



Administrative Approval Action

Case File / Name: ASR-0056-2019
LOT 14 - WESTGATE PARK DRIVE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Westgate Park Drive at 8871 Westgate Park Drive, inside the city limits.

REQUEST: Development of a 7.145 acre/311,244 sf tract zoned IX-3-PK with Airport Overlay District and SHOD-2 into two proposed Light Industrial use structures totaling 19,000 square feet. Proposed building #1 will be an office use with a gross floor area of 10,000 sf and proposed building #2 will be a 9,000 sf warehouse for storage with storage for fleet vehicles and pallets outside the buildings.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 13, 2019 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The PIN # shown on the coversheet, under the site data information, is revised to 0778.02-55-6572 on the SPR & all plat recordings. The PIN # shown on the coversheet & application is incorrect & has been revised by staff for the purpose of this approval.
2. On sheet A2.01, Elevations, on the transparency calculations table, the "area of proposed transparency overall" row sf area shall be revised.
3. Elevations Sheet A2.01, on the proposed building #1 illustration, a height measurement elevation distance, for the dashed-blue line marking, shown and delineated across the building facade structure, is provided, labeled by dimension.
4. Elevations Sheet A2.03-A2.04, revisions to the "proposed" spot grades (458.2'ft) shown on all 4 building plane elevation illustrations, for building #2, are corrected to correspond to the grades listed in Average Grade Calculations Table shown on sheet A2.03 & A2.04 (458.2'ft).
5. Elevation sheets A2.01-A2.04, the building height is labeled based on the most restrictive grade(s), as listed on the Average Grade Calculation Tables, is shown as a spot grade on the corresponding building elevations from which the building height should be dimensioned. Not the FFE as indicated on the elevation sheets.



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6. Any proposed site lighting shall comply with UDO Sec.7.4 and a lighting plan shall be submitted with the SPR plans.

Stormwater

7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

10. Submit a final tree conservation plan that includes metes and bounds descriptions of the revised tree conservation area to the west of the driveway and shows tree protection fencing as required (UDO 9.1.5).
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The correct PIN # for lot 14 is shown all future plat recordings

Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



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Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the revised tree conservation area to the west of the driveway (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 27, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

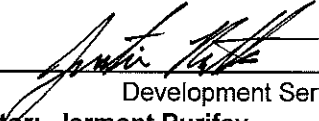


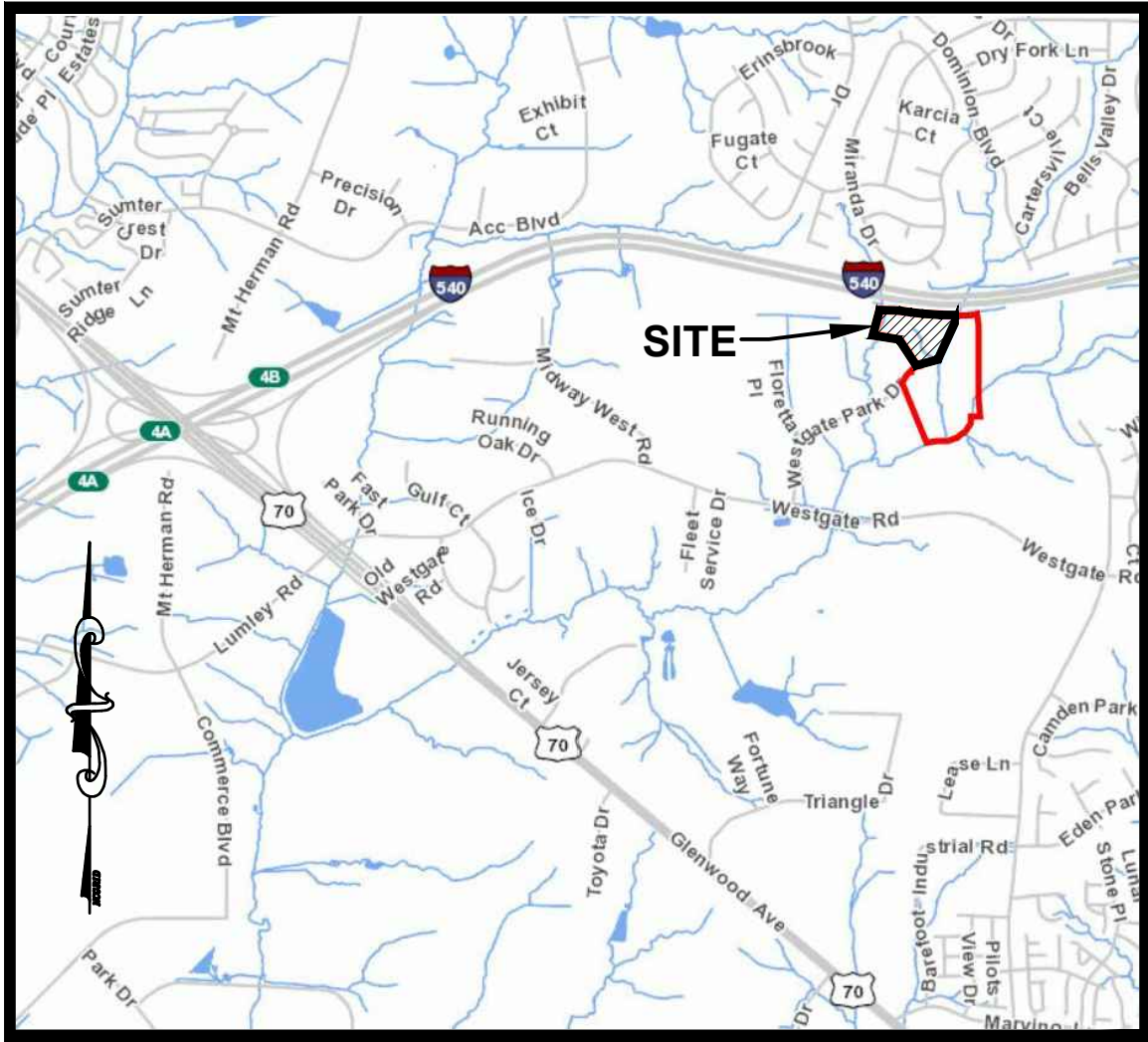
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I hereby certify this administrative decision.

Signed:  Date: 01/28/2020
Development Services Dir/Designee
Staff Coordinator: Jermon Purifoy



VICINITY MAP
(NOT TO SCALE)

SITE DATA

OWNER: SYCAMORE CREEK LLC
305 TRANSYLVANIA AVE
RALEIGH, NC 27609-6951

ADDRESS: 8890 WESTGATE PARK DR.
RALEIGH, NC 27617-4774

PIN: 0778.02-55-7080

ZONING: IX-3-PK, SHOD-2, AOD

AREA: 311,244 S.F. (7.1452 AC.)

CURRENT LAND USE: VACANT

REFERENCE: DB 9549, PG 363
BM 2019, PG 1645
WAKE COUNTY REGISTRY

BUILDING SETBACKS FRONT= 3'
..... SIDE= 6'
..... REAR= 6'

BUILDING HEIGHT MAX.= 50'
PROPOSED 23'

USE CATAGORY - LIGHT INDUSTRIAL
VEHICLE PARKING SUMMARY

PROPOSED OFFICE (10,000 S.F.) 1 SP PER 600 S.F. = 17 SPACES

ADDITIONAL INDOOR AREA (9,000 S.F.) 1 SP PER 3,000 S.F. = 3 SPACES

TOTAL REQUIRED = 20 SPACES

LONG TERM BICYCLE PARKING = 4 SPACES

TOTAL PARKING PROVIDED 22 SPACES
(INCLUDES) 1 ADA SPACE (VAN)

AMENITY AREA

REQUIRED AREA 31,125 S.F. (10%)

PROVIDED AREA 33,994 S.F. (10.9%)

INDEX

CE-1	RECORDED MAP
CE-2	EXISTING CONDITIONS
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CE-8	UTILITY DETAILS
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LA-2	TREE CONSERVATION PLAN
LA-3	TREE CONSERVATION PLAN
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A1.02	OVERALL FLOOR PLAN - BUILDING 2
A2.01	PROPOSED ELEVATIONS - BUILDING 1
A2.02	PROPOSED ELEVATIONS - BUILDING 1
A2.03	PROPOSED ELEVATIONS - BUILDING 2
A2.04	PROPOSED ELEVATIONS - BUILDING 2
A2.05	PROPOSED RENDERING - BUILDING 1 & 2

LOT 14 WESTGATE BUSINESS PARK

ADMINISTRATIVE SITE REVIEW

ASR-0056-2019

SUB-S-0020-2017

RALEIGH, NORTH CAROLINA

JULY 31, 2019

REVISED NOVEMBER 01, 2019

REVISED DECEMBER 13, 2019

OWNER/DEVELOPER:

GREENVIEW PROPERTIES

5900 Triangle Drive

Raleigh, N.C. 27617

919-866-9294

darrinhockstra@greenviewpartners.com

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY

Consulting Engineers

NC License F-0289

333 Wade Ave., Raleigh, N.C. 27605

Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com

LANDSCAPE ARCHITECT:

COALY DESIGN P.C.

300-200 Parham St. Suite G

Raleigh, N.C. 27601

Phone: (919) 539-0012

E-mail: kimberly@coalydesign.com

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER IS IN COMPLIANCE WITH
THE REQUIREMENTS SET FORTH IN
THE SOLID WASTE DESIGN MANUAL.
PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND / OR NCDOT STANDARDS AND
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____		Planning Coordinator: _____	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: 511072	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: Lot 14 - Westgate Business Park			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 8871 Westgate Park Drive			
Site P.I.N.(s): 0778.02-55-7080			
Please describe the scope of work. Include any additions, expansions, and change of use. Type of use will be light industrial defined in 6.5.2.A.4 Commercial landscape company is Greenview. Two buildings (19,000 s.f.) and outdoor storage. 10,000 s.f. building is office space for Greenview; 9,000 s.f. building is warehouse for equipment storage & maintenance, outdoor storage is fleet vehicles and pallets.			
Current Property Owner/Developer Contact Name: _____			
NOTE: please attach purchase agreement when submitting this form.			
Company: Greenview Properties		Title: Darrin Hockstra / Managing Member	
Address: 5900 Triangle Drive, Raleigh, NC 27617			
Phone #: (919) 866-9294		Email: darrinhockstra@greenviewpartners.com	
Applicant Name: Johnny Edwards			
Company: John A. Edwards & Company		Address: 333 Wade Avenue, Raleigh, NC 27605	
Phone #: (919) 828-4428		Email: johnny@jaeco.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3-PK AOD SHOD-2	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 7.1452 AC. (311,244 S.F.)	New gross floor area: 19,000 S.F.
# of parking spaces required: 20	Total sf gross (to remain and new): 19,000 S.F.
# of parking spaces proposed: 22	Proposed # of buildings: 2
Overlay District (if applicable): SHOD-2 AOD	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Light Industrial	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.21 Square Feet: 139,328
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: Alluvial soils: 0M SOILS (SHEET CE-1)	
Flood stu: _____	
FEMA Map Panel #: _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Johnny Edwards to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: _____	Date: 12-6-19
Printed Name: Darrin Hockstra / Managing Member	



NC License F-0289
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Project

LOT 14
WESTGATE
BUSINESS PARK

GREENVIEW PROPERTIES




[illegible]

CONCRETE

EX. WATER VALVE
EX. FIRE HYDRANT
EX. WATER METER
EX. SEWER MANHOLE
EX. SEWER CLEANOUT

EX. STORM CATCH BASIN
EX. STORM DROP INLET
EX. FLARED END SECTION
EX. LIGHT POLE
EX. PHONE POLE
EX. TELEPHONE PEDESTAL

PROPERTY LINE
RIGHT-OF-WAY LINE
LOT LINE
EASEMENT LINE
EXISTING WATER LINE
EXISTING SANITARY SEWER
EXISTING STORM DRAINAGE
EXISTING CONTINGENCY LINE
FEMA 100 YR. FLOOD PLAIN
FLOODWAY
NEUSE RIVER BUFFER
CENTLINE OF GREEK
EXISTING OVERHEAD POWER

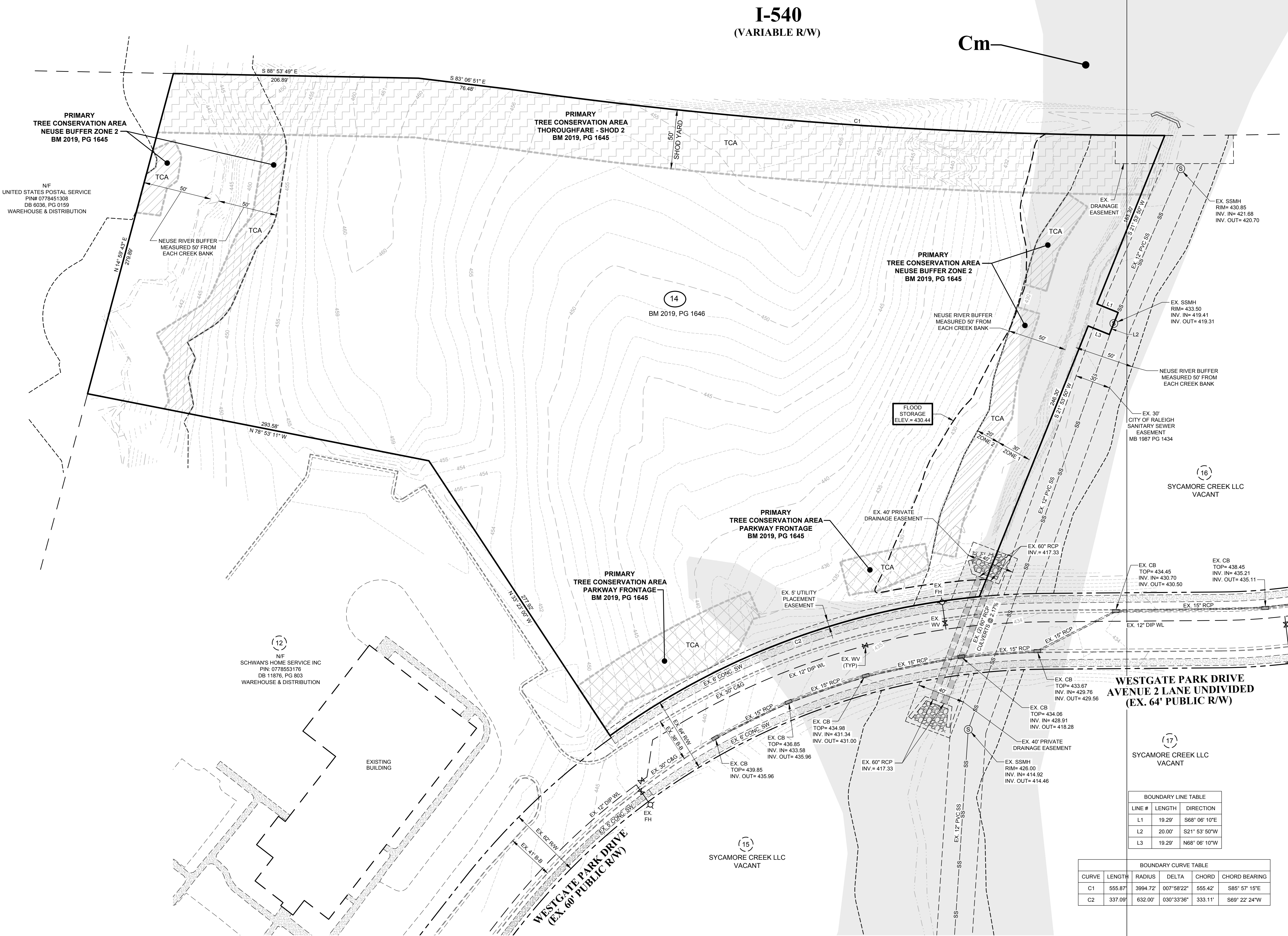
	PRIMARY TREE CONSERVATION AREA NEUSE BUFFER ZONE 2
	PRIMARY TREE CONSERVATION AREA PARKWAY FRONTAGE
	PRIMARY TREE CONSERVATION AREA SHOD YARD

EXISTING CONDITIONS

Revisions		
Number	Description	Date
1	REVIEW COMMENTS	11/01/19
2	REVIEW COMMENTS	12/13/19

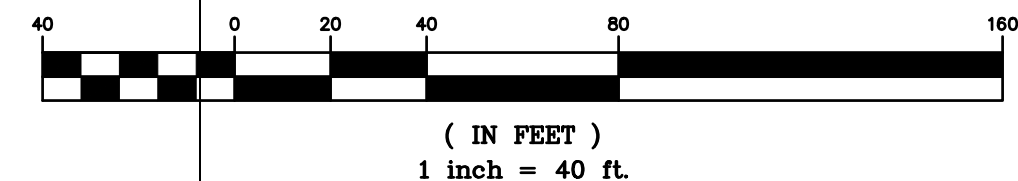
Checked By JAE, JR.

CE-2

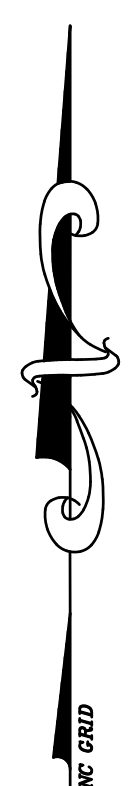


ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

GRAPHIC SCALE



I-540
(VARIABLE R/W)



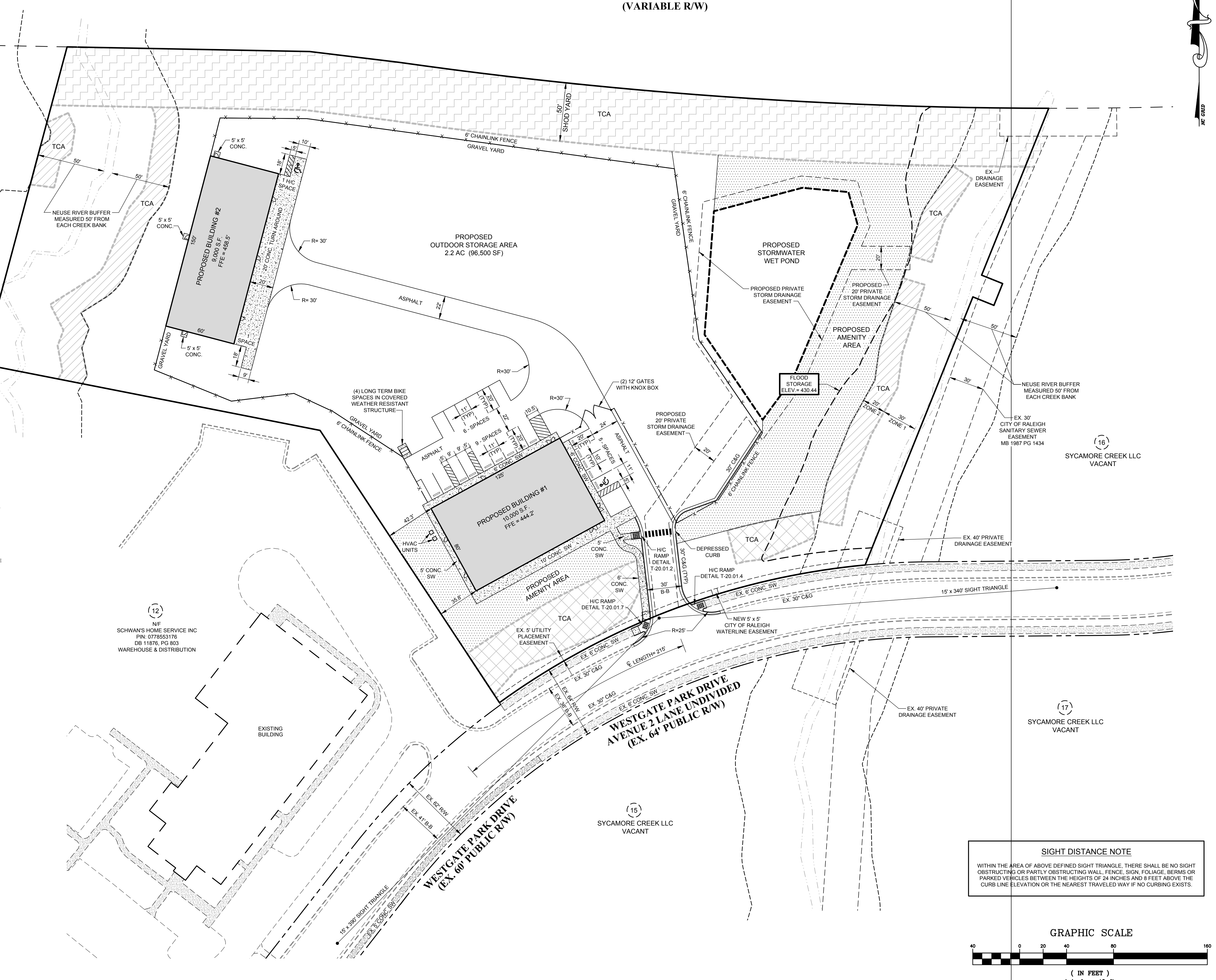
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Project
**LOT 14
WESTGATE
BUSINESS PARK
ASR-0056-2019**

Client
GREENVIEW PROPERTIES

- LEGEND**
- | | | | |
|------|----------------------------|------|------------------------------------|
| AC | ACREAGE | HW | HEADWALL |
| BM | BOOK OF MAPS | INV | INVERT |
| BO | BLOWOFF | IPS | IRON PIPE SET |
| BW | BOTTOM OF WALL | JB | JUNCTION BOX |
| C&G | CURB AND GUTTER | MH | MANHOLE |
| CB | CATCH BASIN | MIN | MINIMUM |
| CMP | CORRUGATED METAL PIPE | NF | NOW OR FORMERLY |
| CO | SEWER CLEANOUT | PG | PAGE |
| DB | DEED BOOK | PVC | POLYVINYL CHLORIDE PIPE |
| DCA | DOUBLE CHECK VALVE | RCP | REINFORCED CONCRETE PIPE |
| D.I. | DUCTILE IRON | RPDA | REDUCED PRESSURE DETECTOR ASSEMBLY |
| DI | DROP INLET | RPZ | REDUCED PRESSURE ZONE |
| EIP | EXISTING IRON PIPE | RW | RIGHT-OF-WAY |
| ELEV | ELEVATION | S.F. | SQUARE FEET |
| EOP | EDGE OF PAVEMENT | SS | SANITARY SEWER |
| ESMT | EASEMENT | SP | SPACES |
| EX | EXISTING | SW | SEWAGE |
| FDC | FIRE DEPARTMENT CONNECTION | TC | TERRA COTTA PIPE |
| FES | FLARED END SECTION | TSP | TRAFFIC SIGNAL |
| FFE | FINISHED FLOOR ELEVATION | TW | TOP OF WALL |
| FL | FIRE LINE | TYP | TYPICAL |
| FL | FIRE LINE | WL | WATER LINE |
| HB | HANDICAP BOTTOM | WM | WATER METER |
| HC | HANDICAP | WS | WATER SERVICE |
| HT | HANDICAP TOP | WV | WATER VALVE |
| | | YI | YARD INLET |
- CONCRETE
EX. WATER VALVE
EX. FIRE HYDRANT
EX. WATER METER
EX. SEWER MANHOLE
EX. SEWER CLEANOUT
EX. STORM CATCH BASIN
EX. STORM DROP INLET
EX. FLARED END SECTION
EX. LIGHT POLE
- NEW WATER VALVE
NEW WATER REDUCER
NEW FIRE HYDRANT
NEW WATER METER
NEW SEWER MANHOLE
NEW SEWER CLEANOUT
NEW STORM CATCH BASIN
NEW STORM DROP INLET
NEW FLARED END SECTION
- PROPERTY LINE
RIGHT-OF-WAY LINE
LOT LINE
EASEMENT LINE
EXISTING WATER LINE
EXISTING SANITARY SEWER
EXISTING STORM DRAINAGE
NEW WATER LINE
NEW SANITARY SEWER
NEW STORM DRAINAGE
EXISTING CONTOUR LINE
NEW CONTOUR LINE
FEMA 100 YR FLOOD PLAIN
FLOODWAY
NEUSE RIVER BUFFER
CENTERLINE OF CREEK
EXISTING OVERHEAD POWER
PROPOSED SPOT ELEVATION
- PRIMARY TREE CONSERVATION AREA
NEUSE BUFFER ZONE 2
BM 2019, PG 1645
- PRIMARY TREE CONSERVATION AREA
PARKWAY FRONTAGE
BM 2019, PG 1645
- PRIMARY TREE CONSERVATION AREA
SHOD YARD
BM 2019, PG 1645
- PROPOSED AMENITY AREA



SIGHT DISTANCE NOTE

WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERRIES OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.

GRAPHIC SCALE

1" = 40'

(IN FEET)
1 inch = 40 ft.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

SITE PLAN

Number	Description	Date
1	REVIEW COMMENTS	11/01/19
2	REVIEW COMMENTS	12/13/19

Drawing Scale 1" = 40'

Drawn By BF

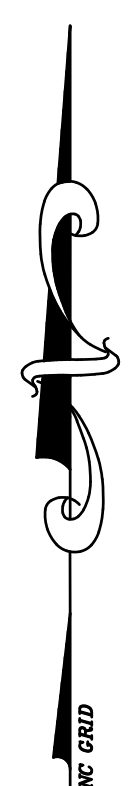
Checked By JAE, JR.

Date Issued 07/31/19

CE-3

X:\dwgs\2017\Trent Ragland\Lot 14 - Westgate Business Park\01-PRELIMINARY\266-01 Civil Base.dwg, 12/12/2019 1:28:29 PM

I-540
(VARIABLE R/W)



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

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Project
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WESTGATE
BUSINESS PARK
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Client
GREENVIEW PROPERTIES

- LEGEND**
- | | | | |
|------|----------------------------|------|--------------------------|
| AC | ACREAGE | HW | HEADWALL |
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| FFE | FINISHED FLOOR ELEVATION | TSP | TRAFFIC SIGNAL |
| FH | FIRE HYDRANT | TYP | TYPICAL |
| FL | FIRE LINE | WL | WATER LINE |
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| HT | HANDICAP TOP | WV | WATER VALVE |
| | | YI | YARD INLET |
-
- | | |
|------------------------|------------------------|
| CONCRETE | EX. POWER POLE |
| EX. WATER VALVE | NEW WATER VALVE |
| EX. FIRE HYDRANT | NEW FIRE HYDRANT |
| EX. WATER METER | NEW WATER METER |
| EX. SEWER MANHOLE | NEW SEWER MANHOLE |
| EX. SEWER CLEANOUT | NEW SEWER CLEANOUT |
| EX. STORM CATCH BASIN | NEW STORM CATCH BASIN |
| EX. STORM DROP INLET | NEW STORM DROP INLET |
| EX. FLARED END SECTION | NEW FLARED END SECTION |
| EX. LIGHT POLE | |
-
- | | |
|-------------------------|--------------------------|
| PROPERTY LINE | RIGHT-OF-WAY LINE |
| LOT LINE | EASEMENT LINE |
| EXISTING WATER LINE | EXISTING SANITARY SEWER |
| EXISTING STORM DRAINAGE | EXISTING STORM DRAINAGE |
| NEW WATER LINE | NEW SANITARY SEWER |
| NEW STORM DRAINAGE | EXISTING CONTOUR LINE |
| NEW CONTOUR LINE | FEMA 100 YR. FLOOD PLAIN |
| FLOODWAY | NEUSE RIVER BUFFER |
| CENTERLINE OF CREEK | EXISTING OVERHEAD POWER |
| PROPOSED SPOT ELEVATION | |
-
- | |
|---|
| PRIMARY TREE CONSERVATION AREA
NEUSE BUFFER ZONE 2 |
| PRIMARY TREE CONSERVATION AREA
PARKWAY FRONTAGE |
| PRIMARY TREE CONSERVATION AREA
SHOD YARD |

NF
UNITED STATES POSTAL SERVICE
PIN# 0778451308
DB 6036, PG 01159
WAREHOUSE & DISTRIBUTION

NEUSE RIVER BUFFER
MEASURED 50' FROM
EACH CREEK BANK

PROPOSED BUILDING #2
9,000 S.F.
FFE = 438.5

FIRE DEPARTMENT ACCESS
8" ABC - 2-1/2" I-2

PROPOSED BUILDING #1
10,000 S.F.
FFE = 444.2

NF
SCHWAN'S HOME SERVICE INC
PIN: 0778553176
DB 11876, PG 893
WAREHOUSE & DISTRIBUTION

EXISTING BUILDING

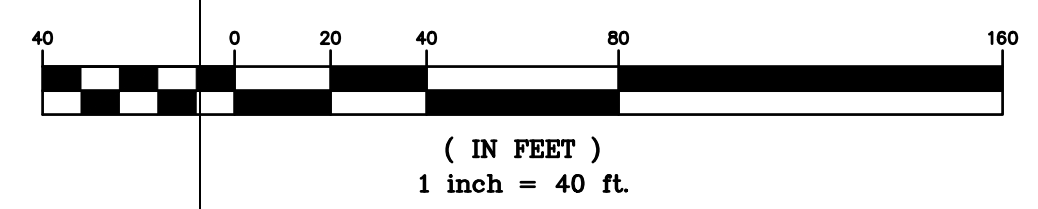
WESTGATE PARK DRIVE
(EX. 60' PUBLIC R/W)

WESTGATE PARK DRIVE
AVENUE 2 LANE UNDIVIDED
(EX. 64' PUBLIC R/W)

SYCAMORE CREEK LLC
VACANT

SYCAMORE CREEK LLC
VACANT

GRAPHIC SCALE



ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
AND / OR NCDOT STANDARDS AND
SPECIFICATIONS.

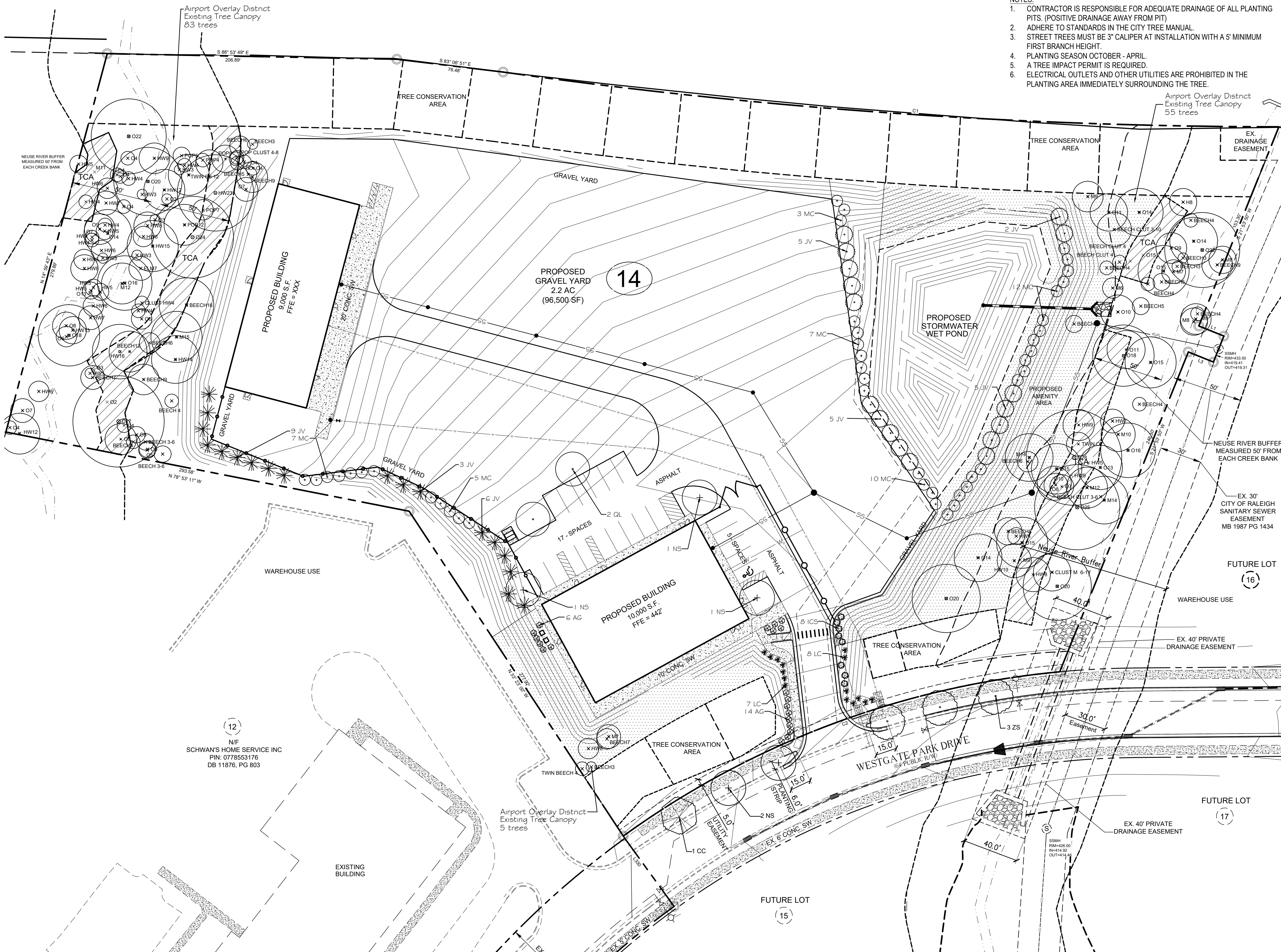
UTILITY PLAN

Revisions		
Number	Description	Date
1	REVIEW COMMENTS	11/01/19
2	REVIEW COMMENTS	12/13/19

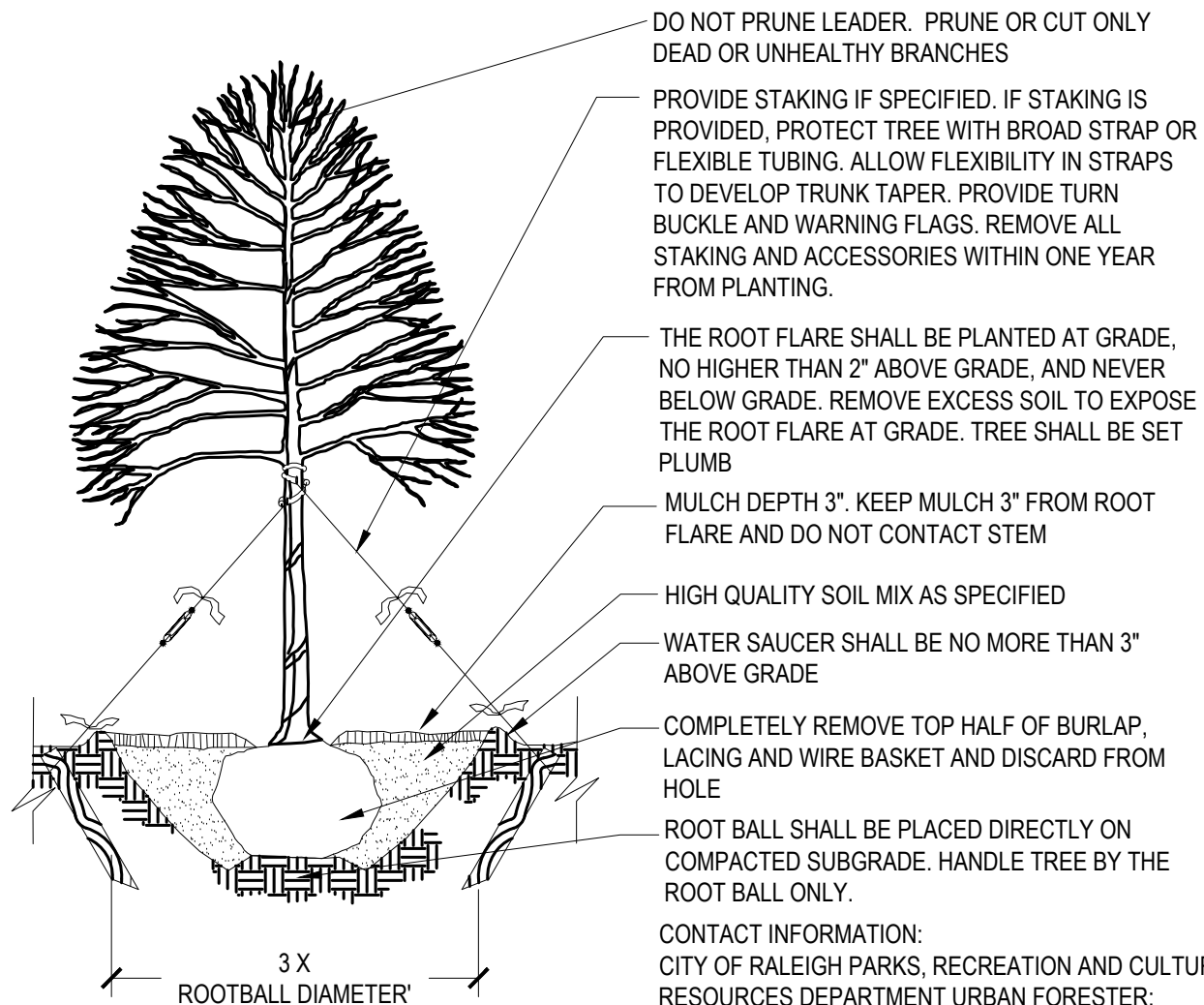
Drawing Scale 1" = 40'
Drawn By BF
Checked By JAE, JR.
Date Issued 07/31/19

CE-4

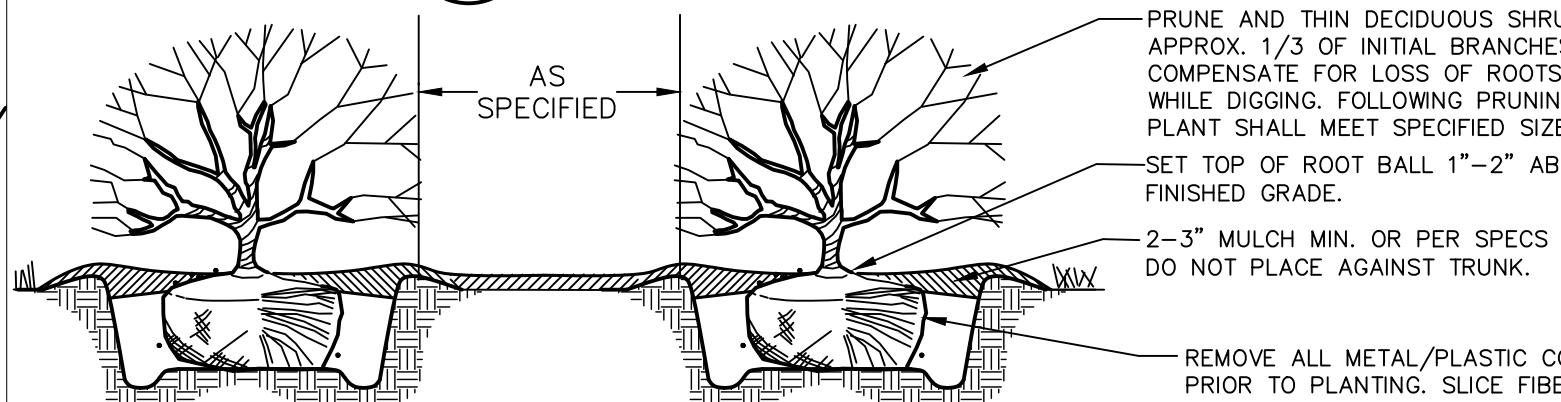
1-540
VARIABLE R/W



- NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 2. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 3. STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
 4. PLANTING SEASON OCTOBER - APRIL.
 5. A TREE IMPACT PERMIT IS REQUIRED.
 6. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.



PRCR-03 TREE PLANTING DETAIL



SHRUB PLANTING

- NOTES:
1. SOIL MIX-1/3 ORGANIC MATTER, 2/3 EXIST SOIL.
 2. WIDTH OF PLANT PIT -SANDY SOIL, 24" WIDER THAN PLANT BALL -CLAY SOIL, 12" WIDER THAN PLANT BALL
 3. FOR PLANTING AREAS WHERE SOIL HAS BEEN TO GRADE AS IT DID PRIOR TO DIGGING. COMPACTED BY EQUIPMENT, CONTACT LA PRIOR TO PLANTING.
 4. FOR CAMELLIAS, RHODOS, AZALEAS, AND LAURELS: SOIL MIX=2/3 ORGANIC AND 1/3 EXISTING SOIL.
 5. SHRUB SHALL BEAR SAME RELATIONSHIP TO PLANTING AREA AS IT DID PRIOR TO DIGGING.

City of Raleigh Planting Requirements:

1) STREET TREES: WESTGATE PARK DRIVE:
Provided: (1) 3" Caliper tree per 40 lf. Trees placed in 6' tree lawn.
Westgate Park Drive: 337 lf of road frontage minus NRB, easements, and driveway (92.5 lf) = 244.5 lf total or 6 trees. Ensure street trees planted at least 15' from driveway entrance.
Reference approved subdivision plan S-20-17 for tree locations. Trees are located per the approved subdivision plan, minus the tree at the proposed drive. A tree impact permit will be obtained by contractor when trees are installed. Trees omitted at the Neuse River buffer area and driveway.

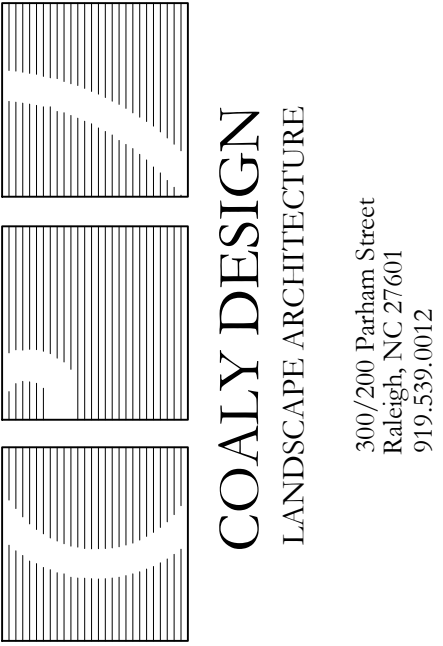
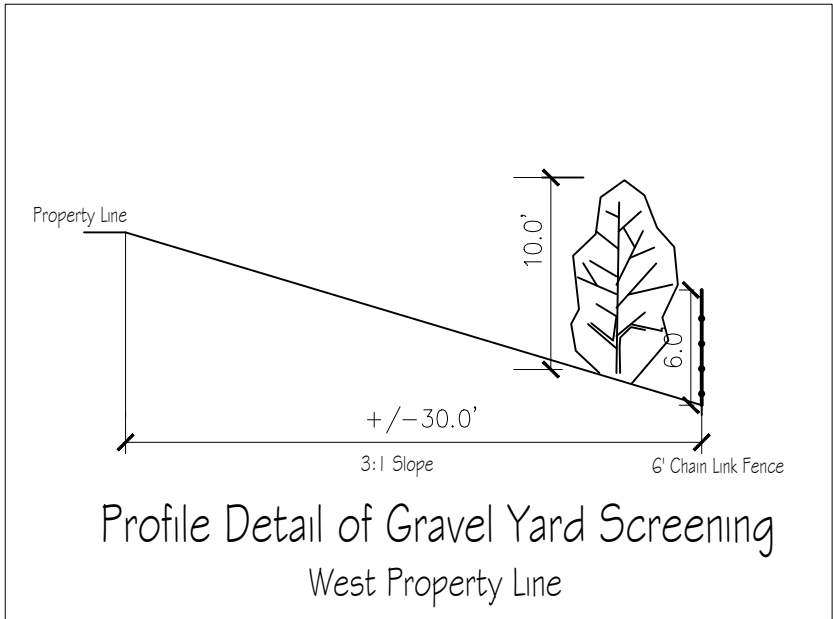
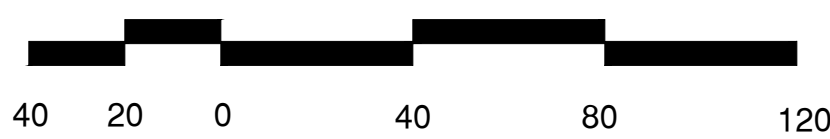
2) SCREENING:
The HVAC units are located in the rear / side of the building and screened from public view. The wet pond is screened per UDO Section 7.2.G.C.
C-2 Yard shrubs (LC and AG) have been added where tree conservation does not extend to the proposed drive and road.
Outdoor Storage - Sec. 7.5.3 A.2.(a) - Outdoor storage is screened from public ROW, parking, and abutting properties by a 6' chain link fence and evergreen plant material that covers at least 2/3 of the surface area of the fence at the time of maturity.

3) AIRPORT OVERLAY DISTRICT CANOPY COVERAGE - total required = 35%
Existing trees and canopies noted. Total coverage = 18%
Existing trees in Tree Conservation Area = 19.6%
Total coverage = 37.6 %
Site area - 311,244.9 sf / 2,000 = 155 trees
Existing trees - 143 + Tree conservation trees

PLANT SCHEDULE		INSTALL SIZE	ROOT	SPACING	MATURE HT. / SP.
QTY.	KEY				
3	ZS	Zelkova serrata 'Village Green' / Japanese Zelkova	3" Cal. / 10' HT.	CONT. / B & B	as indicated / 40' O.C.
5	NS	Nyssa sylvatica / Black Gum-Parking lot/shade tree	3" Cal. / 10' HT.	CONT. / B & B	as indicated / 40' O.C.
1	CC	Carpinus caroliniana / Hornbeam or Ironwood canopy tree	3" Cal. / 10' HT.	CONT. / B & B	as indicated / 40' O.C.
8	ICS	Ilex crenata 'Stedds' / Steeds Holly evergreen shrub	24" HT.	CONT.	5' O.C.
20	AG	Abelia x grandiflora 'Little Richard' / Abelia evergreen shrub	18" HT.	CONT.	4' O.C.
15	LC	Loropetalum Chinensis Var. Rubrum 'Ruby' / Chin. Fringe Flower evergreen shrub	18" HT.	CONT.	5' O.C.
2	QL	Quercus lyrata 'Highbeam' / Overcup Oak	3" Cal. / 10' HT.	CONT. / B & B	as indicated / 40' O.C.
38	JV	Juniperus virginiana / Eastern Red Cedar evergreen screen tree	1.5" Cal. / 6' HT.	CONT. / B & B	12' O.C.
44	MC	Mycophaena / Southern Wax Myrtle evergreen screen shrub	24" HT.	CONT.	8' O.C.

- PLANTING NOTES:
1. All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
 2. Plant locations to be approved in field prior to installation.
 3. Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
 4. Establish plant bed configurations. Landscape Architect to approve bed layout in field.
 5. Install plants and mulch beds with 4" of pine straw.
 6. Lawn areas to be seeded and strawed.
 7. Landscape Contractor to maintain plant materials for a one year period following substantial completion.
 8. Areas damaged from plant relocation or other activities of Landscape Contractor to be reseeded and established at no additional cost to the owner.
 9. A Tree Impact Permit will be obtained by the contractor.
 10. Tree Conservation Recorded in BM 2019 PG 1.G45

LANDSCAPE PLAN



WESTGATE PARK
DRIVE LOT 14
8890 WESTGATE PARK DRIVE
RALEIGH, NC

W. TRENT RAGLAND, III
3725 NATIONAL DR., SUITE 150
RALEIGH, NC 27612

Client

Professional Seals

Date Issued: 6.25.19
By Scale 1"=40'

Revisions

LA-1



Transparency Calculations (South Elevation)	
Ground IX - 20% Required	
Ground Level Surface Area: (within 0'-0" to 12'-0"):	12'-0" (tall) x 125'-8" (wide) = 1,508 SF
Area of Required Transparency:	1,508 SF x 20% = 301.6 SF
Area of Proposed Transparency: Overall	(9x8x12) + (16x12) = 1,056 SF Window "A" & "B" = 1,056 SF
Area of Required Transparency within 3'-0" - 8'-0" (50% of Required Transparency Area)	301.6 SF x 50% = 150.80 SF
Proposed Area of Transparency within (3'-0" - 8'-0")	Window "A" & "B" = 440 SF

Average Grade Calculations - Proposed Building - 1						
Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
North	452.5'	443.0'	447.75'	444.0'	444.0'	444.0'
South	449.5'	439.5'	444.50'	444.0"	444.0'	444.0'
East	439.5'	443.0'	441.25'	444.0'	444.0'	444.0'
West	452.5'	449.5'	451.00'	444.0'	444.0'	444.0'
			446.13'			444.0'
Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.						
Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.						
The more restrictive conditions occurs in the proposed condition with an Average Grade of 444.0'						

Average Grade is 444.0' + Building Height of 23'-0" AFF = 467.2'

1Overall Elevation - South

Scale: 3/16" = 1'-0"

5'0'1'2'3'4'5'

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Average Grade is 444.0' + Building Height of 23'-0" AFF = 467.2'

2Overall Elevation - North

Scale: 3/16" = 1'-0"

5'0'1'2'3'4'5'

McGaheyDesign

architecture + planning

404 Raleigh Street
Fuquay-Varina, North Carolina 27526
919.422.0265 • info@mcgaheydesign.com

Preliminary
Do not use for Construction

Preliminary
Do not use for Construction

GreenView

Partners

GREENVIEW Properties
Lot 14 Westgate Business Park
Raleigh, North Carolina

PROJECT: 2019-13
DATE ISSUED: 10.28.19

REVISIONS: DATE

Site Comments-2 12.09.19

DRAWN BY: JMM
CHECK BY: JMM

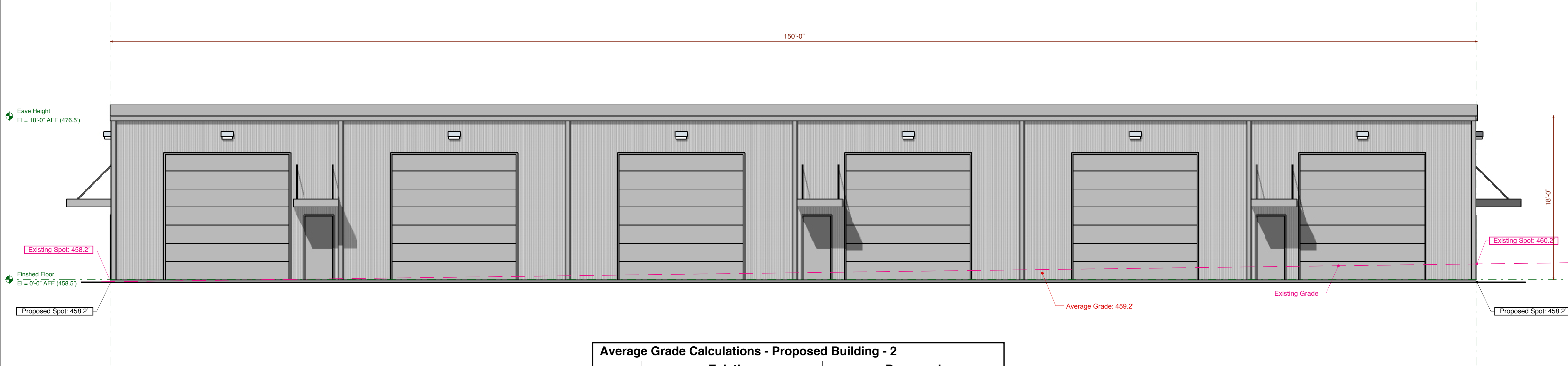
Proposed Elevations
Building-1

CoR project: ASR-0056-2019

A2.01



No Transparency Required for Auxiliary Building-2 at the Rear of the Property. This Building will not be seen from the Public Way



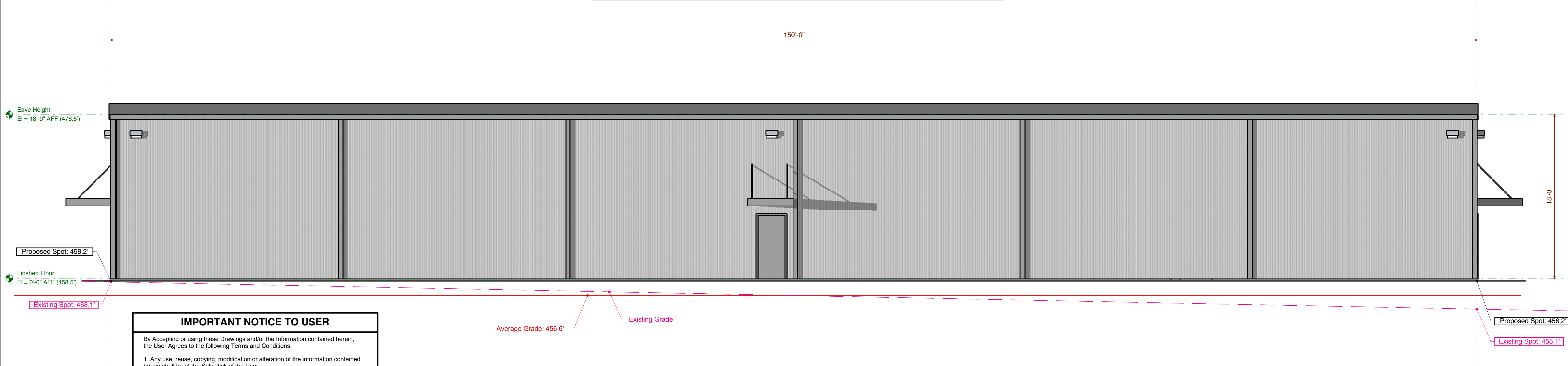
Average Grade Calculations - Proposed Building - 2						
Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
North	458.1'	455.1	456.6'	458.5'	458.5'	458.5'
South	460.2'	458.2'	459.2'	458.5'	458.5'	458.5'
East	460.2'	458.1	459.2'	458.5'	458.5'	458.5'
West	458.2'	455.1'	456.6'	458.5'	458.5'	458.5'
			457.9'			458.5'

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

The more restrictive conditions occurs in the existing condition with an Average Grade of 457.9'

Average Grade is 458.5' + Building Height of 18'-0" AFF = 476.5'



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Preliminary
Do not use for Construction

Preliminary
Do not use for Construction



GREENVIEW Properties
Lot 14 Westgate Business Park
Raleigh, North Carolina

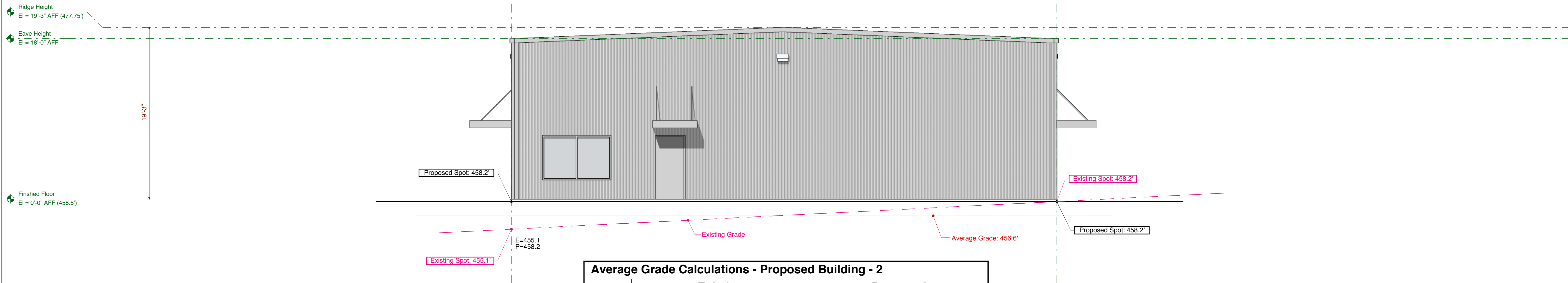
PROJECT:	2019-13
DATE ISSUED:	10.28.19
REVISIONS:	DATE
Site Comments-2	12.09.19

DRAWN BY: JMM
CHECK BY: JMM

Proposed Elevations
Building-2

CoR project: ASR-0056-2019

A2.03



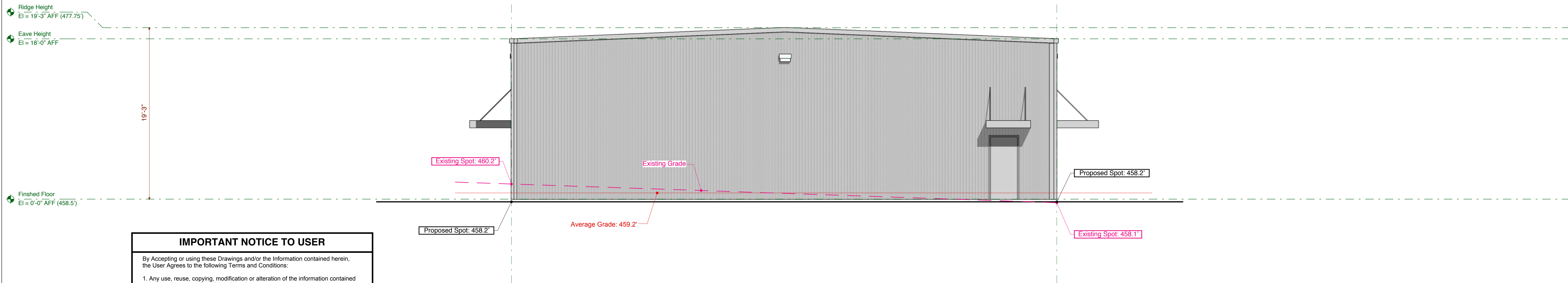
	Existing			Proposed		
Elevation	High	Low	Average	High	Low	Average
North	458.1'	455.1	456.6'	458.5'	458.5'	458.5'
South	460.2'	458.2'	459.2'	458.5'	458.5'	458.5'
East	460.2'	458.1	459.2'	458.5'	458.5'	458.5'
West	458.2'	455.1'	456.6'	458.5'	458.5'	458.5'
			457.9'			
				458.5'		

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Average Grade is 458.5' + Building Height of 19'-3" AFF = 477.75'



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Average Grade is 458.5' + Building Height of 19'-3" AFF = 477.75'



PROJECT: 2019-13	
DATE ISSUED: 10.28.19	
REVISIONS:	DATE:
1 Site Comments-2	12.09

DRAWN BY:	JMM
CHECK BY:	JMM

Proposed Elevations Building-2

CoR project: ASR-0056-201



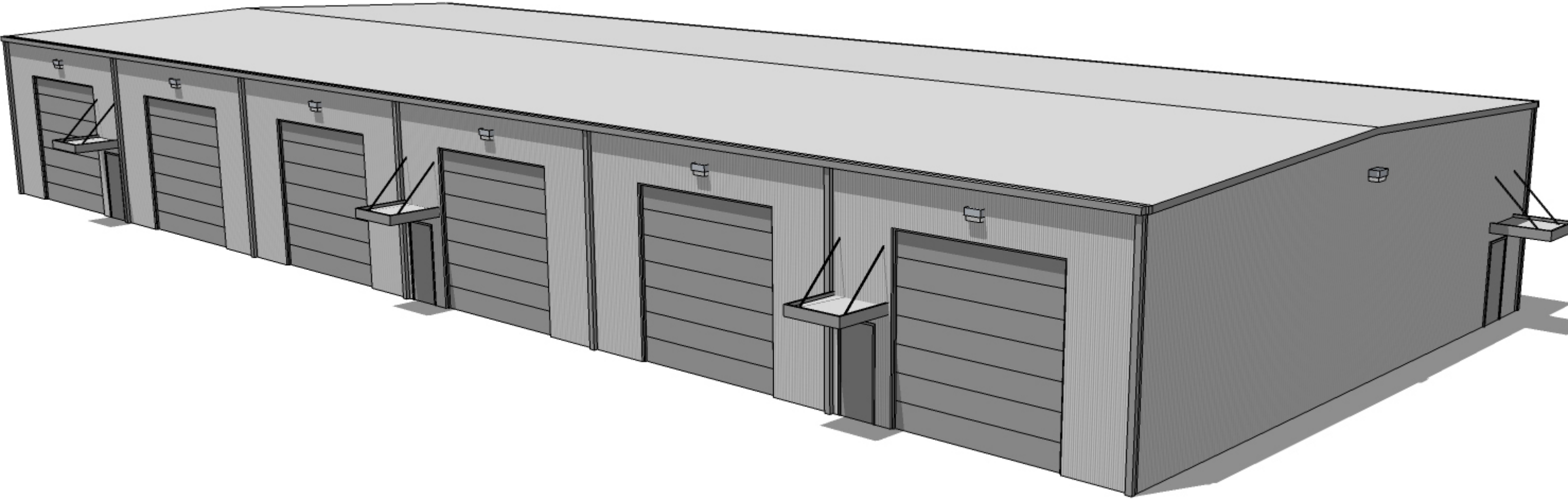
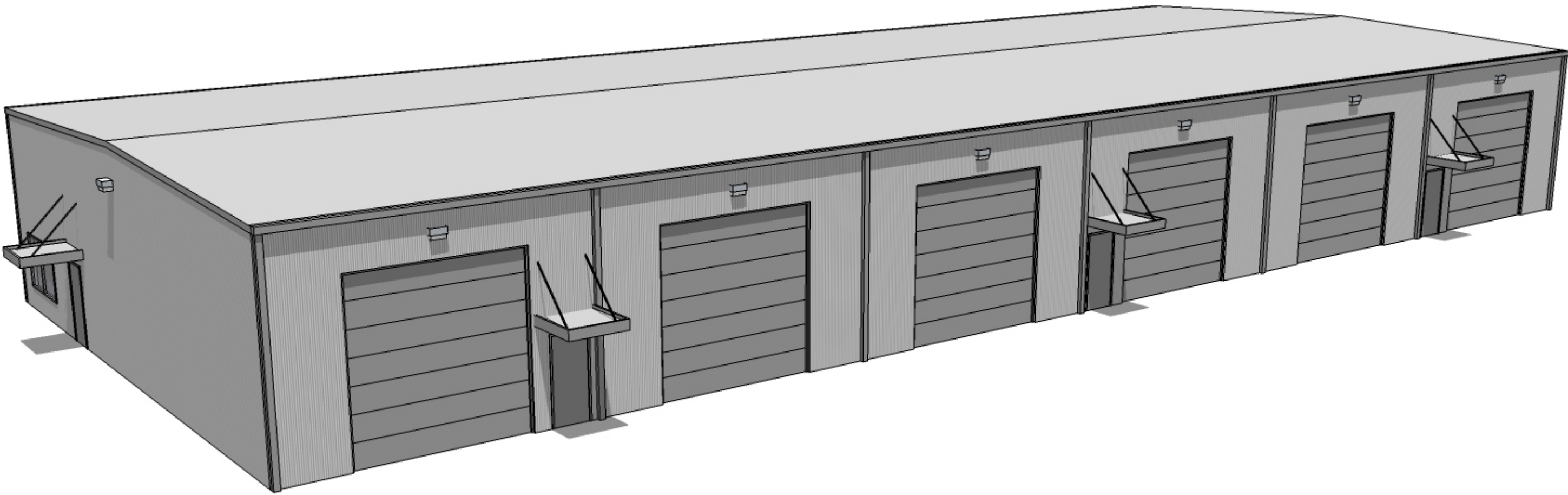
Note:
Signage is shown for "Reference Only"
All Signage shall be submitted for
Signage Permitting at a later time.



Note:
Signage is shown for "Reference Only"
All Signage shall be submitted for
Signage Permitting at a later time.

1 Building-1 View
Not to Scale

2 Building-1 View
Not to Scale



3 Building-2 View
Not to Scale

4 Building-2 View
Not to Scale