces proposed:	New gross floor area: 8,760 sf
Max # parking permitted (7.1.2.C): No max	Total # of gross (to remain and new): 9,886 sf
Overlay District (if applicable): SHOD-1	Proposed # of buildings: 11 (10 dwelling, 1 civic)
Existing use (UDO 6.1.4): Tiny House Duplex	Proposed # of stories for each Dwelling: 1, Civic: 1.5
Proposed use (UDO 6.1.4): Cottage Court	Proposed # of basement levels (UDO 1.5.7.A.6): 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (Includes ROW):
Existing (sf) 2,776 Proposed total (sf) 29,842	Existing (sf) 3,011 Proposed total (sf) 2,776

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 22 total (20 proposed)	Total # of hotel bedrooms: 0
# of bedroom units: 1br X 2br 3br 4br or more	
# of lots: 1	Is your project a cottage court? <input checked="" type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

**APPLICANT SIGNATURE BLOCK**  
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.  
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.  
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).  
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.  
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b-1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.  
Signature: \_\_\_\_\_ Date: July 22nd, 2024  
Printed Name: Zachary Michael Milburn  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_



**SHEET INDEX:**

SITE 001	COVER SHEET
SITE 100	EXISTING CONDITIONS PLAN
SITE 200	SITE LAYOUT PLAN
SITE 200A	FUTURE RIGHT OF WAY EXHIBIT
SITE 201	FIRE ACCESS PLAN
SITE 300	GRADING PLAN
SITE 400	UTILITY PLAN
SITE 401	LIGHTING PLAN
SITE 500	TREE CONSERVATION & LANDSCAPE PLAN
SITE 600	SITE DETAILS
ARCH 1.0	ARCHITECTURAL ELEVATIONS
ARCH 1.1	ARCHITECTURAL ELEVATIONS

**SOLID WASTE NOTE:**  
THE INITIAL DEVELOPMENT OF THE EXISTING DUPLEXES ON THIS SITE WAS APPROVED FOR ROLL-OUT CARTS BY MARION STALEY ON MAY 25, 2024 FOR BLDR-008845-2023. FOR THIS PROJECT WE ARE PROPOSING A COMMUNITY DUMPSTER WITH A 20' WIDE HD PAVED ACCESS DRIVE FOR SERVICE.

**FLOODPLAIN NOTE:**  
1. THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).  
FEMA REFERENCE DATA:  
FEMA FIRM PANEL No.: 3720172200K  
EFFECTIVE DATE: 07/19/2022  
FEMA STREAM NAME: WALNUT CREEK  
FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)  
FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720172200K DATED 07/19/2022.

TCZ-5-19 3708 ROCK QUARRY RD - AMENDS THE CONDITIONS ASSOCIATED WITH ZONING CASE Z-19-17 APPROVED IN ORDINANCE NO. (2018) 794 ZC 757 AND EFFECTIVE FEBRUARY 6, 2018.  
CONDITIONS REVISED AND DATED: OCTOBER 21, 2019  
1. THE PROPERTY SHALL BE RESTRICTED TO RESIDENTIAL USES AND MINOR UTILITIES, AS DEFINED BY CHAPTER 6 OF THE UDO.  
THE PROPOSED USE OF THIS PROPERTY IS RESIDENTIAL.  
2. THE MAXIMUM DENSITY FOR THE PROPERTY SHALL BE LIMITED TO 29 DWELLING UNITS PER ACRE.  
THE PROPOSED DENSITY FOR THIS PROPERTY IS 9.3 UNITS PER ACRE.  
3. PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT OR RECORDING A SUBDIVISION PLAT, WHICHEVER OCCURS FIRST, A TRANSIT EASEMENT SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDATION OF THE TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15' IN DEPTH AND 20' IN WIDTH) AND LOCATION OF THE EASEMENT SHALL BE ESTABLISHED DURING THE SITE PLAN OR SUBDIVISION REVIEW, AND THE EASEMENT DEED APPROVED AS TO FORM BY CITY ATTORNEY'S OFFICE.  
A 15' x 20' C.O.R. TRANSIT EASEMENT HAS BEEN RECORDED AND PROVIDED WITH THESE PLANS. THE RECORDED EASEMENT CAN BE FOUND AT BM: 2023, PG: 01183.

**PUBLIC IMPROVEMENT QUANTITIES**

PHASE NUMBER	N/A
NUMBER OF LOTS	1
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	22
LIVABLE BUILDINGS	12
PUBLIC WATER (LF)	0 LF
PUBLIC GRAVITY SEWER (LF)	0 LF
PUBLIC STREET (LF)	0 LF
PUBLIC CURB & GUTTER	0 LF
PUBLIC SIDEWALK (LF)	0 LF
WATER SERVICE STUBS	0
SEWER SERVICE STUBS	0

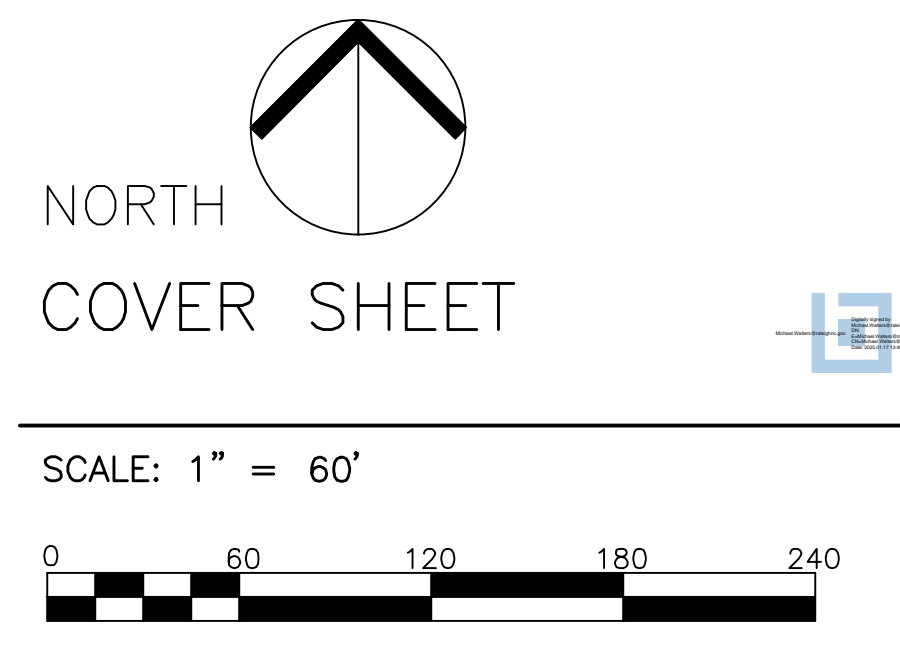
**CONTACT:**  
SAMUEL NYE, PE  
THE SITE GROUP, PLLC  
1111 OBERLIN ROAD  
RALEIGH, NC 27605  
PHONE: (919) 835-4787  
FAX: (919) 839-2255  
EMAIL: srm@thesitegroup.net

**DEVELOPER/OWNER:**  
NOMAD DEVELOPMENT, INC.  
ATTN: ZACH MILBURN  
4308 GRAHAM NEWTON ROAD  
RALEIGH, NC, 27606  
PHONE: (801)819-6541  
EMAIL: zach@nomadliving.io

**DISTURBED AREA=57,114 SF.**

**SITE DATA SUMMARY**

PROJECT NAME:	NOMAD DEVELOPMENT
SITE ADDRESS:	3708 ROCK QUARRY ROAD (PRIMARY)
JURISDICTION:	CITY OF RALEIGH
PARCEL ID:	1722-26-8336
EXISTING ZONING:	RX-3-CU
PROPOSED ZONING:	RX-3-CU
OVERLAY DISTRICT:	SHOD-1
EXISTING SITE AREA:	2.36 AC.
CURRENT USE:	DUPLEX
PROPOSED USE:	COTTAGE COURT
MIN. NET SITE AREA:	13,000 SF.
MIN. SITE AREA PER TINY HOUSE UNIT:	1,800 SF. x 18 UNITS = 32,400 SF.
TOTAL SITE AREA REQUIRED:	45,400 SF.
MIN. INTERNAL COURTYARD AREA REQUIRED:	1,600 SF. + (200 SF. x 18 UNITS) = 5,200 SF.
INTERNAL COURTYARD AREA PROVIDED:	11,800 SF.
MAX. BUILDING HEIGHT:	50'/3 STORIES
PROPOSED COMMUNITY BUILDING HEIGHT:	50'-0"/1.5 STORY
TINY HOUSE BUILDING HEIGHT (MAX.):	26'
EXISTING NODE BLDG HEIGHT:	14'-6"
PROPOSED ECHO BLDG HEIGHT:	14'-6"
EXISTING BUILDING AREA:	TWO NODE BLDGS-563 SF. EACH (1,126)
PROPOSED BUILDING AREA:	COMMUNITY BLDG-3,000 SF. 10 ECHO BLDGS-576 SF. EACH (5,760)
TOTAL BUILDING AREA:	9,886 SF.
BUILDING SETBACKS	
PRIMARY STREET:	10'
SIDE STREET:	10'
SIDE LOT LINE:	10'
REAR LOT LINE:	20'
MIN. BUILDING SEPARATION:	6'
PARKING SETBACKS:	
PRIMARY STREET (W/ C3 YARD):	50'
SIDE STREET:	10'
SIDE LOT LINE:	5'
REAR LOT LINE:	5'
EXISTING IMPERVIOUS AREA:	0.13 AC. (INCL. ROW + EX. UNITS)
PROPOSED IMPERVIOUS AREA:	0.76 AC. (INCL. ROW + ALL UNITS)
MAX. ALLOWED IMPERVIOUS AREA:	1.77 AC.*
*MAX. ALLOWED IMPERVIOUS PER ORIGINAL APPROVED SUBDIVISION PLANS (S-93-01)	
TOTAL IMPERVIOUS AREA PROPOSED:	33,175 SF. / 0.76 AC (32.2%)
PRESERVED OPEN SPACE REQUIRED:	0.59 AC. (25%)*
*MIN. REQUIRED OPEN SPACE PER ORIGINAL APPROVED SUBDIVISION PLANS (S-93-01)	
PRESERVED OPEN SPACE PROVIDED:	22,005 SF.
MANAGED OPEN SPACE PROVIDED:	4,953 SF.
TOTAL OPEN SPACE PROVIDED:	26,958 SF./0.62 AC. (26.1%)
EXISTING TREE CONSERVATION AREA:	0.23 AC. (10.0%) BM. 2020 PG. 117
EX. TREE CONSERVATION AREA REMOVED:	200 SF./,004 AC.
TOTAL TCA REQUIRED (INCLUDES EXISTING):	0.472 AC. (20%)
PROPOSED TREE CONSERVATION AREA:	0.256 AC. (10.8%)
TOTAL TCA PROVIDED:	0.488 AC. (20.6%)
PARKING REQUIRED:	NO MAXIMUM
PARKING PROVIDED:	10 SPACES (INCLUDES 1 ADA SPACE)
SHORT-TERM BIKE PARKING PROVIDED:	6 SPACES (3 RACKS)
DISTURBED AREA:	57,114 SF.



**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
THE SITE GROUP, PLLC  
1111 OBERLIN ROAD  
RALEIGH, NC 27605-1136 USA  
Office: 919.835.4787  
Fax: 919.839.2255  
E-Mail: SRN@thesitegroup.net

RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
3708 ROCK QUARRY ROAD  
RALEIGH, NORTH CAROLINA

Drawn By: **JHJ**  
Checked By: **SRN**

DATE: 07 AUG 2024  
REVISED:  
25 OCT 2024  
18 DEC 2024

**TIER ONE SITE PLAN**

**COVER SHEET**

Job Code: **NLRQR**

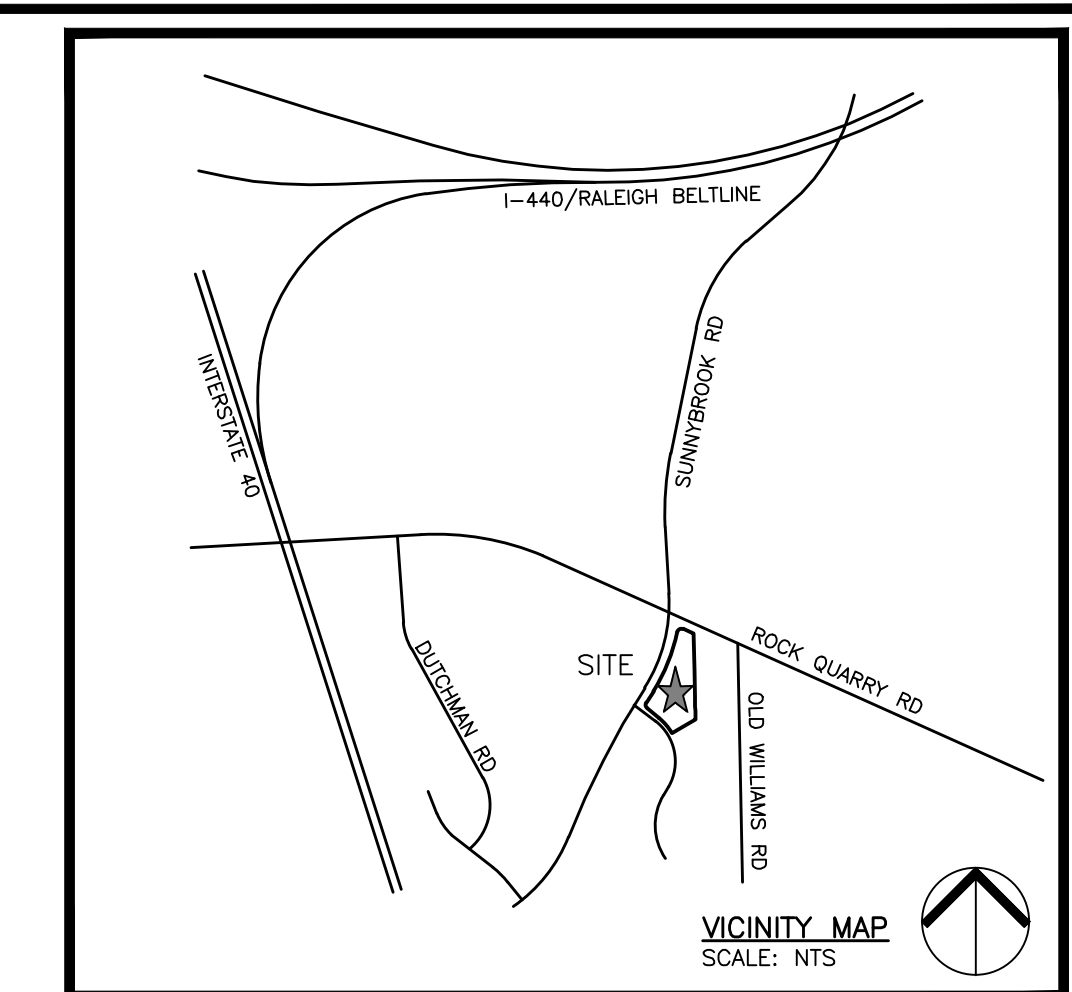
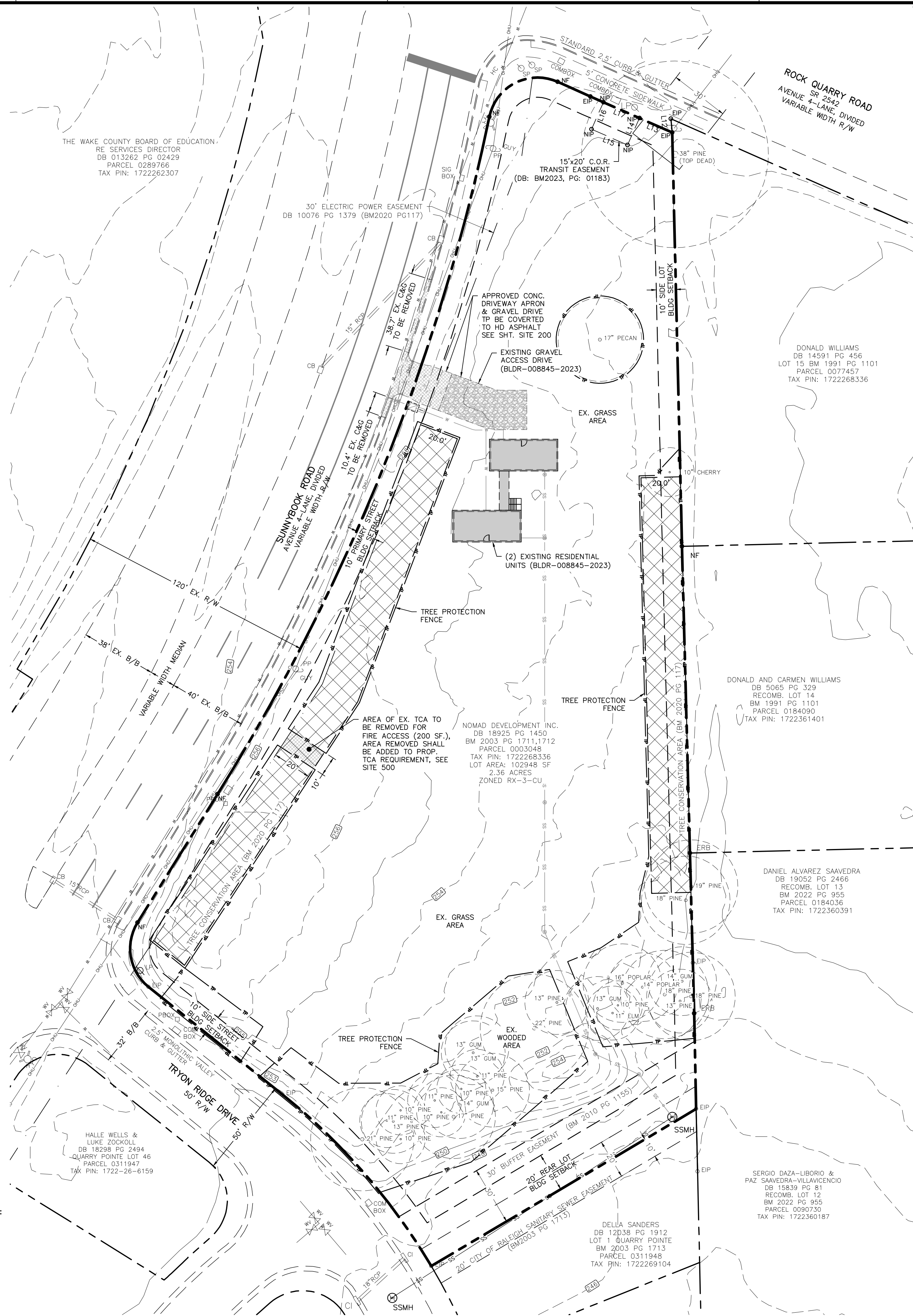
Dwg No. **SITE 001**

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Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C4	44.69	25.00	102.41	N62° 57' 28"E	38.97
C3	373.31	1060.00	20.18	N21° 50' 47"E	371.38
C2	36.27	25.00	83.12	N9° 37' 19"W	33.17
C1	116.17	325.00	20.48	N40° 55' 34"W	115.56

Parcel Line Table		
Line #	Length	Direction
L1	210.61	S1° 21' 14.53"E
L2	156.13	S1° 29' 15.35"E
L3	55.89	S1° 29' 12.01"E
L4	25.77	S1° 36' 03.66"E
L5	48.59	S1° 10' 45.28"E
L6	156.66	S59° 18' 46.28"W
L7	87.42	N51° 11' 56.19"W
L8	77.03	N31° 56' 08.00"E
L9	18.26	S65° 55' 01.59"E
L10	45.44	S66° 10' 55.85"E
L11	31.82	S1° 16' 43.17"E-TIE
L12	7.04	N5° 17' 51.0"W-TIE

Transit Ease Area Table		
Line #	Length	Direction
L13	18.20	N66° 10' 56"W
L14	15.00	S23° 49' 04"W
L15	20.00	N66° 10' 56"W
L16	15.00	N23° 49' 04"E
L17	20.00	S66° 10' 56"E



- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY DONALD T. ISREAL, PLS., DATED JUNE 27, 2022. TOPOGRAPHY AND SPOTS SHOTS ARE TAKEN FROM WAKE COUNTY GIS. ADDITIONAL SITE INFORMATION TAKEN FROM CITY OF RALEIGH AND WAKE COUNTY GIS.
  - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

**LEGEND**

○ ERB	EXISTING REBAR	○ NIP	NEW IRON PIPE
○ EIP	EXISTING IRON PIPE	○ CM	CONCRETE MONUMENT
○ W	WATER VALVE	— EP	EDGE OF PAVEMENT
○ M	OR METER (WM)	— F	FENCE LINE
○ U	UTILITY POLE	— LP	LIGHT POLE
○ T	TRANSFORMER	○ MH	MANHOLE
○ P	PHONE	○ WH	WATER HYDRANT
○ C	CATV	○ CB	CATCH BASIN
—	PROPERTY LINE NOT SURVEYED	○ G	GRATED
—	OVERHEAD UTILITY (ELECTRIC AND COMMS)	○ Y	YARD INLET
—	OVERHEAD ELECTRIC LINES	○ R	REINFORCED CONCRETE PIPE
—	UNDERGROUND SANITARY SEWER	○ S	STORM SEWER
—	UNDERGROUND WATER LINES	○ SP	TRAFFIC SIGNAL POLE

**ABBREVIATIONS:**

SIG BOX	UNDERGROUND TRAFFIC SIGNAL JUNCTION BOX
COM BOX	UNDERGROUND COMMUNICATIONS OR FIBER OPTIC BOX
CB	CATCH BASIN FOR STORM SEWER - GRATED
CI	CURB INLET FOR STORM SEWER - NOT GRATED
DI or YI	DROP or YARD INLET FOR STORM SEWER - GRATED
RCP	REINFORCED CONCRETE PIPE - STORM SEWER
SP	TRAFFIC SIGNAL POLE

**FLOODPLAIN NOTE:**

- THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

FEMA REFERENCE DATA:  
 FEMA FIRM PANEL No.: 3720172200K  
 EFFECTIVE DATE: 07/19/2022  
 FEMA STREAM NAME: WALNUT CREEK  
 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720172200K DATED 07/19/2022

**NORTH**

**EXISTING CONDITIONS PLAN**

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC.  
 3708 ROCK QUARRY ROAD  
 RALEIGH, NC 27605-1136 USA  
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 E Mail: SRN@thesitegroup.net

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**NOMAD DEVELOPMENT**  
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Drawn By: **JHU**  
 Checked By: **SRN**

DATE: 07 AUG 2024  
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TIER ONE SITE PLANS

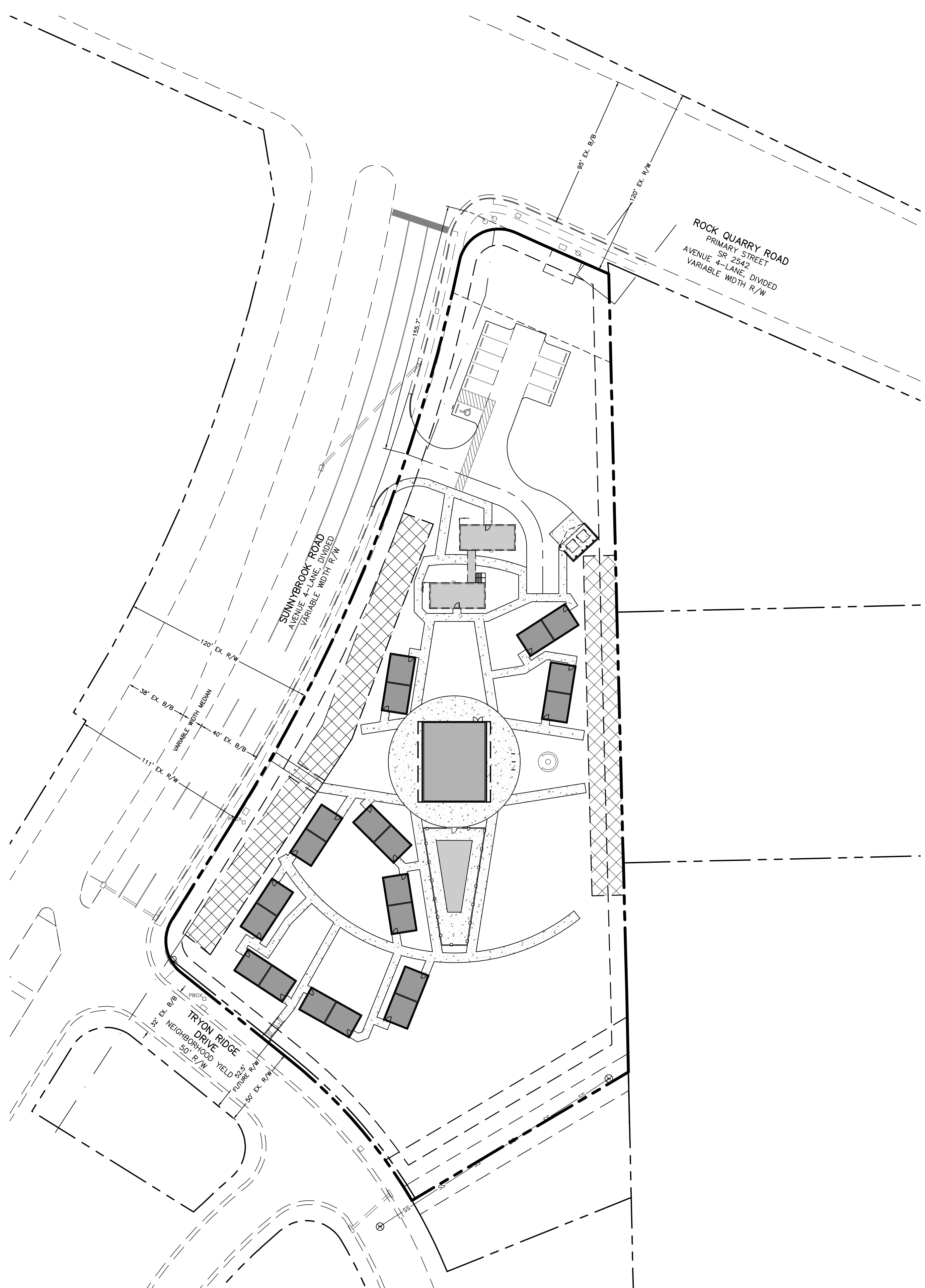
EXISTING CONDITIONS PLAN

Job Code: **NLRQR**

Dwg No. **SITE 100**

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GENERAL NOTES

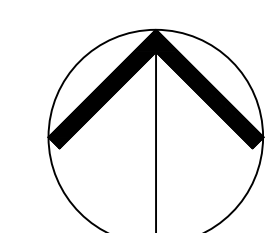
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 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)

FOR SITES WITHOUT FLOODPLAIN: THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3720172200K DATED 07/19/2022



NORTH  
 FUTURE RIGHT  
 OF WAY EXHIBIT

SCALE: 1" = 40'  
 (DRAWING SCALED FOR 24x36 INCH PLOTS)

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC.  
 10000 Old Forest Dr.  
 Raleigh, NC 27605-1136 USA  
 Office: 919.835.4787  
 Fax: 919.839.2255  
 E Mail: SRN@thesitegroup.net

RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
 3708 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **JHJ**  
 Checked By: **SRN**

DATE: 07 AUG 2024  
 REVISED:  
 25 OCT 2024  
 18 DEC 2024

TIER TWO  
 SITE PLANS

FUTURE RIGHT  
 OF WAY  
 EXHIBIT

Job Code: **NLRQR**

Dwg No.  
**SITE 200A**

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THE WAKE COUNTY BOARD OF EDUCATION  
RE SERVICES DIRECTOR  
DB 013262 PG 02429  
PARCEL 0289766  
TAX PIN: 1722262307

30' ELECTRIC POWER EASEMENT  
DB 10076 PG 1379 (BM2020 PG117)

DONALD WILLIAMS  
DB 14591 PG 456  
LOT 15 BM 1991 PG 1101  
PARCEL 0077457  
TAX PIN: 1722268336

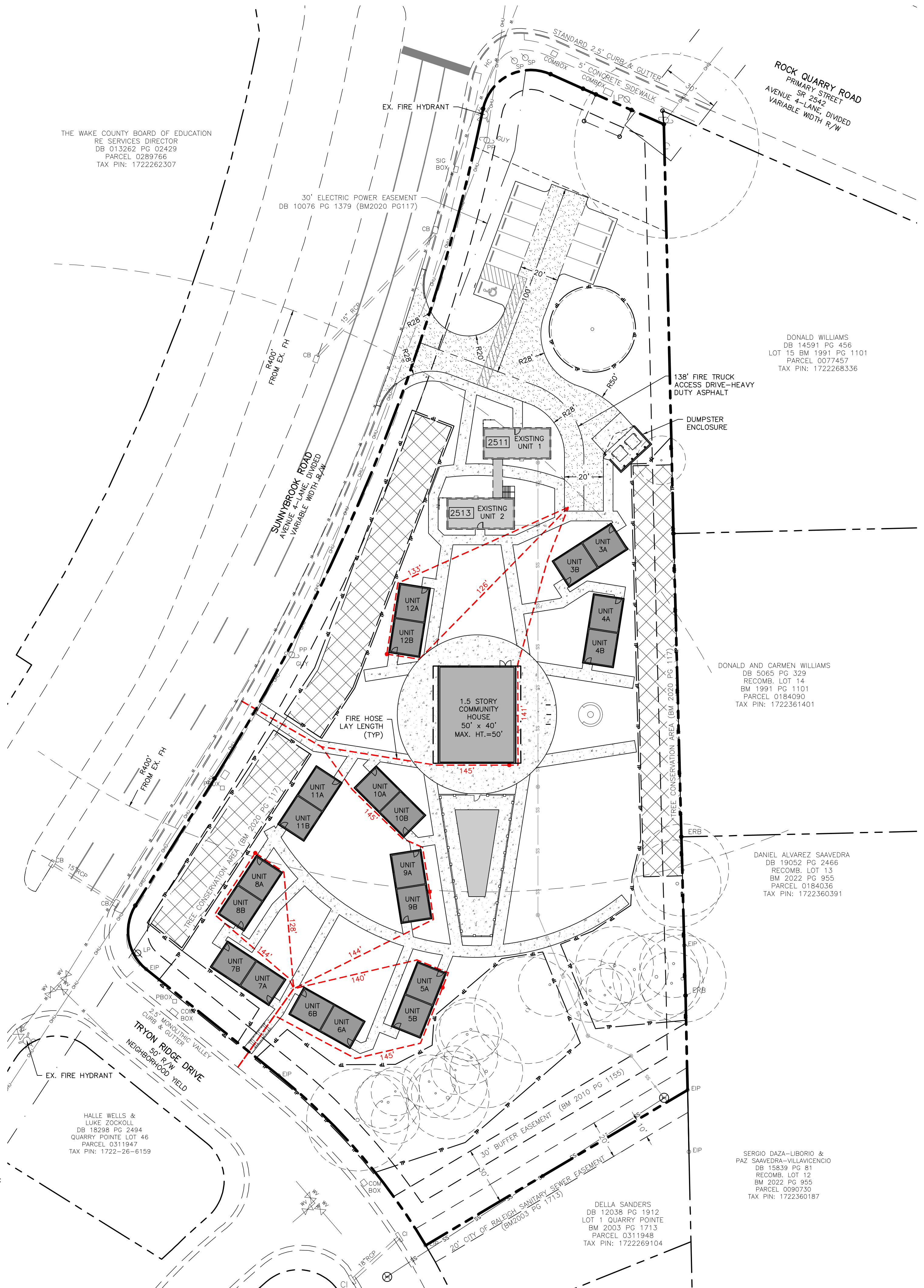
DONALD AND CARMEN WILLIAMS  
DB 5065 PG 329  
RECOMB. LOT 14  
BM 1991 PG 1101  
PARCEL 0184090  
TAX PIN: 1722361401

DANIEL ALVAREZ SAAVEDRA  
DB 19052 PG 2466  
RECOMB. LOT 13  
BM 2022 PG 955  
PARCEL 0184036  
TAX PIN: 1722360391

SERGIO DAZA-LIBORIO &  
PAZ SAAVEDRA-VILLAVICENCIO  
DB 15839 PG 61  
RECOMB. LOT 12  
BM 2022 PG 955  
PARCEL 0090730  
TAX PIN: 1722360187

DELLA SANDERS  
DB 12038 PG 1912  
LOT 1 QUARRY POINT  
BM 2003 PG 1713  
PARCEL 0311948  
TAX PIN: 1722269104

HALLE WELLS &  
LUKE ZOCKOLL  
DB 18298 PG 2494  
QUARRY POINTE LOT 46  
PARCEL 0311947  
TAX PIN: 1722-26-6159



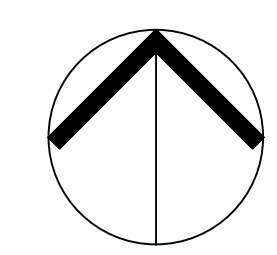
- GENERAL NOTES**
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  4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A SURVEY BY DONALD T. ISREAL, PLS, DATED JUNE 27, 2022. TOPOGRAPHY AND SPOTS SHOTS ARE TAKEN FROM WAKE COUNTY GIS. ADDITIONAL SITE INFORMATION TAKEN FROM CITY OF RALEIGH AND WAKE COUNTY GIS.
  5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

**FLOODPLAIN NOTE:**

1. THIS PROPERTY IS LOCATED OUTSIDE THE WAKE COUNTY 100 YEAR FUTURE CONDITIONS FLOODPLAIN (1% FUTURE CONDITIONS FLOODPLAIN).

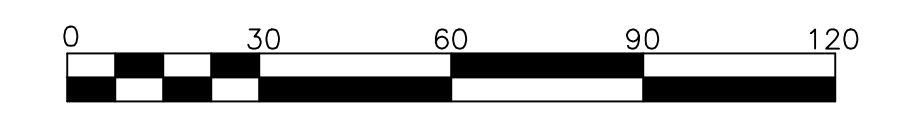
FEMA REFERENCE DATA:  
 FEMA FIRM PANEL No.: 3720172200K  
 EFFECTIVE DATE: 07/19/2022  
 FEMA STREAM NAME: WALNUT CREEK  
 FEMA FLOOD ZONE: Shade Zone X(0.2% annual chance flood)

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NORTH  
FIRE  
ACCESS PLAN

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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 RALEIGH, NC 27605-1136 USA  
 Office: 919.835.4787  
 Fax: 919.839.2255  
 E Mail: SRN@thesitegroup.net

RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
 3708 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **JHU**  
 Checked By: **SRN**

DATE:  
 07 AUG 2024  
 REVISED:  
 25 OCT 2024  
 18 DEC 2024

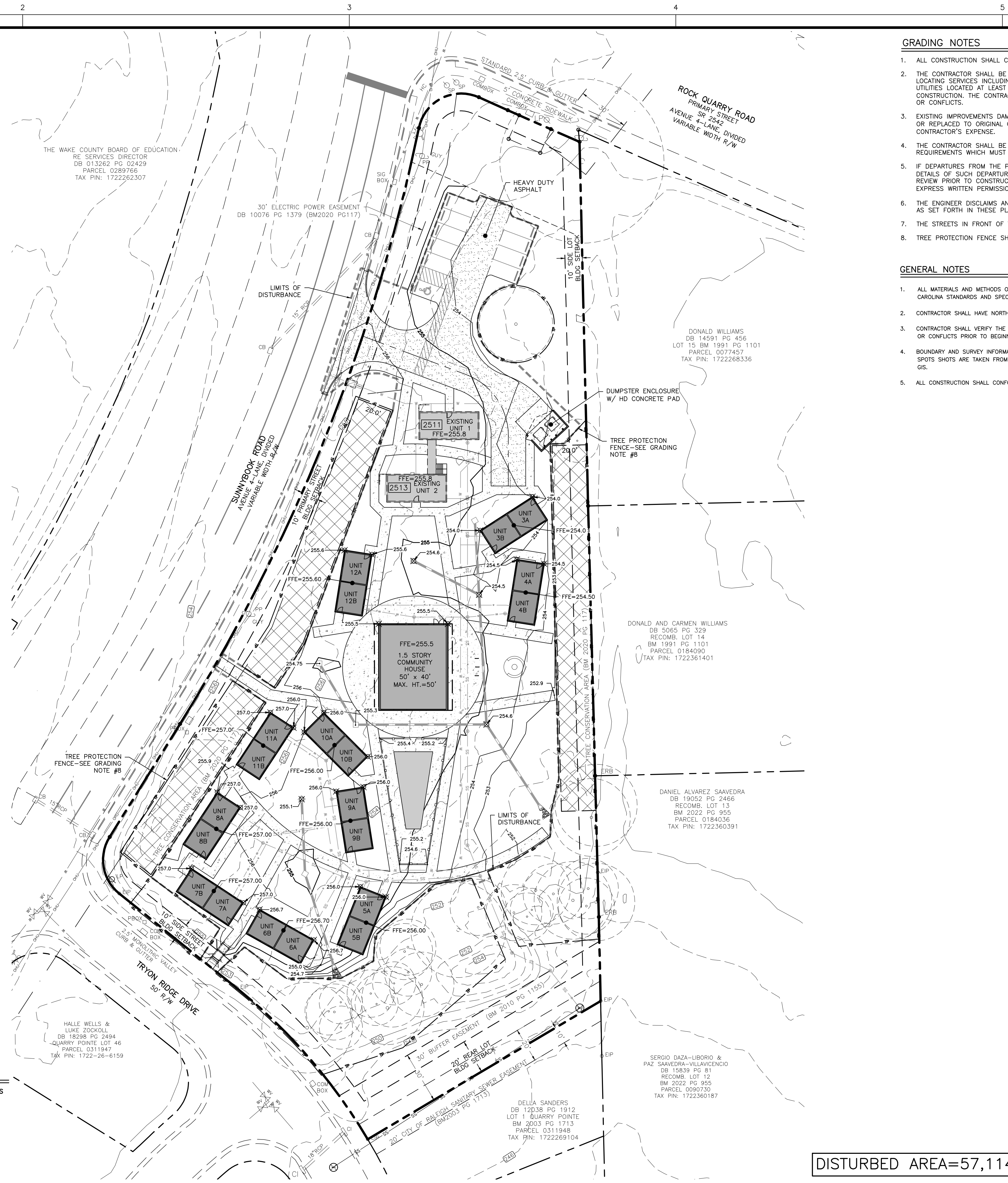
TIER TWO SITE PLANS

FIRE ACCESS PLAN

Job Code: **NLRQR**

Dwg No. **SITE 201**





**GRADING NOTES**

1. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OR ANY DISCREPANCIES OR CONFLICTS.
3. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
5. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
6. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
7. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
8. TREE PROTECTION FENCE SHALL BE INSTALLED PER CITY OF RALEIGH STANDARD DETAIL TPP-01. SEE SHEET SITE 500.

**GENERAL NOTES**

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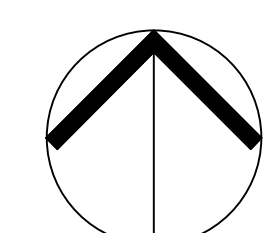
**FLOODPLAIN NOTE:**

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 FEMA FIRM PANEL No.: 3720172200K  
 EFFECTIVE DATE: 07/19/2022  
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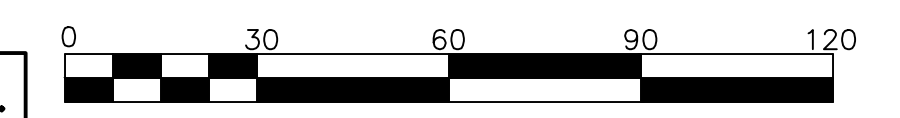
**DISTURBED AREA=57,114 SF.**



NORTH

**GRADING PLAN**

SCALE: 1" = 30' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
 3708 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **JHU**  
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TIER TWO SITE PLANS

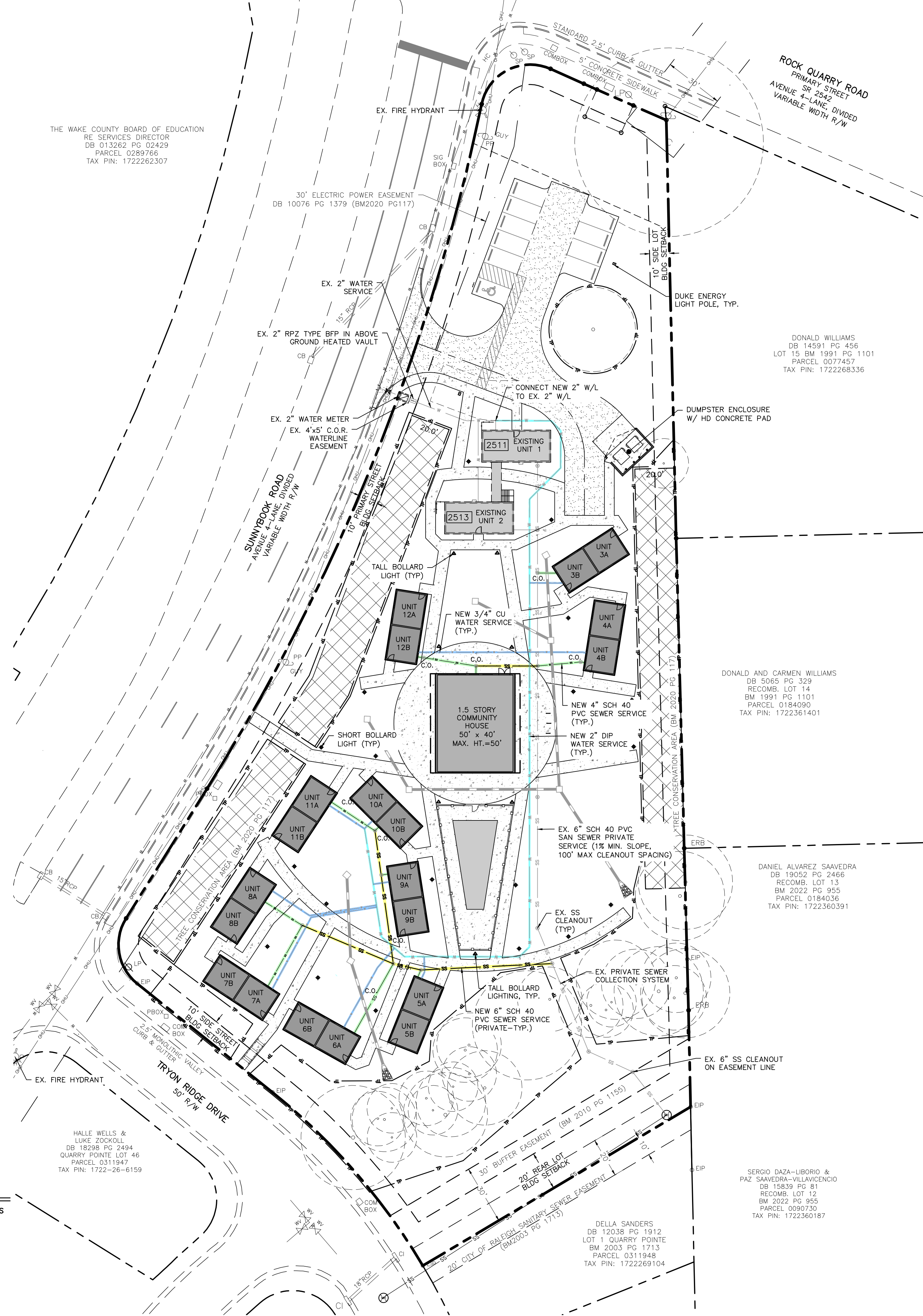
GRADING PLAN

Job Code: **NLRQR**

Dwg No. **SITE 300**

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THE WAKE COUNTY BOARD OF EDUCATION  
RE SERVICES DIRECTOR  
DB 013262 PG 02429  
PARCEL 0289766  
TAX PIN: 1722262307



**COR STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. 15. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.

**UTILITY NOTES**

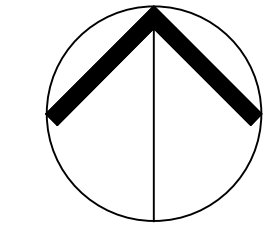
- ALL GRADING AND EXTERIOR CONSTRUCTION OF BUILDING UPON THE PROPERTY SHALL BE LIMITED TO THE HOURS OF 8:00 A.M. - 7:00 P.M., MONDAY THROUGH SATURDAY.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- CONTRACTOR TO COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. (CHAPTER 14, 2012 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2012 NC BUILDING CODE).
- A NCDOT PERMIT IS REQUIRED PRIOR TO STARTING ANY WORKING IN THE NCDOT RIGHT OF WAY.

**GENERAL NOTES**

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**LINE & HATCH LEGEND**

	PROPERTY BOUNDARY
	ADU LOT LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	NEW 6" SCH 40 PVC SEWER SERVICE
	NEW 4" SCH 40 PVC SEWER SERVICE
	NEW 2" DIP WATER SERVICE
	NEW 3/4" CU WATER SERVICE

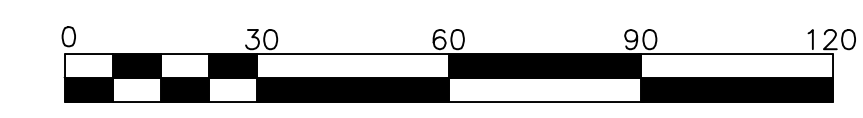


NORTH

**UTILITY PLAN**

SCALE: 1" = 30'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**FLOODPLAIN NOTE:**

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RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
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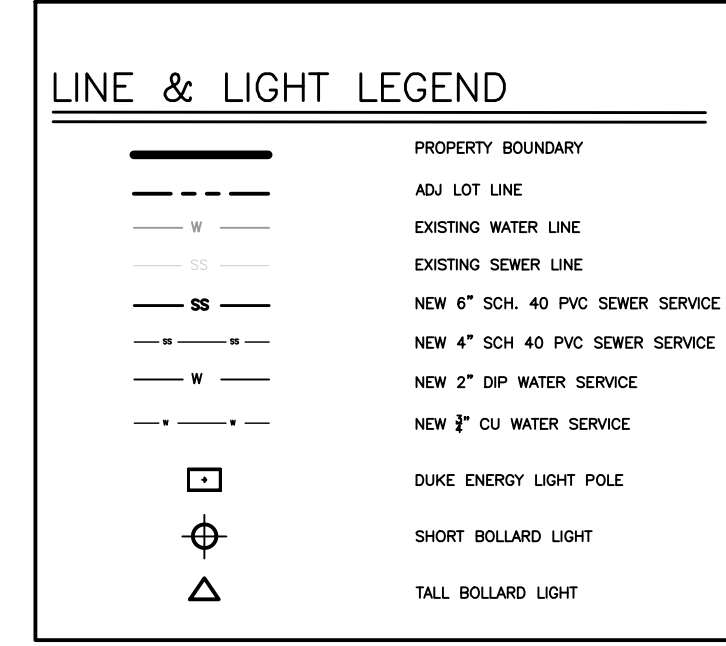
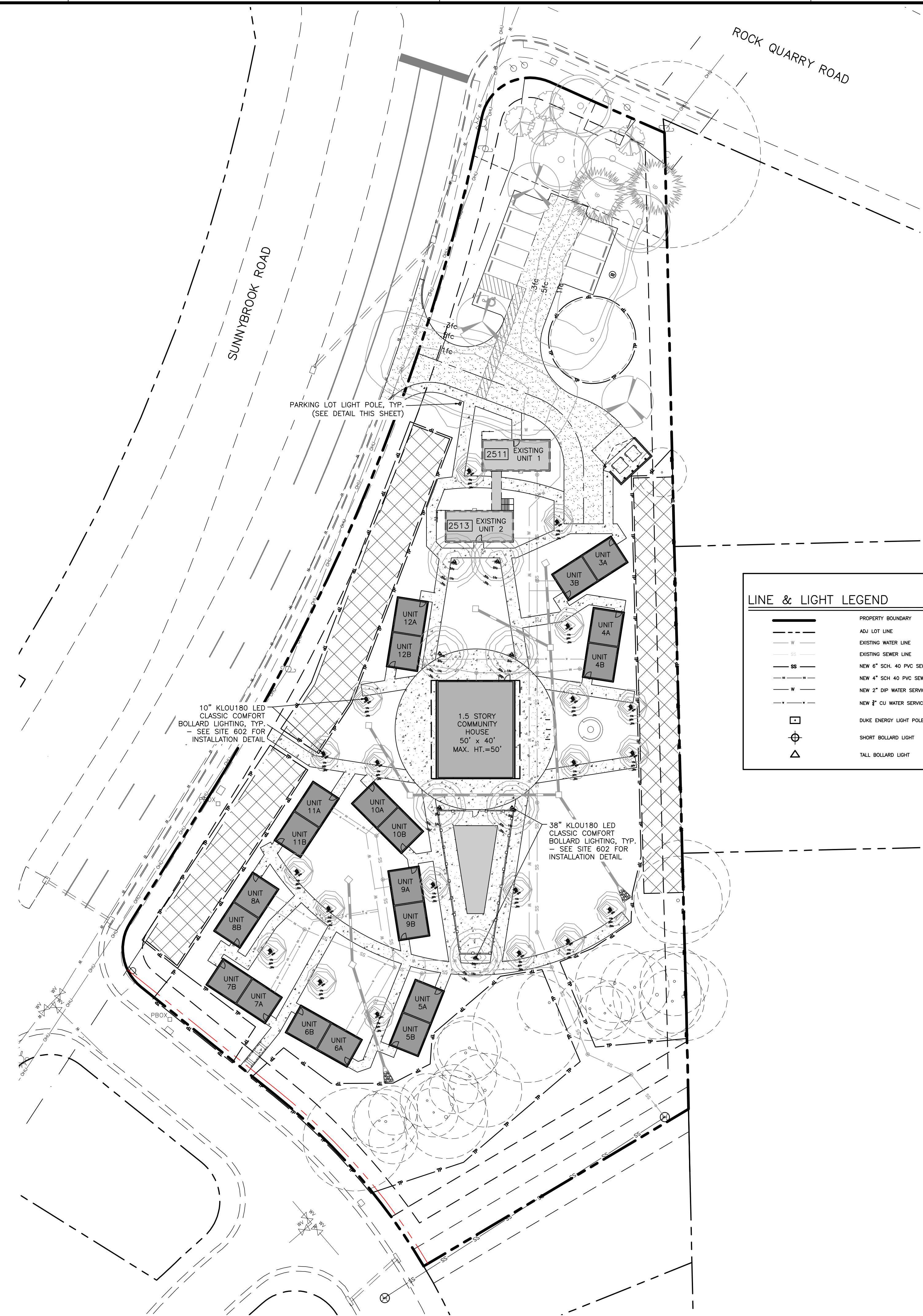
TIER TWO SITE PLANS

UTILITY PLAN

Job Code: **NLRQR**

Dwg No. **SITE 400**

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**LIGHTING NOTES**

1. LIGHT POLES ARE TO BE LOCATED 20' (MIN) AWAY FROM CANOPY TREES.
2. LIGHT LEVELS AT RESIDENTIAL PROPERTY LINES SHALL NOT EXCEED 0.5 FC
3. LIGHT LEVELS AT PUBLIC RIGHT OF WAYS SHALL NOT EXCEED 2.0 FC
4. ANY WALL PACKS INSTALLED ON THE BUILDING MUST BE FULL CUT OFF FIXTURES.
5. FIXTURE SYMBOLS ARE ILLUSTRATIVE AND HAVE BEEN INCREASED IN SIZE.
6. DUKE ENERGY PROGRESS SERVICE IS AVAILABLE FOR THIS SITE. FINAL PHOTOMETRICS TO BE PER DUKE ENERGY LAYOUT.

Schedule

Symbol	Quantity	Description	Lumens Per Lamp
☐	2	PEDESTRIAN LED - Type III - 3000K	4540
⊕	20	KLOU180 BOLLARD (10" - 3000K)	6000
△	7	KLOU180 BOLLARD (38" - 3000K)	6000

**Outdoor Lighting**  
PEDESTRIAN ENTERPRISE LED



**PEDESTRIAN ENTERPRISE LED**

**LED**  
(Light-emitting diode) 50 watts

**Mounting height** 12' - 17' **15'**

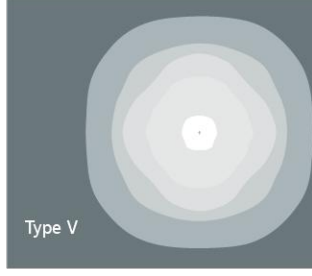
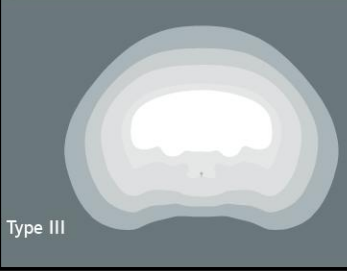
**Color**  
Black  
Green

**Pole**  
Style A  
Style B  
Style C  
Style D  
Style E  
Style F

IESNA cutoff classification: Full-cutoff  
Color temperature: **3,000K Primary**  
4,000K Available


FIXTURE	WATTS	LUMENS	PATTERN	BUG RATING
Ped Enterprise	50	4,540	III	B2-U0-G2

**LIGHT DISTRIBUTION PATTERNS**

light distribution patterns

POLE AVAILABLE	MOUNTING HEIGHT	FOUNDATION
Style A	12' <b>15'</b> 17'	Direct Burial Anchor Base
Style B	12', 17'	Anchor Base
Style C	12'	Anchor Base
Style D	12'	Anchor Base
Style E	12'	Anchor Base
Style F	12'	Anchor Base



BUILDING A SMARTER ENERGY FUTURE™

For additional information, contact us at [ODL.Carolinas@duke-energy.com](mailto:ODL.Carolinas@duke-energy.com).

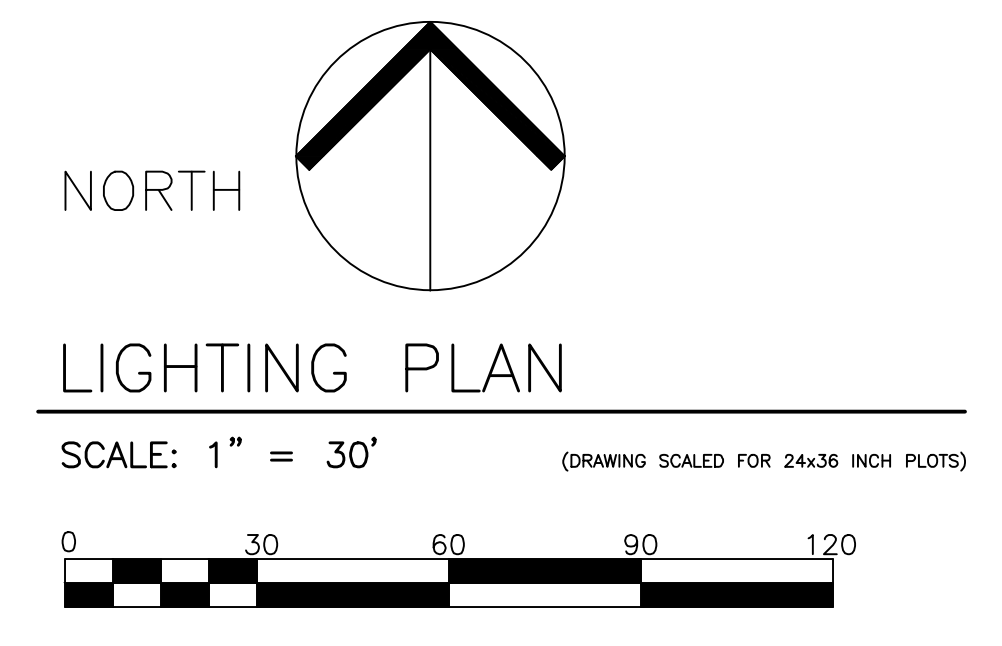
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**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



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THE SITE GROUP  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC.  
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Raleigh, NC 27605-1136 USA  
Office: 919.835.4787  
Fax: 919.839.2255  
E-Mail: SRN@thesitegroup.net

RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:

**NOMAD DEVELOPMENT**

3708 ROCK QUARRY ROAD  
RALEIGH, NORTH CAROLINA

Drawn By: **MRK**

Checked By: **SRN**

DATE: 25 OCT 2024

REVISED: 18 DEC 2024

TIER TWO SITE PLANS

LIGHTING PLAN

Job Code: **NLRQR**

Dwg No. **401**





**KLOU180** **Arcluce**

**S-KL**  
BOLLARDS

LED LUMINAIRES  
SUITABLE FOR WET LOCATIONS  
SUITABLE FOR MOUNTING WITHIN 12 m (4 ft) OF THE GROUND

**WARNING**  
ANY MODIFICATION TO THIS FITTING IS FORBIDDEN WITHOUT PRIOR AUTHORIZATION

- Risk of fire/electric shock: Turn off power before installation or replacement.
- Risk of fire/electric shock: Fixtures should always be installed, inspected and maintained in accordance with local and national electric codes by qualified electricians only.
- Risk of burning: Make sure fixture is cool when performing maintenance.
- Risk of surging: Keep fixtures away from materials that may burn.
- Perform electrical and mechanical maintenance on regular basis at least once per year. Harsh environments might require more frequent controls.
- Do not operate the fixture with a missing or damaged shield.
- Do not place the fixture in contact with concrete substrates such as fasteners, wood fillers or delimiters.
- Fixture covers should be cleaned on regular basis to ensure lighting performance and maintenance.
- All gaskets, O-rings and sealing surfaces must be kept clean during installation and service failure to do this may cause an unsafe condition.
- Read carefully these instructions before installing the fixture and retain for future reference.

**SAVE THESE INSTRUCTIONS**  
Note: Specifications and dimensions subject to change without notice.  
This data sheet and other technical documents continually updated can be accessed at [www.arcluce.com](http://www.arcluce.com)

**SPECIFICATIONS**

**CLASSIC COMFORT PERFORMANCE**

Dimensions: A: 8" 7/16" or 8" 1/2" or 8" 5/8" or 8" 3/4" or 8" 7/8" or 9" 1/8" or 9" 1/4" or 9" 3/8" or 9" 1/2" or 9" 5/8" or 9" 3/4" or 9" 7/8" or 10" 1/8" or 10" 1/4" or 10" 3/8" or 10" 1/2" or 10" 5/8" or 10" 3/4" or 10" 7/8" or 11" 1/8" or 11" 1/4" or 11" 3/8" or 11" 1/2" or 11" 5/8" or 11" 3/4" or 11" 7/8" or 12" 1/8" or 12" 1/4" or 12" 3/8" or 12" 1/2" or 12" 5/8" or 12" 3/4" or 12" 7/8" or 13" 1/8" or 13" 1/4" or 13" 3/8" or 13" 1/2" or 13" 5/8" or 13" 3/4" or 13" 7/8" or 14" 1/8" or 14" 1/4" or 14" 3/8" or 14" 1/2" or 14" 5/8" or 14" 3/4" or 14" 7/8" or 15" 1/8" or 15" 1/4" or 15" 3/8" or 15" 1/2" or 15" 5/8" or 15" 3/4" or 15" 7/8" or 16" 1/8" or 16" 1/4" or 16" 3/8" or 16" 1/2" or 16" 5/8" or 16" 3/4" or 16" 7/8" or 17" 1/8" or 17" 1/4" or 17" 3/8" or 17" 1/2" or 17" 5/8" or 17" 3/4" or 17" 7/8" or 18" 1/8" or 18" 1/4" or 18" 3/8" or 18" 1/2" or 18" 5/8" or 18" 3/4" or 18" 7/8" or 19" 1/8" or 19" 1/4" or 19" 3/8" or 19" 1/2" or 19" 5/8" or 19" 3/4" or 19" 7/8" or 20" 1/8" or 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1/4" or 147" 3/8" or 147" 1/2" or 147" 5/8" or 147" 3/4" or 147" 7/8" or 148" 1/8" or 148" 1/4" or 148" 3/8" or 148" 1/2" or 148" 5/8" or 148" 3/4" or 148" 7/8" or 149" 1/8" or 149" 1/4" or 149" 3/8" or 149" 1/2" or 149" 5/8" or 149" 3/4" or 149" 7/8" or 150" 1/8" or 150" 1/4" or 150" 3/8" or 150" 1/2" or 150" 5/8" or 150" 3/4" or 150" 7/8" or 151" 1/8" or 151" 1/4" or 151" 3/8" or 151" 1/2" or 151" 5/8" or 151" 3/4" or 151" 7/8" or 152" 1/8" or 152" 1/4" or 152" 3/8" or 152" 1/2" or 152" 5/8" or 152" 3/4" or 152" 7/8" or 153" 1/8" or 153" 1/4" or 153" 3/8" or 153" 1/2" or 153" 5/8" or 153" 3/4" or 153" 7/8" or 154" 1/8" or 154" 1/4" or 154" 3/8" or 154" 1/2" or 154" 5/8" or 154" 3/4" or 154" 7/8" or 155" 1/8" or 155" 1/4" or 155" 3/8" or 155" 1/2" or 155" 5/8" or 155" 3/4" or 155" 7/8" or 156" 1/8" or 156" 1/4" or 156" 3/8" or 156" 1/2" or 156" 5/8" or 156" 3/4" or 156" 7/8" or 157" 1/8" or 157" 1/4" or 157" 3/8" or 157" 1/2" or 157" 5/8" or 157" 3/4" or 157" 7/8" or 158" 1/8" or 158" 1/4" or 158" 3/8" or 158" 1/2" or 158" 5/8" or 158" 3/4" or 158" 7/8" or 159" 1/8" or 159" 1/4" or 159" 3/8" or 159" 1/2" or 159" 5/8" or 159" 3/4" or 159" 7/8" or 160" 1/8" or 160" 1/4" or 160" 3/8" or 160" 1/2" or 160" 5/8" or 160" 3/4" or 160" 7/8" or 161" 1/8" or 161" 1/4" or 161" 3/8" or 161" 1/2" or 161" 5/8" or 161" 3/4" or 161" 7/8" or 162" 1/8" or 162" 1/4" or 162" 3/8" or 162" 1/2" or 162" 5/8" or 162" 3/4" or 162" 7/8" or 163" 1/8" or 163" 1/4" or 163" 3/8" or 163" 1/2" or 163" 5/8" or 163" 3/4" or 163" 7/8" or 164" 1/8" or 164" 1/4" or 164" 3/8" or 164" 1/2" or 164" 5/8" or 164" 3/4" or 164" 7/8" or 165" 1/8" or 165" 1/4" or 165" 3/8" or 165" 1/2" or 165" 5/8" or 165" 3/4" or 165" 7/8" or 166" 1/8" or 166" 1/4" or 166" 3/8" or 166" 1/2" or 166" 5/8" or 166" 3/4" or 166" 7/8" or 167" 1/8" or 167" 1/4" or 167" 3/8" or 167" 1/2" or 167" 5/8" or 167" 3/4" or 167" 7/8" or 168" 1/8" or 168" 1/4" or 168" 3/8" or 168" 1/2" or 168" 5/8" or 168" 3/4" or 168" 7/8" or 169" 1/8" or 169" 1/4" or 169" 3/8" or 169" 1/2" or 169" 5/8" or 169" 3/4" or 169" 7/8" or 170" 1/8" or 170" 1/4" or 170" 3/8" or 170" 1/2" or 170" 5/8" or 170" 3/4" or 170" 7/8" or 171" 1/8" or 171" 1/4

2

3

4

5

UNIT    GROUND    AT HEIGHT  
ELEVATION

Community	255.5 ft	305.5 ft
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**COMMUNITY HOUSE  
ELEVATIONS**

**elevation 02**  
DIRECTION: E

**COMMUNITY HOUSE**

**elevation 04**  
DIRECTION: W

**COMMUNITY HOUSE**

**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

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RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
3708 ROCK QUARRY ROAD  
RALEIGH, NORTH CAROLINA

Drawn By: **JHJ**  
Checked By: **SRN**

DATE: 07 AUG 2024  
REVISED:  
△ 25 OCT 2024  
△ 18 DEC 2024

TIER ONE  
SITE PLANS

ARCHITECTURAL  
ELEVATIONS

Job Code: **NLRQR**

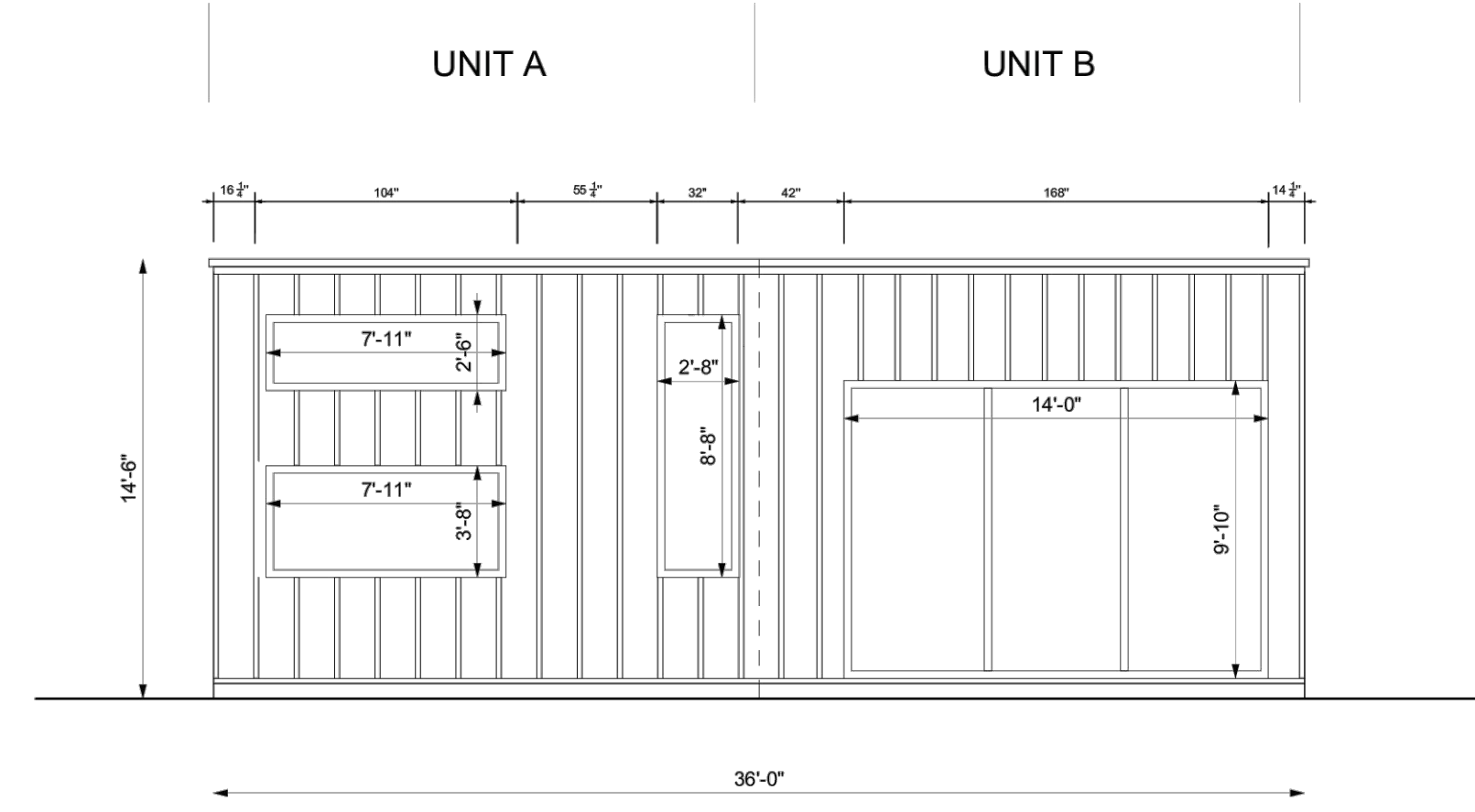
Dwg No.  
**ARCH  
1.0**

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### elevation 01

#### DIRECTIONS

Unit 03:	E
Unit 04:	SE
Unit 05:	E
Unit 06:	E
Unit 07:	SE
Unit 08:	NE
Unit 09:	NE
Unit 10:	N
Unit 11:	SE
Unit 12:	SE



#### UNIT GROUND AT HEIGHT ELEVATION

UNIT	GROUND	AT HEIGHT ELEVATION
Unit 03	254 ft	268.6 ft
Unit 04	254.5 ft	268.11 ft
Unit 05	256 ft	270.6 ft
Unit 06	256.7 ft	271.1 ft
Unit 07	257 ft	271.6 ft
Unit 08	257 ft	271.6 ft
Unit 09	256 ft	270.6 ft
Unit 10	256 ft	270.6 ft
Unit 11	257 ft	271.6 ft
Unit 12	255.6 ft	270 ft

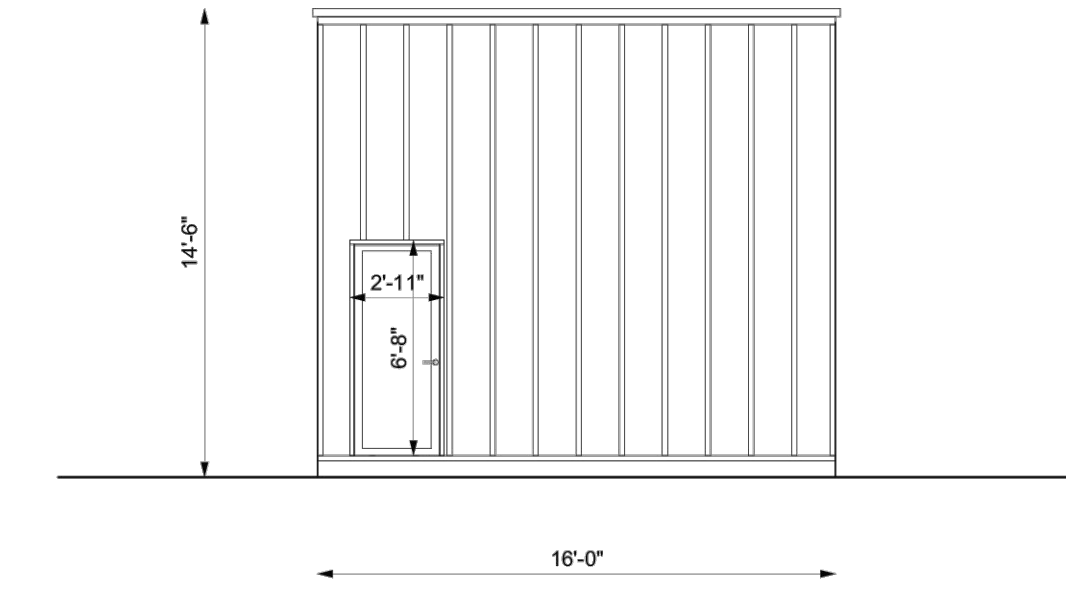
NODE ECHO



### elevation 02 & 04

#### DIRECTIONS

Unit 03-A:	N
Unit 03-B:	S
Unit 04-A:	NE
Unit 04-B:	SW
Unit 05-A:	N
Unit 05-B:	S
Unit 06-A:	N
Unit 06-B:	S
Unit 07-A:	NE
Unit 07-B:	SW
Unit 08-A:	SE
Unit 08-B:	NW
Unit 09-A:	NW
Unit 09-B:	SE
Unit 10-A:	W
Unit 10-B:	E
Unit 11-A:	NE
Unit 11-B:	SW
Unit 12-A:	NE
Unit 12-B:	SW



#### UNIT GROUND AT HEIGHT ELEVATION

UNIT	GROUND	AT HEIGHT ELEVATION
Unit 03	254 ft	268.6 ft
Unit 04	254.5 ft	268.11 ft
Unit 05	256 ft	270.6 ft
Unit 06	256.7 ft	271.1 ft
Unit 07	257 ft	271.6 ft
Unit 08	257 ft	271.6 ft
Unit 09	256 ft	270.6 ft
Unit 10	256 ft	270.6 ft
Unit 11	257 ft	271.6 ft
Unit 12	255.6 ft	270 ft

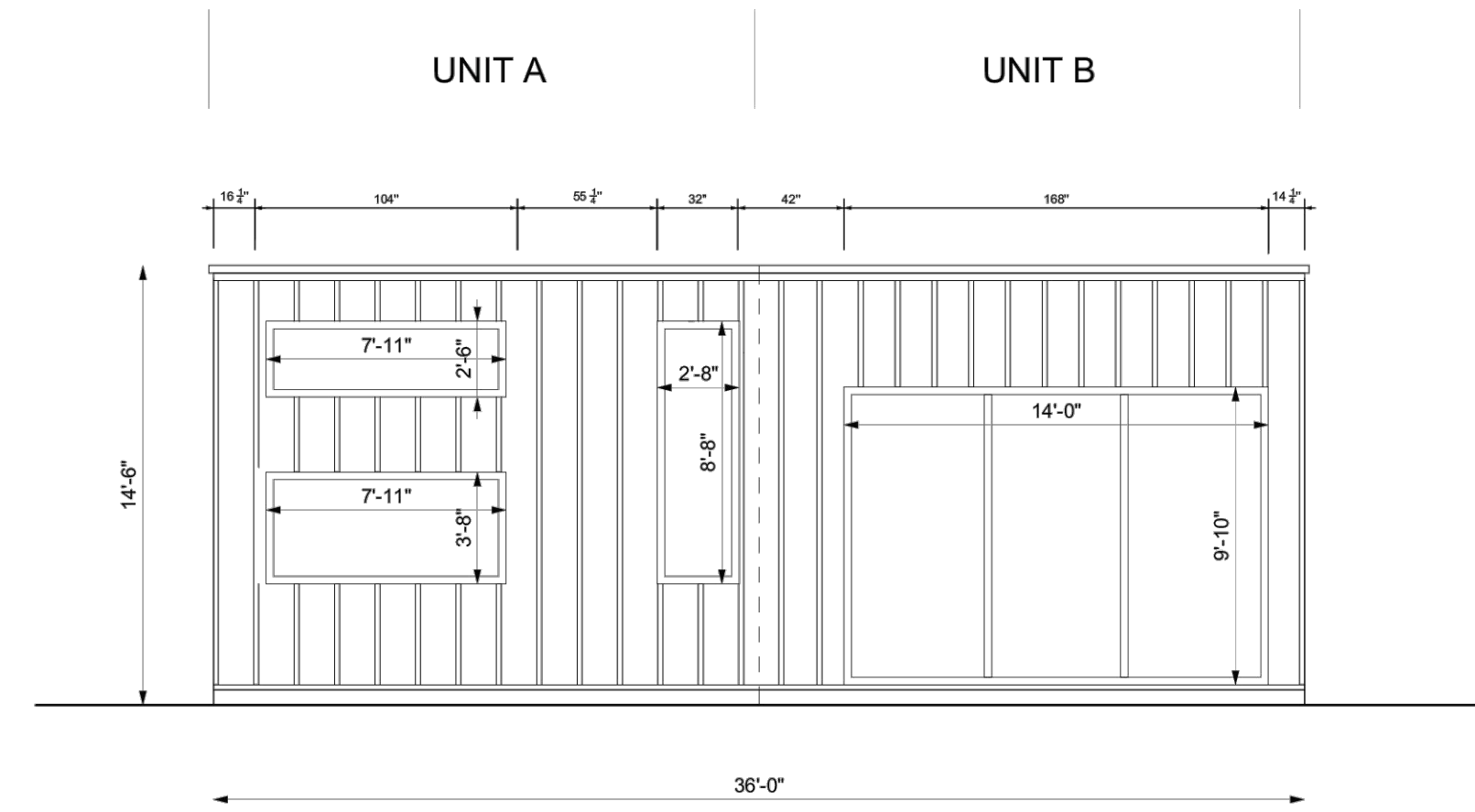
NODE ECHO



### elevation 03

#### DIRECTIONS

Unit 03:	W
Unit 04:	NW
Unit 05:	W
Unit 06:	W
Unit 07:	NW
Unit 08:	SW
Unit 09:	SW
Unit 10:	S
Unit 11:	NW
Unit 12:	NW



#### UNIT GROUND AT HEIGHT ELEVATION

UNIT	GROUND	AT HEIGHT ELEVATION
Unit 03	254 ft	268.6 ft
Unit 04	254.5 ft	268.11 ft
Unit 05	256 ft	270.6 ft
Unit 06	256.7 ft	271.1 ft
Unit 07	257 ft	271.6 ft
Unit 08	257 ft	271.6 ft
Unit 09	256 ft	270.6 ft
Unit 10	256 ft	270.6 ft
Unit 11	257 ft	271.6 ft
Unit 12	255.6 ft	270 ft

NODE ECHO



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RESIDENTIAL TIER TWO SITE PLANS (ASR-0055-2024) FOR:  
**NOMAD DEVELOPMENT**  
 3708 ROCK QUARRY ROAD  
 RALEIGH, NORTH CAROLINA

Drawn By: **JHU**  
 Checked By: **SRN**

DATE: 07 AUG 2024  
 REVISED:  
 25 OCT 2024  
 18 DEC 2024

TIER ONE SITE PLANS

ARCHITECTURAL ELEVATIONS

Job Code: **NLRQR**

Dwg No.  
**ARCH 1.1**