



# Administrative Approval Action

Case File / Name: ASR-0056-2019  
LOT 14 - WESTGATE PARK DRIVE

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of Westgate Park Drive at 8871 Westgate Park Drive, inside the city limits.

**REQUEST:** Development of a 7.145 acre/311,244 sf tract zoned IX-3-PK with Airport Overlay District and SHOD-2 into two proposed Light Industrial use structures totaling 19,000 square feet. Proposed building #1 will be an office use with a gross floor area of 10,000 sf and proposed building #2 will be a 9,000 sf warehouse for storage with storage for fleet vehicles and pallets outside the buildings.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 13, 2019 by JOHN A EDWARDS AND CO.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

*The following items are required prior to approval of Site Permitting Review plans:*

### General

1. The PIN # shown on the coversheet, under the site data information, is revised to 0778.02-55-6572 on the SPR & all plat recordings. The PIN # shown on the coversheet & application is incorrect & has been revised by staff for the purpose of this approval.
2. On sheet A2.01, Elevations, on the transparency calculations table, the "area of proposed transparency overall" row sf area shall be revised.
3. Elevations Sheet A2.01, on the proposed building #1 illustration, a height measurement elevation distance, for the dashed-blue line marking, shown and delineated across the building facade structure, is provided, labeled by dimension.
4. Elevations Sheet A2.03-A2.04, revisions to the "proposed" spot grades (458.2'ft) shown on all 4 building plane elevation illustrations, for building #2, are corrected to correspond to the grades listed in Average Grade Calculations Table shown on sheet A2.03 & A2.04 (458.2'ft).
5. Elevation sheets A2.01-A2.04, the building height is labeled based on the most restrictive grade(s), as listed on the Average Grade Calculation Tables, is shown as a spot grade on the corresponding building elevations from which the building height should be dimensioned. Not the FFE as indicated on the elevation sheets.



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6. Any proposed site lighting shall comply with UDO Sec.7.4 and a lighting plan shall be submitted with the SPR plans.

## Stormwater

7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

## Urban Forestry

10. Submit a final tree conservation plan that includes metes and bounds descriptions of the revised tree conservation area to the west of the driveway and shows tree protection fencing as required (UDO 9.1.5).
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## General

1. The correct PIN # for lot 14 is shown all future plat recordings

## Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## Engineering

1. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



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## Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the revised tree conservation area to the west of the driveway (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***

## General

1. All street lights and street signs required as part of the development approval are installed.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** January 27, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

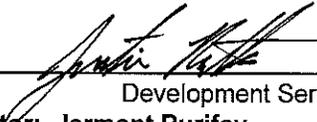


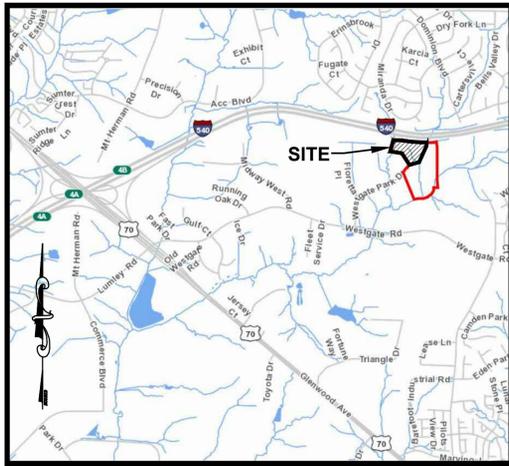
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I hereby certify this administrative decision.

Signed:  Date: 01/28/2020  
Development Services Dir/Designee  
Staff Coordinator: Jermont Purifoy



VICINITY MAP  
(NOT TO SCALE)

**SITE DATA**

OWNER: SYCAMORE CREEK LLC  
305 TRANSYLVANIA AVE.  
RALEIGH, NC 27609-6951

ADDRESS: 8890 WESTGATE PARK DR.  
RALEIGH, NC 27617-4774

PIN: 0778.02-55-7080

ZONING: IX-3-PK, SHOD-2, AOD

AREA: 311,244 S.F. (7.1452 AC.)

CURRENT LAND USE: VACANT

REFERENCE: DB 9549, PG 363  
BM 2019, PG 1645  
WAKE COUNTY REGISTRY

BUILDING SETBACKS ..... FRONT= 3'  
..... SIDE= 6'  
..... REAR= 6'

BUILDING HEIGHT ..... MAX. = 50'  
PROPOSED ..... 23'

**USE CATAGORY - LIGHT INDUSTRIAL**

**VEHICLE PARKING SUMMARY**

PROPOSED OFFICE (10,000 S.F.) 1 SP PER 600 S.F. = ..... 17 SPACES

ADDITIONAL INDOOR AREA (9,000 S.F.) 1 SP PER 3,000 S.F. = ..... 3 SPACES

TOTAL REQUIRED = ..... 20 SPACES

LONG TERM BICYCLE PARKING = ..... 4 SPACES

TOTAL PARKING PROVIDED ..... 22 SPACES  
(INCLUDES) ..... 1 ADA SPACE (VAN)

**AMENITY AREA**

REQUIRED AREA ..... 31,125 S.F. (10%)  
PROVIDED AREA ..... 33,994 S.F. (10.9%)

**INDEX**

- CE-1 RECORDED MAP
- CE-2 EXISTING CONDITIONS
- CE-3 SITE PLAN
- CE-4 UTILITY PLAN
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- CE-6 STORMWATER DETAILS
- CE-7 SITE DETAILS
- CE-8 UTILITY DETAILS
- LA-1 LANDSCAPE / PLANTING PLAN
- LA-2 TREE CONSERVATION PLAN
- LA-3 TREE CONSERVATION PLAN
- A1.01 OVERALL FLOOR PLAN - BUILDING 1
- A1.02 OVERALL FLOOR PLAN - BUILDING 2
- A2.01 PROPOSED ELEVATIONS - BUILDING 1
- A2.02 PROPOSED ELEVATIONS - BUILDING 1
- A2.03 PROPOSED ELEVATIONS - BUILDING 2
- A2.04 PROPOSED ELEVATIONS - BUILDING 2
- A2.05 PROPOSED RENDERING - BUILDING 1 & 2

# LOT 14 WESTGATE BUSINESS PARK

## ADMINISTRATIVE SITE REVIEW

ASR-0056-2019

SUB-S-0020-2017

RALEIGH, NORTH CAROLINA

JULY 31, 2019

REVISED NOVEMBER 01, 2019

REVISED DECEMBER 13, 2019

**OWNER/DEVELOPER:**

**GREENVIEW PROPERTIES**

5900 Triangle Drive  
Raleigh, N.C. 27617  
919-866-9294

darrinhockstra@greenviewpartners.com

**CIVIL ENGINEER:**

**JOHN A. EDWARDS & COMPANY**

Consulting Engineers  
NC License F-0289

333 Wade Ave., Raleigh, N.C. 27605

Phone: (919) 828-4428

Fax: (919) 828-4711

E-mail: info@jaeco.com

**LANDSCAPE ARCHITECT:**

**COALY DESIGN P.C.**

300-200 Parham St. Suite G

Raleigh, N.C. 27601

Phone: (919) 539-0012

E-mail: kimberly@coalydesign.com

SOLID WASTE INSPECTIONS STATEMENT  
DEVELOPER IS IN COMPLIANCE WITH  
THE REQUIREMENTS SET FORTH IN  
THE SOLID WASTE DESIGN MANUAL.  
PRIVATE SERVICE TO BE PROVIDED.

ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH CITY OF RALEIGH  
AND / OR NCDOT STANDARDS AND  
SPECIFICATIONS.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88

DEVELOPMENT SERVICES

**Administrative Site Review Application**

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____ Planning Coordinator: _____	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic
Site Transaction History Subdivision transaction #: 511072 Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____	

**GENERAL INFORMATION**

Development name: Lot 14 - Westgate Business Park

Inside City limits?  Yes  No

Property address(es): 8871 Westgate Park Drive

Site P.I.N. (s): 0778.02-55-7080

Please describe the scope of work. Include any additions, expansions, and change of use.  
Type of use will be light industrial defined in 6.5.2.A.4  
Commercial landscape company is Greenview.  
Two buildings (19,000 s.f.) and outdoor storage.  
10,000 s.f. building is office space for Greenview; 9,000 s.f. building is warehouse for equipment storage & maintenance, outdoor storage is fleet vehicles and pallets.

Current Property Owner/Developer Contact Name:  
**NOTE: please attach purchase agreement when submitting this form.**

Company: Greenview Properties Title: Darrin Hockstra / Managing Member  
Address: 5900 Triangle Drive, Raleigh, NC 27617  
Phone #: (919) 866-9294 Email: darrinhockstra@greenviewpartners.com

Applicant Name: Johnny Edwards  
Company: John A. Edwards & Company Address: 333 Wade Avenue, Raleigh, NC 27605  
Phone #: (919) 828-4428 Email: johnny@jaeco.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3-PK AOD SHOD-2	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 7.1452 AC. (311,244 S.F.)	New gross floor area: 19,000 S.F.
# of parking spaces required: 20	Total sf gross (to remain and new): 19,000 S.F.
# of parking spaces proposed: 22	Proposed # of buildings: 2
Overlay District (if applicable): SHOD-2 AOD	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Light Industrial	

**STORMWATER INFORMATION**

Existing Impervious Surface: \_\_\_\_\_ Square Feet: 0  
Acres: 0

Proposed Impervious Surface: \_\_\_\_\_ Square Feet: 139,328  
Acres: 3.21

Is this a flood hazard area?  Yes  No  
If yes, please provide:  
Alluvial soils: CM SOILS (SHEET CE-1)  
Flood stu: \_\_\_\_\_  
FEMA Map Panel #: \_\_\_\_\_  
Neuse River Buffer  Yes  No Wetlands  Yes  No

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: \_\_\_\_\_ Total # of hotel units: \_\_\_\_\_

# of bedroom units: 1br: \_\_\_\_\_ 2br: \_\_\_\_\_ 3br: \_\_\_\_\_ 4br or more: \_\_\_\_\_

# of lots: \_\_\_\_\_ Is your project a cottage court?  Yes  No

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Johnny Edwards to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: [Signature] Date: 12-6-19  
Printed Name: Darrin Hockstra / Managing Member



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

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Seals

Project  
**LOT 14  
WESTGATE  
BUSINESS PARK**

Client  
**GREENVIEW PROPERTIES**

**LEGEND**

AC	ACREAGE	HW	HEADWALL
BM	BOOK OF MAPS	INV	INVERT
BO	BLOWOFF	IPS	IRON PIPE SET
BT	BOTTOM OF TRENCH	JB	JUNCTION BOX
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MIN	MINIMUM
CMP	CORRUGATED METAL PIPE	NF	NOW OR FORMERLY
CO	CONCRETE	PA	PAGE
CP	SEWER CLEANOUT	PVC	POLYVINYL CHLORIDE PIPE
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
DB	DEED BOOK	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DCV	DOUBLE CHECK VALVE	RPZ	REDUCED PRESSURE ZONE
D.I.	DUCTILE IRON	R/W	RIGHT-OF-WAY
DI	DROP INLET	S.F.	SQUARE FEET
EIP	EXISTING IRON PIPE	SP	SPACES
ELEV.	ELEVATION	SS	SANITARY SEWER
EOP	EDGE OF PAVEMENT	SW	SIDEWALK
EASEMENT	EASEMENT	TC	TOP OF CURB
EX.	EXISTING	TCA	TREE CONSERVATION AREA
FDC	FIRE DEPARTMENT CONNECTION	TCP	TERRA COTTA PIPE
FES	FLARED END SECTION	TSP	TRAFFIC SIGNAL
FFE	FINISHED FLOOR ELEVATION	TW	TOP OF WALL
FL	FIRE LINE	TYP	TYPICAL
FL	FIRE LINE	WL	WATER LINE
FL	FIRE LINE	WM	WATER METER
FH	FIRE HYDRANT	WS	WATER SERVICE
FL	FIRE LINE	WV	WATER VALVE
HC	HANDICAP TOP	YI	YARD INLET
HT	HANDICAP TOP		

CONCRETE	EX. STORM CATCH BASIN
EX. WATER VALVE	EX. STORM DRAIN INLET
EX. FIRE HYDRANT	EX. FLARED END SECTION
EX. WATER METER	EX. LIGHT POLE
EX. SEWER MANHOLE	EX. POWER POLE
EX. SEWER CLEANOUT	EX. TELEPHONE PEDESTAL

PROPERTY LINE	EXISTING WATER LINE
RIGHT-OF-WAY LINE	EXISTING SANITARY SEWER
LOT LINE	EXISTING STORM DRAINAGE
EASEMENT LINE	EXISTING CONTOUR LINE
EXISTING WATER LINE	FEMA 100 YR. FLOOD PLAN
EXISTING SANITARY SEWER	FLOODWAY
EXISTING STORM DRAINAGE	NEUSE RIVER BUFFER
EXISTING CONTOUR LINE	CENTERLINE OF CREEK
FEMA 100 YR. FLOOD PLAN	EXISTING OVERHEAD POWER

**EXISTING CONDITIONS**

Revisions

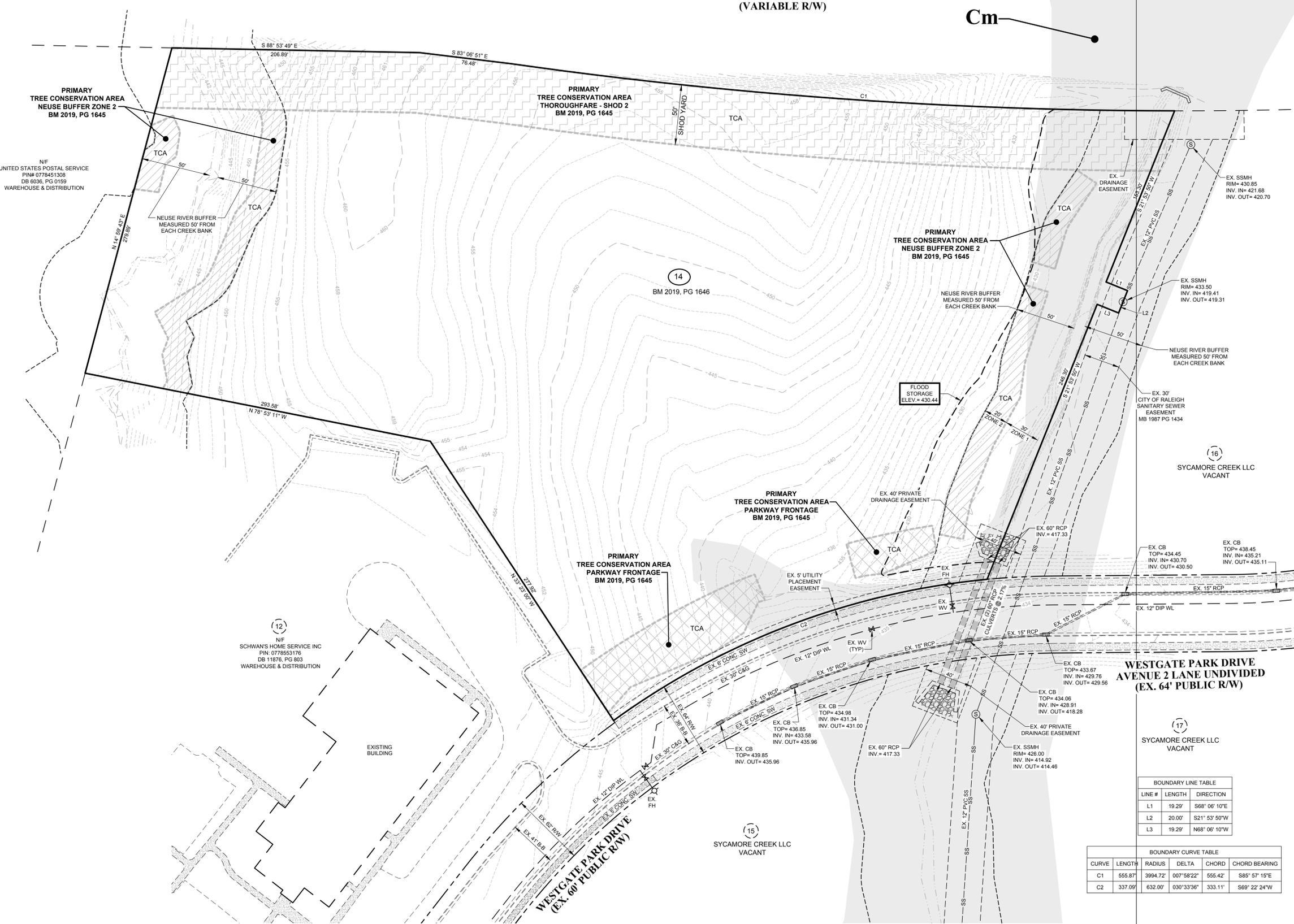
Number	Description	Date
1	REVIEW COMMENTS	11/01/19
2	REVIEW COMMENTS	12/13/19

Drawing Scale 1" = 40'

Drawn By BF  
Checked By JAE, JR.  
Date Issued 07/31/19

**I-540  
(VARIABLE R/W)**

Cm

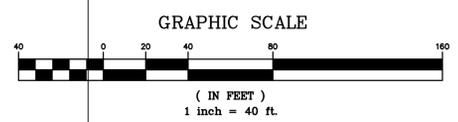


BOUNDARY LINE TABLE

LINE #	LENGTH	DIRECTION
L1	19.29'	S88° 06' 10"E
L2	20.00'	S21° 53' 50"W
L3	19.29'	N68° 06' 10"W

BOUNDARY CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	555.87'	3994.72'	007°58'22"	555.42'	S85° 57' 15"E
C2	337.09'	632.00'	030°33'36"	333.11'	S69° 22' 24"W



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X:\dwgs\2017\Trent Ragland\Lot 14 - Westgate Business Park\01-PRELIMINARY\266-01 Civil Base.dwg, 12/12/2019 1:28:51 PM

I-540  
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**LEGEND**

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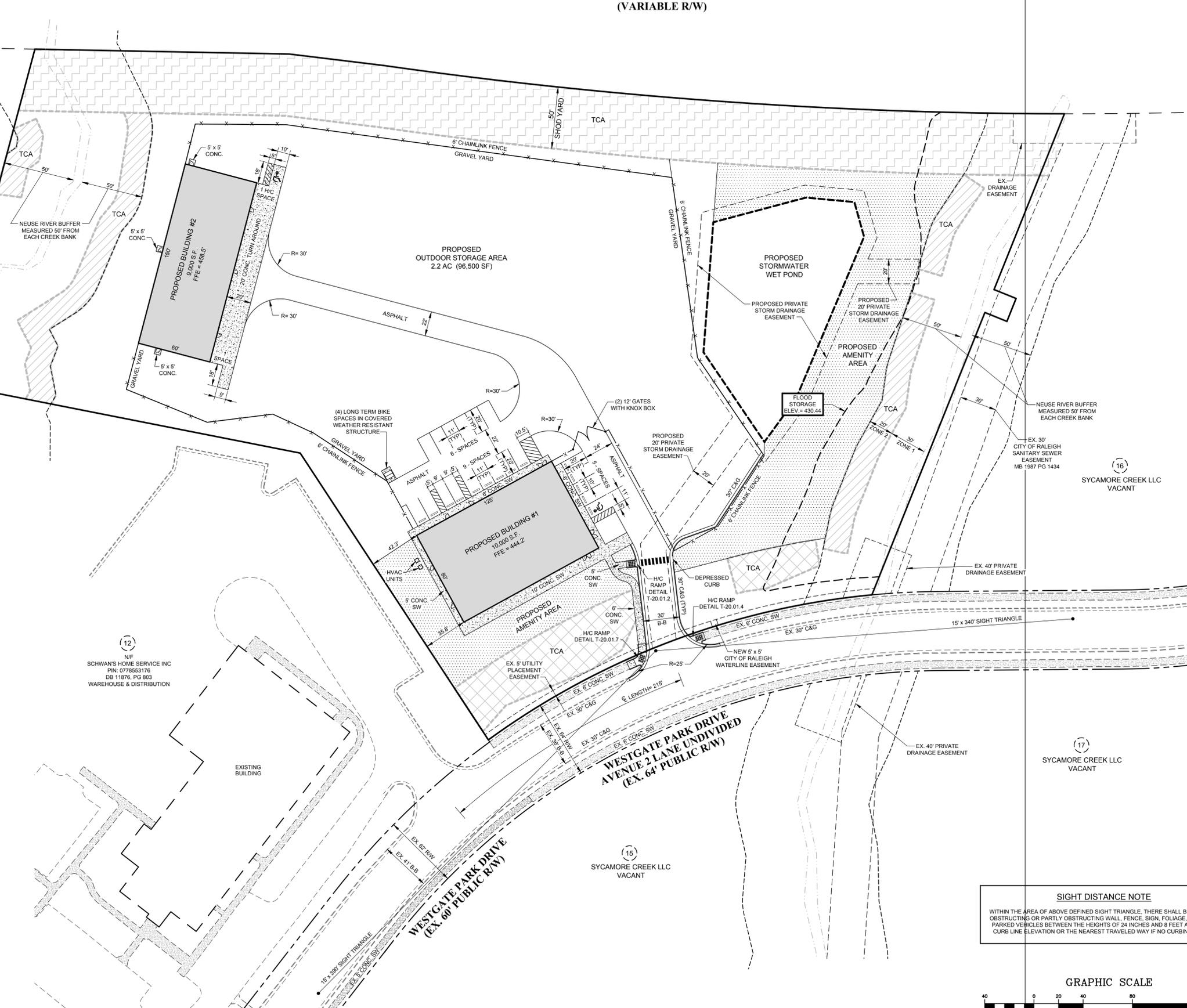
CONCRETE	EX POWER POLE
EX WATER VALVE	NEW WATER VALVE
EX FIRE HYDRANT	NEW WATER REDUCER
EX WATER METER	NEW FIRE HYDRANT
EX SEWER MANHOLE	NEW WATER METER
EX SEWER CLEANOUT	NEW SEWER MANHOLE
EX STORM CATCH BASIN	NEW SEWER CLEANOUT
EX STORM DROP INLET	NEW STORM CATCH BASIN
EX FLARED END SECTION	NEW STORM DROP INLET
EX LIGHT POLE	NEW FLARED END SECTION

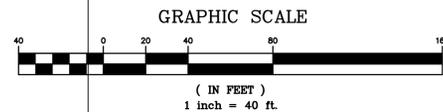
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FEMA 100 YR FLOOD PLAIN
FLOODWAY
NEUSE RIVER BUFFER
CENTERLINE OF CREEK
EXISTING OVERHEAD POWER
PROPOSED SPOT ELEVATION

PRIMARY TREE CONSERVATION AREA NEUSE BUFFER ZONE 2 BM 2019, PG 1645
PRIMARY TREE CONSERVATION AREA PARKWAY FRONTAGE BM 2019, PG 1645
PRIMARY TREE CONSERVATION AREA SHOD YARD BM 2019, PG 1645
PROPOSED AMENITY AREA



**SIGHT DISTANCE NOTE**  
WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS.

**SITE PLAN**

Revisions

Number	Description	Date
1	REVIEW COMMENTS	11/01/19
2	REVIEW COMMENTS	12/13/19

Drawing Scale 1" = 40'  
Drawn By BF  
Checked By JAE, JR.  
Date Issued 07/31/19

CE-3

I-540  
(VARIABLE R/W)



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SYCAMORE CREEK LLC VACANT

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**UTILITY PLAN**

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Checked By JAE, JR.  
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CE-4

**LEGEND**

AC. ACREAGE	HW. HEADWALL
BM. BOOK OF MAPS	INV. INVERT
BO. BLOWOFF	IPS. IRON PIPE SET
BW. BOTTOM OF WALL	JB. JUNCTION BOX
CA&G. CURBS AND GUTTER	MN. MANHOLE
CB. CATCH BASIN	MIN. MINIMUM
CM. CORRUGATED METAL PIPE	NF. NOW OR FORMERLY
CO. SEWER CLEANOUT	PAGE. POLYVINYL CHLORIDE PIPE
DB. DRED BOOK	PC. REINFORCED CONCRETE PIPE
DCVA. DOUBLE CHECK VALVE	RPDA. REDUCED PRESSURE
D.I. DUCTILE IRON	RPZ. REDUCED PRESSURE ZONE
DI. DROP INLET	RW. RIGHT-OF-WAY
EIP. EXISTING IRON PIPE	S.F. SQUARE FEET
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FF. FINISHED FLOOR	TSP. TRAFFIC SIGNAL
FE. FIRE DEPARTMENT	TW. TOP OF WALL
FH. FIRE HYDRANT	TY. TYPICAL
FL. FIRE LINE	WL. WATER LINE
HB. HANDICAP BOTTOM	WM. WATER METER
HC. HANDICAP	WS. WATER SERVICE
HT. HANDICAP TOP	WV. WATER VALVE
	YI. YARD INLET

CONCRETE	EX. POWER POLE
EX. WATER VALVE	NEW WATER VALVE
EX. FIRE HYDRANT	NEW FIRE HYDRANT
EX. WATER METER	NEW WATER METER
EX. SEWER MANHOLE	NEW SEWER MANHOLE
EX. SEWER CLEANOUT	NEW SEWER CLEANOUT
EX. STORM CATCH BASIN	NEW STORM CATCH BASIN
EX. STORM DROP INLET	NEW STORM DROP INLET
EX. FLARED END SECTION	NEW FLARED END SECTION
EX. LIGHT POLE	

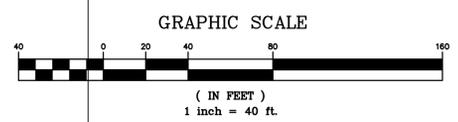
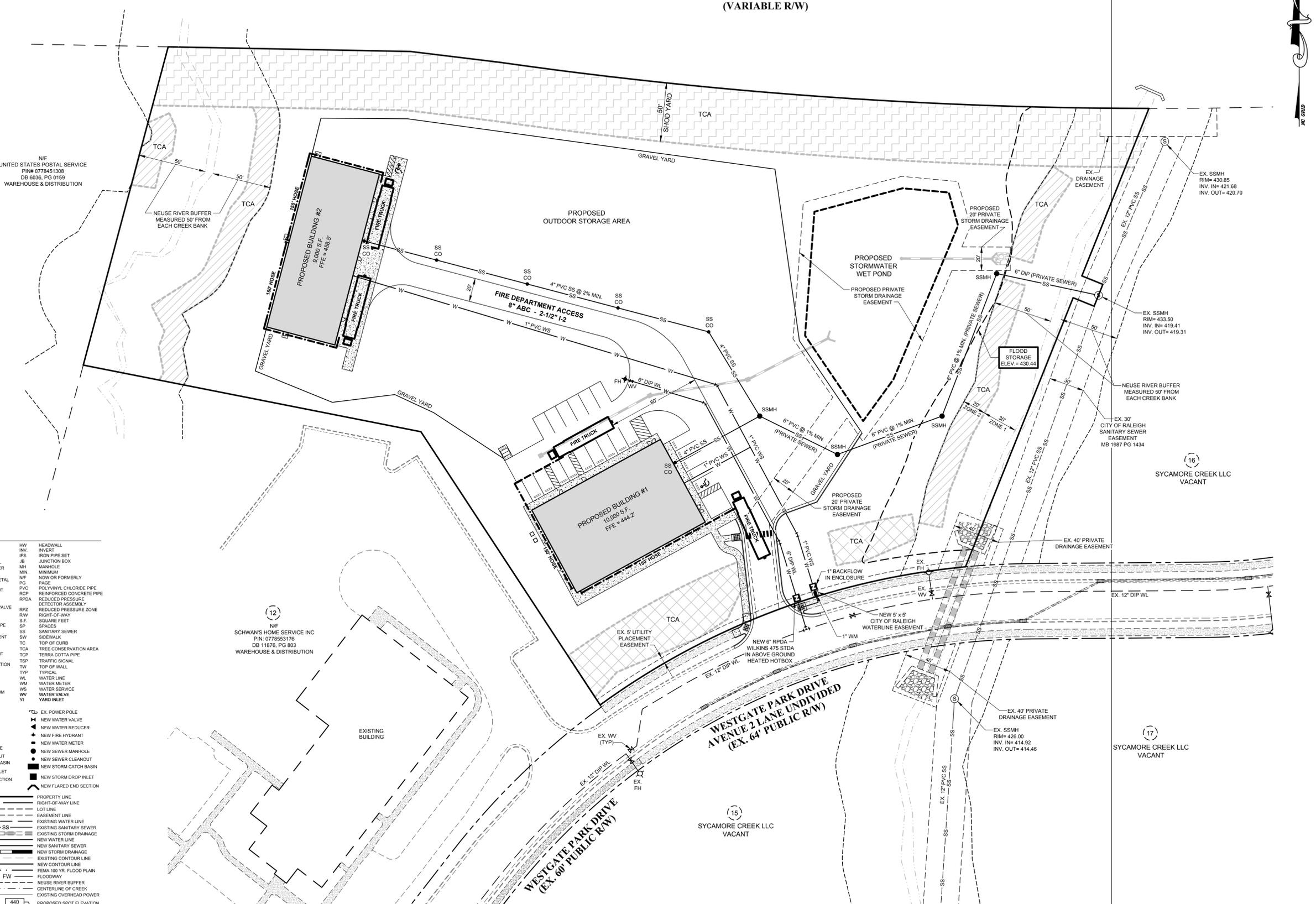
  

PROPERTY LINE	---
RIGHT-OF-WAY LINE	----
LOT LINE	-----
EASEMENT LINE	- - - - -
EXISTING WATER LINE	SS
EXISTING SANITARY SEWER	SS
EXISTING STORM DRAINAGE	SS
NEW WATER LINE	W
NEW SANITARY SEWER	SS
NEW STORM DRAINAGE	SS
EXISTING CONTOUR LINE	270
NEW CONTOUR LINE	270
FEMA 100 YR. FLOOD PLAIN	FW
FLOODWAY	FW
NEUSE RIVER BUFFER	---
CENTERLINE OF CREEK	---
EXISTING OVERHEAD POWER	---
PROPOSED SPOT ELEVATION	440

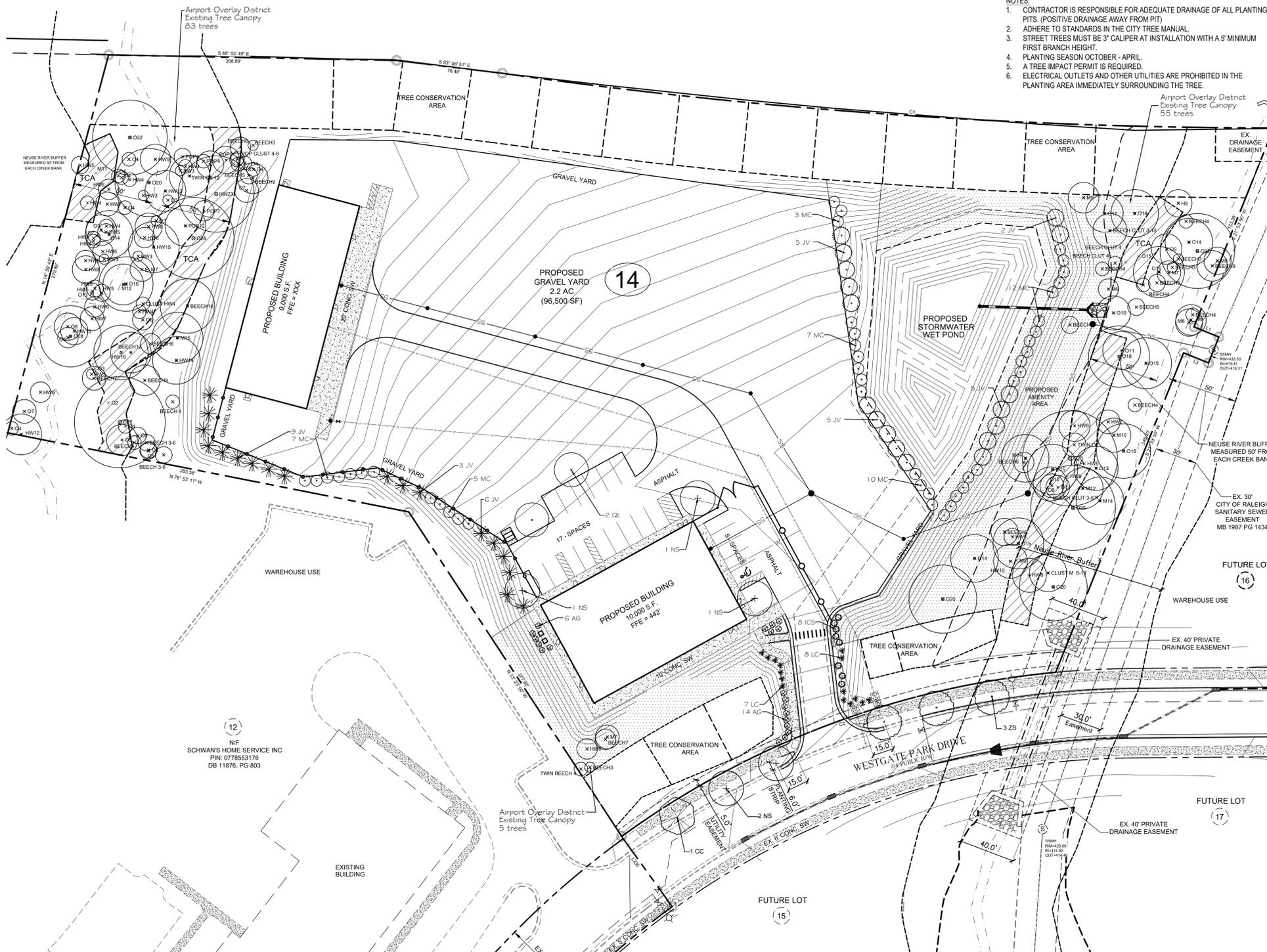
  

PRIMARY TREE CONSERVATION AREA NEUSE BUFFER ZONE 2	[Hatched Pattern]
PRIMARY TREE CONSERVATION AREA PARKWAY FRONTAGE	[Cross-hatched Pattern]
PRIMARY TREE CONSERVATION AREA SHOD YARD	[Dotted Pattern]

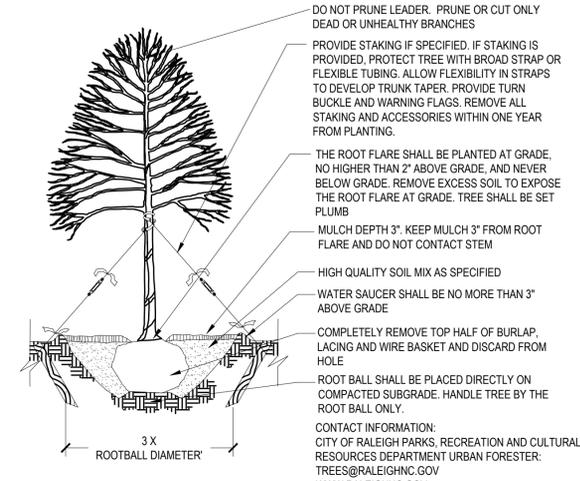
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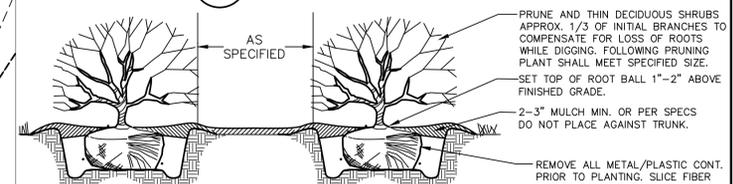
1-540  
VARIABLE R/W



- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
  - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
  - PLANTING SEASON OCTOBER - APRIL.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.



1 PRCR-03 TREE PLANTING DETAIL  
NTS



2 SHRUB PLANTING  
NTS

- NOTES:**
- SOIL MIX-1/3 ORGANIC MATTER, 2/3 EXIST SOIL.
  - WIDTH OF PLANT PIT -SANDY SOIL, 24" WIDER THAN PLANT BALL -CLAY SOIL, 12" WIDER THAN PLANT BALL
  - FOR PLANTING AREAS WHERE SOIL HAS BEEN TO GRADE AS IT DID PRIOR TO DIGGING. COMPACTED BY EQUIPMENT, CONTACT LA PRIOR TO PLANTING.
  - FOR CAMELLIAS, RHODOS, AZALEAS, AND LAURELS, SOIL MIX=2/3 ORGANIC AND 1/3 EXISTING SOIL. SHRUB SHALL BEAR SAME RELATIONSHIP TO PLANTING AREA AS IT DID PRIOR TO DIGGING.

**City of Raleigh Planting Requirements:**

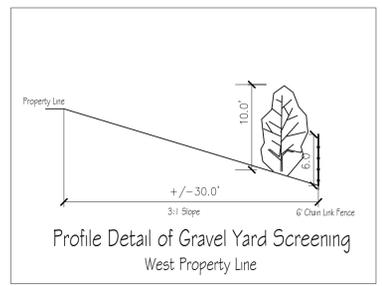
1) **STREET TREES: WESTGATE PARK DRIVE:**  
Provided: (1) 3" Caliper tree per 40 lf. Trees placed in 6' tree lawn. Westgate Park Drive: 337 lf of road frontage minus NRB, easements, and driveway (92.5 lf) = 244.5 lf total or 6 trees. Ensure street trees planted at least 15' from driveway entrance. Reference approved subdivision plan S-20-17 for tree locations. Trees are located per the approved subdivision plan, minus the tree at the proposed drive. A tree impact permit will be obtained by contractor when trees are installed. Trees omitted at the Neuse River buffer area and driveway.

2) **SCREENING:**  
The HVAC units are located in the rear / side of the building and screened from public view. The wet pond is screened per UDO Section 7.2.6.C. C-2 Yard shrubs (LC and AG) have been added where tree conservation does not extend to the proposed drive and road. Outdoor Storage - Sec. 7.5.3 A.2. (a) - Outdoor storage is screened from public ROW, parking, and abutting properties by a 6' chain link fence and evergreen plant material that covers at least 2/3 of the surface area of the fence at the time of maturity.

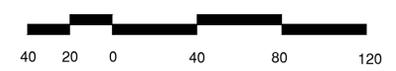
3) **AIRPORT OVERLAY DISTRICT CANOPY COVERAGE - total required = 35%**  
Existing trees and canopies noted. Total coverage = 18%  
Existing trees in Tree Conservation Area = 19.6%  
Total coverage = 37.6%  
Site area - 311,244.9 sf / 2,000 = 155 trees  
Existing trees - 143 + Tree conservation trees

QTY.	KEY	BOTANICAL / COMMON NAME	INSTALL SIZE	ROOT	SPACING	MATURE HT. / SP.
3	ZS	Zelkova serrata 'Village Green' / Japanese Zelkova Parking lot / shade tree	3" Cal. / 10' HT.	CONT / B & B	as indicated / 40' O.C.	35/30'
5	NS	Nyssa sylvatica / Black Gum-Parking lot/shade tree	3" Cal. / 10' HT.	CONT / B & B	as indicated / 40' O.C.	35/35'
1	CC	Carpinus caroliniana / Hornbeam or Ironwood canopy tree	3" Cal. / 10' HT.	CONT / B & B	as indicated / 40' O.C.	25/25'
8	ICS	Ilex crenata 'Stedds' / Steeds Holly evergreen shrub	24" HT.	CONT.	5' O.C.	6/4'
20	AG	Abelia x grandiflora 'Little Richard' / Abelia evergreen shrub	18" HT.	CONT.	4' O.C.	4/5'
15	LC	Loropetalum Chinese Var. Rubrum Ruby / Chin. Fringe Flower evergreen shrub	18" HT.	CONT.	5' O.C.	5/5'
2	QL	Quercus lyrata 'Highbear' / Overcup Oak Parking lot / shade tree	3" Cal. / 10' HT.	CONT / B & B	as indicated / 40' O.C.	45/35'
38	JV	Juniperus virginiana / Eastern Red Cedar evergreen screen tree	1.5" Cal. / 6' HT.	CONT / B & B	12' O.C.	15/6'
44	MC	Mycia centena / Southern Wax Myrtle evergreen screen shrub	24" HT.	CONT.	8' O.C.	10/10'

- PLANTING NOTES:**
- All plant materials to comply with American Standard for Nursery Stock ANSI.Z60.
  - Plant locations to be approved in field prior to installation.
  - Substitutions of plant materials specified can only occur with prior approval by Landscape Architect.
  - Establish plant bed configurations. Landscape Architect to approve bed layout in field.
  - Install plants and mulch beds with 4" of pinestraw.
  - Lawn areas to be seeded and strawed.
  - Landscape Contractor to maintain plant materials for a one year period following substantial completion.
  - Areas damaged from plant relocation or other activities of Landscape Contractor to be reseeded and established at no additional cost to the owner.
  - A Tree Impact Permit will be obtained by the contractor.
  - Tree Conservation Recorded in BM 2019 PG 1645



LANDSCAPE PLAN



**WESTGATE PARK DRIVE LOT 14**  
8890 WESTGATE PARK DRIVE  
RALEIGH, NC

W. TRENT RAGLAND, III  
3725 NATIONAL DR., SUITE 150  
RALEIGH, NC 27612

Client

Professional Seals

Date Issued: 6.25.19  
Scale: 1"=40'

Drawn by: RBS  
Checked by: KJW

Revisions

NO. Description Date By

1 CITY COMMENTS 10.28.19 KJW  
2 CITY COMMENTS 12.10.19 KJW

**LA-1**

**Preliminary**  
 Do not use for Construction

**Preliminary**  
 Do not use for Construction



**GREENVIEW Properties**  
 Lot 14 Westgate Business Park  
 Raleigh, North Carolina

PROJECT:	2019-13
DATE ISSUED:	10.28.19
REVISIONS:	DATE
Site Comments-2	12.09.19

DRAWN BY: JMM  
 CHECK BY: JMM

Proposed Elevations  
 Building-1

CoR project: ASR-0056-2019

**A2.01**



Ground IX - 20% Required	
Ground Level Surface Area: (within 0'-0" to 12'-0"):	12'-0" (tall) x 125'-8" (wide) = 1,508 SF
Area of Required Transparency:	1,508 SF x 20% = 301.6 SF
Area of Proposed Transparency: Overall	(9x8x12) + (16x12) = 1,056 SF Window "A" & "B" = 1,056 SF
Area of Required Transparency within 3'-0" - 8'-0" (50% of Required Transparency Area)	301.6 SF x 50% = 150.80 SF
Proposed Area of Transparency within (3'-0" - 8'-0")	Window "A" & "B" = 440 SF

Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
North	452.5'	443.0'	447.75'	444.0'	444.0'	444.0'
South	449.5'	439.5'	444.50'	444.0'	444.0'	444.0'
East	439.5'	443.0'	441.25'	444.0'	444.0'	444.0'
West	452.5'	449.5'	451.00'	444.0'	444.0'	444.0'
			<b>446.13'</b>			<b>444.0'</b>

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.  
 Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.  
**The more restrictive conditions occurs in the proposed condition with an Average Grade of 444.0'**

Average Grade is 444.0' + Building Height of 23'-0" AFF = 467.2'

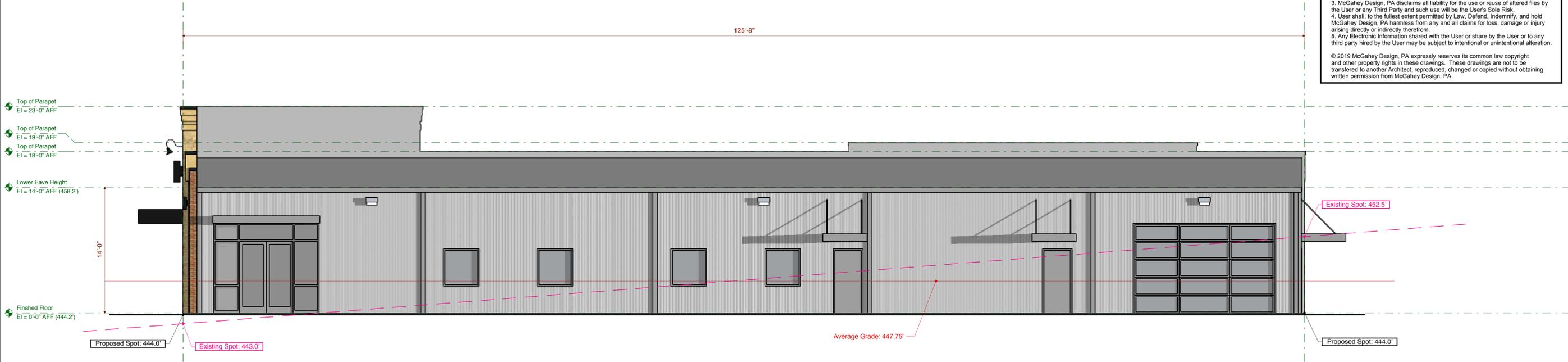
**1 Overall Elevation - South**  
 Scale: 3/16" = 1'-0"

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Average Grade is 444.0' + Building Height of 23'-0" AFF = 467.2'

**2 Overall Elevation - North**  
 Scale: 3/16" = 1'-0"

**Preliminary**  
 Do not use for Construction

**Preliminary**  
 Do not use for Construction



**GREENVIEW PROPERTIES**  
 Lot 14 Westgate Business Park  
 Raleigh, North Carolina

PROJECT:	2019-13
DATE ISSUED:	10.28.19
REVISIONS:	DATE
△ Site Comments-2	12.09.19

DRAWN BY: JMM  
 CHECK BY: JMM

Proposed Elevations  
 Building-1

CoR project: ASR-0056-2019

**A2.02**



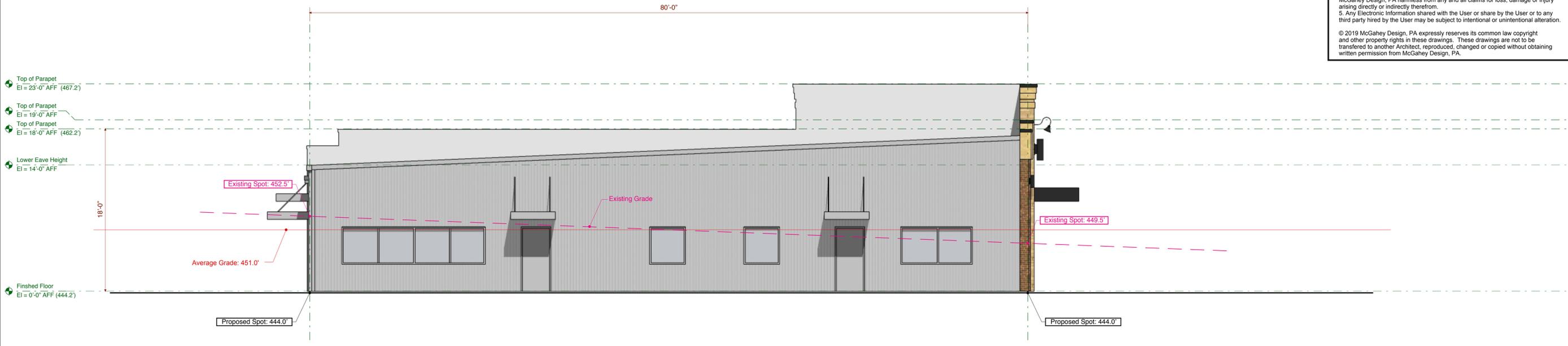
Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
North	452.5'	443.0'	447.75'	444.0'	444.0'	444.0'
South	449.5'	439.5'	444.50'	444.0'	444.0'	444.0'
East	439.5'	443.0'	441.25'	444.0'	444.0'	444.0'
West	452.5'	449.5'	451.00'	444.0'	444.0'	444.0'
			<b>446.13'</b>			<b>444.0'</b>

Average Grade is 444.0' + Building Height of 23'-0" AFF = 467.2'

**1 Overall Elevation - South**  
 Scale: 3/16" = 1'-0"

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.  
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**The more restrictive conditions occurs in the proposed condition with an Average Grade of 444.0'**

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Average Grade is 444.0' + Building Height of 23'-0" AFF = 467.2'

**2 Overall Elevation - Southeast**  
 Scale: 3/16" = 1'-0"



**Preliminary**  
 Do not use for Construction

**Preliminary**  
 Do not use for Construction



**GREENVIEW PROPERTIES**  
 Lot 14 Westgate Business Park  
 Raleigh, North Carolina

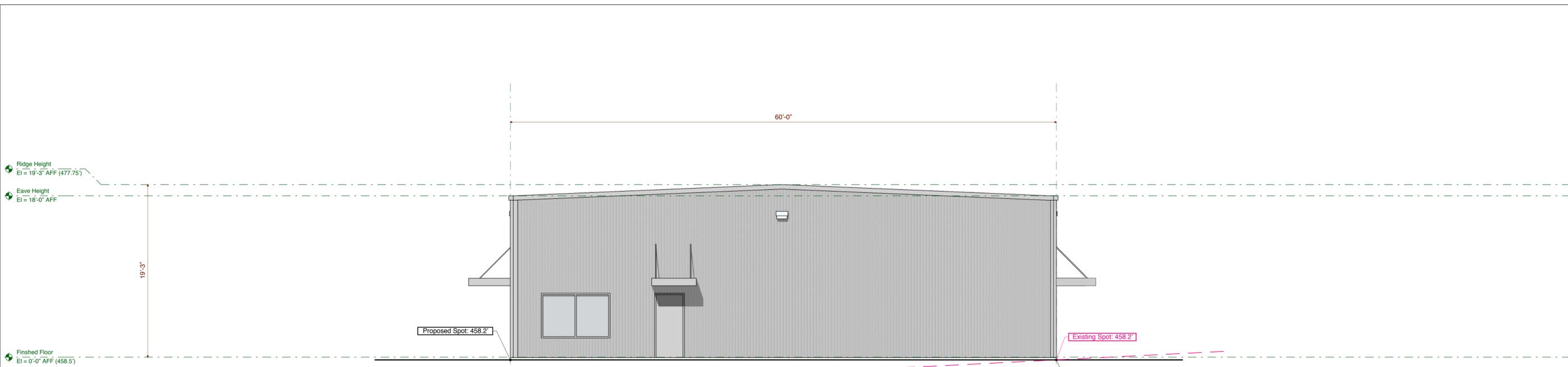
PROJECT:	2019-13
DATE ISSUED:	10.28.19
REVISIONS:	DATE
△ Site Comments-2	12.09.19

DRAWN BY: JMM  
 CHECK BY: JMM

Proposed Elevations  
 Building-2

CoR project: ASR-0056-2019

**A2.04**

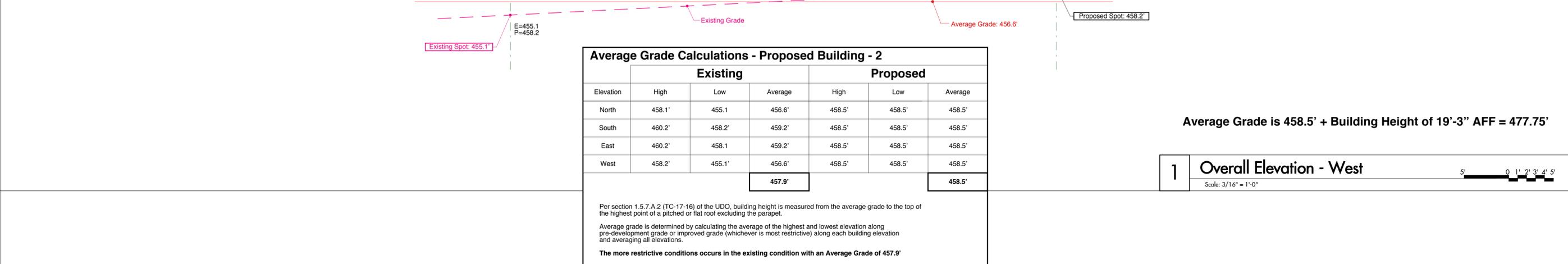


Elevation	Existing			Proposed		
	High	Low	Average	High	Low	Average
North	458.1'	455.1	456.6'	458.5'	458.5'	458.5'
South	460.2'	458.2'	459.2'	458.5'	458.5'	458.5'
East	460.2'	458.1	459.2'	458.5'	458.5'	458.5'
West	458.2'	455.1'	456.6'	458.5'	458.5'	458.5'
			<b>457.9'</b>			<b>458.5'</b>

**Average Grade is 458.5' + Building Height of 19'-3" AFF = 477.75'**

**1 Overall Elevation - West**  
 Scale: 3/16" = 1'-0"

Per section 1.5.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.  
 Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.  
**The more restrictive conditions occurs in the existing condition with an Average Grade of 457.9'**



**Average Grade is 458.5' + Building Height of 19'-3" AFF = 477.75'**

**2 Overall Elevation - East**  
 Scale: 3/16" = 1'-0"

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1 Building-1 View

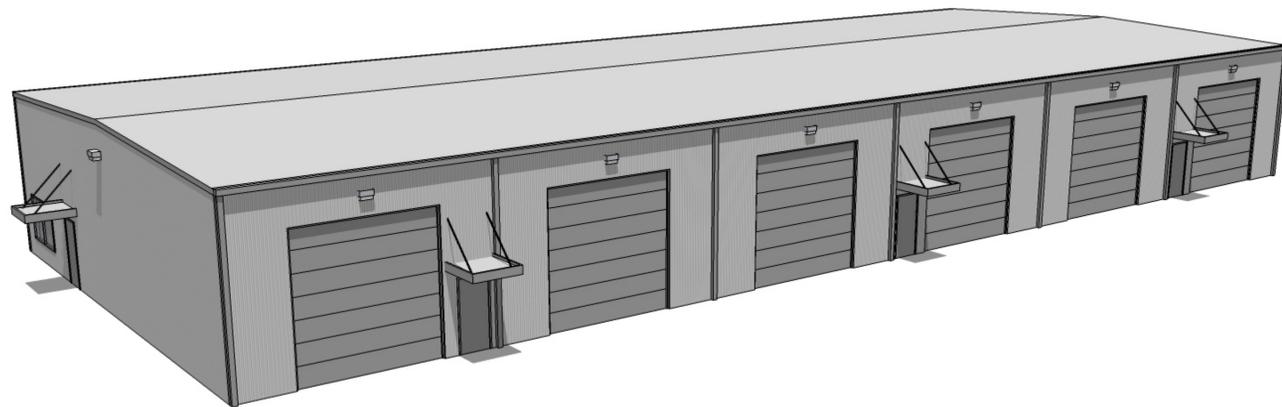
Not to Scale



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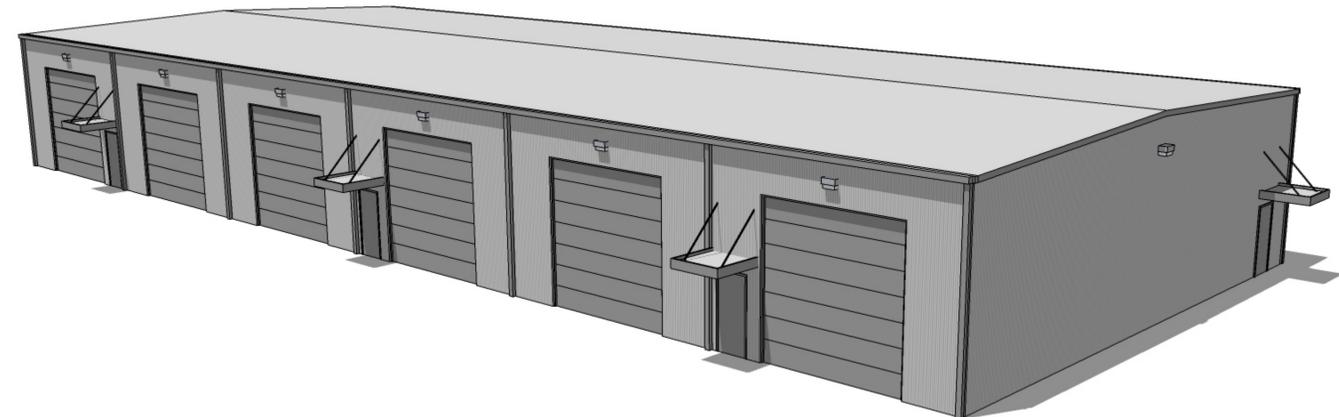
2 Building-1 View

Not to Scale



3 Building-2 View

Not to Scale



4 Building-2 View

Not to Scale

PROJECT:	2019-13
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REVISIONS:	DATE
△ Site Comments-2	12.09.19

DRAWN BY: JMM  
CHECK BY: JMM  
Proposed Rendering  
Building 1&2

CoR project: ASR-0056-2019

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