

# Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 • Raleigh, NC 27601 • 919-997-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction		Planning Coordinator	
<b>Building Type</b> <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse		<b>Site Transaction History</b> <input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic	
		Subdivision transaction Sketch transaction Certificate of Appropriateness Board of Adjustment Pending Case Administrative Alternate	
<b>GENERAL INFORMATION</b>			
Development name: 306 GLENWOOD RENOVATIONS			
Inside City limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 304 & 306 Glenwood Avenue			
Site U.I.N.(s): 1704406652, 1704406657			
Please describe the scope of work. Include any additions, expansions, and change of use. The proposed project is to renovate the existing building at 304 Glenwood into a bar and renovate 306 Glenwood to serve as an outdoor bar/deck space.			
Current Property Owner/Developer Contact Name:			
<b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: Lanewood 2, LLC & Lanewood 3, LLC		Title: Manager	
Address: 509 W. North Street, Raleigh, North Carolina 27603			
Phone:		Email:	
Applicant Name: Gary J. McCabe, P.E.			
Company: Red Line Engineering		Address: 123 Raleigh Street Fuquay-Varina, North Carolina 27526	
Phone: 9197796851		Email: gary.mccabe@rlenc.com	

**DEVELOPMENT TYPE + SITE DATE TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____ FEMA Map Panel #: _____	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: _____	Is your project a cottage court? Yes No

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

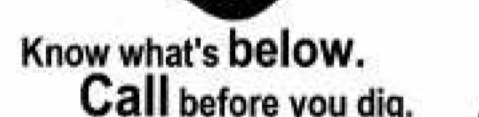
I hereby designate \_\_\_\_\_ to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:  Date: 7/15-20

Printed Name: Charles I Long







SCALE: 1" = 10'  
SCALE OF MAP MAY VARY  
DUE TO METHODS OF REPRODUCTION.

#### SOLID WASTE STATEMENTS:

- TRASH AND RECYCLING COLLECTION SERVICE SHALL BE PROVIDED BY CITY OF RALEIGH VIA ROLL-OUT BINS TO BE LOCATED AT THE REAR OF THE EXISTING BUILDING ON 304 GLENWOOD AND THE REAR OF THE PROPOSED DECK ON 306 GLENWOOD.
- SOLID WASTE MANAGEMENT PLAN ADHERES TO APPLICABLE SECTIONS OF RALEIGH SOLID WASTE DESIGN MANUAL.
- TRASH COLLECTION IS SCHEDULED FOR THURSDAYS EACH WEEK WITH TWO (2) TRASH BINS PROVIDED BY THE CITY OF RALEIGH FOR EACH SITE. RECYCLING COLLECTION IS SCHEDULED FOR THURSDAYS BI-WEEKLY, ON THE CITY OF RALEIGH 8-WEEK SCHEDULE WITH ONE (1) RECYCLING BIN AND PROVIDED BY THE CITY OF RALEIGH FOR EACH SITE.
- REFUSE SHALL BE DEPOSITED IN BAGS AND CARTS (RESTAURANTS SHALL BE REQUIRED TO USE CARTS) APPROVED BY THE CITY OF RALEIGH AND MUST BE PLACED BY THE CURB BETWEEN THE HOURS OF 2:00AM AND 6:00AM EACH COLLECTION DAY AND REMOVED BY 9:30AM THE NEXT DAY.
- EXCEPT AS OTHERWISE STATED, ANY OWNER OF RECORD AND/OR TENANT OF ANY BUILDING, UNIT, OR LAND IN THE CITY IN VIOLATION OF PROVISIONS OF THIS CHAPTER SHALL BE SUBJECT TO ADMINISTRATIVE FEES AND CIVIL PENALTIES PURSUANT TO RALEIGH CODE 7-2002.2.

W. NORTH STREET  
(66' PUBLIC R/W)

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.M.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

#### STORMWATER PRE VS. POST CALCULATIONS (RATIONAL METHOD)

C-VALUE=	PRE-DEVELOPMENT (0.14*0.95+0.03*0.35)/0.17 = 0.84	POST-DEVELOPMENT (0.13*0.95+0.04*0.35)/0.17 = 0.81	Δ INCREASE/DECREASE
Q1=	0.84 X (4.6 IN/Hr) X (0.17 AC) = 0.66 CFS	0.81 X (4.6 IN/Hr) X (0.17 AC) = 0.63 CFS	-0.03 CFS (-4.55%)
Q2=	0.84 X (5.7 IN/Hr) X (0.17 AC) = 0.81 CFS	0.81 X (5.7 IN/Hr) X (0.17 AC) = 0.78 CFS	-0.03 CFS (-3.70%)
Q10=	0.84 X (7.2 IN/Hr) X (0.17 AC) = 1.03 CFS	0.81 X (7.2 IN/Hr) X (0.17 AC) = 0.99 CFS	-0.04 CFS (-3.88%)

PER CITY OF RALEIGH UDO SECTION 3.4.1, WHERE THERE IS A CONFLICT BETWEEN THE BASE DIMENSIONAL STANDARDS AND THE FRONTAGE REQUIREMENTS, THE FRONTAGE REQUIREMENTS CONTROL.

#### VICINITY MAP SCALE: 1"=500'



#### SITE PLAN INFORMATION:

- NAME: 306 GLENWOOD RENOVATIONS
- STREET ADDRESS: 304 & 306 GLENWOOD AVENUE  
RALEIGH, NORTH CAROLINA 27603
- P.I.N.: 1704-40-6652 / 1704-40-6657
- LAND USE (EXISTING/PROPOSED): RETAIL SALES / (NIGHTCLUB)
- TOTAL NUMBER OF LOTS: 2
- TOTAL AREA: 304 GLENWOOD (1704-40-6652): 3,732 SF/0.09 ACRES  
306 GLENWOOD (1704-40-6657): 3,644 SF/0.08 ACRES
- DISTURBED AREA: 3,644 SF/0.08 ACRES
- CURRENT ZONING: DX-3-SH
- EXISTING BUILDING AREAS: EXISTING 1 STORY BRICK BUILDING: 2,201 SF  
EXISTING 1 STORY BRICK BUILDING: 3,726 SF  
TOTAL EXISTING SQUARE FOOTAGE: 5,927 SF
- EXISTING FLOOR AREA TO BE REMOVED/DEMOLISHED: 2,201 SF
- BUILDING HEIGHT: (304 GLENWOOD AVE) 14'-3/4" EXISTING; NO CHANGES  
(306 GLENWOOD AVE) 17'-3/5"
- PROPOSED BUILDING LOT COVERAGE: 100% (304 GLENWOOD)  
0% (306 GLENWOOD)  
51% (TOTAL)
- BUILDING SETBACKS: FRONT - 3 FT.  
SIDE - 0 FT./6 FT.  
REAR - 0 FT./6 FT.  
ALLEY - 5 FT.
- PRIMARY STREET BUILD-TO (MIN/MAX): -SH FRONTAGE REQUIREMENT 0/15'
- REQUIRED PRIMARY BUILD-TO WIDTH (80% PER UDO SEC. 3.4.9.C.2)  
(304 GLENWOOD) 51.22' 80'=40.98 FT  
(306 GLENWOOD) NO BUILDING PROPOSED  
PROPOSED PRIMARY BUILD-TO WIDTH (51.22'/51.22')\*100% = 100%
- INSIDE CITY LIMITS: YES
- INSIDE FLOOD HAZARD BOUNDARY: NO (PER FEMA MAP #3720170400J)  
EFFECTIVE DATE: MAY 2, 2006
- THEORETICAL PARKING CALCULATIONS:  
EXISTING (RETAIL SALES) (1 SPACE/300 SF)  
X 5,927 SF  
19.76 SPACES (20 SPACES REQUIRED)  
PROPOSED (NIGHTCLUB) (1 SPACE/5 SEATS)  
X 293 SEATS  
58.6 (59 SPACES REQUIRED)  
OR  
(1 SPACE/150 SF)  
X 3,726 SF  
24.84 SPACES (25 SPACES REQUIRED)
- \*PARKING CALCULATIONS ARE FOR SITE PLAN REVIEW ONLY. NO ONSITE PARKING IS REQUIRED PER UDO SECTION 7.1.3.A.1.d (EXEMPTS FIRST 10,000 SF).
- BICYCLE PARKING REQUIRED:  
SHORT-TERM (1 SPACE/5,000 SF) \* 3,726 SF = 0.75  
4 SPACES MIN PER UDO SECTION 7.1.2  
LONG-TERM (1 SPACE/25,000 SF) \* 3,726 SF = 0.15  
4 SPACES MIN PER UDO SECTION 7.1.2

- IMPERVIOUS SURFACE AREA:  
EXISTING: 5,962 SF/0.14 ACRES (81.10%)  
PROPOSED REDUCTIONS: 418 SF/0.01 ACRES (5.67%)  
TOTAL: 5,544 SF/0.13 ACRES (75.43%)
- OUTDOOR AMENITY AREA:  
REQUIRED: (10% OUTDOOR AMENITY AREA)  
PROVIDED: 7,376 SF X 0.10 = 738 SF  
738 SF
- OWNER: LANEWOOD 2, LLC & LANEWOOD 3, LLC  
509 W NORTH STREET  
RALEIGH, NORTH CAROLINA 27603
- DEVELOPER: 306 GLENWOOD, LLC  
610 W JOHNSON STREET  
RALEIGH, NORTH CAROLINA 27603
- EXEMPTIONS:  
STORMWATER: THIS PROJECT IS EXEMPT FROM THE NEUSE RIVER NUTRIENT MANAGEMENT STRATEGY IN ACCORDANCE WITH CITY OF RALEIGH STORMWATER DESIGN MANUAL SECTION 1.2.6.5 (LESS THAN 10% INCREASE)  
TREE CONSERVATION: THIS PROJECT IS EXEMPT FROM TREE CONSERVATION REQUIREMENTS IN ACCORDANCE WITH CITY OF RALEIGH UDO SECTION 9.1.10.A.1 (SITE IS LESS THAN 2 ACRES).

LINE	LENGTH	BEARING
L1	46.94	S 2°1'18" W
L2	73.15	S 87°58'42" E
L3	11.85	S 87°58'42" E
L4	51.27	N 2°1'18" E
L5	51.22	N 2°14'1" E
L6	7.43	N 87°45'20" W
L7	4.61	N 87°45'20" W
L8	72.96	N 87°45'20" W
L9	50.00	N 2°12'1" E
L10	50.00	N 2°14'1" E
L11	12.22	N 87°45'20" W
L12	72.78	N 87°45'20" W
L13	50.00	S 2°1'18" W
L14	4.00	S 2°1'18" W
L15	44.84	N 87°36'32" W

- INSTALL OUTDOOR DECK SPACE (DESIGNED BY OTHERS) (APPROX 3,664 SF).
- INSTALL PERMANENT ALUMINUM CANOPY OVER OPEN AIR BAR AND LONG-TERM BICYCLE PARKING AS SHOWN (APPROX. 683 SF).
- INSTALL 4' TALL MASONRY WALL WITH COLUMNS AND HANDRAILS AS SHOWN.
- PROPOSED "U" SHAPED BICYCLE RACK (2) (LONG-TERM).
- PROPOSED "U" SHAPED BICYCLE RACK (2) (SHORT-TERM).
- INSTALL APPROX. 14 LF OF GRANITE CURB.
- INSTALL APPROX 54 LF ADA RAMP WITH 5'X5' LANDINGS.
- INSTALL CONCRETE SIDEWALK BETWEEN EXISTING CONCRETE PAVEMENT AND PROPOSED GRANITE CURBING. CONCRETE SCORING PATTERN SHALL BE A 4'X4' GRID.
- INSTALL OPAQUE WOODEN FENCE AT LEAST 12" BUT LESS THAN 6 FT TALLER AROUND THE PROPOSED STORAGE OF ROLL-OUT TRASH & RECYCLING RECEPTACLES.
- INSTALL 42" TALL METAL GUARDRAIL WITH HANDRAILS ANCHORED ON DECK.
- INSTALL NEW CMU FIRE SEPARATION WALL ON PROPERTY LINE. SEE ARCHITECTURAL PLANS FOR DETAILS.

LANEWOOD LLC  
DB 14372, PG 1503  
PIN: 1704-40-6546  
LAND USE:  
SINGLE-TENANT  
ZONING: DX-3-SH

FINAL DRAWING  
FOR REVIEW  
PURPOSES ONLY

THIS ORIGINAL SHEET IS 24"X36". OTHER DIMENSIONS INDICATE IF HAS BEEN ALTERED. ALL INFORMATION REPRESENTED ON THIS SHEET IS THE PROPERTY OF RED LINE ENGINEERING, P.C. UNDER PENALTY OF LAW, THIS INFORMATION SHALL NOT BE DUPLICATED IN PART OR WHOLE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM RED LINE ENGINEERING, P.C. 2021 ©



306 GLENWOOD RENOVATIONS  
304 & 306 GLENWOOD AVENUE  
RALEIGH, NORTH CAROLINA 27603

PROPOSED SITE PLAN

REVISIONS:	DATE:
Δ PER COR	2/19/21
○ PER COR	3/30/21

ISSUED FOR:	DATE:
REVIEW/PERMIT	6/29/20

PROJECT NO.: 18-023
DRAWN BY: TAL
REVIEWED BY: GJM

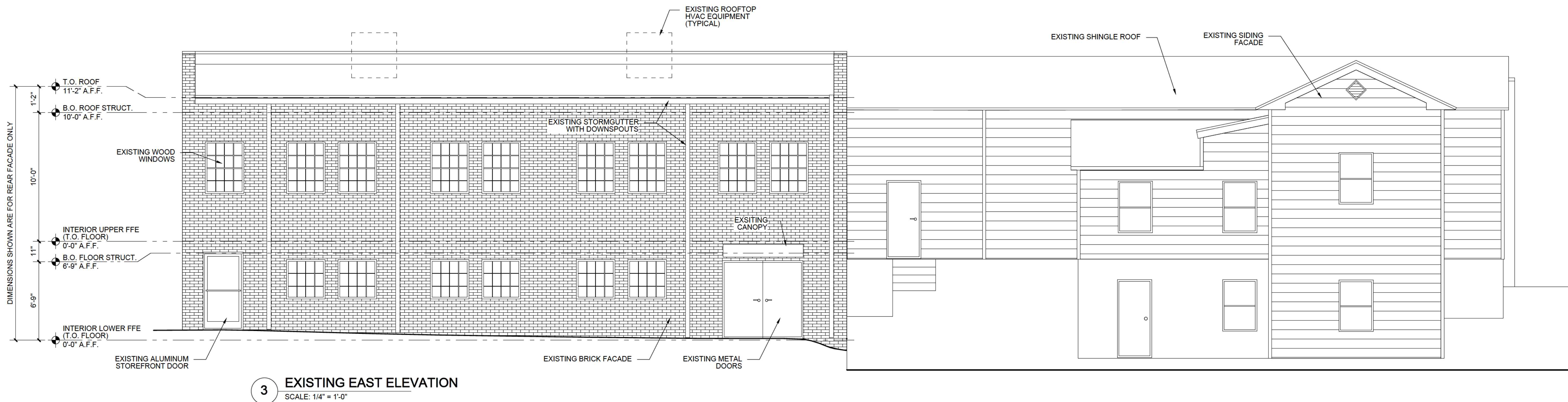
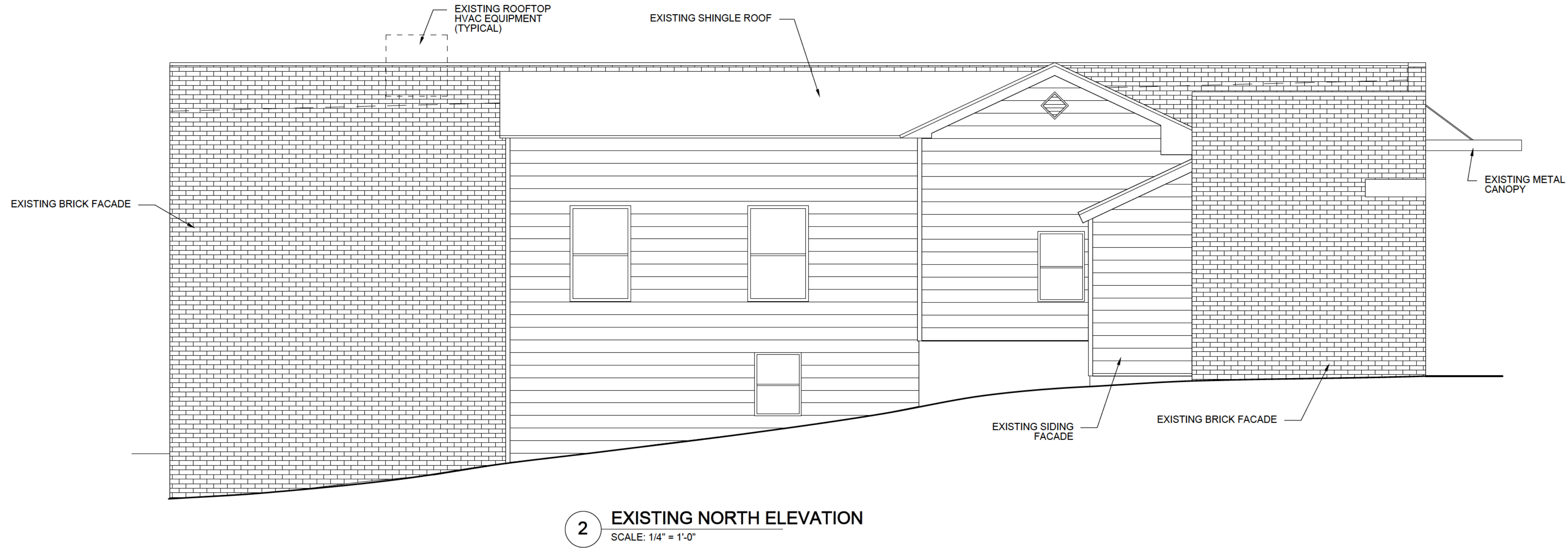
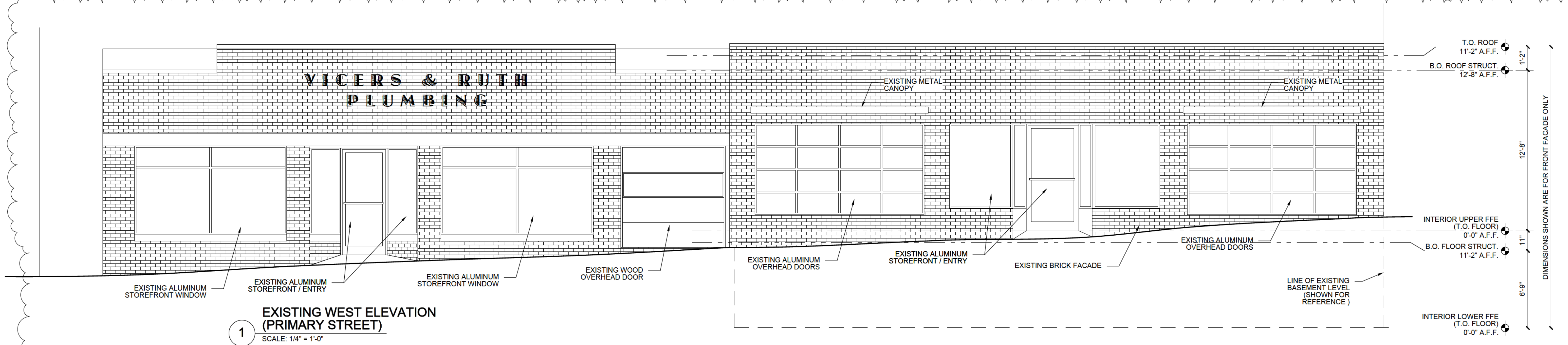
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C3

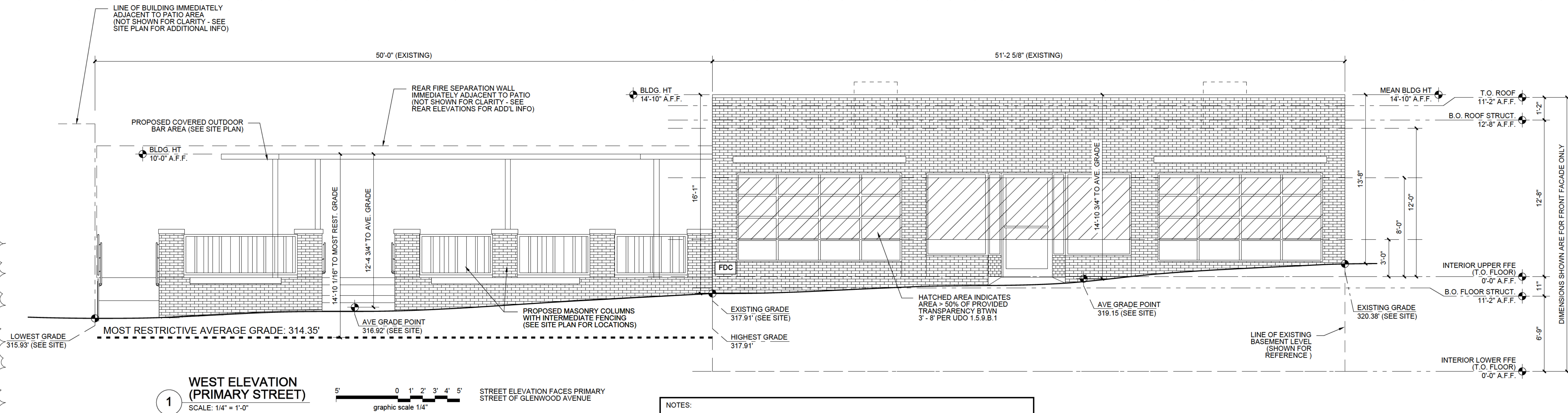
OF 12 SHEETS











NOTES:  
FRONT FACADE OF BUILDING IS LEVEL WHERE BUILDING MEETS GRADE. BUILDING HEIGHTS SHOWN ARE FOR THE MOST RESTRICTIVE HEIGHT ABOVE GROUND LEVEL  
ROOFTOP HVAC UNITS AND OTHER EQUIPMENT SHALL BE DETERMINED FOR QUANTITY, LOCATION, ETC. AS PART OF INTERIOR TENANT ALTERATION WORK. DETAILS SHOWN ARE FOR TYPICAL REFERENCE ONLY TO BE IMPLEMENTED AS REQUIRED BASED ON FINAL HVAC DESIGN AS APPROVED BY CITY OF RALEIGH.

TRANSPARENCY NOMENCLATURE PER CITY OF RALEIGH UDO 1.5.9.B.3 AND 1.5.9.B.4

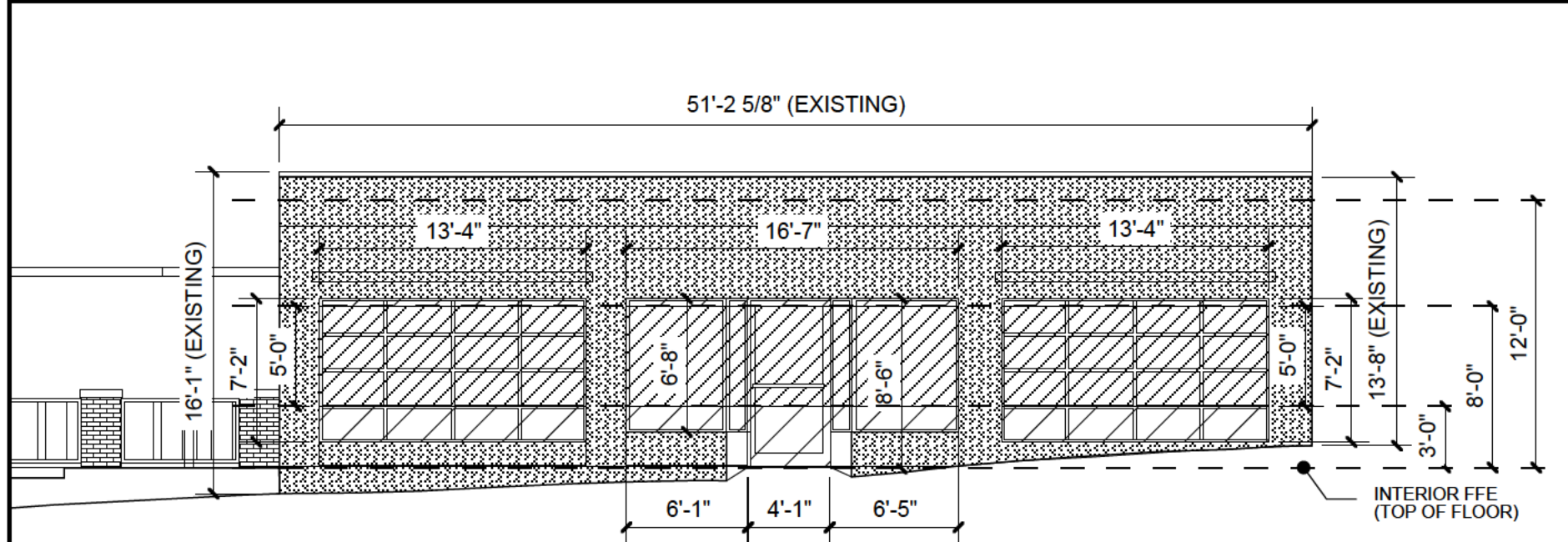
- In a mixed use building, or general building where an Urban Frontage is applied, a minimum of 60% of the street-facing, street-level window pane surface area must allow views into the ground story use for a depth of at least 8 feet. Windows shall not be made opaque by non-operable window treatments (except curtains, blinds or shades within the conditioned space).
- Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

NOTE: GLAZING / WINDOW AREAS DEFINED AS PORTION OF TRANSPARENCY AS REFERENCED BELOW SHALL CONFORM TO EXTERNAL REFLECTANCE AS REQUIRED BY ABOVE-REFERENCED SECTION.

TRANSPARENCY REQUIREMENTS FOR STREET-FACING FACADE (PER SEC 3.2.5)

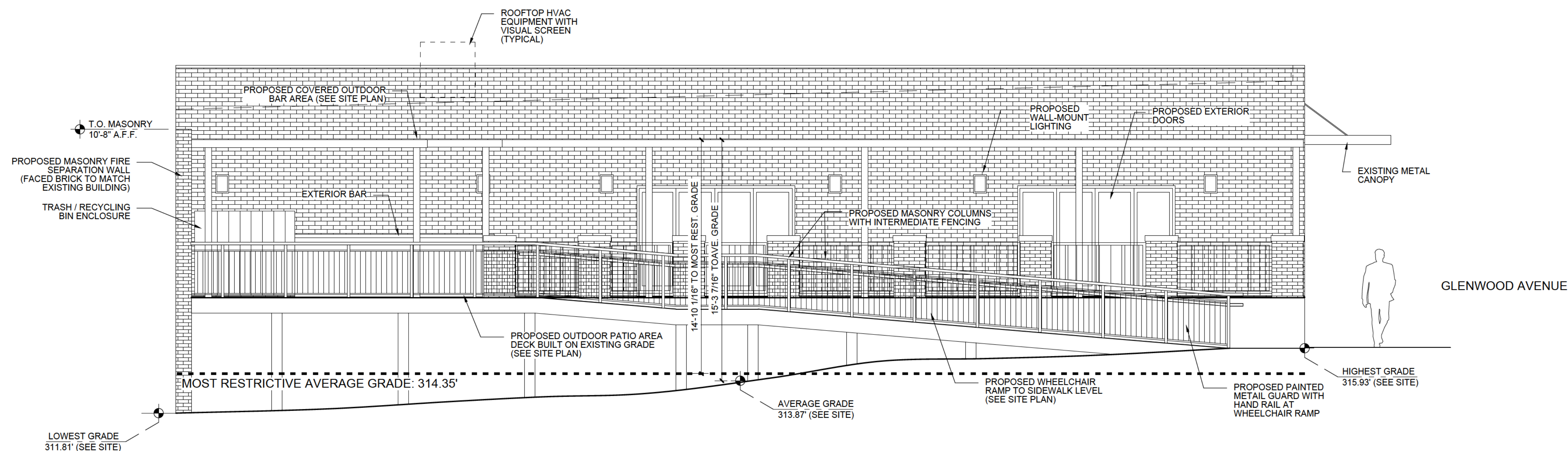
MARK	DESCRIPTION	AREA	CALCULATION
	LOWER FACADE TOTAL AREA TO 12 FT. (TOTAL LOWER FACADE AREA IS 615 SQ FT)	615 SQ FT	
	LOWER FACADE TOTAL TRANSPARENCY AREA:	309 SQ FT	309 / 615 = 0.502 (%) REQUIRED TRANSPARENCY: 50% (304 SQ FT) EXISTING TRANSPARENCY: 50.2% (309 SQ FT)
	TRANSPARENCY LOCATED BTWN 3' - 8' ON LOWER FACADE	216 SQ FT	216 / 309 = 0.70 (%) REQUIRED TRANSPARENCY: 20% (62 SQ FT) EXISTING TRANSPARENCY: 70% (216 SQ FT)
	LOWER FACADE TOTAL TRANSPARENCY AREA:	309 SQ FT	

$(51'-2 \frac{5}{8}') \times (12'-0') = 615 \text{ sq ft}$



NOTE:  
TRANSPARENCY FOR 304 GLENWOOD AND FRONT FACADE SHALL REMAIN UNCHANGED





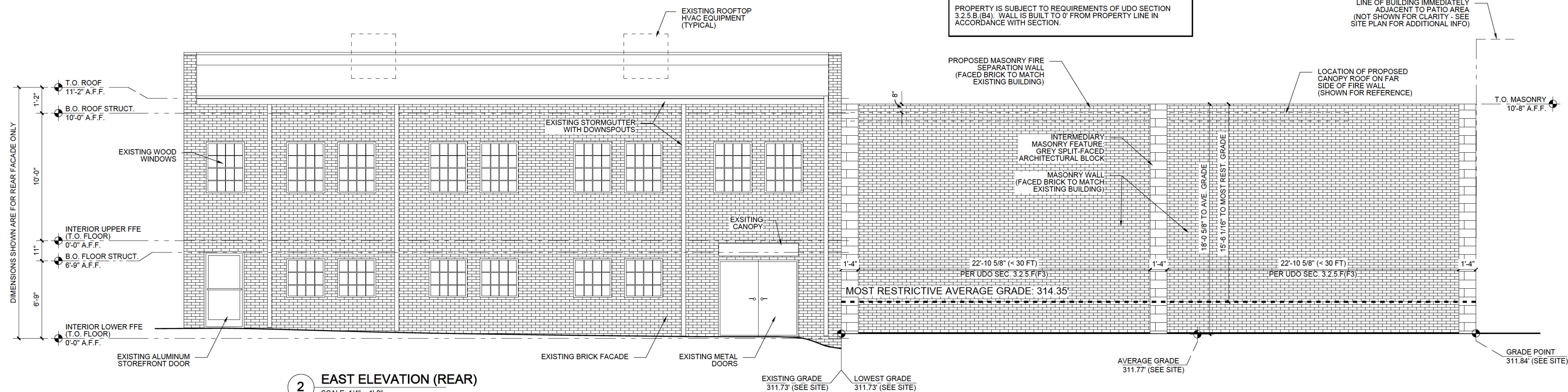
1 NORTH ELEVATION (SIDE)  
SCALE: 1/4" = 1'-0"

NOTES:

REAR FIRE SEPARATION WALL NOT SUBJECT TO UDO SECTION 3.3.2.6.(F3) AS:

- PER UDO SECTION 3.2.5 THIS BUILDING IS CLASSIFIED AS A GENERAL USE BUILDING AS A SINGLE TENANT BUILDING AND IS NOT CONSIDERED MIXED USE.
- WALL IS NOT LOCATED IN A REAR SETBACK.

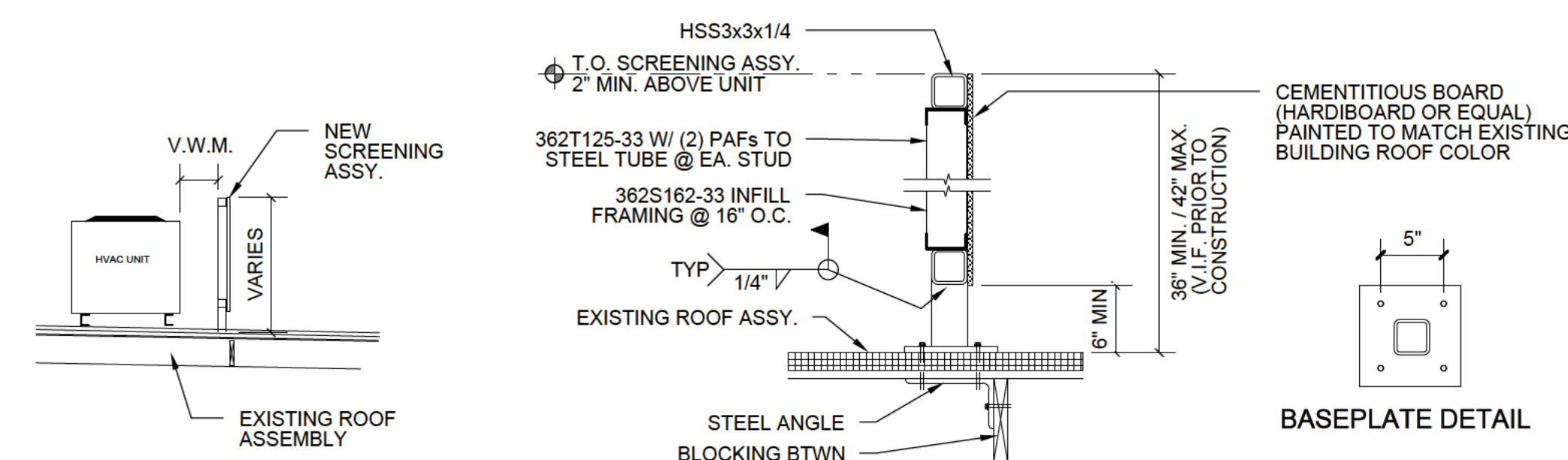
PROPERTY IS SUBJECT TO REQUIREMENTS OF UDO SECTION 3.2.5.B.(B4). WALL IS BUILT TO 0' FROM PROPERTY LINE IN ACCORDANCE WITH SECTION.



**2 EAST ELEVATION (REAR)**  
SCALE: 1/4" = 1'-0"

NOT SHOWN:  
BUILDING IS FLUSH TO ADJACENT STRUCTURE  
WITH NO VISIBLE FACADE ON SOUTH FACADE

**3 SOUTH ELEVATION (SIDE)**  
SCALE: 1/4" = 1'-0"



## 4 HVAC SCREENING DETAILS

ROOFTOP HVAC UNITS AND OTHER EQUIPMENT SHALL BE DETERMINED FOR QUANTITY, LOCATION, ETC. AS PART OF INTERIOR TENANT ALTERATION WORK. DETAILS SHOWN ARE FOR TYPICAL REFERENCE ONLY. TO BE IMPLEMENTED AS REQUIRED BASED ON FINAL HVAC DESIGN AS APPROVED BY CITY OF RALEIGH.