



Administrative Approval Action

Case File / Name: ASR-0056-2022
DSLCL - 330 W HARGETT

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.2 acre site zoned SX-40-SH CU (Z-14-21 and Z-52-21) is located on the east side of S. Harrington between West Morgan and West Hargett Streets. The site is composed of four parcels to be recombined located at 330 West Hargett Street, 119 South Harrington Street, and 323 and 327 West Morgan Street.

REQUEST: Development of a mixed use building including residential, retail, restaurant along with an integrated parking deck. The proposed building will be 30 stories in height and 621,260 square feet in size.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 26, 2023 by Stewart Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. All street facing facades must meet the minimum (ground floor minimum transparency = 66% between 0-12' in DX zoning)(3.2.6). (Transparency is n/a on residential floors). . (1.5.9 and 3.2.6) Please correct/revise calculations at the tops of the last three sheets - elevations/66% transparency proposed. See correct sheets (A6-01, A6-03, and A6-05) of version 3 of preliminary submittals.

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
4. An approved encroachment for proposed nonstandard items within the public right-of-way shall be obtained from City Council prior to SPR approval.



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Public Utilities

5. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots into a single tract.
2. Comply with all conditions of Z-14-21, and Z-52-21.



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Engineering

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
4. A sidewalk deed of easement to provide the required minimum of 16 feet of sidewalk, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
7. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (10) street trees along S. Harrington St., (3) street trees along W. Morgan St., (2) street trees along W. Hargett St.
10. A public infrastructure surety for (5) tree grate street trees and (10) tree lawn street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:



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www.raleighnc.gov

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 2, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

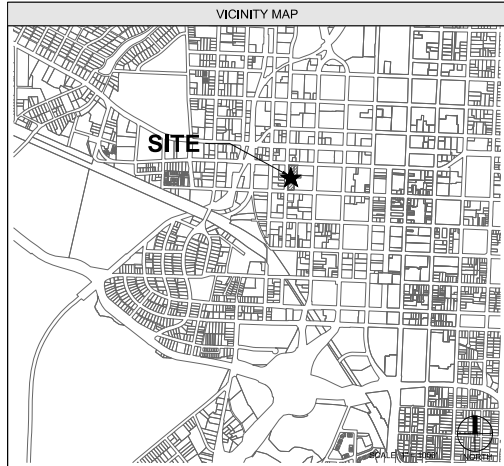
4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 08/02/2023
Development Services Dir/Designee

Staff Coordinator: Michael Walters



330 W. HARGETT

330 WEST HARGETT STREET
RALEIGH, NORTH CAROLINA 27601

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW

ASR-0056-2022
SUBMITTED ON JULY 13, 2022
RESUBMITTED ON SEPTEMBER 16, 2022
RESUBMITTED ON DECEMBER 13, 2022
RESUBMITTED ON APRIL 6, 2023
RESUBMITTED ON JUNE 26, 2023

RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK TO BE REVIEWED BY THE RALEIGH UDO FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL, SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT STANDARD SPECIFICATION FOR ROADWAY STRUCTURES, NC DOT ROADWAY STANDARD DRAWING MANUAL, AND THE NC DOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTION COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

PUBLIC IMPROVEMENT QUANTITIES

NUMBER OF LOT (S)	4
LOT NUMBER (S) BY PHASE	1
NUMBER OF UNITS	372
LIVABLE BUILDINGS	1
OPEN SPACE	0
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	96
PUBLIC SEWER (LF)	105
PUBLIC STREET (LF)-FULL	0
PUBLIC STREET (LF)-PARTIAL	0
PUBLIC SIDEWALK (LF)-FULL	666
PUBLIC SIDEWALK (LF)-PARTIAL	0
STREET SIGNS (LF)	180
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	2

VEHICULAR PARKING				
Non-Residential	Square Footage	DX Deductions	Maximum Allowed Rate	Maximum Allowed
Retail	0	N/A	1,200/SF	0
Restaurant**	17,381		1,200/SF	151
Residential	Units	DX Deductions	Maximum Allowed Rate	Maximum Allowed
Studio and 1 Bedroom	233	1.5/unit	350	
2 Bedroom	139	N/A	2.25/unit	313
Total Units	372			663
Maximum Allowed:				814
Total Provided:				480
Accessible Spaces:				12

1. Per UDO Section 7.1.3.A.1, no parking is required and a maximum of 2 spaces are allowed for each dwelling unit.
** Proposed Restaurant Use Parking requirements are not known at this time, based on seating, shall not exceed the count provided based on the use. If it does, revised parking and spaces must be provided for future use if it exceeds the designated spaces provided.

SITE DATA

PROJECT NAME:	330 W. HARGETT
CITY ADDRESS:	330 W. HARGETT, 119 S HARRINGTON, 323 W MORGAN, 327 W MORGAN
STATE:	NC
PARCEL PIN #:	1703583553, 1703583553, 1703584832, 1703583864
PARCEL OWNER:	CITYPLAT LEGENDS LLC, MASON STREET LLC
PARCEL AREA:	1.2 AC 51,528 SF
TOTAL SITE GROSS ACREAGE:	1.2 AC 51,528 SF
NET ACREAGE:	1.2 AC 51,528 SF
CURRENT ZONING:	DX-40-BH-CU
PROPOSED ZONING:	DX-40-BH-CU
EXISTING LAND USE:	COMMERCIAL
PROPOSED LAND USE:	MIXED-USE, RETAIL, RESIDENTIAL
FLOOD PLAIN DATA:	NA
RIVER BASIN:	ROCKY BRANCH
CONSTRUCTION TYPE:	IA, IIA
MAX BUILDING HEIGHT:	40 STORIES
PROPOSED BUILDING SQUARE FOOTAGE:	621,260 SF
TREE CONSERVATION AREA:	N/A
TOTAL LIMITS OF DISTURBANCE:	1.488 AC 64,715 SF
EXISTING IMPERVIOUS AREA:	1.92 AC
PROPOSED IMPERVIOUS AREA:	1.74 AC
PARKING DATA:	
MAXIMUM PARKING ALLOWED:	0 SPACES
STANDARD PARKING SPACES PROVIDED:	488 SPACES
ADA SPACES REQUIRED (STANDARD VAN):	12 SPACES
ADA SPACES PROVIDED:	10 STANDARD, 2 VAN
TOTAL SPACES PROVIDED:	480 SPACES

BIKE PARKING

Short Term	SF/Units	Rate	Required
Retail	0	1/5,000 SF	4
Restaurant	15,073	1/50,000 SF	4
Residential	372	1/20 Units	19
Total Required:			27
Total Provided:			28
Long Term	Square Footage	Rate	Required
Retail	0	None	0
Restaurant	15,073	1/25,000 SF	4
Residential	372	1/7 Units	53
Total Required:			57
Total Provided:			57

*Located within building, see Sheet ASR-1.0.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
CD00	COVER SHEET
CD01	ZONING CONDITIONS
CD08	GENERAL NOTES
C100	SURVEY
C101	EXISTING CONDITIONS PLAN
C102	PROPERTY LINE & EASEMENT PLAN
C200	DEMOLITION PLAN
C300	SITE PLAN
C301	TRANSPORTATION PLAN
C302	SIGHT DISTANCE TRIANGLES PLAN
C310	AMENITY AREA PLAN
C320	FIRE ACCESS PLAN
C330	WASTE MANAGEMENT PLAN
C500	GRADING & STORM DRAINAGE PLAN
C510	SCM PLAN & DETAILS
C600	UTILITIES PLAN
C601	SITE DETAILS
C602	SITE DETAILS
C603	SITE DETAILS
C604	SITE DETAILS
C605	SITE DETAILS
C630	UTILITY DETAILS
C631	UTILITY DETAILS
C632	UTILITY DETAILS
C633	UTILITY DETAILS
L600	PLANTING PLAN
L601	PLANTING & SOLS DETAILS
L602	PLANTING & SOLS DETAILS
L700	LIGHTING PLAN
A1-01A	ENLARGED TOWER PLAN - LEVEL 1
A1-01B	ENLARGED DECK PLAN - LEVEL 1
A1-06A	ENLARGED LEVEL 9 PLAN - TOWER
A1-11A	ENLARGED LEVEL 10-21 PLAN - TOWER
A5-01	WEST ELEVATION
A5-02-AL	NORTH AND SOUTH ELEVATIONS
A5-03	EAST ELEVATION
A6-01	NORTH ELEVATION TRANSPARENCY
A6-03	SOUTH ELEVATION TRANSPARENCY
A6-05	WEST ELEVATION TRANSPARENCY

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 • Raleigh, NC 27601 | 919.986.2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Subdivision case # _____	
Scoping/Map case # _____	
Certificate of Appropriateness # _____	
Board of Adjustment # _____	
Zoning Case # 210-2023 / 214-2023	
Administrative Alternate # _____	

GENERAL INFORMATION	
Development name: 330 W. Hargett	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 330 W. HARGETT, 119 S. HARRINGTON, 323 W. MORGAN, 327 W. MORGAN	
Site P.I.N. (s): 1703583553, 1703583553, 1703584832, 1703583864	

Please describe the scope of work. Include any additions, expansions, and change of use. New construction, mixed use development including residential, retail, restaurant, and an integrated parking deck.

Current Property Owner/Developer Contact Name: Josh Oxi
NOTE: please attach purchase agreement when submitting this form.
Company: High Street Residential Title: Principal
Address: 555 Fayetteville Street Suite 300 Raleigh, NC 27601
Phone # 202.337.7384 Email: joxi@rammellcrow.com

Applicant Name: Joseph Pung Address: 223 S. West Street, Suite 1100, Raleigh, NC 27603
Company: Stewart Inc. Email: jpong@stewartinc.com
Phone #: 919.866.4709

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): DX-40-BH-CU	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 1.2 AC	Existing gross floor area to be demolished: 28,307 SF
# of parking spaces required: 0	New gross floor area: 621,260 SF
# of parking spaces proposed: 480	Total sf gross (to remain and new): 621,260 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO § 1.4): COMMERCIAL	Proposed # of stories for each: 30
Proposed use (UDO § 1.4): MIXED-USE, RETAIL, RESIDENTIAL	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.74 Square Feet: 40,311	Proposed Impervious Surface: Acres: 1.74 Square Feet: 40,311
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 372	Total # of hotel units: 0
# of bedroom units: 1br 233 2br 139 3br 0 4br or more 0	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.
I, Joseph Pung, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after 180 days of inactivity.

Signature: *Joseph Pung* Date: 09-16-2022
Printed Name: Joseph Pung

CLIENT



HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601
CONTACT: JOSH OXI
202.295.3383 (T)
202.337.7384 (F)
JOXI@RAMMELLCROW.COM

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - GEOMATICS



STEWART
223 S. WEST STREET SUITE 1100
RALEIGH, NC 27603
FIRM LICENSE # C-1001
www.stewartinc.com
PROJECT # LP1049
T 919.386.8750

STEWART INC. - CIVIL
CONTACT: BRYAN HARRIS, PE
CIVIL ENGINEER
919.866.4708 (T)
BHARRIS@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE
CONTACT: FRANK G. MANDY II, PLA
LANDSCAPE ARCHITECT
919.866.4708 (T)
CROSS@STEWARTINC.COM

STEWART INC. - GEOMATICS
CONTACT: FRANK G. MANDY II, PLA
DIRECTOR OF GEOMATICS
919.866.4708 (T)
919.386.8752 (F)
FMANDY@STEWARTINC.COM

ARCHITECTURE



RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339
CONTACT: RICHARD KEMP
770.661.1492 (T)
770.661.1493 (F)
RKEMP@RJTRDESIGN.COM



STEWART

223 S. WEST ST., #1100
RALEIGH, NC 27603
FIRM LICENSE # C-1001
www.stewartinc.com
PROJECT # LP1049

Client:



HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:



RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339

Vicinity map:



Seal: PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Scale:

Project:

330 W. HARGETT

Issued for: ADMINISTRATIVE SITE REVIEW

No.	Date	Description
1	09-16-2022	CITY COMMENTS
2	12-13-2022	CITY COMMENTS
3	04-08-2023	CITY COMMENTS
4	06-26-2023	CITY COMMENTS
5	---	---
6	---	---
7	---	---
8	---	---
9	---	---
10	---	---

Title:

COVER SHEET

Project number: L21048 Sheet #: C0.00
Issued Date: 07-13-2022
Drawn by: CJS
Approved by: VJO

L:\Projects\2021\121049 - 330 W. Hargett\DWG\053 - ASR Alternatives\Sheet\21049-C0.01 Cover.dwg Jun 26, 2023 - 7:28pm

Ordinance (2021) 331 ZC 834
Adopted: 10/2/2021

Effective: 7/1/2021

Z-14-21 – 130 West Hargett Street and 119 South Harrington Street, located on the northwest corner of the intersection of Hargett Street and Harrington Street, one block west of the Raleigh Municipal Building, being Wake County PINs 1703583553 & 1703583653. Approximately 0.5 acres rezoned to Downtown Mixed Use-40 stories-Shopfront-Conditional Use (DX-40-SH-CU).

Conditions dated: June 8, 2021

Response: These uses are not proposed.

Response: No structured parking is proposed on these 2 parcels.

Response: No structured parking is proposed on these 2 parcels.

- The following Principal Use as listed in UDO Section 6.1.4 that are permitted, limited, or special uses in the DX- district shall be prohibited: (i) Adult establishment; (ii) Detention center, jail, prison; (iii) Light Manufacturing; (iv) Vehicle repair (minor); and (v) Vehicle repair (major).
- Public facades of structured parking: Parking structure facades adjacent to or facing any public park or plaza, public right-of-way, public sidewalk, or private street shall comply with the following: Screening elements shall be designed in a structurally sound manner and have a gap of no more than 18 inches from the frame of the screening element to the wall opening. Alternative decorative elements which provide an equivalent level of screening may be allowed in an accessory parking structure where such elements are employed to match the architectural character of the main building. Mesh or decorative panels, louvers, green walls, tinted or sandblasted opaque spandrel glass, or similar screening elements shall be used. Chain link fencing and similar screening elements shall be prohibited as an allowable mesh or similar screening element.
- Lighting within parking structure: Lighting shall be designed to reduce light spillage outside the parking structure according to the following:
 - Internal illumination of parking structures shall be screened so that internal light sources shall not be visible from the adjacent public right-of-way or adjacent parcels. Light fixtures directly visible from the exterior of a parking structure shall be directed internally upward or shall contain shielded fixtures to minimize such visibility.
 - Internal illumination of parking structures shall conform to the standards of UDO Section 7.4.7. Vehicular Canopies.
 - Lighting levels measured at the property line of privately-owned parcels adjacent to the structured parking deck shall not be greater than 0.5 footcandles.

Ordinance (2022) 338 ZC 834
Adopted: 3/15/2023

Page 2
Effective: 3/20/2023

AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP OF THE CITY OF RALEIGH WHICH IS CODIFIED IN PART 10 OF THE CITY OF RALEIGH CODE
BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RALEIGH:

Section 1. That the Zoning District Map, which is codified in Part 10 of the City of Raleigh Code, be and the same is hereby amended as follows:

- Z-52-21: 323 & 327 W. Morgan Street, located on the southeast corner of the intersection of Morgan Street and Harrington Street, one block west of the Raleigh Municipal Building, being Wake County PINs 1703584832 and 1703483864. Approximately 0.7 acres rezoned to Downtown Mixed Use-40 stories-Shopfront-Conditional Use (DX-40-SH-CU).

Conditions dated: December 30, 2021

Response: Parking deck levels have parapet walls that screen vehicle headlights.

Response: Lighting in the parking structure is designed to reduce light spillage.

Response: None of these uses are proposed within 15' and for a depth of 120' from the ROW along 317 Morgan St.

Response: No building is proposed above the parking deck.

Section 2. That all laws and clauses of laws in conflict herewith are hereby repealed to the extent of such conflict.

Section 3. If this ordinance or any application thereof is held invalid as to any person or application thereof, such invalidity shall not affect other provisions or applications of the ordinance which can be given separate effect and to that end the provisions of this ordinance are declared to be severable.

Section 4. This ordinance is being adopted following a recommendation from the Raleigh City Planning Commission and a duly advertised public hearing of the Raleigh City Council. No written comments were received by the City Clerk within twenty-four hours following the close of the public hearings for such rezoning application referenced herein.

Section 5. That this ordinance shall become effective five (5) days after adoption.

Adopted: February 15, 2022 Effective: February 20, 2022

Ordinance (2022) 338 ZC 834
Adopted: 3/15/2023

Page 2
Effective: 3/20/2023

Distribution: Planning and Development
Inspections
City Attorney
Transcription Services - Taylor



STEWART
ARCHITECTURAL
225 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.360.8792
FPM LICENSE # C-1501
www.stewartarch.com
PROJECT # L21049

Client:

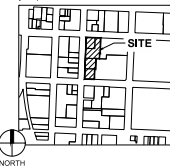
HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
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RALEIGH, NC 27601

Consultants:



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ARCHITECTURE INTERIOR DESIGN
ROULETTE TRAMMELL RUBO, LLC
300 GALLERIA PARKWAY
SUITE 300
ATLANTA, GA 30338

Vicinity map:



Scale:

PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Project:

330 W. HARGETT

Issued for:

**ADMINISTRATIVE SITE
REVIEW**

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	10.13.2022	CITY COMMENTS
3	06.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
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Title:

ZONING CONDITIONS

Project number: L21049 Sheet #: **C0.01**
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS

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GENERAL NOTES:	SITE NOTES:	UTILITY NOTES:
<div>1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDEM, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.</div> <div>2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.</div> <div>3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCAL PERMITS INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS PER NC STATUTE NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 10 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.</div> <div>4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROPRIATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.</div> <div>5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT THE CONTRACTORS EXPENSE.</div> <div>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.</div> <div>7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PERMITS PRIOR TO COMMENCEMENT. VALVE AND MANHOLE COVERS, AND HANDICAP OR LANDSCAPE CHANGES, DRAWINGS SHALL BE PROVIDED TO THE OWNERS REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.</div> <div>8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS AND SHORT MATCHES THEREOF SHALL BE SUBMITTED TO THE OWNERS REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVE.</div> <div>9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.</div> <div>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.</div> <div>11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.</div> <div>12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (30,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.</div>	<div>1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYOUT AREA, PERMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYOUT AREA PERMETER FENCE AND ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.</div> <div>2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND MAY SPECIFICATIONS NEAR BUILDINGS AND/OR COURTYARDS. CONTRACTOR SHALL PROVIDE SURVEY IN WALKWAYS AND HANDICAP PER DETAILS OR AS INDICATED ON LANDSCAPE/HANDICAP PLAN SHEETS.</div> <div>3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNERS REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.</div> <div>4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.</div> <div>5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURBS UNLESS OTHERWISE NOTED.</div> <div>6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.</div> <div>7. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.</div> <div>8. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAINAGES.</div> <div>9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.</div> <div>10. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN.</div> <div>11. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.</div> <div>12. ALL CURB TAPERS ARE SIX (6) FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.</div> <div>13. WHERE NEW SIDEWALK ADJACENT EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. THE NEW SIDEWALKS NOT NEARLY EXISTING ADJACENT JOINT MATCH WITH THE FACE OF EXISTING WALK.</div> <div>14. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PAVING SPACES THE WALKWAY SHALL BE A MINIMUM 6.0' WIDE AS MEASURED FROM THE FACE OF CURB.</div> <div>15. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SURFACES SHALL NOT EXCEED 1:48 ALL DIRECTIONS.</div> <div>16. WITHIN THE AREA OF THE RIGHT TRIANGLES SHOWN ON SHEET C-01, THERE SHALL BE NO SHOT DRISTRICTING OR PARTIAL OBSTRUCTING OR CURB FORMS, BORDERS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.</div> <div>17. THE SITE SHALL BE FULLY STABILIZED (80% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL.</div> <div>18. HANDICAP RAMPS SHALL BE INSTALLED PER THE PLANS AND SPECIFICATIONS AND THE NC BUILDING CODE. A MAXIMUM SLOPE OF 1:12 FOR WALK AND A MAXIMUM CROSS SLOPE OF 1:48 SHALL BE PROVIDED. IF EXISTING CONDITIONS PRECLUDE THIS REQUIREMENT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.</div> <div>19. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO GO FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.</div>	<div>1. UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.</div> <div>2. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.</div> <div>3. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.</div> <div>4. THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNERS REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.</div> <div>5. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NOTED PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY FLAGGING AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS OF WAY.</div> <div>6. THE CONTRACTOR SHALL NOT REUSE ANY FIVE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIVE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIVE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.</div> <div>7. ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.</div> <div>8. ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE. WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER. WHEN UNKNOWN LINES ARE EXPOSED, THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.</div> <div>9. UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PAVING AREA, DRIVE, CURB AND GUTTER OR CONCRETE WALK PAVES. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF IMPERVIOUS (ASPHALT) CONCRETE CONDUIT SHALL BE INSTALLED FOR THE "FUTURE" UTILITY USES.</div> <div>10. AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT) TO: FOOT PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION, HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.</div>
EXISTING CONDITION NOTES:		PROPOSED UTILITY SEPARATION:
<div>1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.</div> <div>2. HORIZONTAL DATUM IS NAD 83-2011 AND VERTICAL DATUM IS NAVD83.</div> <div>3. THIS DRAWING DOES NOT CONFORM TO N.C. 0547-80 AND THEREFORE IS NOT FOR RECORDATION.</div> <div>4. SURVEY INFORMATION BASED ON <u>FIELD SURVEY BY Daniel A. McGary, COMPLETED ON 03/05/2022</u>.</div> <div>5. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.</div> <div>6. THE SUBJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 27072701 DATED MAY 2, 2006.</div> <div>7. NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.</div>		<div>1. WATER MAINS SHALL BE Laid AT LEAST 1' FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PRESENT A 10'-0" HORIZONTAL SEPARATION IN WHICH CASE:<div><div>a. THE WATER MAIN LAY IN A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER OR</div><div>b. THE WATER MAIN LAY IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A RIBBON OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.</div></div></div> <div>2. CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE Laid AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PRESENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.</div> <div>3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.</div> <div>4. SEPARATION OF SANITARY SEWERS AND STORM SEWERS<div><div>a. A 18" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.</div><div>b. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.</div></div></div> <div>SEWER NOTES:</div> <div>1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.</div> <div>2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.</div> <div>3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR BASES 6 INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATER TIGHT BOLTED LIDS.</div> <div>4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:<div><div>a. SEWER SERVICE - 2.00% SLOPE</div><div>b. SEWER SERVICE - 1.00% SLOPE</div><div>c. SEWER SERVICE - 0.50% SLOPE</div></div></div> <div>5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MINIMUM SPACING BETWEEN CLEANOUTS SHALL BE 10 FEET.</div> <div>6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 90 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW:<div><div>a. SEWER SERVICE - ASTM 80</div><div>b. SEWER SERVICE - 50% RCP</div></div></div> <div>7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY.</div> <div>8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.</div>
DEMOLITION NOTES:	GRADING AND STORM DRAINAGE NOTES:	
<div>1. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.</div> <div>2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.</div> <div>3. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE.</div> <div>4. ALL UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.</div> <div>5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" TELEPHONE: 1-800-643-4646 AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCAL SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".</div> <div>6. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACT OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.</div> <div>7. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.</div> <div>8. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.</div> <div>9. REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.</div> <div>10. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REGULATIONS.</div> <div>11. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION.</div> <div>12. EROSION CONTROL PERMIT SHALL BE OBTAINED AND ON-SITE PRIOR TO BEGINNING DEMOLITION.</div> <div>13. ITEMS DESIGNATED TO BE SALVAGED AND/OR REUSED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER, COORDINATE STORAGE LOCATION WITH OWNERS REPRESENTATIVE.</div> <div>14. WHERE UTILITIES TO BE REMOVED/IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE, AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE USED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</div> <div>15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PAVING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM OF THE SYSTEM. PROTECTIVE LINES SHALL BE MAINTAINED TO PREVENT DAMAGE TO EXISTING DRAINAGE SYSTEMS.</div> <div>16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE TO EXISTING FACILITIES TO REMAIN. PROVIDERS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.</div> <div>17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, SIDEWALKS AND CURBS AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION RECORD OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.</div> <div>18. ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.</div> <div>19. WHERE UTILITIES SHOWN TO BE "REMOVED" CONTRACTOR SHALL INCLUDE NECESSARY PLUGS OR VALVES TO ENSURE UTILITIES LINES DO NOT REMAIN WALK CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.</div> <div>20. CONTRACTOR SHALL PROVIDE PEDESTRIAN INGRESS / EGRESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD</div>	<div>1. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.</div> <div>2. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1:12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NO CUBIC CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH LANDINGS AT THE BOTTOM AND TOP OF RAMP.</div> <div>3. ALL PROPOSED ELEVATIONS SHOWN ARE ELEVATION OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.</div> <div>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAR OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 1" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.</div> <div>5. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL PROVIDE THE OWNERS WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM, BOTH PUBLIC AND PRIVATE. THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CODE.</div> <div>6. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION.</div> <div>7. INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT.</div> <div>8. INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING.</div> <div>9. THE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND STORM SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATE AND INSTALL WHERE POSSIBLE OR AS SHOWN ON PLAN. WHERE ROOF LEADERS DRAINOUT AT GRADE A SPLASH BLOCK APPROVED BY THE OWNERS REPRESENTATIVE SHALL BE INSTALLED.</div> <div>10. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND ASBLE SHALL NOT EXCEED 2% IN ANY DIRECTION.</div> <div>11. PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY.</div> <div>12. PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN 18 INCHES IN DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTOR EQUIPMENT, AND NOT MORE THAN 12 INCHES IN DEPTH FOR MATERIAL COMPACTED BY HAND OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EXCEPT ALL SLOES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. CONTRACT SOIL TO NOT LESS THAN 95% MINIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO PROVED UNIT WEIGHT ACCORDING TO ASTM D 1557 ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.</div> <div>13. SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL BE NOT LESS THAN 120 AWAY FOR MINIMUM DEPTH OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERST WATER AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED AWAY A MINIMUM OF 2% AWAY FROM BUILDING.</div> <div>14. CONTRACTOR SHALL ADJUST RISE ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.</div> <div>15. CONTRACTOR SHALL SLOPE GRASSES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.</div> <div>16. TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CAP. UNLESS OTHERWISE NOTED.</div> <div>17. BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.</div>	




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FPM LICENSE # 1-0301
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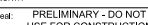
RUE JOY TRAMMELL RUBO, LLC
300 GALLERIA PARKWAY
SUITE 200
ATLANTA, GA 30338

Vicinity map:



SITE


Scale:



0 10 20 30 40 50 FEET

PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Scale:



0 10 20 30 40 50 FEET

Project:

330 W. HARGETT

Issued for:

ADMINISTRATIVE SITE
REVIEW

No. Date Description

1	08.16.2022	CITY COMMENTS
2	03.03.2023	CITY COMMENTS
3	06.26.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	---	---
6	---	---
7	---	---
8	---	---
9	---	---
10	---	---
11	---	---
12	---	---
13	---	---
14	---	---
15	---	---
16	---	---
17	---	---
18	---	---
19	---	---
20	---	---

Title:


Project number: 121048 Sheet #

Issued Date: 07.13.2022

Drawn by: ???

Approved by: ???

C0.10



STEWART

223 S. WEST ST., #1100
FARM LICENSE # C-1051
FALLS CH. NC 27603
T 919.380.8750 www.stewart-nc.com
PROJECT # L21049

Client:

HIGH STREET
RESIDENTIAL

HIGH STREET RESIDENTIAL
555 FORTMORRIS STREET
SUITE 300
RALEIGH, NC 27601


Consultants:

RTR

RULE-JAY TRAMMELL & RUBIO
Architecture Interior Design

RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339

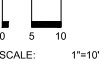
Vicinity map:



NORTH

Seal: **PRELIMINARY - DO NOT USE FOR CONSTRUCTION**

Scale:



NORTH

SCALE: 1"=10'

Project:

330 W. HARGETT

Issued for:

ADMINISTRATIVE SITE REVIEW

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	10.13.2022	CITY COMMENTS
3	06.26.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	06.26.2023	CITY COMMENTS
6	06.26.2023	CITY COMMENTS
7	06.26.2023	CITY COMMENTS
8	06.26.2023	CITY COMMENTS
9	06.26.2023	CITY COMMENTS
10	06.26.2023	CITY COMMENTS

Title:

EXISTING CONDITIONS PLAN

Project number: L21049

Sheet #: _____

Issued Date: 07.13.2022

Drawn by: CJO

Approved by: VCS

C1.01



HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
5 FAYETTEVILLE STREET
SUITE 300
DURHAM, NC 27601

RULE JOY TRAMMELL RUBIO
Architecture Interior Design

JOY TRAMMELL RUBIO, LLC
100 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339

Seal: PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

0 10 20 40

SCALE: 1"=20'

NORTH

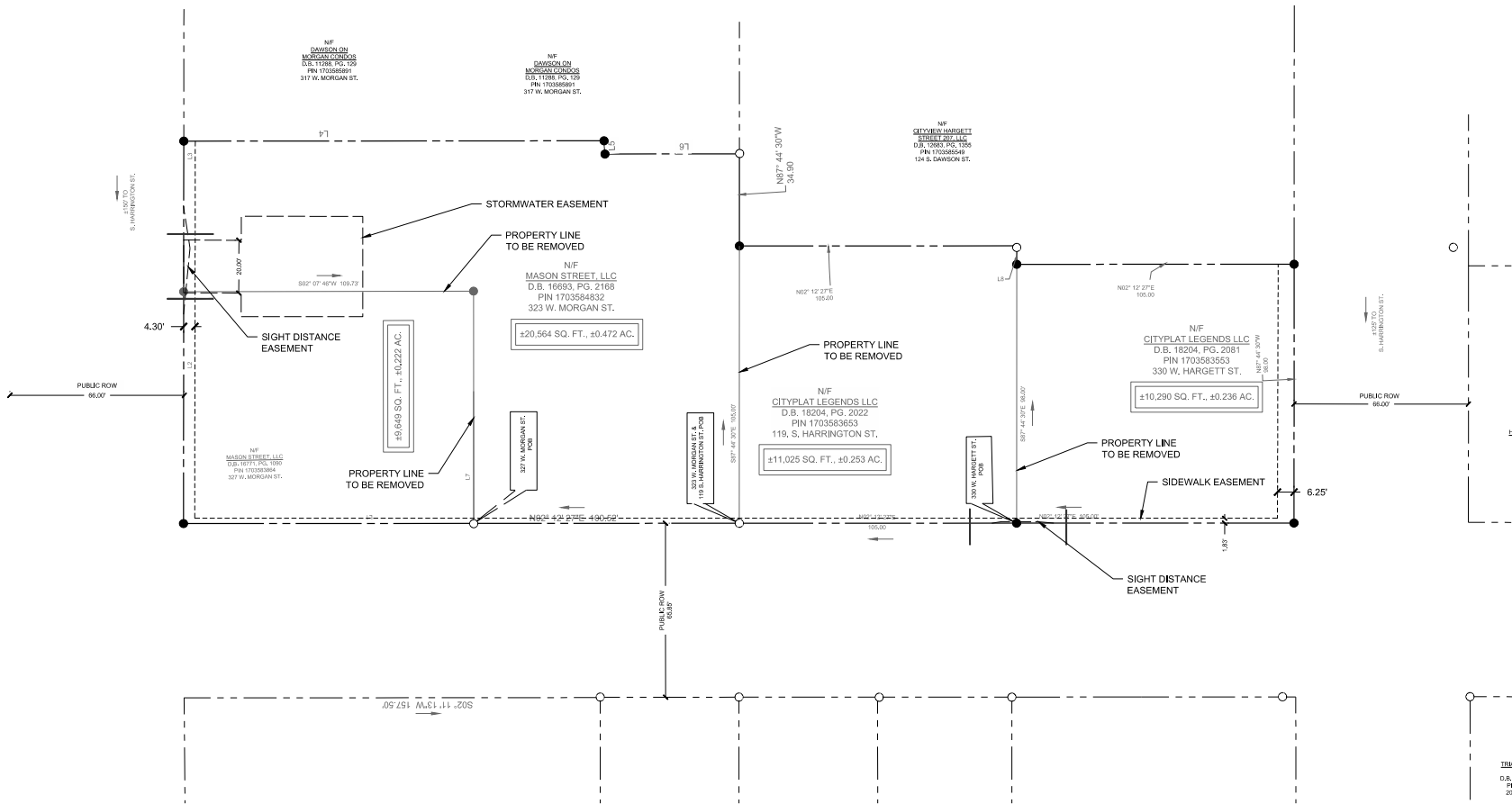
330 W. HARGETT

Issued for:
**ADMINISTRATIVE SITE
REVIEW**

[illegible]

PROPERTY LINE & EASEMENT PLAN

Project number: L21049 Sheet #:
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS



TRI
D.B.
PI
20X

STREET TYPE CHART			
	W. MORGAN ST.	S. HARRINGTON ST.	W. HARGETT ST.
TRANSIT SERVICE	YES	YES	YES
MAIN STREET OR URBAN THOROUGHFARE OR URBAN FORM MAP	NO	NO	NO
RETAIL STREET IN DOWNTOWN SECTION OF COMPREHENSIVE PLAN	YES	YES	YES
MIXED-USE STREET ON RALEIGH STREET PLAN MAP	YES	YES	YES
MAJOR STREET ON RALEIGH STREET PLAN MAP	NO	NO	NO
ON STREET PARKING	NO	YES	YES
HIGHER CLASSIFICATION ON RALEIGH STREET PLAN MAP	YES	NO	NO

BASED ON THE ABOVE, HARRINGTON AND HARGETT ARE PROPOSED AS PRIMARY STREETS.

BUILD-TO		
FRONTAGE: SHOPFRONT (54')		
	REQUIRED	PROVIDED
W. HARGETT STREET (PRIMARY STREET) (98')		
BUILD-TO	0'15"	0'
BUILDING WIDTH	80% (78')	82% (81')
S. HARRINGTON STREET (PRIMARY STREET) (420')		
BUILD-TO	0'15"	0'
BUILDING WIDTH	80% (336')	81% (341')
W. MORGAN STREET (SIDE STREET) (144')		
BUILD-TO	0'15"	0'
BUILDING WIDTH	40% (58')	43% (62')

VEHICULAR PARKING				
Non-Residential	Square Footage	Deduction	Allowed Rate	Allowed
Retail	0	N/A	1/200 SF	0
Restaurant**	17,381		1/100 SF	174
				174
Residential	Units	Deduction	Allowed Rate	Allowed
Studio and 1 Bedroom	248	N/A	1 5/unit	372
2 Bedroom	124		2 25/unit	279
Total Units	372			651
		Total Required:		0
		Total Allowed:		825
		Total Provided:		472
		Accessible Spaces:		N/A

1. Per UDO Section 7.1.3.A.1, no parking is required and a maximum of 2 spaces are allowed for each dwelling unit.

** Proposed Restaurant Use Parking requirements are not known at this time, based on seating, shall not exceed the count provided based on the use. If it does, revised parking and spaces must be provided for future use if it exceeds the designated spaces provided.

BIKE PARKING			
Short Term	SF/Units	Rate	Required
Retail	0	1/5,000 SF	4
Restaurant	17,381	1/5,000 SF	4
Residential	372	1/20 units	19
		Total Required:	27
		Total Provided:	27
Long Term*	Square Footage / Units	Rate	Required
Retail	0	None	0
Restaurant	17,381	1/25,000 SF	4
Residential	372	1/7 units	53
		Total Required:	57
		Total Provided:	57

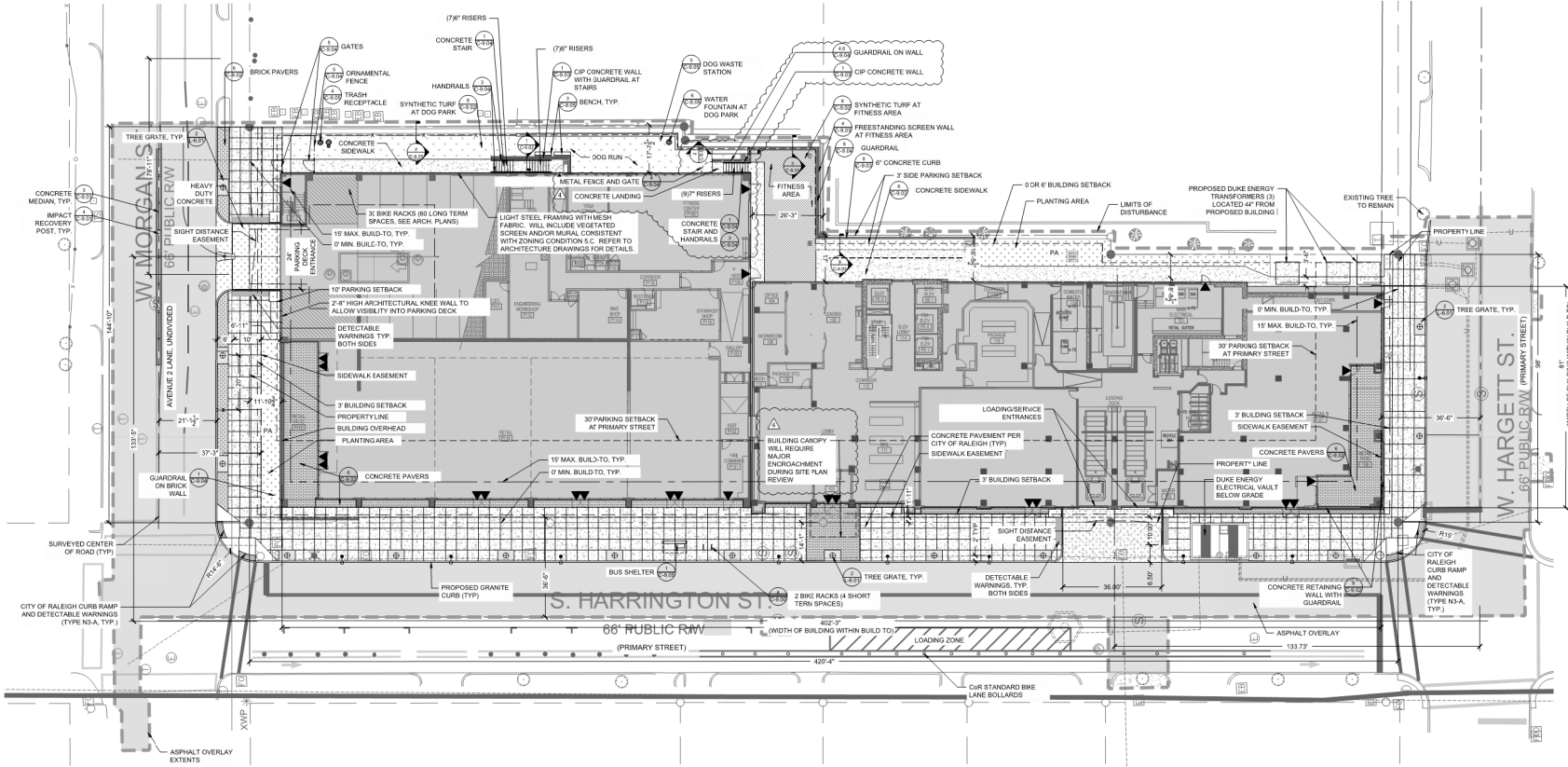
* Located within building, see Sheet ASR-1.0.

LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK

SITE LEGEND:	
SYMBOL	DESCRIPTION
□	PROPOSED BUILDING
■	HEAVY DUTY ASPHALT
□	LIGHT DUTY ASPHALT
■	HEAVY DUTY CONCRETE
□	LIGHT DUTY CONCRETE
■	TRUNCATED DOME PAVING
■	TRANSITION CURBS AT RAMPS
■	LANDSCAPE BUFFER
PA	PLANTING AREA
▲	DOOR
▲▲	DOUBLE DOOR

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

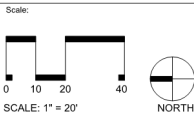
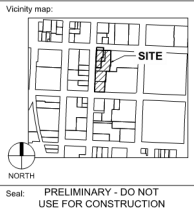


Client:

HIGH STREET
ARCHITECTS
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 400
RALEIGH, NC 27601

Consultants:

RULEY TRAMMELL RUBIO
ARCHITECTURE / INTERIOR DESIGN
RULEY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 700
ATLANTA, GA 30339



Project:

330 W. HARGETT

Issued for:

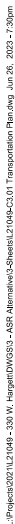
ADMINISTRATIVE SITE REVIEW

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	11.13.2022	CITY COMMENTS
3	04.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5		
6		
7		
8		
9		
10		

Title:

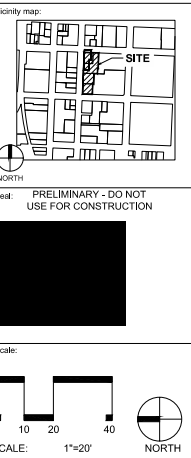
SITE PLAN

Project number: L21049 Sheet #: **C3.00**
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS



Project number: L21049 Sheet #:
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: NBC

LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
—————	LIMITS OF DISTURBANCE
—————	PROPERTY LINE
—————	EASEMENT
—————	SETBACK
NOTES:	
1. SEE SHEET C2,10 FOR GENERAL AND SITE NOTES.	

330 W. HARGETT

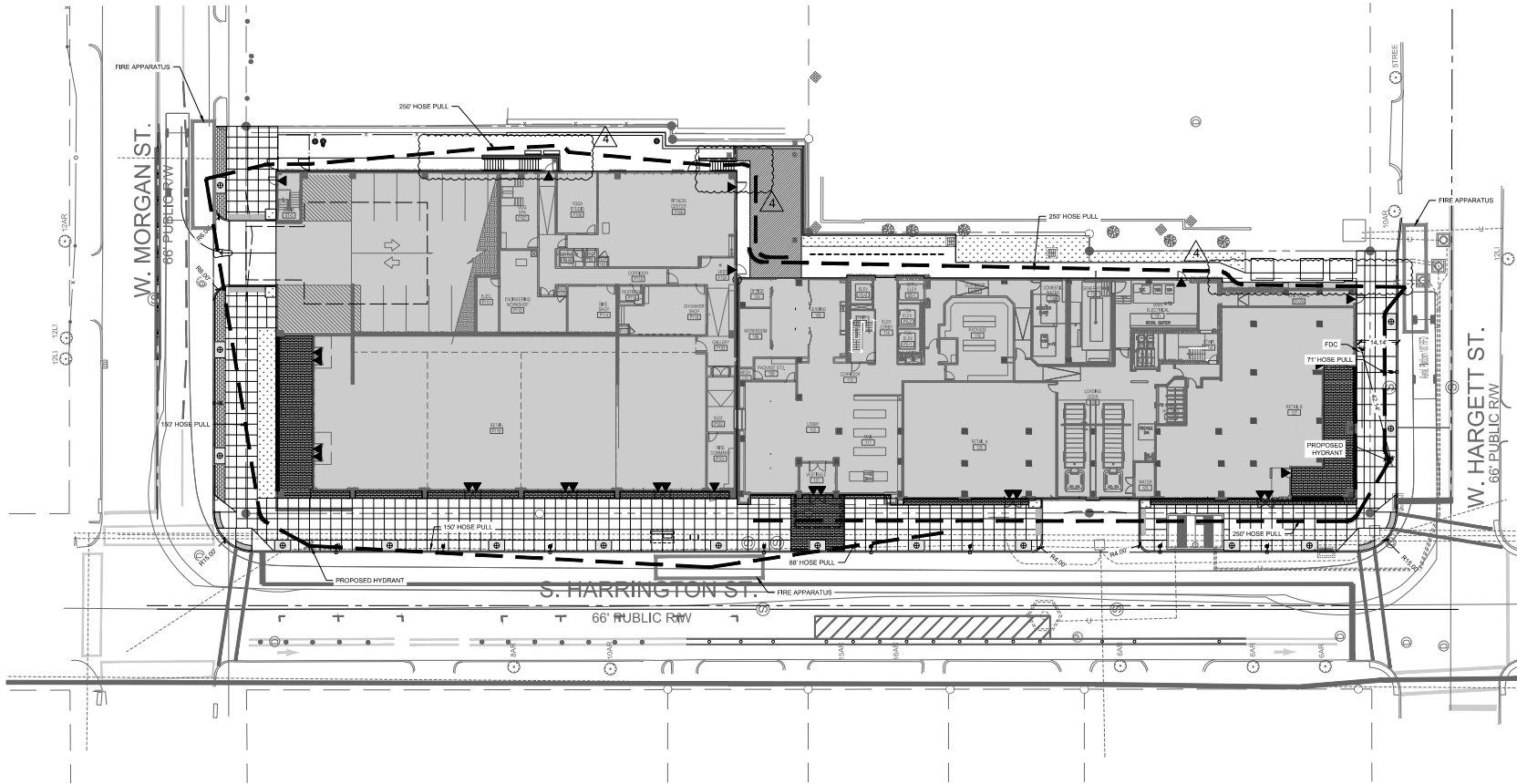
ADMINISTRATIVE SITE
REVIEW

[illegible]

Title:

AMENITY AREA PLAN

Project number: L21049 Sheet #:
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS



LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPERTY LINE
	EASEMENT
	SETBACK

NOTES:
1. SEE SHEET C3.10 FOR GENERAL AND SITE NOTES.
2. BUILDING USING NFPA 13 FIRE SPRINKLER SYSTEM

STEWART
221 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8792

FIRM LICENSE # C-1001
www.stewartinc.com
PROJECT # L21049

Client:

HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:

RULE JOY TRAMMELL RUBO
ARCHITECTURE
ARCHITECTURE
INTERIOR DESIGN
RULE JOY TRAMMELL RUBO, LLC
300 GALLERIA PARKWAY
SUITE 700
ATLANTA, GA 30338

Vicinity map:

Scale:

0 10 20 40
SCALE: 1" = 20'

North Arrow:

NORTH

330 W. HARGETT

Issued for:
ADMINISTRATIVE SITE REVIEW

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	12.13.2022	CITY COMMENTS
3	04.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	---	---
6	---	---
7	---	---
8	---	---
9	---	---
10	---	---

Title:

FIRE ACCESS PLAN

Project number: L21049 **Sheet #:**

Issued Date: 07.13.2022

Drawn by: CJO **C3.20**

Approved by: VCS



May 24, 2022

Greystone Real Estate
4031 Parkside Ave. Ste. 100
Raleigh, NC 27611
RE: Service availability - 330 Wargett Raleigh, NC 27603

To whom it may concern:

The purpose of this letter is to confirm that Waste Management can provide or arrange for the provision of waste and recycling services to 330 Wargett St., located in Raleigh, NC. Other services are ordered by property management, pursuant to an executed upon agreement for future service.

We currently service the Raleigh Area M-F between the hours of 8 AM and 8 PM.

A final site visit will be required upon final completion to verify site access to the waste containers without customer vehicle or structural limitations.

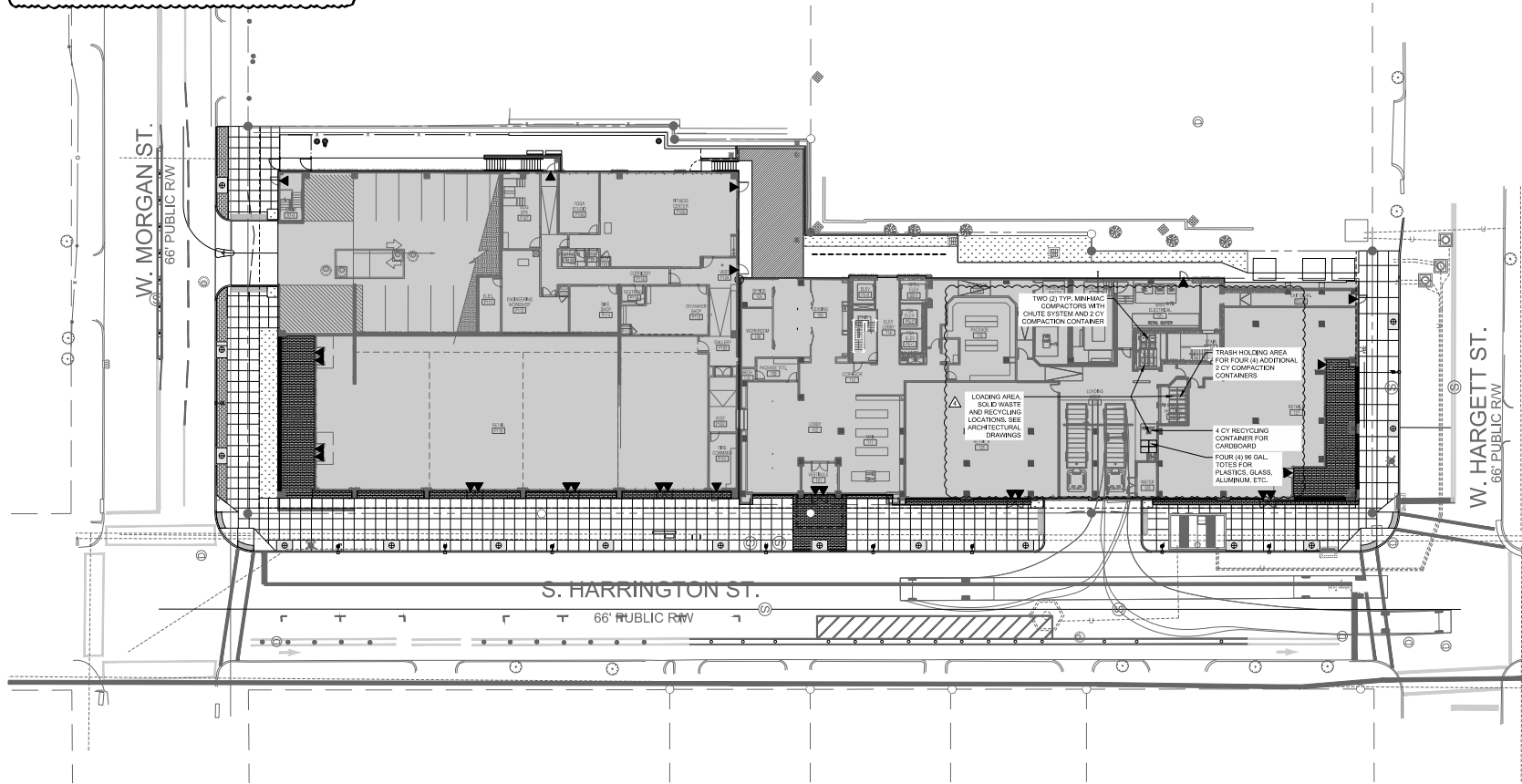
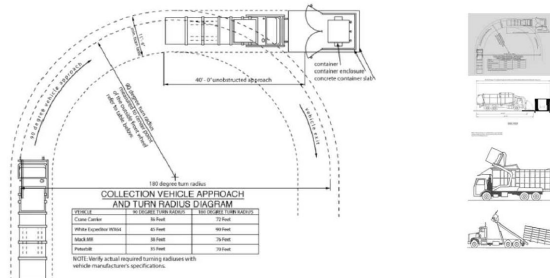
Sincerely,

Rob Wooten
Senior Account Executive
Waste Management
rob.wooten@wm.com



THINK GREEN

Vehicle Approach & Turn Radius

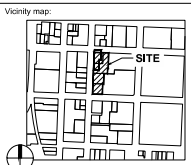


LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK



Client:
HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:
RULE JOY TRAMMELL RUBO
ARCHITECTURE
INTERIOR DESIGN
RULE JOY TRAMMELL RUBO, LLC
300 GALLERIA PARKWAY
SUITE 700
ATLANTA, GA 30339



Scale:
0 10 20 40
SCALE: 1"=20'
NORTH

Project:
330 W. HARGETT

Issued for:
ADMINISTRATIVE SITE
REVIEW

No.	Date	Description
1	05.16.2022	CITY COMMENTS
2	05.17.2022	CITY COMMENTS
3	06.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	---	---
6	---	---
7	---	---
8	---	---
9	---	---
10	---	---

Title:
WASTE MANAGEMENT
PLAN

Project number: L21048 Sheet #: C3.30
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS

POST DEVELOPMENT GRADE			
	PR. LOW	PR. HIGH	PR. AVG.
W MORGAN ST	335.66	341.99	338.83
S HARRINGTON ST	PR. LOW	PR. HIGH	PR. AVG.
	324.26	335.66	329.96
W HARGETT ST	PR. LOW	PR. HIGH	PR. AVG.
	324.26	327.00	325.63

STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE T/C	INVERTS
CB-101	323.85	INV IN: 319.89 15" RCP (EX-SDMH 100)
CB-102	323.28	INV IN: 319.20 15" RCP (EX-SDMH 100)
EX-SDMH 01	335.68	INV IN: 327.80 15" RCP (SDMH 02)
EX-SDMH 100	323.40	INV OUT: 320.00 15" RCP (CB-101) INV OUT: 319.50 15" RCP (CB-102)
SDMH 02	336.78	INV IN: 329.05 15" RCP (SDMH 03) INV OUT: 329.45 15" RCP (EX-SDMH 01)
SDMH 03	342.47	INV IN: 329.65 15" RCP (SDMH 04) INV OUT: 329.45 15" RCP (SDMH 02)
SDMH 04	342.79	INV OUT: 329.45 15" RCP (SDMH 03)
SDMH 05	343.90	INV IN: 332.50 15" RCP (SDMH 06)
SDMH 06	344.19	INV IN: 335.15 15" RCP (I) INV OUT: 332.36 15" RCP (SDMH 05)
SDMH 200	322.62	INV IN: 319.68 15" RCP (I)
SDMH 207	331.84	INV IN: 328.50 15" RCP (YI-208) INV IN: 328.50 15" RCP (YI-210) INV OUT: 328.53 15" RCP (YI-206)
TD	327.44	INV OUT: 324.50 15" RCP (YI-204)
YI-204	326.41	INV IN: 324.75 15" RCP (YI-205) INV IN: 323.83 15" RCP (TD) INV OUT: 323.45 15" RCP (I)
YI-205	330.42	INV IN: 327.48 15" RCP (YI-206) INV OUT: 327.34 15" RCP (YI-204)
YI-206	331.20	INV IN: 328.26 15" RCP (SDMH 207) INV OUT: 326.06 15" RCP (YI-205)
YI-208	336.21	INV IN: 329.40 15" RCP (YI-209) INV OUT: 329.30 15" RCP (SDMH 207)
YI-209	333.34	INV OUT: 330.40 15" RCP (YI-208)
YI-210	331.98	INV OUT: 328.58 15" RCP (SDMH 207)

PIPE TABLE							
START STRUCTURE	END STRUCTURE	START INVERT	END INVERT	SIZE	LENGTH	SLOPE	MATERIAL
YI-204	CB-101	323.63	323.40	15"	9.49	2.42%	RCP
EX-SDMH 100	CB-101	325.00	319.49	15"	24.25	5.48%	RCP
EX-SDMH 100	CB-102	319.50	319.20	15"	13.45	1.36%	RCP
SDMH 02	EX-SDMH 01	329.40	327.80	15"	102.17	5.08%	RCP
SDMH 03	SDMH 02	329.45	329.00	15"	45.83	0.98%	RCP
SDMH 04	SDMH 03	329.65	329.65	15"	7.56	2.38%	RCP
SDMH 06	SDMH 05	333.56	333.50	15"	5.59	1.02%	RCP
SDMH 06	SDMH 06	335.34	335.13	15"	25.92	0.72%	RCP
SDMH 206	SDMH 207	322.34	319.68	15"	51.82	5.14%	RCP
YI-210	SDMH 207	328.58	328.90	15"	4.28	1.83%	RCP
YI-208	SDMH 207	329.30	328.90	15"	24.82	1.62%	RCP
TD	YI-204	325.00	323.83	15"	73.67	0.91%	RCP
YI-205	YI-204	327.34	324.75	15"	37.90	0.95%	RCP
YI-206	YI-205	328.26	327.48	15"	58.49	0.90%	RCP
SDMH 207	YI-206	328.53	328.26	15"	31.82	0.80%	RCP
YI-209	YI-208	330.40	329.40	15"	65.32	1.53%	RCP

LINETYPE LEGEND:

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK

GRADING LEGEND:

SYMBOL	DESCRIPTION
⊕	PROPOSED JUNCTION BOX
⊕	PROPOSED CATCH BASIN
⊕	PROPOSED AREA DRAIN
⊕	RIPRAP DESSIPATOR
→	FLOW DIRECTION
44.0	PROPOSED ELEVATION
44.0	TOP/BOTTOM OF CURB
44.0	TOP/BOTTOM OF WALL
---	PROPOSED STORM DRAINAGE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR

NOTES:

1. SEE SHEET DL-10 FOR GENERAL AND GRADING NOTES.


STEWART
221 S WEST ST, #1100
RALEIGH, NC 27603
T 919.380.8792

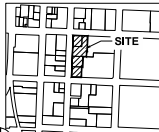
PRM LICENSE # 1-0101
www.stewartinc.com
PROJECT # L21048

Client:

HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

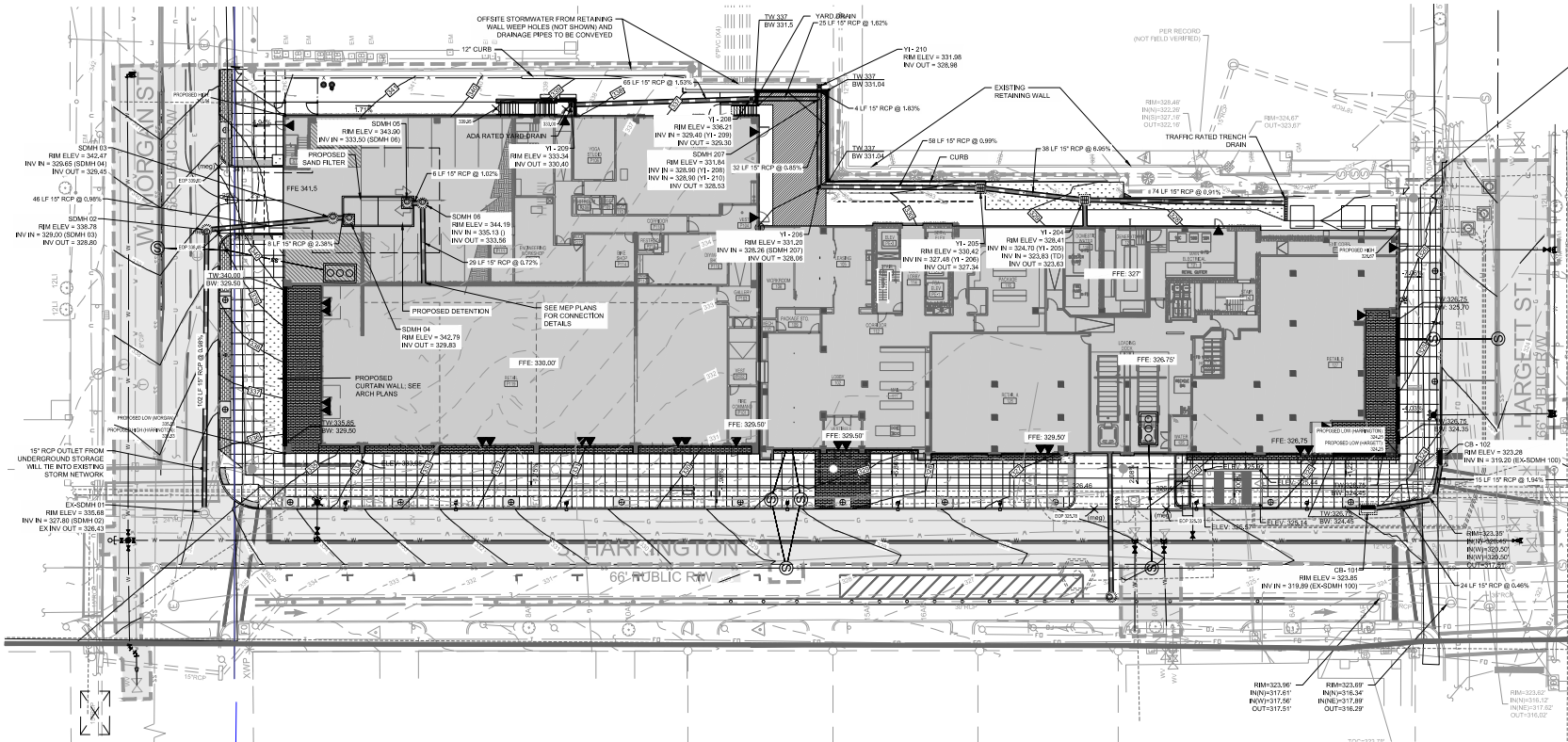
Consultants:

RULE JOY TRAMMELL RUBO, LLC
300 GALLERIA PARKWAY
SUITE 100
ATLANTA, GA 30339

Vicinity map:


Scale:
0 10 20 40
SCALE: 1" = 20'

North Arrow:
NORTH



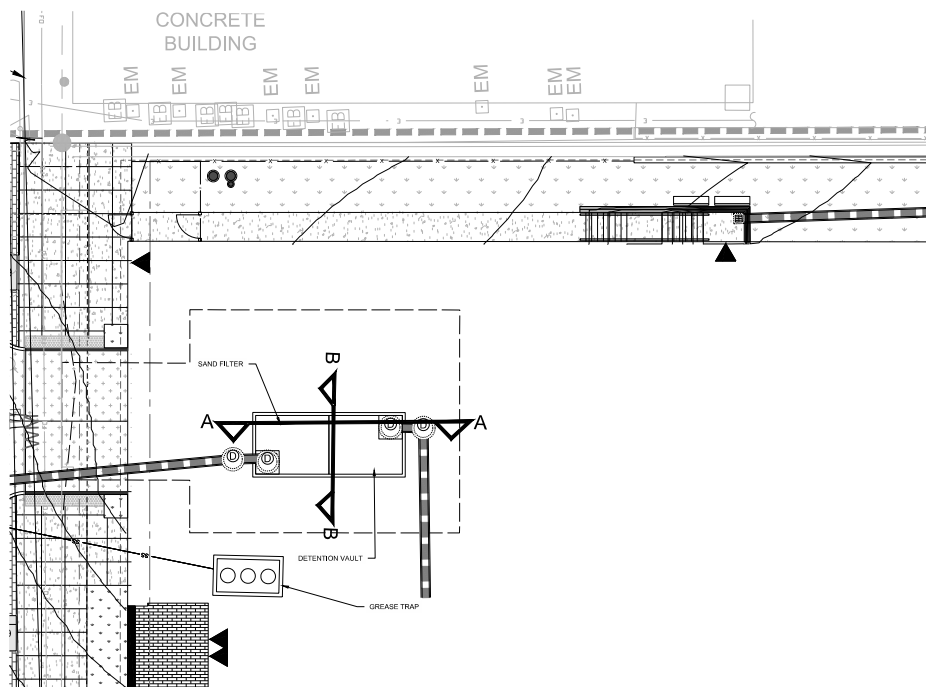
330 W. HARGETT

Issued for: ADMINISTRATIVE SITE REVIEW

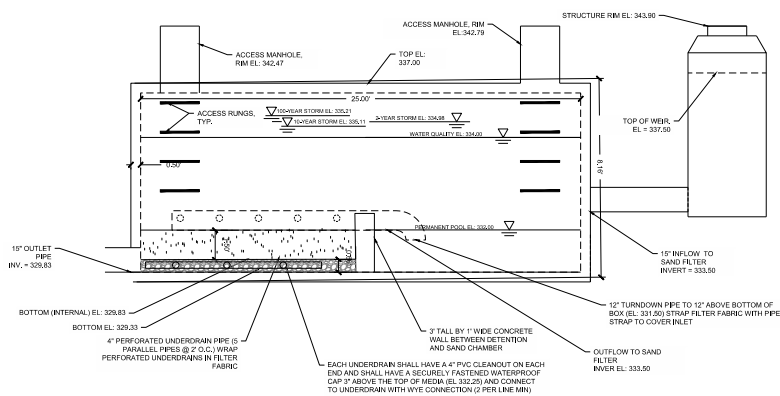
No.	Date	Description
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2	03.13.2022	CITY COMMENTS
3	04.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	---	---
6	---	---
7	---	---
8	---	---
9	---	---
10	---	---

Title: GRADING & STORM DRAINAGE PLAN

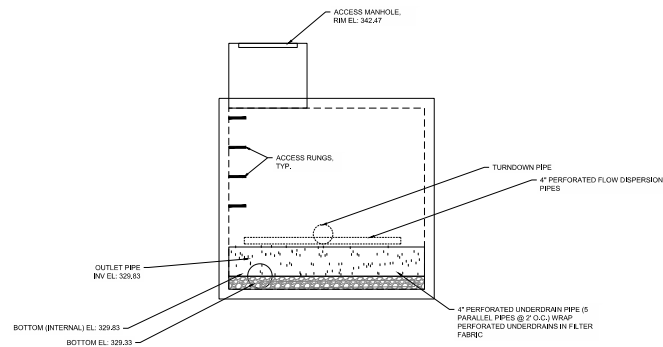
Project number: L21048 Sheet #: C5.00
Issued Date: 07.13.2022
Drawn by: CJS
Approved by: VCS



UNDERGROUND STORAGE PLAN VIEW



SAND FILTER AND DETENTION SECTION VIEW A-A
NTS



SAND FILTER AND DETENTION SECTION VIEW B-B
NTS

- NOTES:**
1. SEE SHEET C0.10 FOR GENERAL, SITE, GRADING AND PLANTING NOTES.
 2. PER GEOTECHNICAL REPORT, GROUND WATER TABLE RANGES FROM 315'-318' WITH A VARIANCE OF 3' FOR SEASONAL HIGH WATER TABLE.



Client:	
---------	--

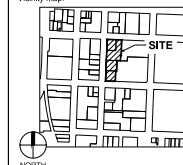


Consultants:

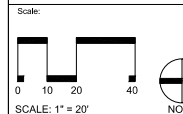


RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30338

Vicinity map:



Seal: PRELIMINARY - DO NOT
USE FOR CONSTRUCTION



Project	
---------	--

330 W. HARGETT

Issued for:
**ADMINISTRATIVE SITE
REVIEW**

[illegible]

Title:

SCM PLAN & DETAILS

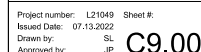
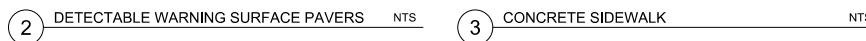
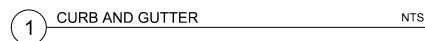
Project number: L21049 Sheet #:

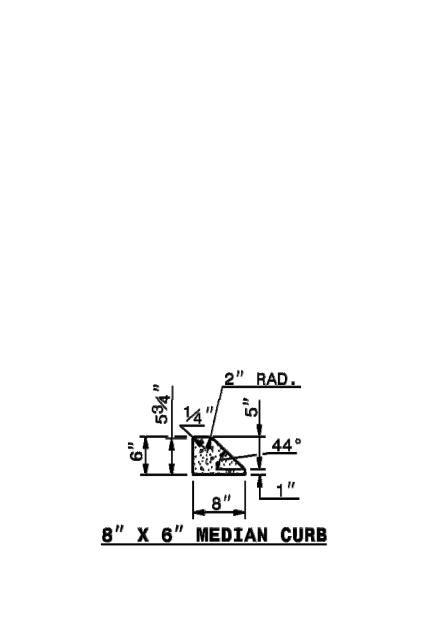
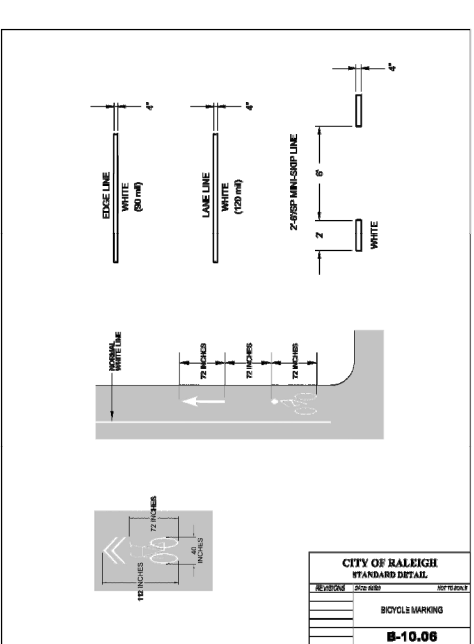
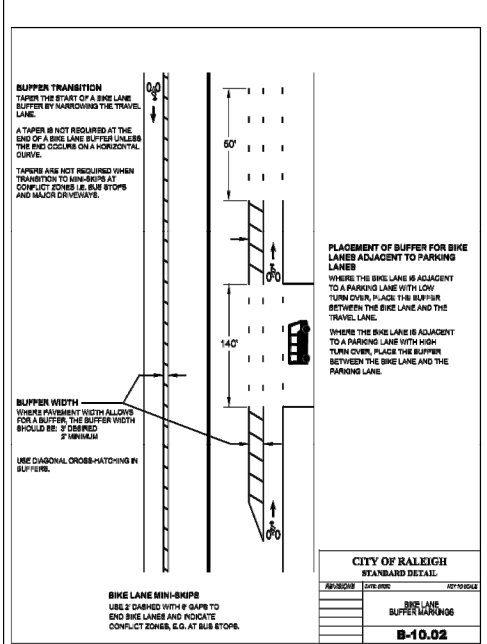
Issued Date: 07.13.2022

Drawn by: CJO
Approved by: NBC

Approved by:	RDS
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C5.10





Post Selection Check Sheet
Domestic Product Line
For assistance contact Customer Service at 1-800-789-5238 or info@impactrecovery.com

Post Types:
Type 1, Type 2, Type 3, Type 4
2" HP Post, 2" Orange Post, 3" Tuff Post, 4" Tuff Post

Post Colors:
White, Yellow, Orange, Gray, Black, Red, Green

Post Types:
Open Top, Black Cap, Short Squares, Long Squares

Sheeting Colors:
White, Yellow, Orange, Green, Red, Blue

Sheeting Grades:
Type VI High Intensity, Type V Super High Intensity, Diamond Grade

Sheeting Quantities:
One (incl. long squares), Two (incl. tubular), Other

Base/Curbs:
Tuff-Curb, Tuff-Curb XL, Surface Mount, Quarter Turn, Driveway, Round, Snow/Retention

Base Colors:
White, Yellow, Black, Green, Purple, Other

Installation Materials:
Multi-Purpose Sleeve Anchors, Concrete Screw Anchors, Two-Part Epoxy, Super Bundy Pads

Notes:
INSTALLATION OF FLEXIBLE POSTS REQUIRES PROPER BOX TO ATTACH POSTS TO THE TOP OF THE CURB TYPE C. EDGE OF SURFACE MOUNT TO BE 1" FROM THE END OF THE TUFF-CURB TYPE C ON EITHER END. THE CURB TYPE C TO BE REACHED TO PROVIDE A 1" GAP BETWEEN CURBS.

IMPACT recovery SYSTEMS
4835 Scout Dr. • San Antonio, TX 78238
210-788-4477 • 800-788-5238 • Fax 210-788-6648
Email: info@impactrecovery.com
www.impactrecovery.com

4 CURB MEDIAN BOLLARD NTS

STEWART
221 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8792
FIRM LICENSE # C-1101
www.stewartinc.com
PROJECT # L21048

Client:
HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:
RULE JOY TRAMMELL RUBIO
ARCHITECTURE INTERIOR DESIGN
RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 210
ATLANTA, GA 30338

Vicinity map:

Scale:
SCALE: AS NOTED

Project:
330 W. HARGETT

Issued for:
ADMINISTRATIVE SITE REVIEW

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	10.13.2022	CITY COMMENTS
3	04.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	---	---
6	---	---
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9	---	---
10	---	---

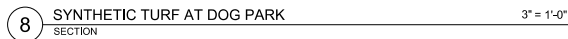
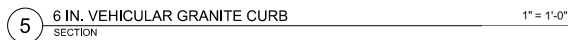
Title:
SITE DETAILS

Project number: L21048 **Sheet #:** C9.01
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: NBC

L:\Project\2021\12\1048 - 330 W. Hargett\DWG\330 - ASR - Alternative\Sheet\21048-C9.01 Site Details.dwg Jun 26, 2023 - 7:33pm

NOTE:

1. WHERE EXISTING ASPHALT MEETS NEW ASPHALT, SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE.
2. FINAL LIFT OF ASPHALT IN PARKING LOT BY OTHERS (N.I.C.)
3. CONTRACTOR SHALL INSTALL FINAL LIFT OF ASPHALT (A2) FOR ROADWAY CONSTRUCTION



7 INTENTIONALLY LEFT BLANK
SECTION



M LICENSE #: C-1051
www.stewartinc.com
PROJECT #: L21049

RULEJOYTRAMMELL | RUBIO
Architecture | Interior Design

[illegible]

330 W. HARGETT

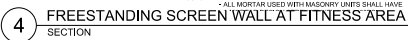
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SITE DETAILS

Project number: L21049 Sheet #:

Project number: L21049 Sheet #:
 Issued Date: 07.13.2022
 Drawn by: CJO
 Approved by: NBC

C9.02



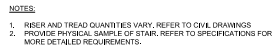


Diagram illustrating the cross-section of a concrete curb and channel, showing dimensions and reinforcement details:

- Top Reinforcement:** 3" TYP. TYP. TYP. (Typical reinforcement bars).
- Top Surface:** 1" BATTERY WITH 1/2" RADIUS, TYP. (Typical reinforcement bar with 1/2" radius).
- Channel Depth:** 7'-2" TYP. (Typical channel depth).
- Channel Slope:** SLOPE 1% TYP. (Typical channel slope).
- Channel Bottom:** 6" TYP. (Typical channel bottom width).
- Channel Side:** 6" TYP. (Typical channel side height).
- Channel Bottom Reinforcement:** SCORED WARNING STRIP CONTINUOUS ALONG TREAD WIDTH (Warning strip continuous along the tread width).
- Channel Bottom Reinforcement:** FINAL REINFORCEMENT PER STRUCTURAL ENGINEER (Final reinforcement as per structural engineer's specification).

1-1/2" DIA. STEEL PIPE, GALVANIZED AND PAINTED

1-1/2" EXPANSION JOINT, TYP.

ECU/TECHON PLATE

RAIL PIG TO BE CORE-DRILLED AND GROUTED

PAVING VARIES, SEE PLANS

COMPACTED OR UNDISTURBED SUBGRADE PER GEOTECHNICAL ENGINEER'S REPORT

Technical drawing of a fence section showing dimensions and components. The drawing includes a side view and a top view. Key dimensions and components are labeled:

- 8" O/C, NOM.**: Overall width of the fence section.
- 1/2"**: Spacing between the top rail and the post.
- 1/2"**: Spacing between the bottom rail and the post.
- 4" HEIGHT**: Height of the fence section.
- 2" NOM.**: Nominal width of the post.
- 3 3/4" TYPICAL**: Typical spacing between the posts.
- 36" MIN. FOOTING DEPTH**: Minimum depth of the footing.
- 19" MONTAGE PLUS™ RAIL**: Top rail, with a note "(SEE OPTION SECTION BELOW)".
- POST 2 1/2" DIA X 16GA**: Post dimensions.
- 1/2" 16GA PICKET**: Picket dimensions.
- BRACKET OPTIONS**: Indicated by a bracket on the right side of the fence section.

NOTES:

1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MONTAGE PLUS™ SPECIFICATIONS FOR POST SIZING CHART.
2. THIRD RAIL REQUIRED FOR DOUBLE RINGS.
3. AVAILABLE IN 2" AIR SPACE AND/OR FLUSH BOTTOM ON MOST HEIGHTS.

Technical drawing illustrating the connection of a guardrail post to a precast wall. The drawing shows a cross-section of the wall and the post assembly.

Key components and dimensions labeled:

- 2 X 2 X 1/4" ALUMINUM POSTS AND TOP RAILS
- 1/2" Ø STAINLESS STEEL CABLES, TYP.
- 4" SQUARE EBCUTCHEON PLATE, INITIAL USING RASE PLATE AND SET SCREWS. MATERIAL AND FINISH TO MATCH RAILING.
- GUARDRAIL POST EPOXIED INTO HOLE IN WALL.
- 3' 0" x 8" DEEP HOLE TO ACCEPT GUARDRAIL POST
- PRECAST WALL
- CROSS

Diagram illustrating a vertical curve section. The diagram shows a transition from a 1% grade to a 0% grade. Key components labeled include:

- FLUSH CURB
- TRANSITION CURB - VARIABLE SLOPE NOT TO EXCEED 10:1
- FINISH GRADE OF ROADWAY
- VERTICAL CURB

Dimensions and notes:

- 1' MIN. (vertical clearance)
- 10' MIN. (horizontal distance for transition curve)
- VARIES - SEE SITE PLAN

3/8" EXPANSION JOINT MATERIAL, 6" OC, TO MATCH GRANITE

GRANITE CURB

6" OC

8" #4 DOWEL, SET 4" IN TO EACH GRANITE CURB WITH EPOXY EVERY 4' O.C.

AGGREGATE BASE COURSE

STEWART
223 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.380.8750

FIRM LICENSE #: C-1051
www.stewartinc.com
PROJECT #: L21049

Client:	
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High Street

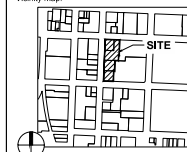
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:

DOI 10.1002/lt

RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339

Vicinity map



Seal: PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Scale:

SCALE: AS NOTED

Project

330 W. HARGETT

Issued for:
**ADMINISTRATIVE SITE
REVIEW**

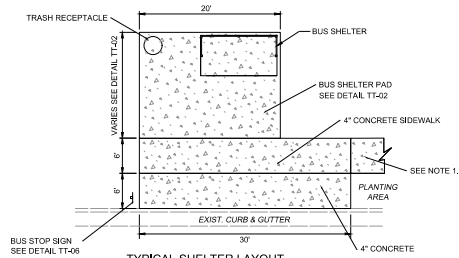
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Title:	
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SITE DETAILS

Project number: 121049 Sheet #:

Project number: L21049 Sheet #:
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS



- NOTES:
1. IF NO SIDEWALK CURRENTLY EXISTS, PROVIDE SIDEWALK TO NEAREST ADA ACCESSIBLE INTERSECTION OR DRIVEWAY WITH APPROPRIATE RAMPS, SIDEWALK AND PLANTING AREA WIDTH TO BE IN COMPLIANCE WITH THE CITY'S UDO. PROVIDE CURB RAMP IN ACCORDANCE WITH CITY STANDARDS.
 2. BUS SHELTER SHALL BE MINIMUM 6' FROM EDGE OF CONCRETE PAD.

1 BUS SHELTER
SECTION

NTS



MODEL	OVERALL LENGTH	OVERALL DEPTH	SEAT DEPTH	OVERALL HEIGHT	SEAT HEIGHT	ARMREST HEIGHT	WEIGHT
BBN-L-723B	72" (1829 mm)	23" (584 mm)	18" (457 mm)	32.0" (813 mm)	17.3" (439 mm)	24.7" (627 mm)	121.0 lbs (55.3 kg)
BBN-L-723C	72" (1829 mm)	23" (584 mm)	18" (457 mm)	32.0" (813 mm)	17.3" (439 mm)	24.7" (627 mm)	121.0 lbs (55.3 kg)



3 6FT BENCH AT DOG PARK
SECTION

NTS



4 TRASH RECEPTACLE
SECTION

NTS

2 INTENTIONALLY LEFT BLANK
SECTION

NTS



PRODUCT:
DOG-ON-IT
COMPLETE DOG
WASTE STATION -
ROLL BAG
APPROVED EQUAL

5 DOG WASTE STATION
SECTION

NTS



PRODUCT:
DOG-ON-IT DOG
WATERING
STATION OR
APPROVED EQUAL

6 WATER FOUNTAIN AT DOG PARK
SECTION

NTS

7 DETAIL NOT USED
SECTION

NTS

8 DETAIL NOT USED
SECTION

NTS



STEWART
221 S. WEST ST., #1100
RALEIGH, NC 27603
T 919.386.8792
FIRM LICENSE # C-1001
www.stewartinc.com
PROJECT # L21048

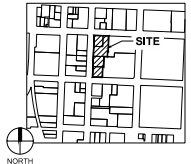
Client:

HIGH STREET
RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:

RULE JOY TRAMMELL RUBIO
ARCHITECTURE INTERIOR DESIGN
RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 100
ATLANTA, GA 30339

Vicinity map:



Scale:
PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Scale:

SCALE: AS NOTED

Project:

330 W. HARGETT

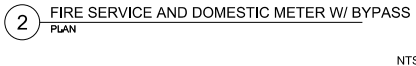
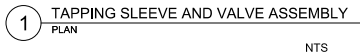
Issued for:
**ADMINISTRATIVE SITE
REVIEW**

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	10.13.2022	CITY COMMENTS
3	04.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
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10	---	---

Title:

SITE DETAILS

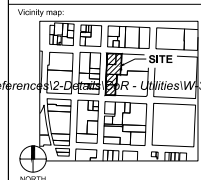
Project number: L21048 Sheet #: C9.05
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: VCS



Consultants:

RJR RULE JOY TRAMMELL RUBIO
Architecture Interior Design

RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30338



Seal: PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Scale:

SCALE: AS NOTED

Project

330 W. HARGETT

Issued for:
**ADMINISTRATIVE SITE
REVIEW**

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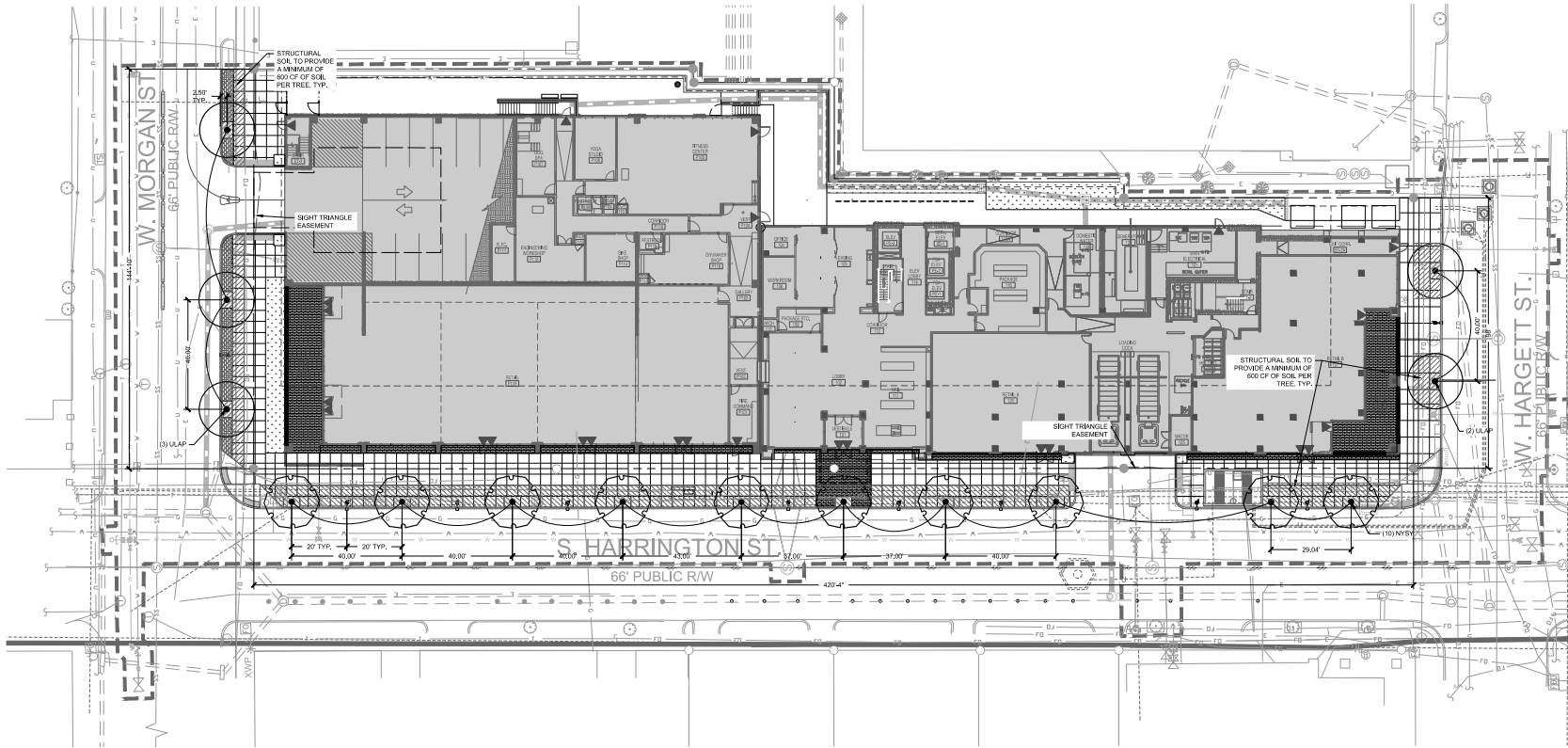
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UTILITY DETAILS IV

Project number: L21049 Sheet #:

NTS

Project number: L21049 Sheet #:
Issued Date: 06.20.2022
Drawn by: CJO
Approved by: NBC



330 HARGETT				
STREET TREE CALCULATIONS				
STREET	FRONTAGE (LF)	SPACING (LF)	REQ. TREES	PROVIDED TREES
W MORGAN ST	195	40	5	3
S HARRINGTON ST	420	40	10	10
W HARGETT ST	98	40	2	2

PLANT SCHEDULE						
TREE	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT
	NYSY	10	NYSSA SYLVATICA BLACK GUM	B&B	3 IN	10 TO 12 FT
	ULAP	5	LEUUS AMERICANA PRINCETON PRINCETON AMERICAN ELM	B&B	3 IN	10 TO 12 FT

STRUCTURAL SOIL

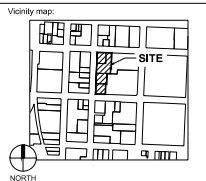
LINETYPE LEGEND:	
SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPERTY LINE
	EASEMENT
	SETBACK
	RIPARIAN BUFFER (50')
	TREE PROTECTION FENCE
	ACCESSIBLE ROUTE

NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.



Client:
HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:
RULE JOY TRAMMELL RUBO
ARCHITECTURE
ARCHITECTURE
SCULPTURE
DESIGN
RULE JOY TRAMMELL RUBO, LLC
300 GALLERIA PARKWAY
SUITE 100
ATLANTA, GA 30339



Scale:
PRELIMINARY - DO NOT
USE FOR CONSTRUCTION



Scale:
0 10 20 40
SCALE: 1" = 20'
NORTH

Project:

330 W. HARGETT

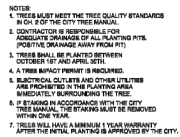
Issued for:
**ADMINISTRATIVE SITE
REVIEW**

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	03.13.2023	CITY COMMENTS
3	04.06.2023	CITY COMMENTS
4	06.26.2023	CITY COMMENTS
5	---	---
6	---	---
7	---	---
8	---	---
9	---	---
10	---	---

Title:

PLANTING PLAN

Project number: L21049 Sheet #: L5.00
Issued Date: 07.13.2022
Drawn by: SL
Approved by: JP

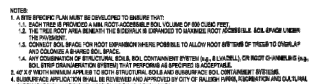


CITY OF RALEIGH		
STANDARD DETAIL		
SECTION	DATE	BY
PLUMBING		
THREE PLUMBING DETAIL		
TYP-03		

NT:



6 PLANTING NOTES



TAIL



HIGH STREET
RESIDENTIAL

HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

RULE JOY TRAMMELL RUBIO
Architecture Interior Design

RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339

Seal: PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

SCALE: AS NOTED

330 W. HARGETT

Issued for:
**ADMINISTRATIVE SITE
REVIEW**

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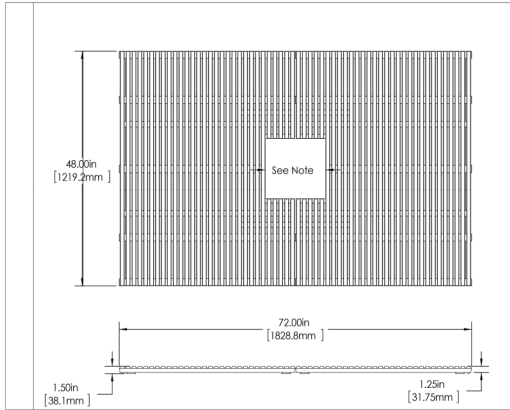
PLANTING & SOILS DETAILS

Project number: 121048 Sheet #:

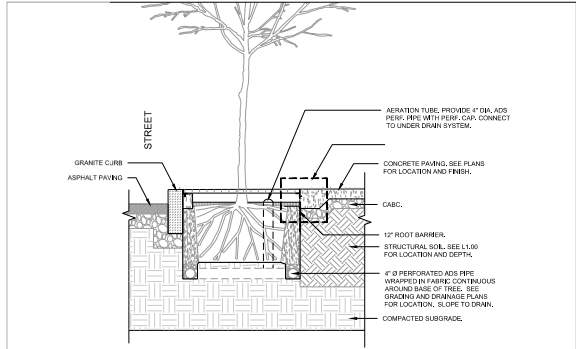
Issued Date: 07.13.2022

Drawn by:
Approved by:

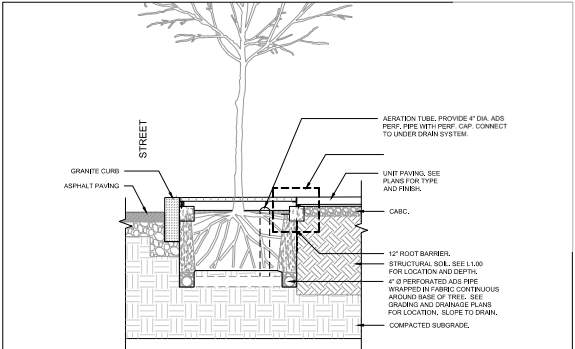
L6.00



1 TREE GRATE IN SIDEWALK WITHIN ROW SECTION NTS



2 TREE GRATE AT CONCRETE PAVING SECTION NTS



3 TREE GRATE AT PAVERS SECTION NTS

4 TREE GRATE FRAME TO CONCRETE EDGE SECTION NTS

5 TREE GRATE FRAME TO PAVER EDGE SECTION NTS

6 DETAIL NOT USED PLAN NTS

7 DETAIL NOT USED SECTION NTS

8 DETAIL NOT USED SECTION NTS

8 DETAIL NOT USED PLAN NTS



STEWART
223 S. WEST ST. #1100 FIRM LICENSE # 0-1051
RALEIGH, NC 27603 www.stewartinc.com
T 919.380.8750 PROJECT # L21049

Client:

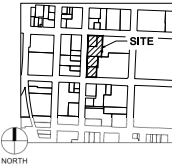
HIGH STREET
RESIDENTIAL
HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:

RULEX TRAMMELL RUBIO
ARCHITECTURE
ARCHITECTURE INTERIOR DESIGN

RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 700
ATLANTA, GA 30339

Vicinity map:



Seal:

PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

Scale:

SCALE: AS NOTED

Project:

330 W. HARGETT

Issued for:

ADMINISTRATIVE SITE
REVIEW

No.	Date	Description
1	09.16.2022	CITY COMMENTS
2	10.13.2022	CITY COMMENTS
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4	06.26.2023	CITY COMMENTS
5	--	--
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7	--	--
8	--	--
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10	--	--

Title:

PLANTING & SOIL
DETAILS

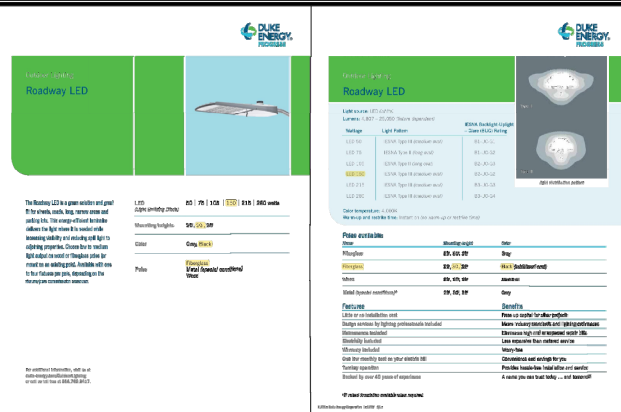
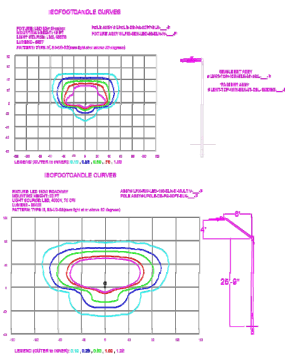
Project number: L21049 Sheet #:

Issued Date: 07.13.2022



Drawn by: CJO

Approved by: VCS

L6.01



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
S. Harrington	✗	1.8 fc	3.5 fc	0.3 fc	11.7:1	6.0:1
W. Hargett	✗	0.9 fc	2.2 fc	0.1 fc	22.0:1	9.0:1
W. Morgan	✗	1.5 fc	2.6 fc	0.2 fc	13.0:1	7.5:1

Schedule						
Symbol	Label	Quantity	Description	Number	Lumens Per Lamp	Light Loss Factor
	A	8	LED 5W Spotlight - Type IV - 4000K	18	404	0.8
	B	1	LED 18W Recessed - Type II - 4000K	1	18001	0.8

	NI
REVISION	BY

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duka Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the light area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



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330 WEST HARGETT	
Raleigh, NC	
SITE LIGHTING ARRANGEMENT	
Designed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS	
Reviewed by N. Johnson	Scale 1" = 30'
Date 04/11/2023	Size Drawing size "D"
Description Black LED Pedestrian Stooltop & Roadway	
Drawing No. 22-0446B	Shr. 1 OF 1



Client:

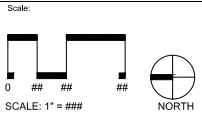
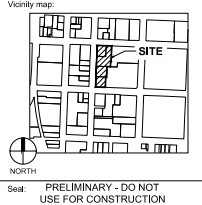


HIGH STREET RESIDENTIAL
555 FAYETTEVILLE STREET
SUITE 300
RALEIGH, NC 27601

Consultants:

RJR **RULE JOY TRAMMELL RUBIO**
Architectural Interior Design

RULE JOY TRAMMELL RUBIO, LLC
300 GALLERIA PARKWAY
SUITE 740
ATLANTA, GA 30339



330 W. HARGETT

Issued for:
**ADMINISTRATIVE SITE
REVIEW**

[illegible]

Title:

LIGHTING PLAN

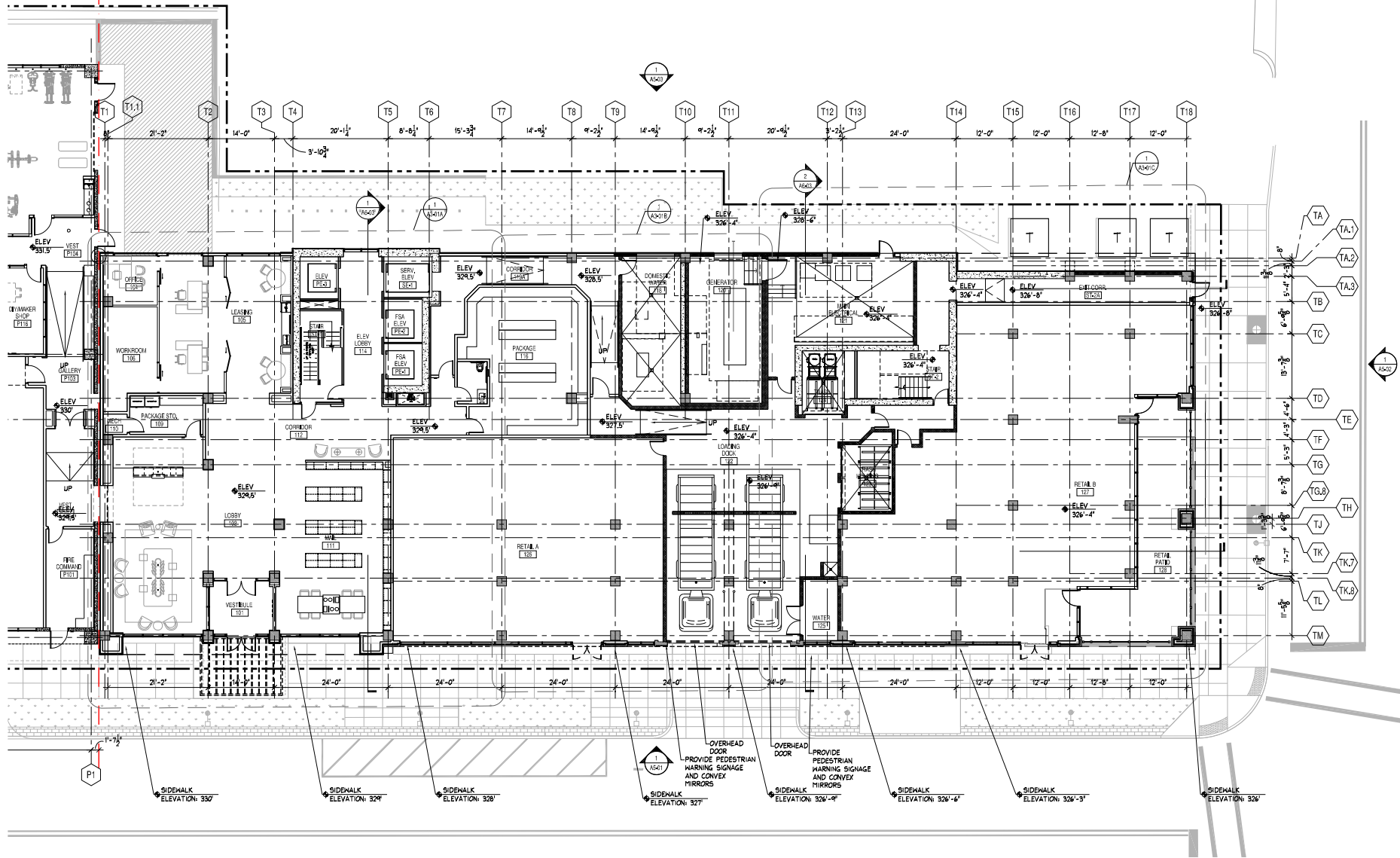
Project number: L21049 Sheet #:
Issued Date: 07.13.2022
Drawn by: CJO
Approved by: NBC



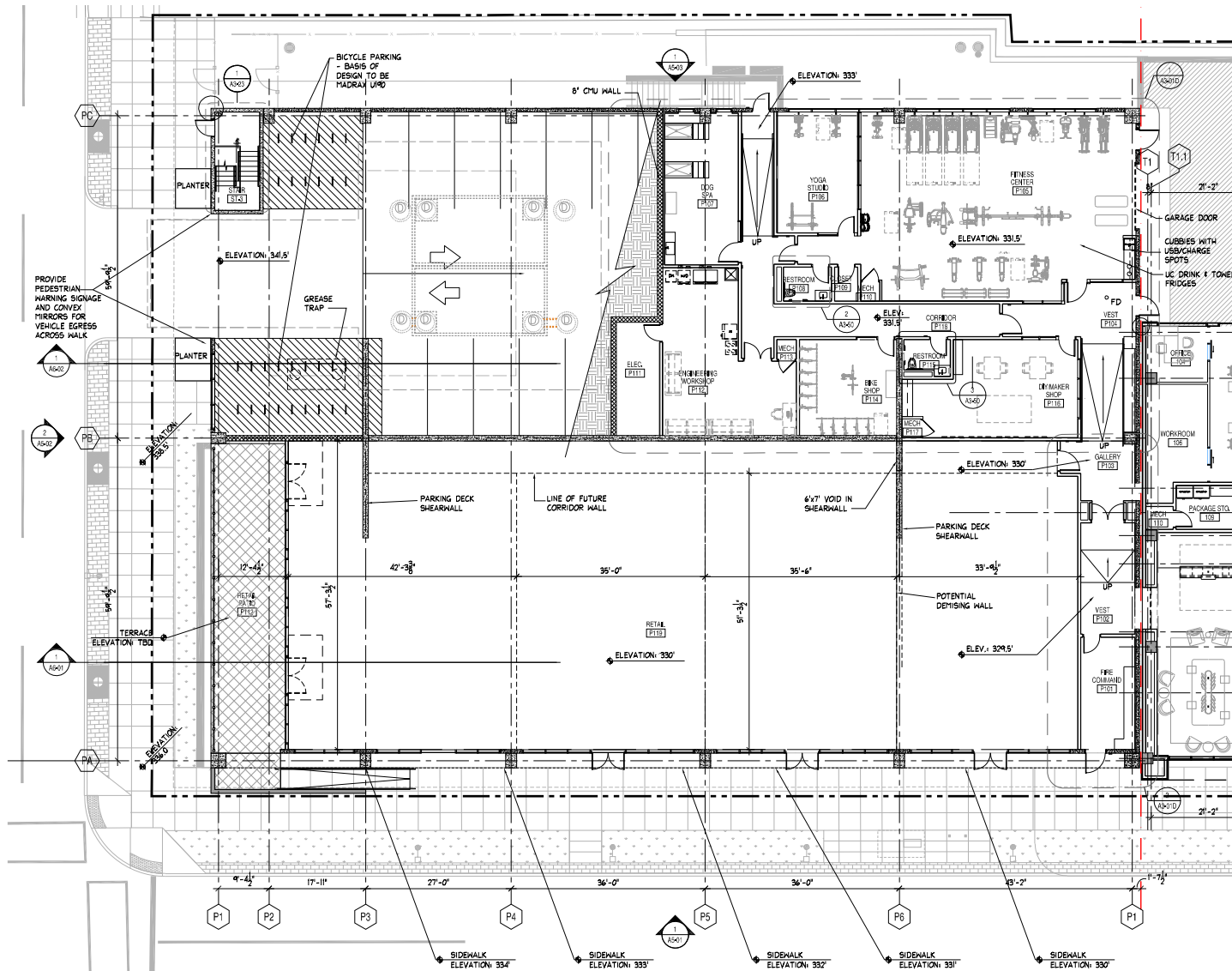
PRINTED	
DATE	ISSUE/REVISION
1/2022	SCHEMATIC DESIGN
2/2022	DESIGN DEVELOPMENT
3/2023	50% CONSTRUCTION DOCUMENTS

330 W. HARC
RALEIGH, NC

COMMISSION NO: 21-073
DRAWING NO:
A1-01A



1 ENLARGED TOWER PLAN - LEVEL 1
Scale: 1/8" = 1'-0"



1

ENLARGED DECK PLAN - LEVEL 1
Scale: 1/8" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

ENLARGED DECK PLAN - LEVEL 1

330 W. HARGETT
RALEIGH, NC

RULE JOY TRAMMELL RUBIO
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300 Galleria Parkway, Suite 740 Atlanta, Georgia 30339
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(404) 525-1234

DATE	ISSUE/REVISION
6/17/2022	SCHEMATIC DESIGN
11/11/2022	DESIGN DEVELOPMENT
01/13/2023	5% CONSTRUCTION DOCUMENTS

CORRELATION NO. 21-475
DRAWING NO.

A1-01B



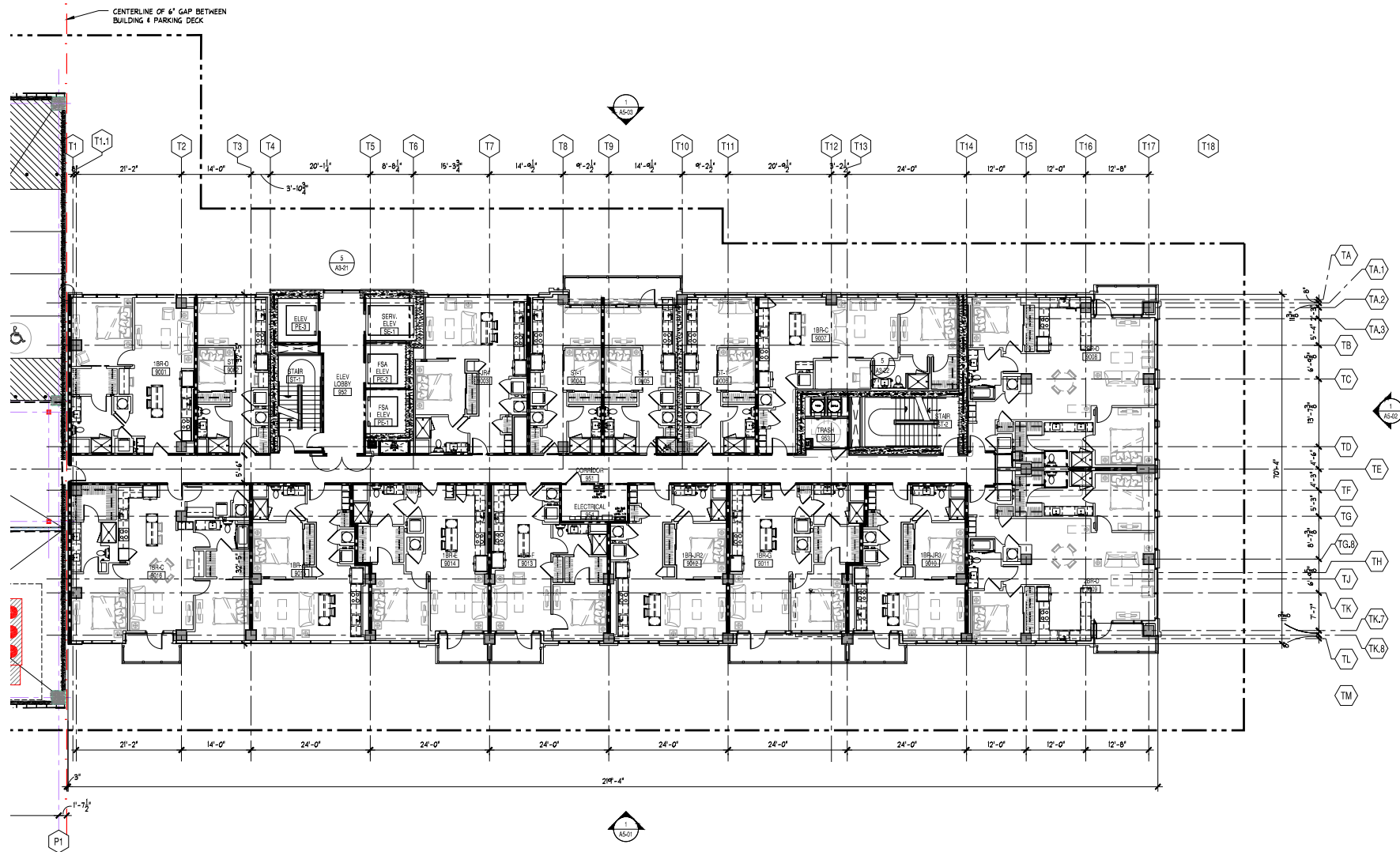
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DATE	ISSUE/REVISION
12/2022	SCHEMATIC DESIGN
12/2022	VE PROGRESS
12/2022	DESIGN DEVELOPMENT
12/2023	50% CONSTRUCTION DOCUMENTS

ENI ABCDEI EVELI O RI AN TOWER

ENLARGED LEVEL 9 PLAN - LOWER

330 W. HARGETT
RALEIGH, NC

A1-09A



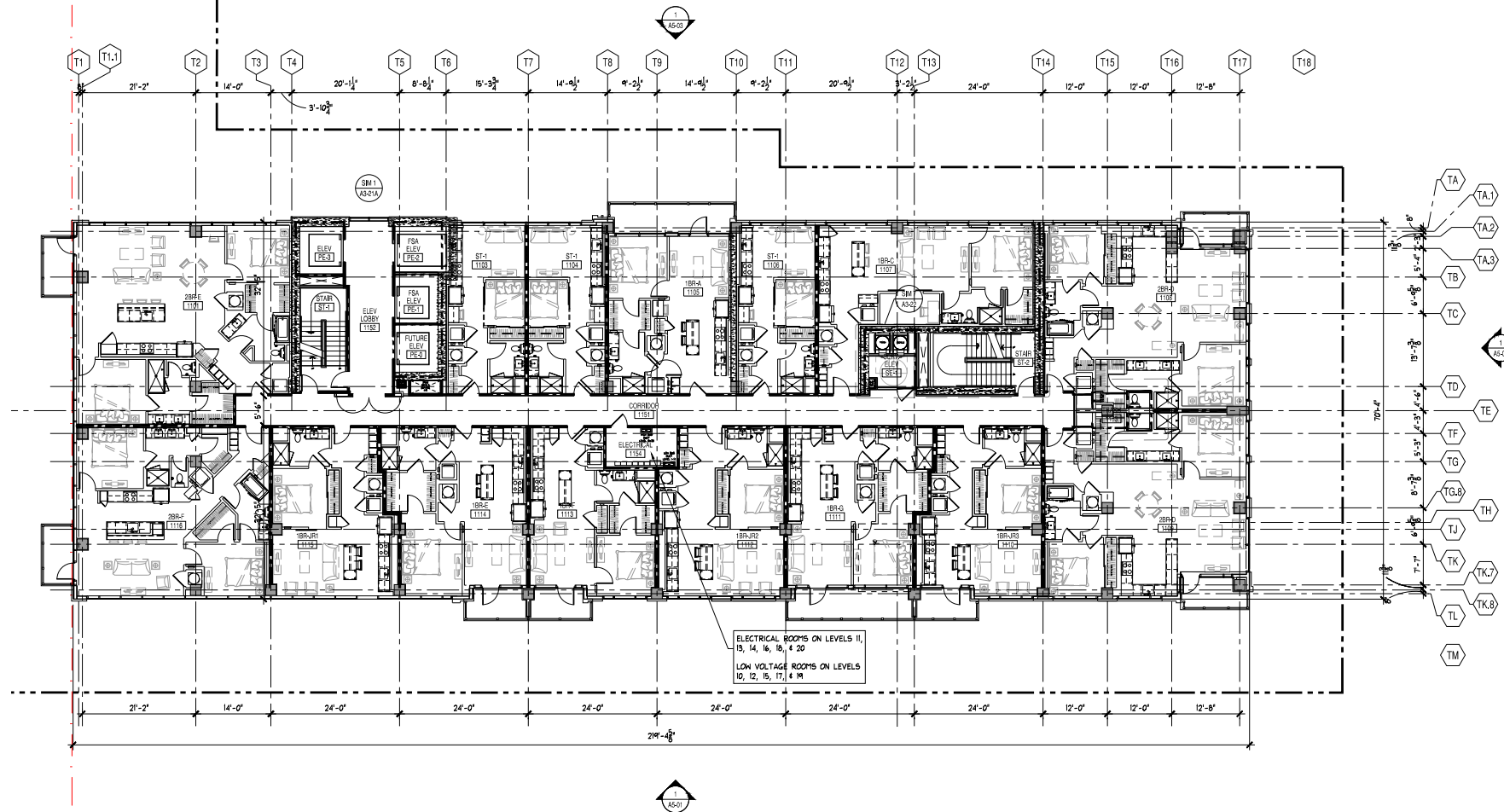
1 ENLARGED LEVEL 9 PLAN - TOWER
Scale: 1/8" = 1'-0"



PRINTED	
DATE	ISSUE/REVISION
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1/2022	VE PROGRESS
1/2022	DESIGN DEVELOPMENT
4/2023	50% CONSTRUCTION DOCUMENTS

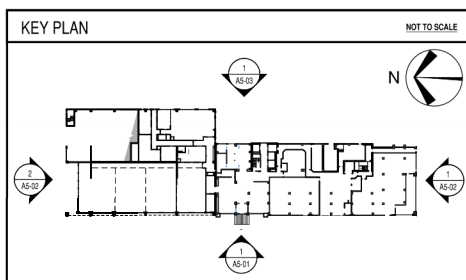
330 W. HARGREAVE
RALEIGH, NC

COMMISSION NO: 21-075
DRAWING NO:
A1-11A



1 ENLARGED LEVEL 10-21 PLAN - TOWER
Scale: 1/8" = 1'-0"

NOT ISSUED FOR CONSTRUCTION

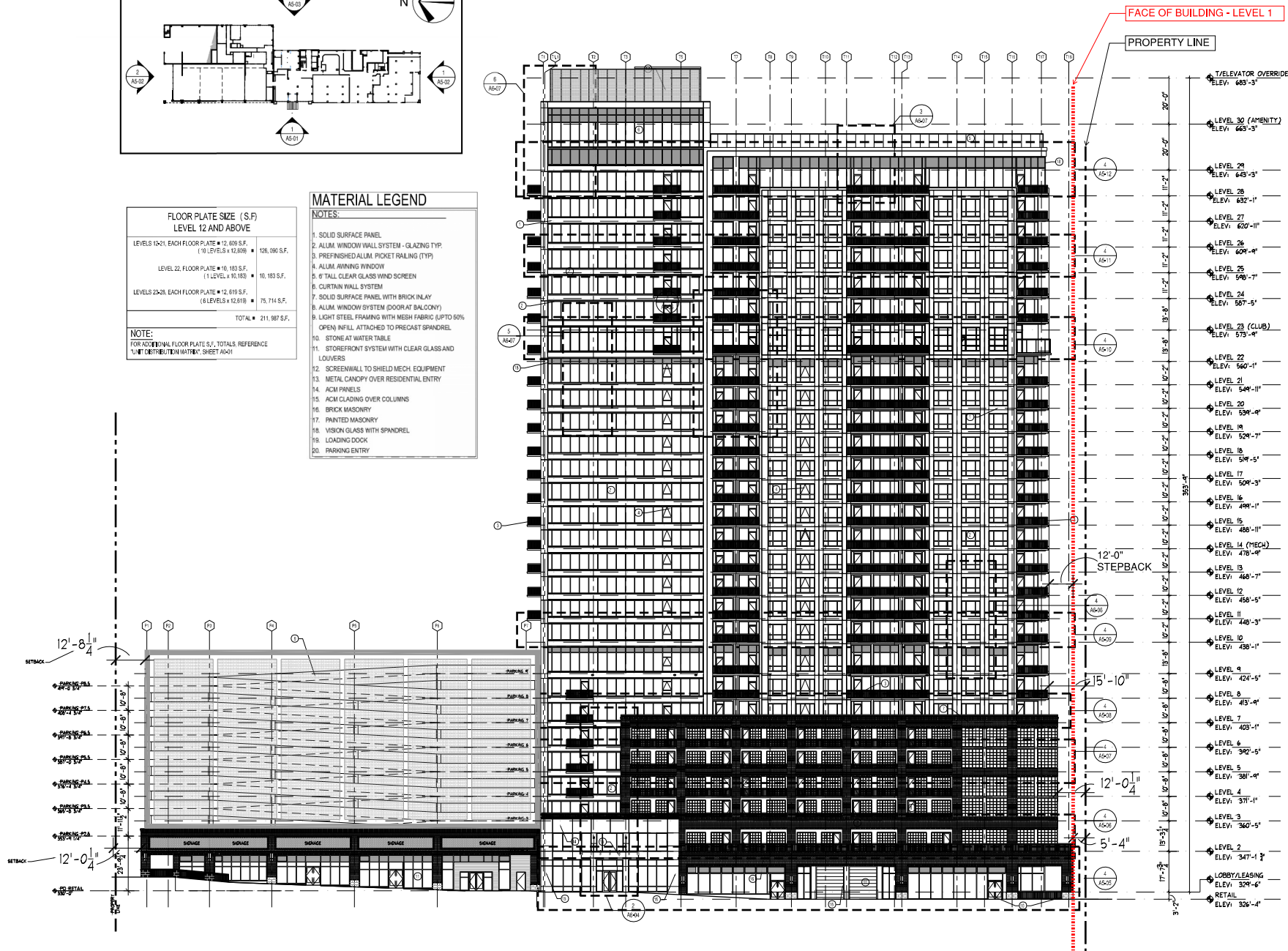


FLOOR PLATE SIZE (S.F.) LEVEL 12 AND ABOVE		
LEVELS 12-21, EACH FLOOR PLATE ■ 12, 609 S.F. (10 LEVELS x 12,609 S.F.)	■	126, 090 S.F.
LEVEL 22, FLOOR PLATE ■ 10, 183 S.F. (1 LEVEL x 10,183 S.F.)	■	10, 183 S.F.
LEVELS 23-28, EACH FLOOR PLATE ■ 12, 619 S.F. (6 LEVELS x 12,619 S.F.)	■	75, 714 S.F.
TOTAL ■		211, 987 S.F.
NOTE: FOR ADDITIONAL FLOOR PLATE S.F. TOTALS, REFERENCE "UNIT CONSTRUCTION MATRIX" SHEET A-01		

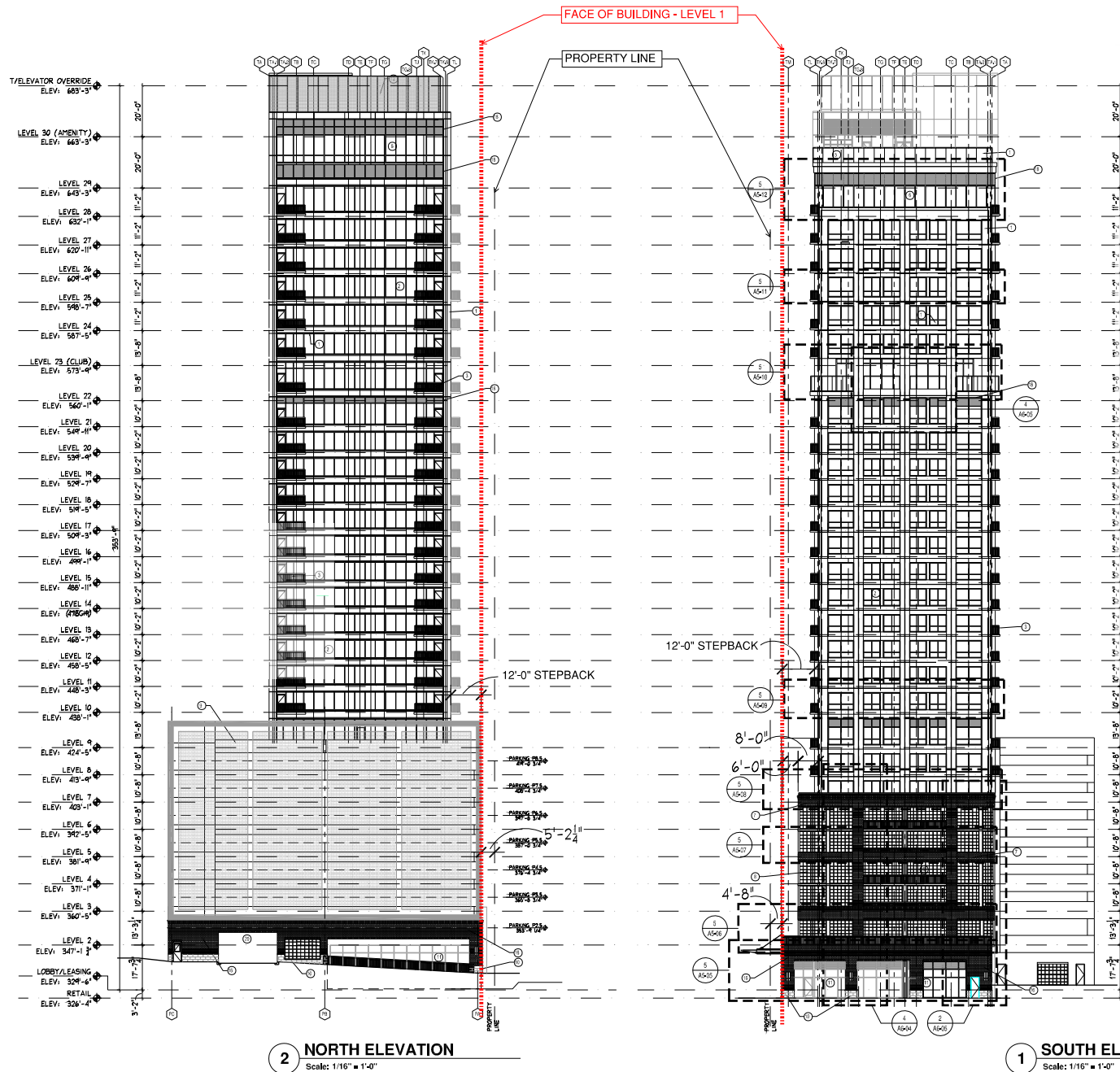
MATERIAL LEGEND

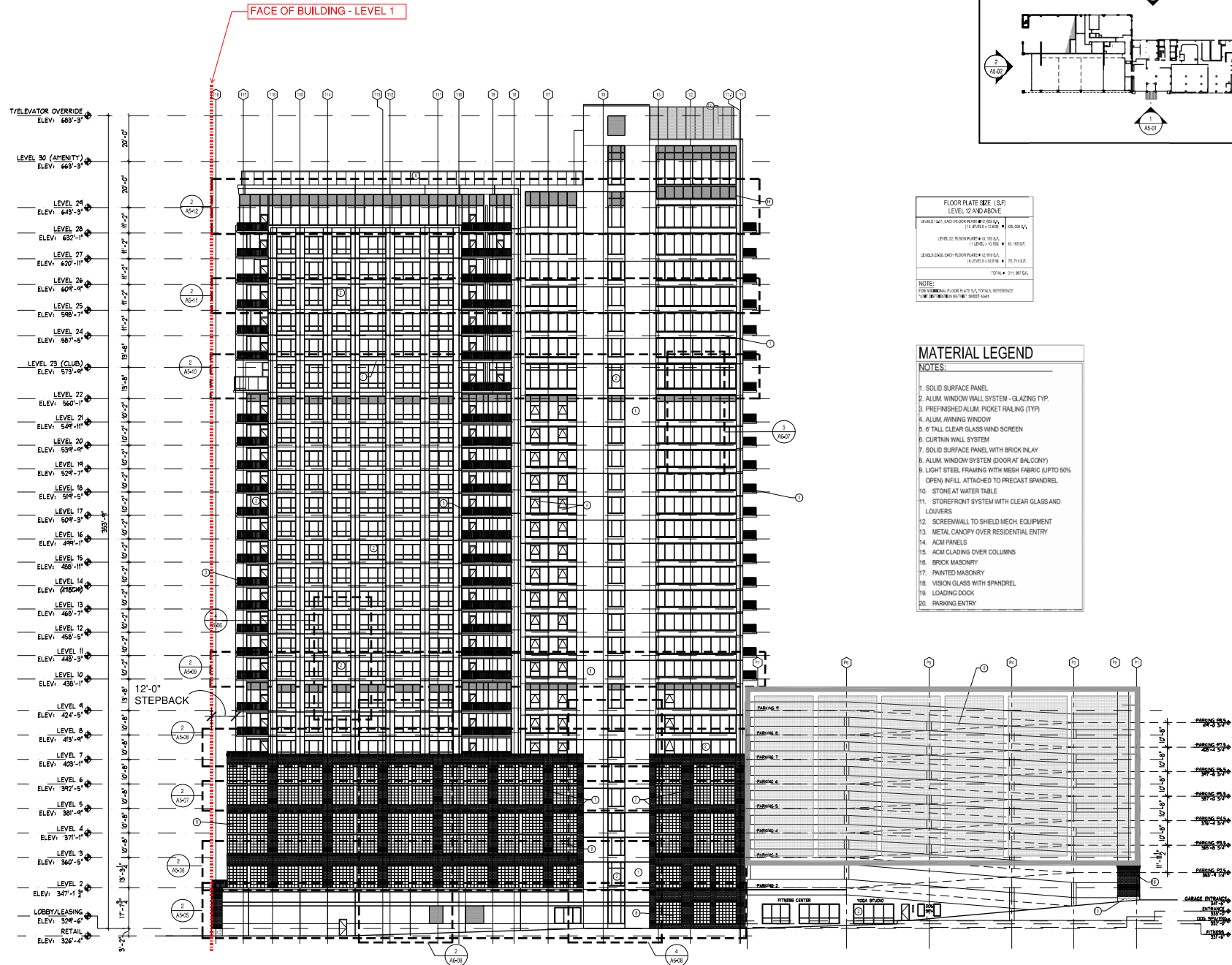
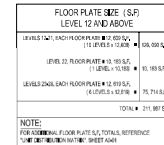
NOTES:

2. SOLID SURFACE PANEL
3. ALUM. WINDOW WALL SYSTEM - GLAZING TYP.
3. PREFINISHED ALUM. PICKET RAILING (TYP)
4. ALUM. WINNING WINDOW
5. 6" TALL CLEAR GLASS WIND SCREEN
6. CURTAIN WALL SYSTEM
7. SOLID SURFACE PANEL WITH BRICK INLAY
8. ALUM. WINDOW SYSTEM (DOOR& BALCONY)
9. LIGHT STEEL GLAZING WITH MESH FABRIC (UP TO 50% OPEN AREA) ATTACHED TO REGIST PANEL
10. STONE AT WATER TABLE
11. STOREFRONT SYSTEM WITH CLEAR GLASS AND LOUVERS
12. SCREENWALL TO SHIELD MECH. EQUIPMENT
13. METAL CANOPY OVER RESIDENTIAL ENTRY
14. ACM PANELS
15. ACM GLAZING OVER COLUMNS
16. BRICK MASONRY
17. PAINTED MASONRY
18. VISION GLASS WITH SPANDREL
19. LANDING DOCK
20. PARKING DECK



1 WEST ELEVATION
Scale: 1/16" = 1'-0"

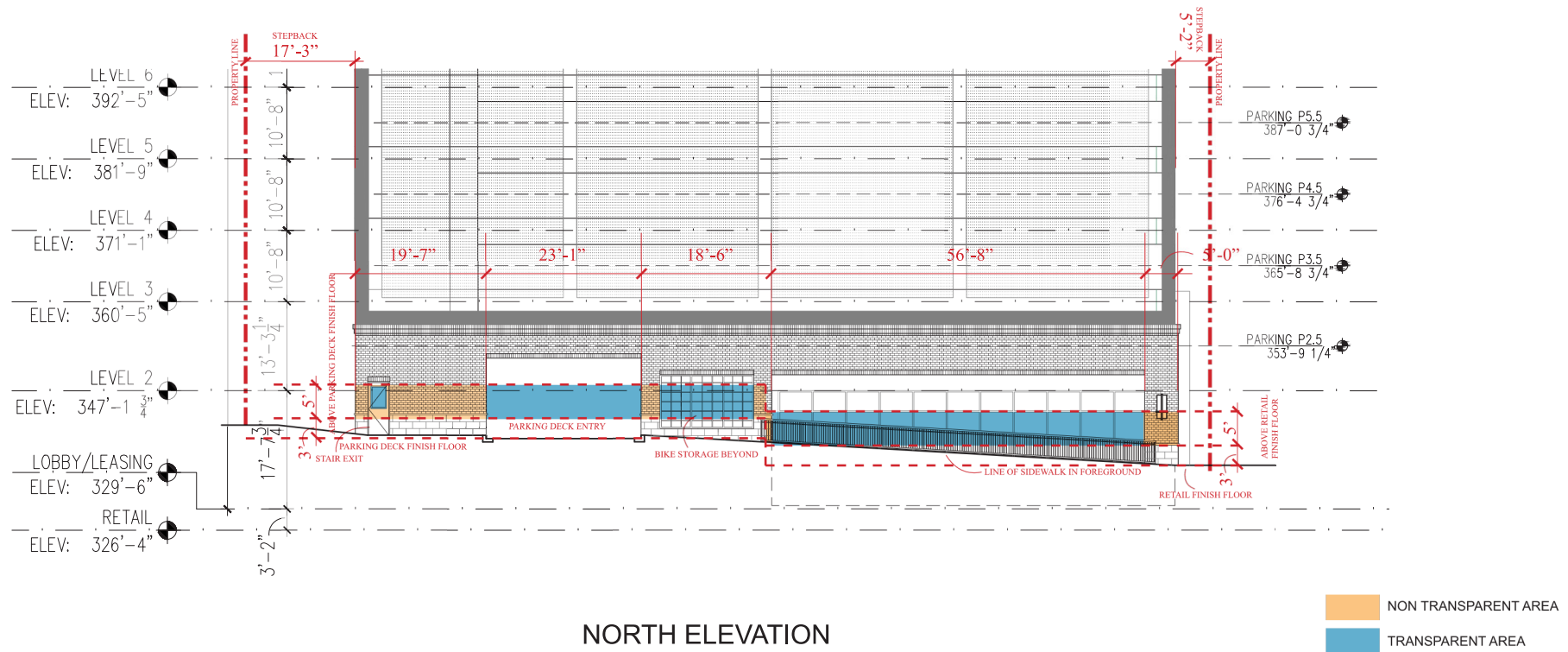




1 EAST ELEVATION
Scale: 1/16" = 1'-0"

TRANSPARENCY CALCULATION

A: TOTAL WALL AREA (0'-12' ZONE) =	1355.42 sf
B: 66% OF TOTAL WALL AREA =	894.57 sf
REQUIRED TOTAL TRANSPARENCY IN 3'-8' ZONE (50% OF B) =	447.28 sf
PROVIDED TRANSPARENCY IN 3'-8' ZONE =	469.97sf (52.53%)



TRANSPARENCY CALCULATION

A: TOTAL WALL AREA (0'-12' ZONE) = 952.02 sf
 B: 66% OF TOTAL WALL AREA = 628.33 sf
 REQUIRED TOTAL
 TRANSPARENCY IN 3'-8' ZONE
 (50% OF B) = 314.16 sf
 PROVIDED
 TRANSPARENCY IN 3'-8' ZONE = 319.54 sf (50.85 %)

