

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

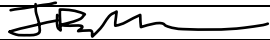
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

ABBOTTWOOD AT STONEHENGE

7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW
CITY OF RALEIGH CASE #: ASR-XXXX-2024
PROJECT NUMBER: KDC-20000
DATE: AUGUST 5, 2024

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: 2-9-2022
<input type="checkbox"/> Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: Abbottswood at Stonehenge

Inside City limits? Yes No

Property address(es): 7900 Creedmoor Road

Site P.I.N.(s): 0798409936

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Addition of residential congregate care building, supporting surface parking, and utilities.

Current Property Owner(s): KISCO SENIOR LIVING

Company: KISCO SENIOR LIVING Title: OWNER

Address: 5790 FLEET STREET

Phone #: 760-804-7096 Email: _____

Applicant Name (if different from owner. See "who can apply" in instructions): Jonathan Balderson

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: McAdams Address: 621 Hillsborough St, Suite 500, Raleigh NC 27603

Revision 03.01.24
raleighnc.gov

Phone #: _____ Email: _____

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: GABE LEGASPI

Company: KISCO SENIOR LIVING Title: OWNER

Address: 5790 FLEET STREET

Phone #: 760-804-7096 Email: _____

Applicant Name: Jonathan Balderson

Company: McAdams Address: 621 Hillsborough St, Suite 500, Raleigh NC 27603

Phone #: 919.287.0815 Email: balderson@mcadamsco.com

DEVELOPMENT TYPE + SITE DATA TABLE

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10-CU 0	Existing gross floor area (not to be demolished): 0
Gross site acreage: 10.28	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 58	New gross floor area: 47,160
Max # parking permitted (7.1.2.C): No Max	Total sf gross (to remain and new): 47,160
Overlay District (if applicable): n/a	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Congregate Care Retire	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Congregate Care Retire	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) 151395 Proposed total (sf) 199440	Impervious Area for Compliance (includes ROW): Existing (sf) 153367 Proposed total (sf) 201396
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 49	Total # of hotel bedrooms: 0
# of bedroom units: 1br 49 2br 3br 4br or more	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

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Signature: _____ Date: 08/05/2024
Printed Name: Jonathan Balderson
Signature: _____ Date: _____
Printed Name: _____

SITE DATA

SITE ADDRESS:	7900 CREEDMOOR ROAD	
PARCEL PIN NUMBER:	0798409936	
SITE AREA:	GROSS SITE AREA: 10.28 AC (448,010 SF)	NET SITE AREA: 9.92 AC (431,982 SF)
EXISTING ZONING:	R-10 CU	
OVERLAY DISTRICT:	NONE APPLICABLE	
WATERSHED:	CRABTREE CREEK	
RIVER BASIN:	NEUSE	
FLOODPLAIN/FIRM PANEL:	ZONE X; PANEL 3720079800K	
EXISTING USE:	CONGREGATE CARE	
PROPOSED USE:	CONGREGATE CARE TOTAL NUMBER OF UNITS = 49 GROSS NEW BUILDING AREA = 47,160 SF	
BUILDING HEIGHT:	MAX ALLOWABLE: 3 STORIES/ 45' IN HEIGHT	MAX PROVIDED: 3 STORIES/ 44'-3" IN HEIGHT
VEHICULAR PARKING:	MAX ALLOWABLE: NO MAXIMUM	EXISTING SPACES TO REMAIN = 43 SPACES EXISTING ADA SPACES TO REMAIN = 2 SPACES PROPOSED SPACES = 52 SPACES PROPOSED ADA SPACES = 6 SPACES TOTAL SPACES PROVIDED = 103 SPACES
ACCESSIBLE PARKING:	REQUIRED: 4 TOTAL SPACES; 1 VAN SPACES	PROVIDED: 8 TOTAL SPACES; 5 VAN SPACES
BIKE PARKING:	SHORT TERM REQUIRED: N/A	SHORT TERM PROVIDED: N/A
	LONG TERM REQUIRED: N/A	LONG TERM PROVIDED: N/A
BUILDING & PARKING SETBACKS (CIVIC):	BUILDING SETBACK - PRIMARY/SIDE STREET: 10'	BUILDING SETBACK - SIDE LOT LINE: 10'
	BUILDING SETBACK - REAR LOT LINE: 20'	PARKING SETBACK - PRIMARY/SIDE STREET: 10'
	PARKING SETBACK - SIDE/REAR LOT LINE: 6'	
IMPERVIOUS AREA:	EXISTING ON-SITE IMPERVIOUS: 3.48 AC	EXISTING OFFSITE IMPERVIOUS: 0.05 AC
	PROPOSED ON-SITE IMPERVIOUS: 4.58 AC	PROPOSED OFFSITE IMPERVIOUS: 0.04 AC
BLOCK PERIMETER:	MAXIMUM: 2,500 LF	PROVIDED: 4,832 LF
	EXEMPT PER UDO 8.3.2.A.1.b.i AND 8.3.2.A.1.b.iv - SEE EXHIBIT ON SHEET C0.00	
TREE CONSERVATION AREA:	OVERALL REQUIRED: 0.99 AC (10.0%)	OVERALL PROVIDED: 1.53 AC (15.4%)
OUTDOOR AMENITY AREA:	OVERALL REQUIRED: 0.99 AC (10.0%)	OVERALL PROVIDED: 1.06 AC (10.8%)

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS PLAN
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	DETAILED SITE PLAN - AREA A
C2.02	DETAILED SITE PLAN - AREA B
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01	DETAILED GRADING PLAN - AREA A
C3.02	DETAILED GRADING PLAN - AREA B
C4.00	OVERALL UTILITY PLAN
C4.01	DETAILED UTILITY PLAN - AREA A
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	WATER DETAILS
C8.04	STORM DRAINAGE DETAILS
C8.05	SANITARY SEWER DETAILS
C9.00	SCM "A" PLAN VIEW AND DETAILS
C9.01	SCM DETAILS
L5.00	OVERALL LANDSCAPE PLAN
L5.01	DETAILED LANDSCAPE PLAN
L5.02	DETAILED LANDSCAPE PLAN
L5.03	LANDSCAPE NOTES AND DETAILS
L8.00	TREE CONSERVATION PLAN
L8.01	TREE CONSERVATION CALCULATIONS

FROM OTHERS

A200	BUILDING PERSPECTIVES
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS



VICINITY MAP

N.T.S.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

NOTES

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



Know what's below.
Call before you dig.

CONTACT

JONATHAN BALDERSON
McADAMS
balderson@mcadamsco.com
PHONE: 919. 287. 0815

CLIENT

KISCO SENIOR LIVING
GABE LEGASPI
5790 FLEET STREET
SUITE 300
CARLSBAD, CA 92008
760-804-7096

PROJECT DIRECTORY

SITE PLAN NOTES

- NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCRoACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENSITIVE AREA THOROUGHFARES.
- WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDNANCED BY CITY COUNCIL APPROVAL.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2409, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
- ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 10x20x6" (3000 PSI) CONCRETE PAD.

DEMOLITION NOTES

- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 14, 2018 NC FIRE CODE, NFA 241 AND CHAPTER 33, 2018 NC BUILDING CODE).

RETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE BOTTOM OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCRoACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCRoACHMENT AGREEMENT, ENCRoACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

GRADING NOTES

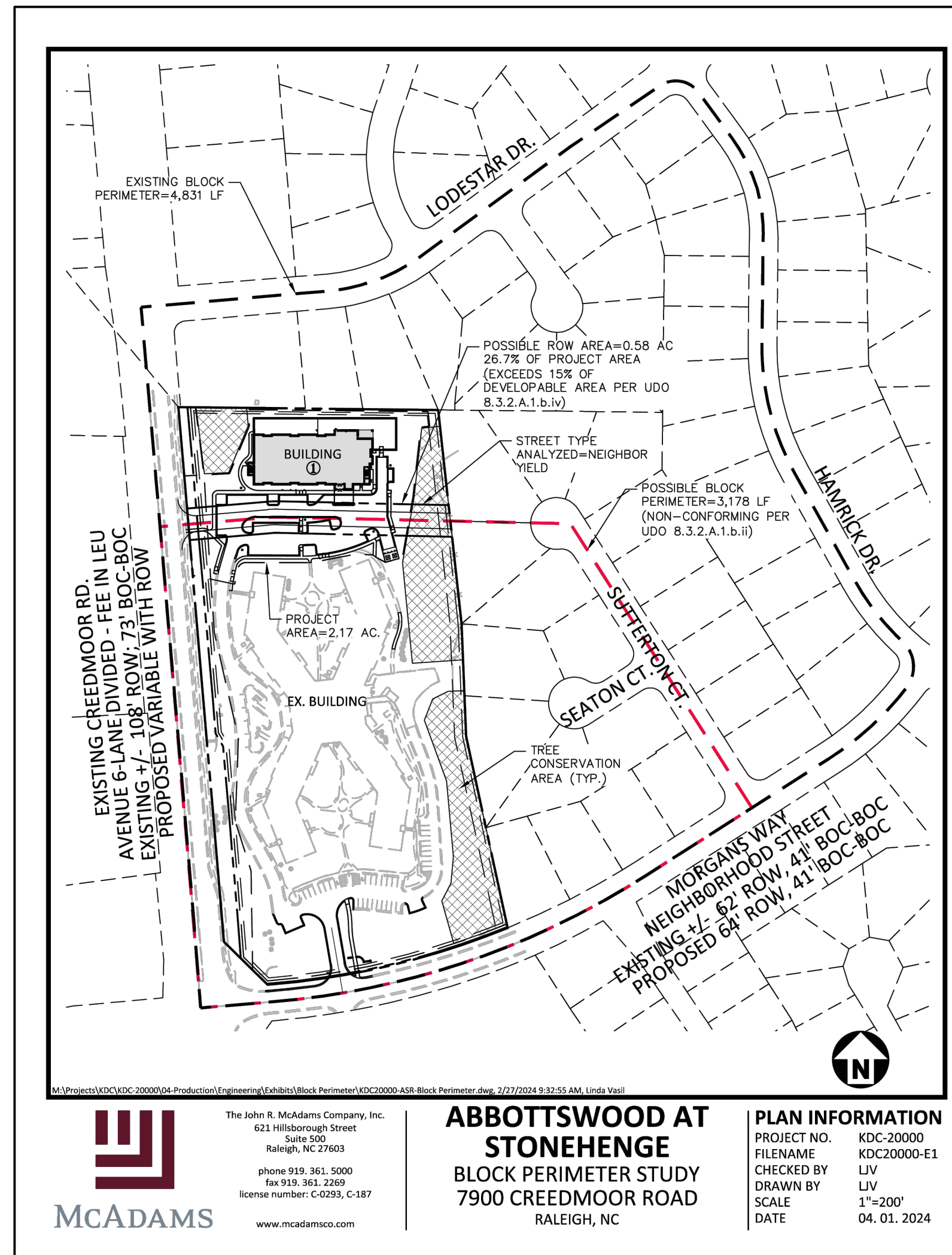
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 30' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER. SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKWATER VALVE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 296-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX D OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ADDITIONAL UTILITY NOTES

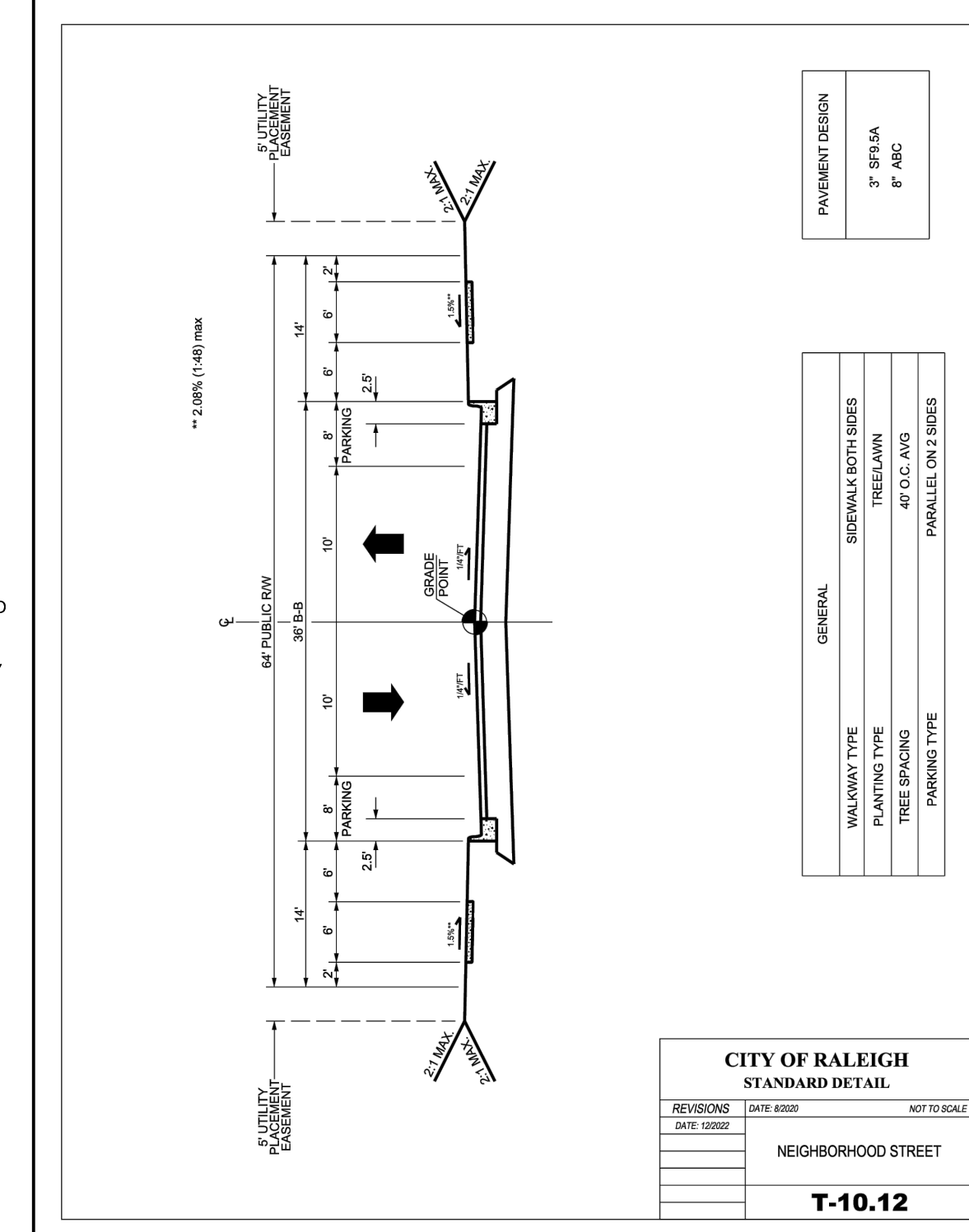
- ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).
- ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'x5'WAL CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
- ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
- IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.



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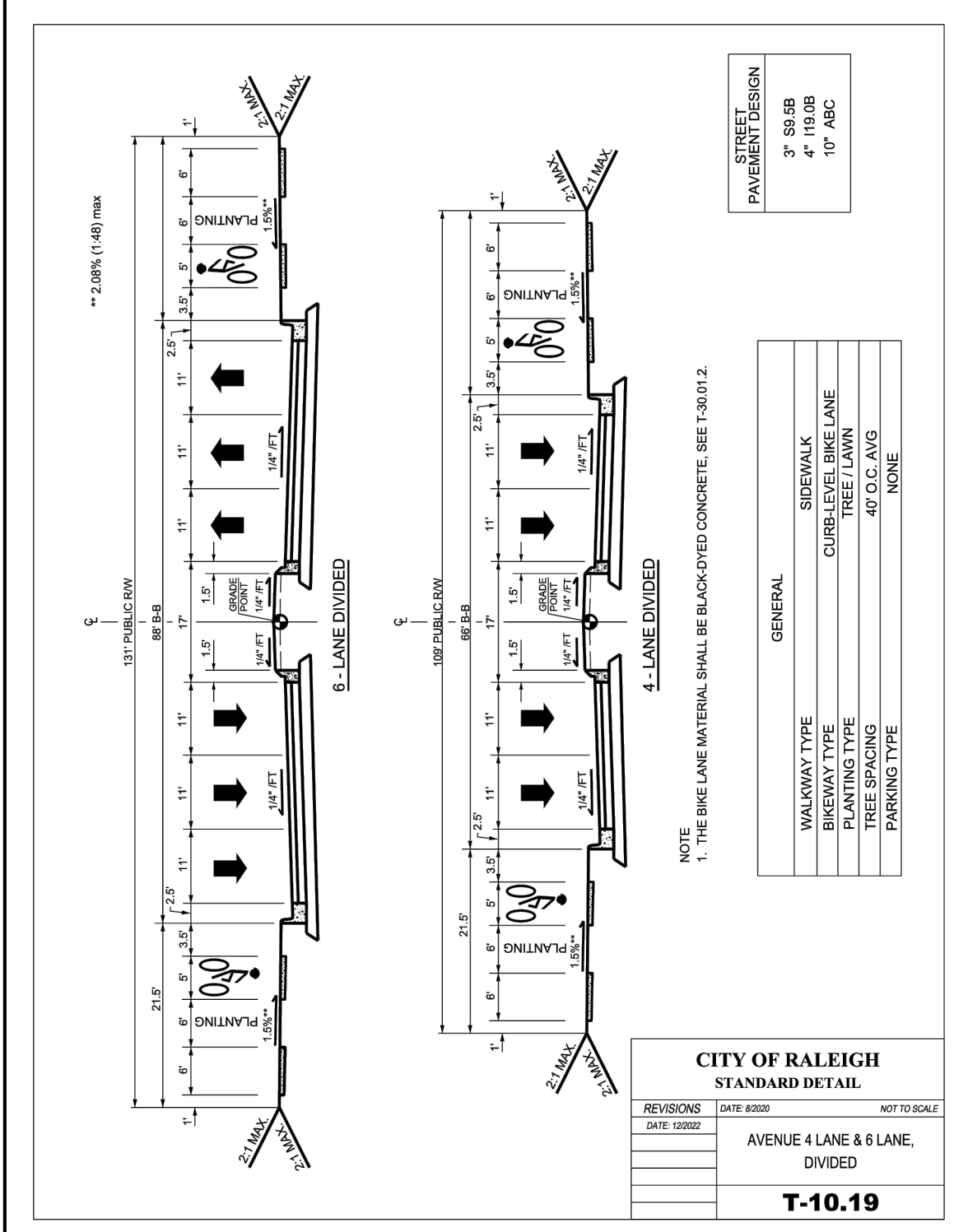
ABBOTTSWOOD AT STONEHENGE
BLOCK PERIMETER STUDY
7900 CREEDMOOR ROAD
RALEIGH, NC

PLAN INFORMATION
PROJECT NO. KDC-20000
PROJECT FILENAME KDC20000-E1
CHECKED BY LLV
DRAWN BY LLV
SCALE 1"=200'
DATE 04.01.2024



MORGANS WAY

THIS PROJECT IS REQUESTING A VARIANCE TO INSTALL STREETScape PER UDO SECTION 8.4.1.H.6.D. THIS PROJECT WILL DEDICATE ROW AS DETERMINE BY THE APPROPRIATE STREET SECTION



CREEDMOOR ROAD

THIS PROJECT IS REQUESTING A VARIANCE TO INSTALL STREETScape PER UDO SECTION 8.4.1.H.6.D. THIS PROJECT WILL DEDICATE ROW AS DETERMINE BY THE APPROPRIATE STREET SECTION

M:\Projects\MDC-20000\04-Production\Engineering\Construction Drawings\Current Drawings\MDC20000-ASR-N1.dwg, 8/27/2024, 10:46:53 AM, Luke Hastings

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CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613



REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-N1.DWG
CHECKED BY	LLV
DRAWN BY	LLH
SCALE	NTS
DATE	08.05.2024

SHEET

PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

CO.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT STONEHEDGE
ROADWAY FRONTAGE
IMPROVEMENT PLAN
RALEIGH, NORTH CAROLINA

REVISIONS

Table with 2 columns: NO. DATE, 1

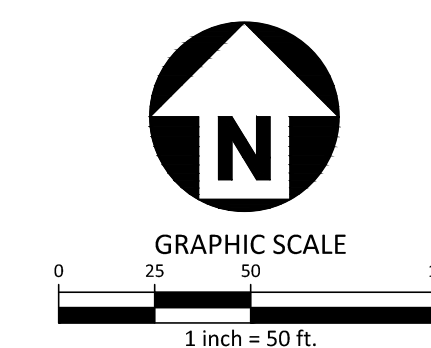
PLAN INFORMATION

PROJECT NO. KDC20000
FILENAME KDC20000-ASR-XC1.DWG
CHECKED BY --
DRAWN BY --
SCALE 1"=50'
DATE 08.05.2024

SHEET

EXISTING CONDITIONS PLAN

C1.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

LEGEND

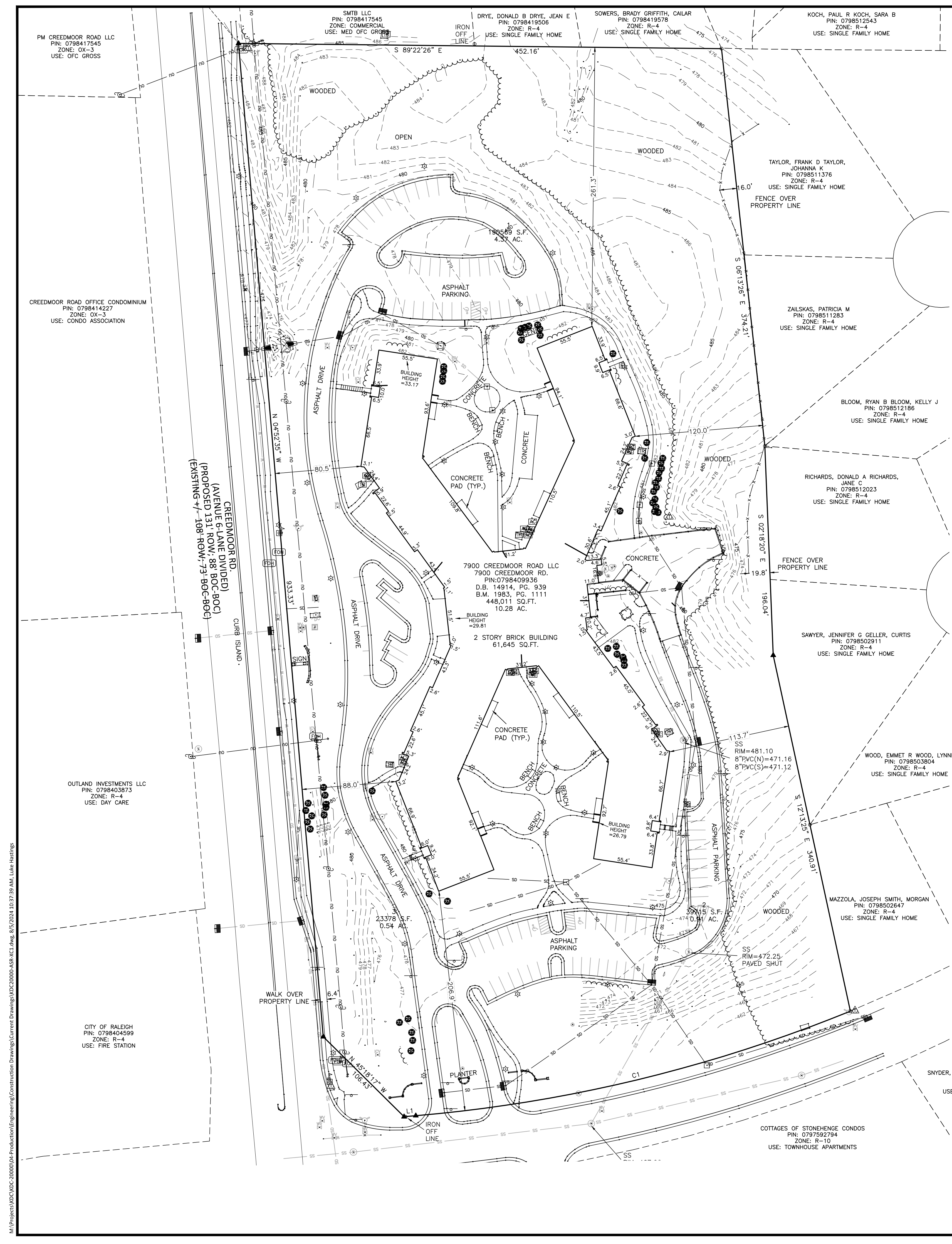
- CONCRETE MONUMENT, EXISTING IRON PIPE, IRON PIPE SET, EXISTING IRON PIPE, MASONRY NAIL, NC GEODETIC SURVEY MON., FIRE HYDRANT, WATER METER, BACKFLOW PREVENTER, WATER VALVE, FIRE DEPT. CONNECTION, DRAINAGE INLET/YARD INLET, CL CATCH BASIN AT BC, STORM DRAIN MANHOLE, JUNCTION BOX, FES, ELECTRIC METER, ELECTRIC TRANSFORMER, ELECTRIC PEDESTAL, ELECTRIC HANDHOLE, ELECTRIC BOX, GUY WIRE, LIGHT POLE, POWER/UTILITY POLE, CLEAN OUT, SEWER MANHOLE, IRRIGATION CONTROL VALVE, GAS SERVICE METER, GAS MARKER, GAS VALVE, CABLE TV BOX, CATV HANDHOLE, TELEPHONE HANDHOLE, TELEPHONE BOX, TELEPHONE PEDESTAL, FIBER OPTIC MARKER, FIBER OPTIC HANDHOLE, TRAFFIC HANDHOLE, BOLLARD, AIR CONDITIONER, SIGN, MAILBOX, CAMERA, SEWER LINE, STORM LINE, FENCE, HANDRAIL, OVERHEAD ELECTRIC LINE, WOOD LINE, RIP RAP

GENERAL NOTES

- 1. THIS IS AN ALTA/NSPS LAND TITLE SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: R-6 PER WAKE COUNTY GIS; NO ZONING REPORT PROVIDED.
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720079800J DATED 5/2/2006.
7. REFERENCES: AS SHOWN
8. UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
9. NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
10. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK
11. NO FIELD DELINEATION OF WETLANDS WAS PERFORMED AS A PART OF THIS SURVEY AND NO MARKERS FOR SUCH WERE OBSERVED
12. PROPERTY HAS VEHICULAR ACCESS TO CREEDMOOR ROAD AND MORGANS WAY.

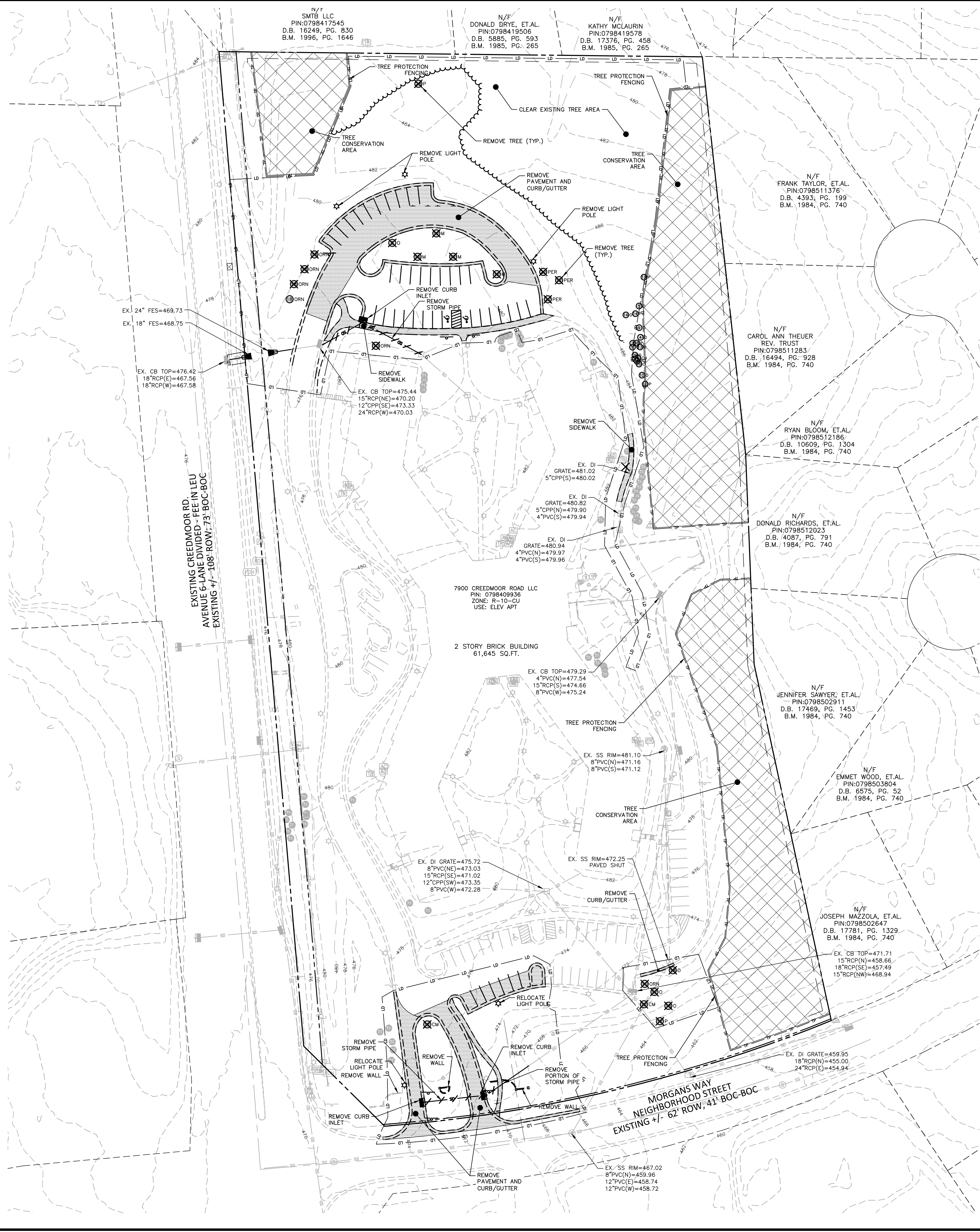
LINE TABLE
LINE BEARING DISTANCE
L1 S 85°07'25" W 10.98'

CURVE TABLE
CURVE RADIUS ARC LENGTH CHORD BEARING CHORD LENGTH
C1 1390.77' 420.03' S 76°28'32" W 418.44'



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DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- SECONDARY TREE CONSERVATION AREA

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

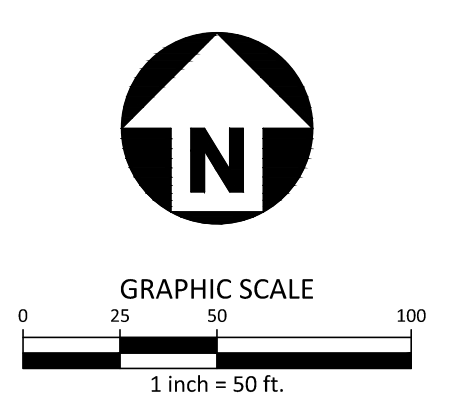


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**ABBOTTWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613



SEE SHEET CO.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-DM1
CHECKED BY	LJV
DRAWN BY	LJV
SCALE	1"=50'
DATE	08.05.2024

DEMOLITION PLAN
C1.01



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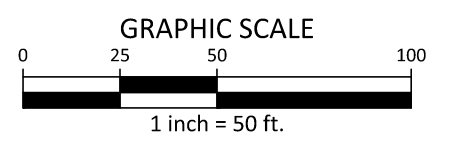
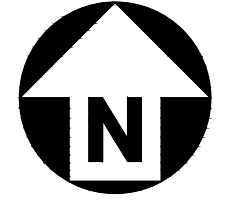
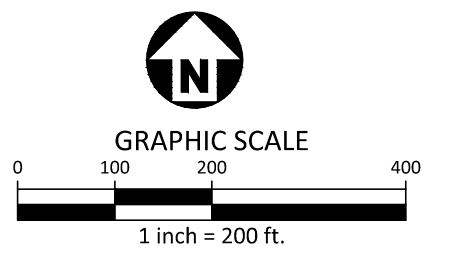
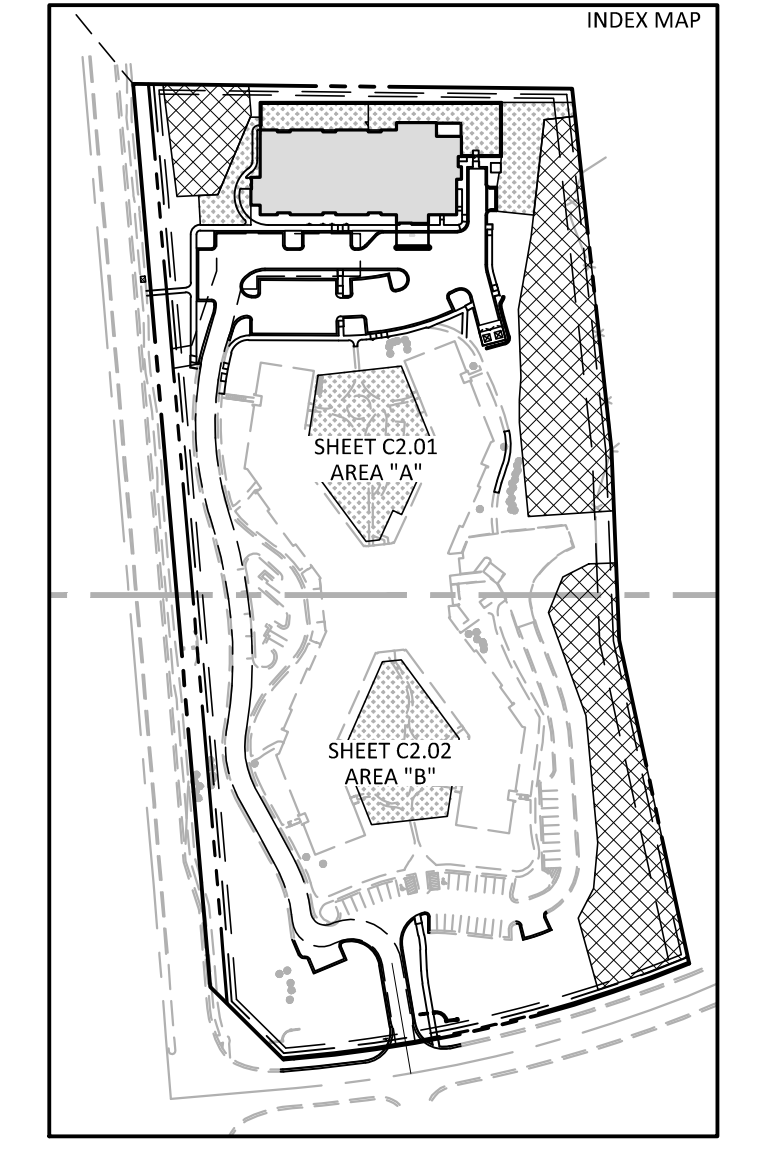
CLIENT

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ABBOTTWOOD AT
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RALEIGH, NORTH CAROLINA, 27613

SITE LEGEND

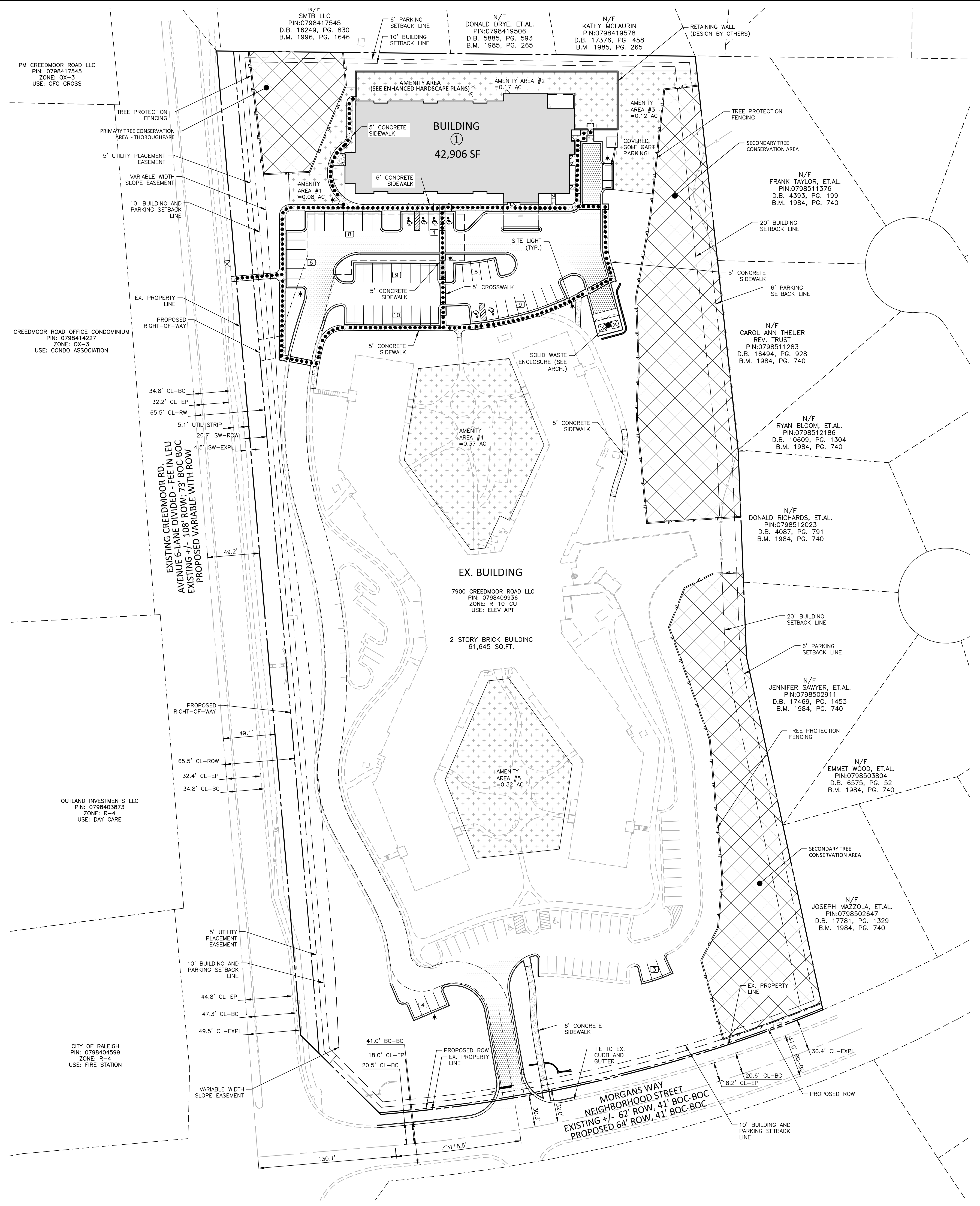
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- TREE PROTECTION FENCING
- ACCESSIBLE ROUTE
- SECONDARY TREE CONSERVATION AREA
- HEAVY DUTY ASPHALT
- LIGHT DUTY CONCRETE SIDEWALK
- AMENITY AREA



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



AMENITY AREA CALCULATIONS		
	AREA (SF)	AREA (AC)
NET PARCEL AREA	431,982	9.92
REQUIRED AMENITY AREA (10%)	43,198	0.99
PROVIDED AMENITY AREA:		
AMENITY AREA #1	3,599	0.08
AMENITY AREA #2	7,301	0.17
AMENITY AREA #3	5,204	0.12
AMENITY AREA #4	16,137	0.37
AMENITY AREA #5	13,925	0.32
TOTAL AMENITY	46,166	1.06

CITY OF RALEIGH
PIN: 0798404599
ZONE: R-4
USE: FIRE STATION

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NO. DATE

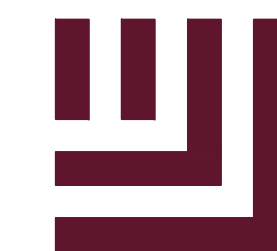
PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-OAS1
CHECKED BY LJV
DRAWN BY LLH
SCALE 1"=50'
DATE 08.05.2024

SHEET

OVERALL SITE PLAN

C2.00



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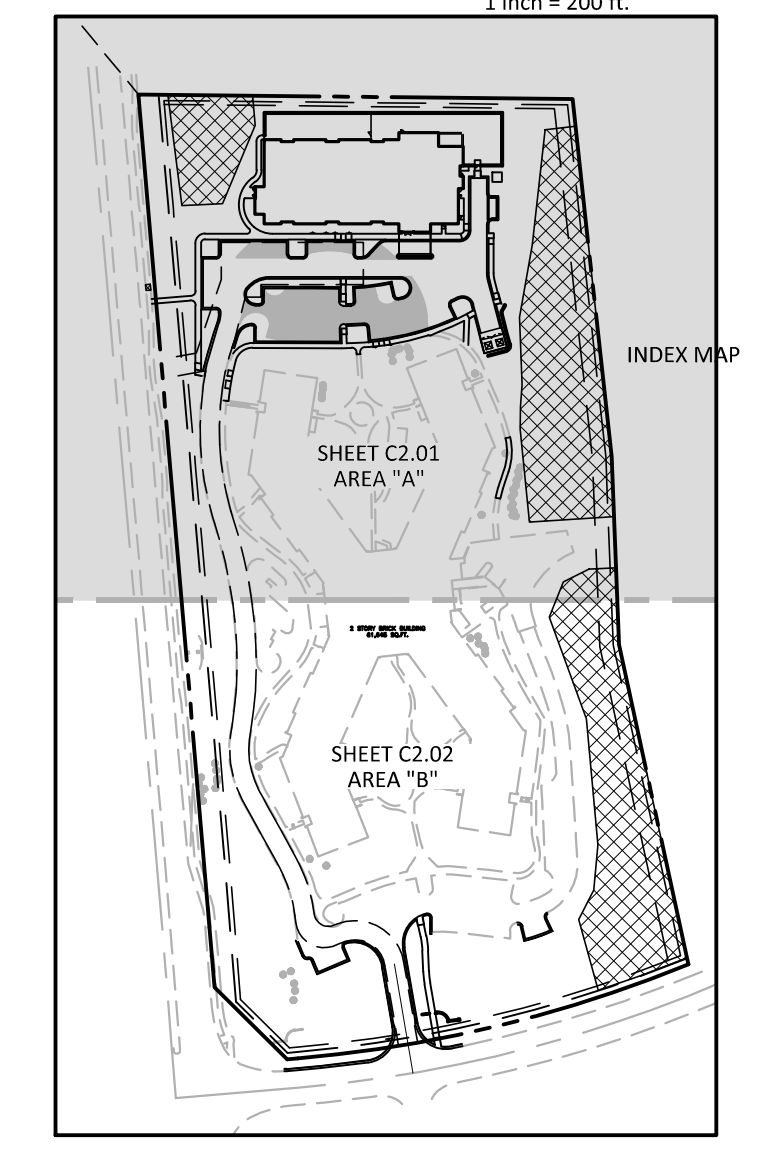
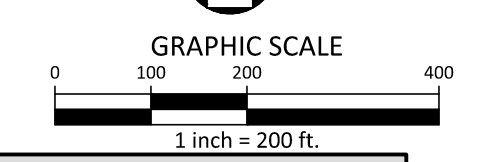
**ABBOTTSWOOD AT
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SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
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- TREE PROTECTION FENCING
- ACCESSIBLE ROUTE
- SECONDARY TREE CONSERVATION AREA
- HEAVY DUTY ASPHALT
- MILL AND OVERLAY LIMITS**
- LIGHT DUTY CONCRETE SIDEWALK

SIGNAGE LEGEND

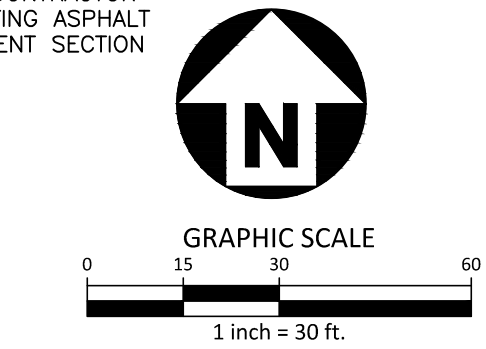
- 1 RESERVED PARKING
- 2 RESERVED PARKING
- 3 STOP
- VAN ACCESSIBLE
- MAXIMUM PENALTY \$250
- MUTCD R7-8
- MUTCD R7-8B
- MUTCD R7-8D
- MUTCD R7-8D
- MUTCD R7-8D
- MUTCD R7-8D
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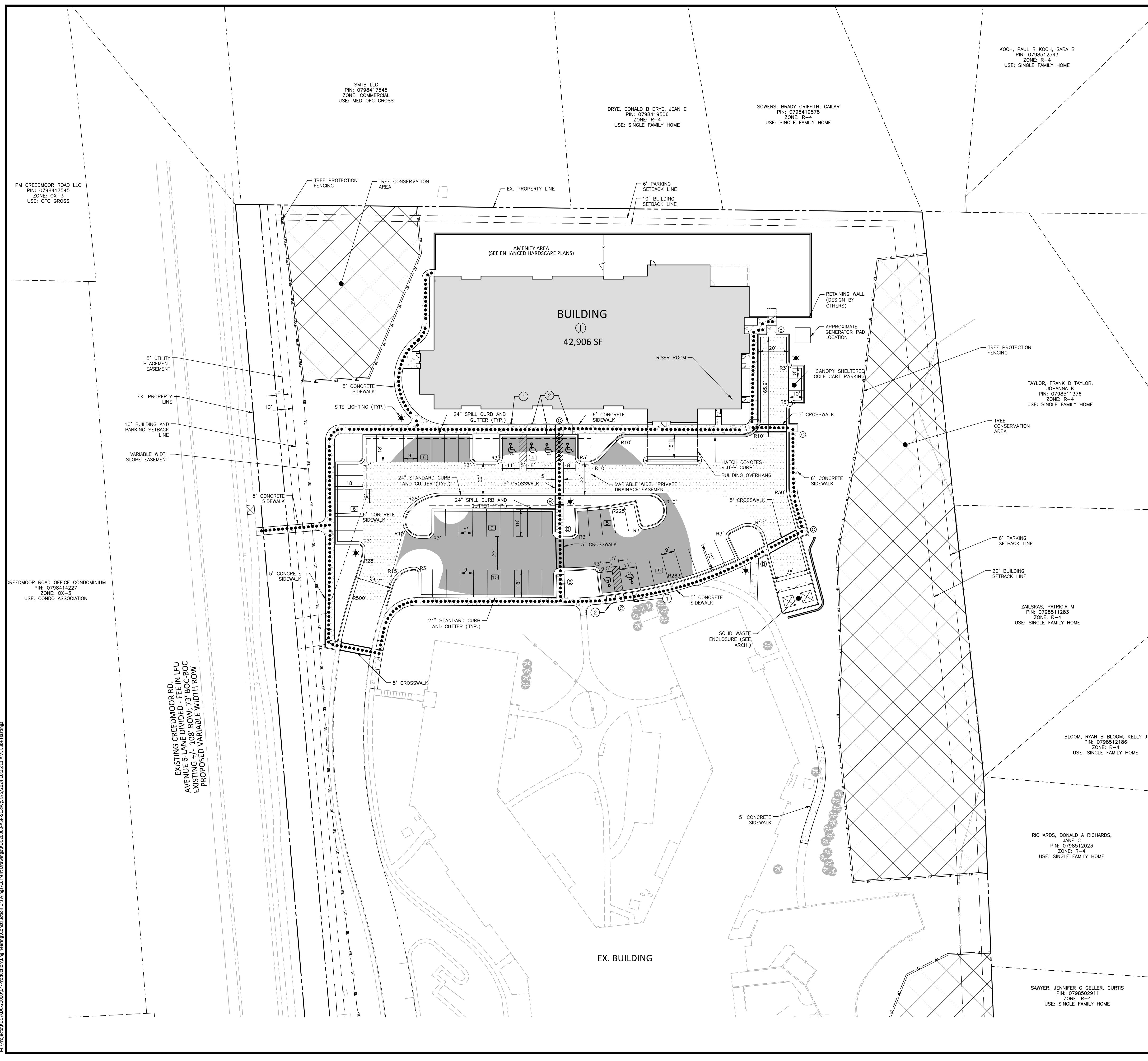
SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

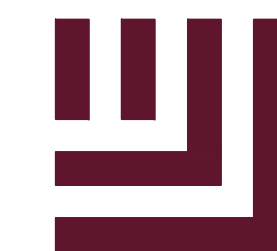
**MILL AND OVERLAY LIMITS SHOW THE EXTENT OF EXISTING ASPHALT. CONTRACTOR MAY CHOOSE TO REPLACE EXISTING ASPHALT TO LIGHT DUTY ASPHALT PAVEMENT SECTION IF MORE COST EFFECTIVE



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



M:\Projects\MDC\20000\04-Production\Engineering\Construction Drawings\Current Drawings\MDC20000-ASR-S1.dwg, 8/2/2024, 10:35:11 AM, Luke Hastings



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

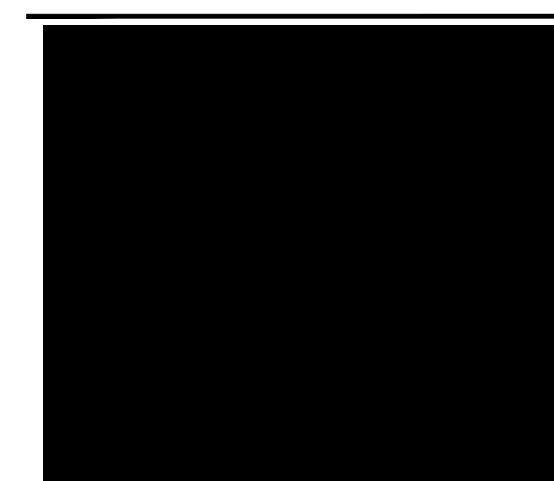
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-S1.DWG
CHECKED BY LJV
DRAWN BY LLH
SCALE 1"=30'
DATE 08.05.2024

SHEET

DETAILED SITE PLAN
AREA "B"

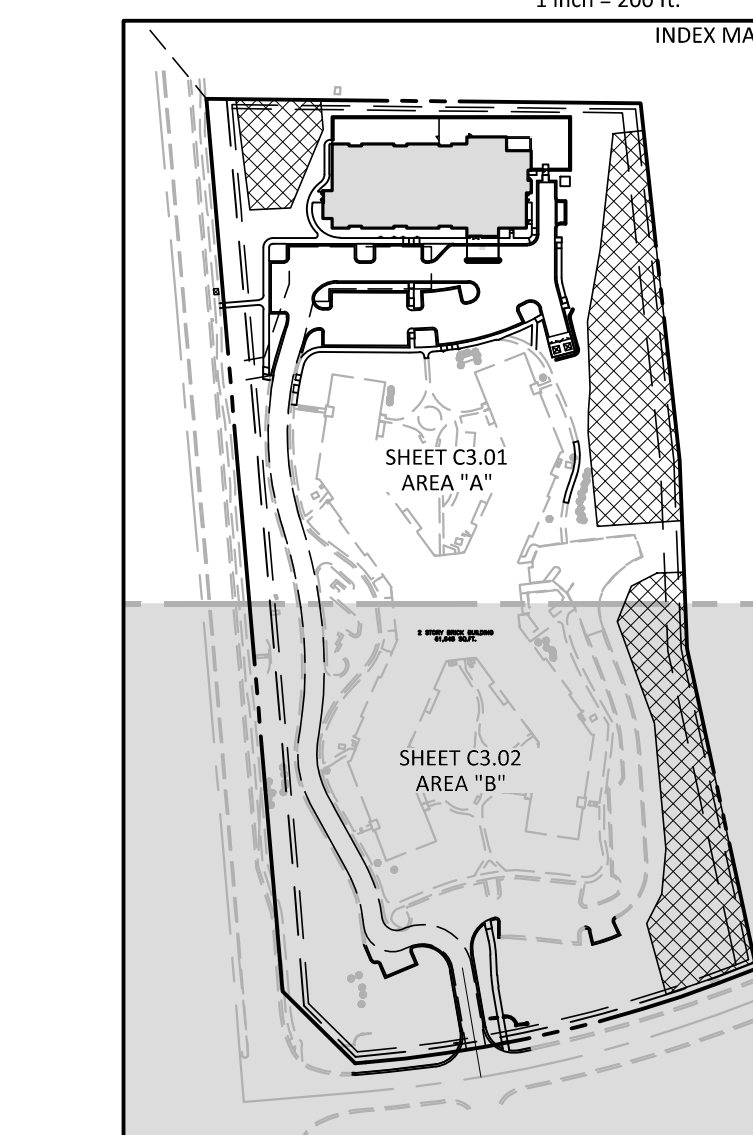
C2.02

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	TREE PROTECTION FENCING
	ACCESSIBLE ROUTE
	SECONDARY TREE CONSERVATION AREA
	HEAVY DUTY ASPHALT
	MILL AND OVERLAY LIMITS
	LIGHT DUTY CONCRETE SIDEWALK

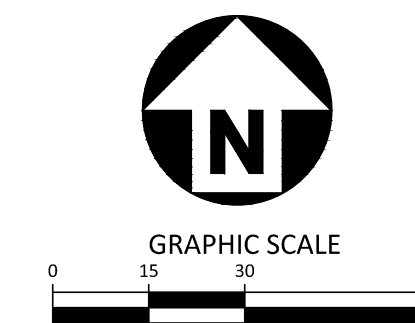
SIGNAGE LEGEND

	① RESERVED PARKING
	② RESERVED PARKING
	VAN ACCESSIBLE
	MAXIMUM PENALTY \$250
	MAXIMUM PENALTY \$250
	STOP
	N
	GRAPHIC SCALE



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

EX. BUILDING
2 STORY BRICK BUILDING
61,645 SQ.FT.

SAWYER, JENNIFER G GELLER, CURTIS
PIN: 0798502911
ZONE: R-4
USE: SINGLE FAMILY HOME

WOOD, EMMET R WOOD, LYNNE
PIN: 0798503804
ZONE: R-4
USE: SINGLE FAMILY HOME

MAZZOLA, JOSEPH SMITH, MORGAN
PIN: 0798502847
ZONE: R-4
USE: SINGLE FAMILY HOME

COTTAGES OF STONEHENGE CONDOS
PIN: 0797592794
ZONE: R-10
USE: TOWNHOUSE APARTMENTS

MORGANS WAY
NEIGHBORHOOD STREET
EXISTING +/- 62' ROW, 41' BOC-BOC
PROPOSED 64' ROW, 41' BOC-BOC

EXISTING CREEDMOOR RD.
AVENUE 6-LANE DIVIDED - FEE IN LEU
EXISTING +/- 108' ROW, 73' BOC-BOC
PROPOSED VARIABLE WIDTH ROW

OUTLAND INVESTMENTS LLC
PIN: 0798403873
ZONE: R-4
USE: DAY CARE

CITY OF RALEIGH
PIN: 0798404599
ZONE: R-4
USE: FIRE STATION

M:\Projects\MDC\20000\04-Production\Engineering\Construction Drawings\MDC20000-ASR-S1.dwg, 8/5/2024, 10:38:10 AM, Luke Hastings



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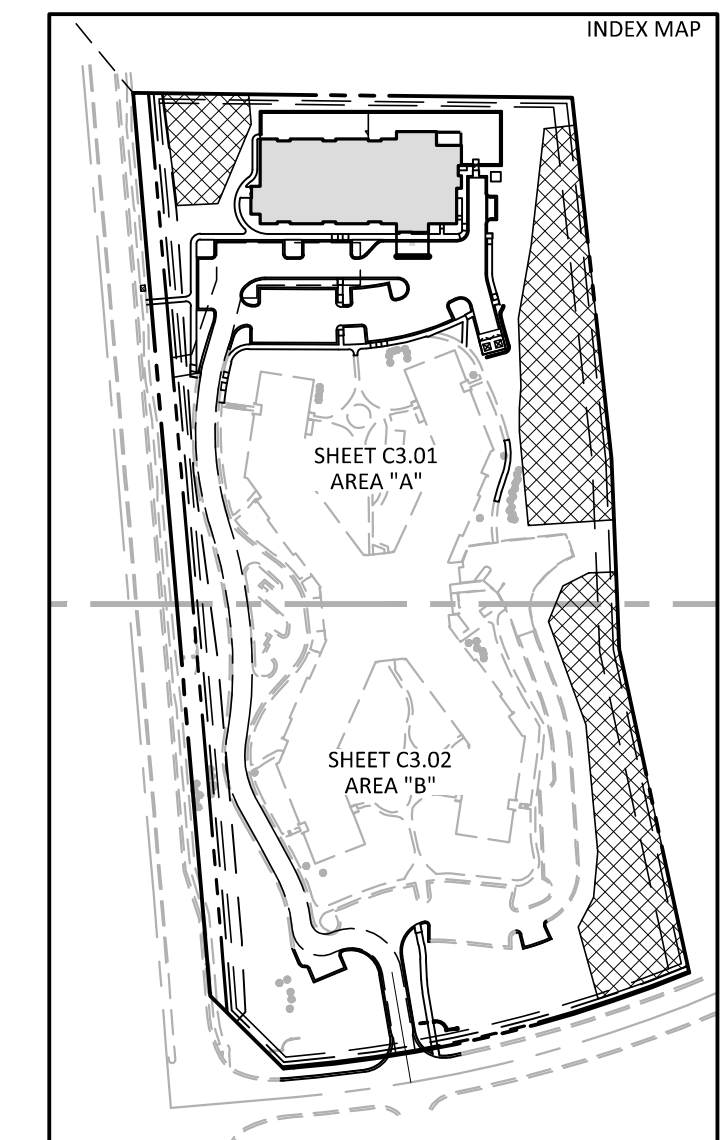
CLIENT

MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

**ABBOTTWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

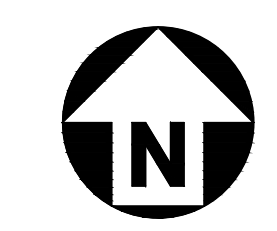
GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- AREA DRAIN
- STORM SERVICE CLEAN OUT
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)
- SECONDARY TREE CONSERVATION AREA
- 6' LIGHT DUTY CONCRETE SIDEWALK



BUILDING #1 AVERAGE GRADE PLANE

	PROPOSED		
	HIGH	LOW	AVERAGE
CREEDMORE ROAD	482.00	480.50	481.25



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

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REVISIONS

NO. DATE

PLAN INFORMATION

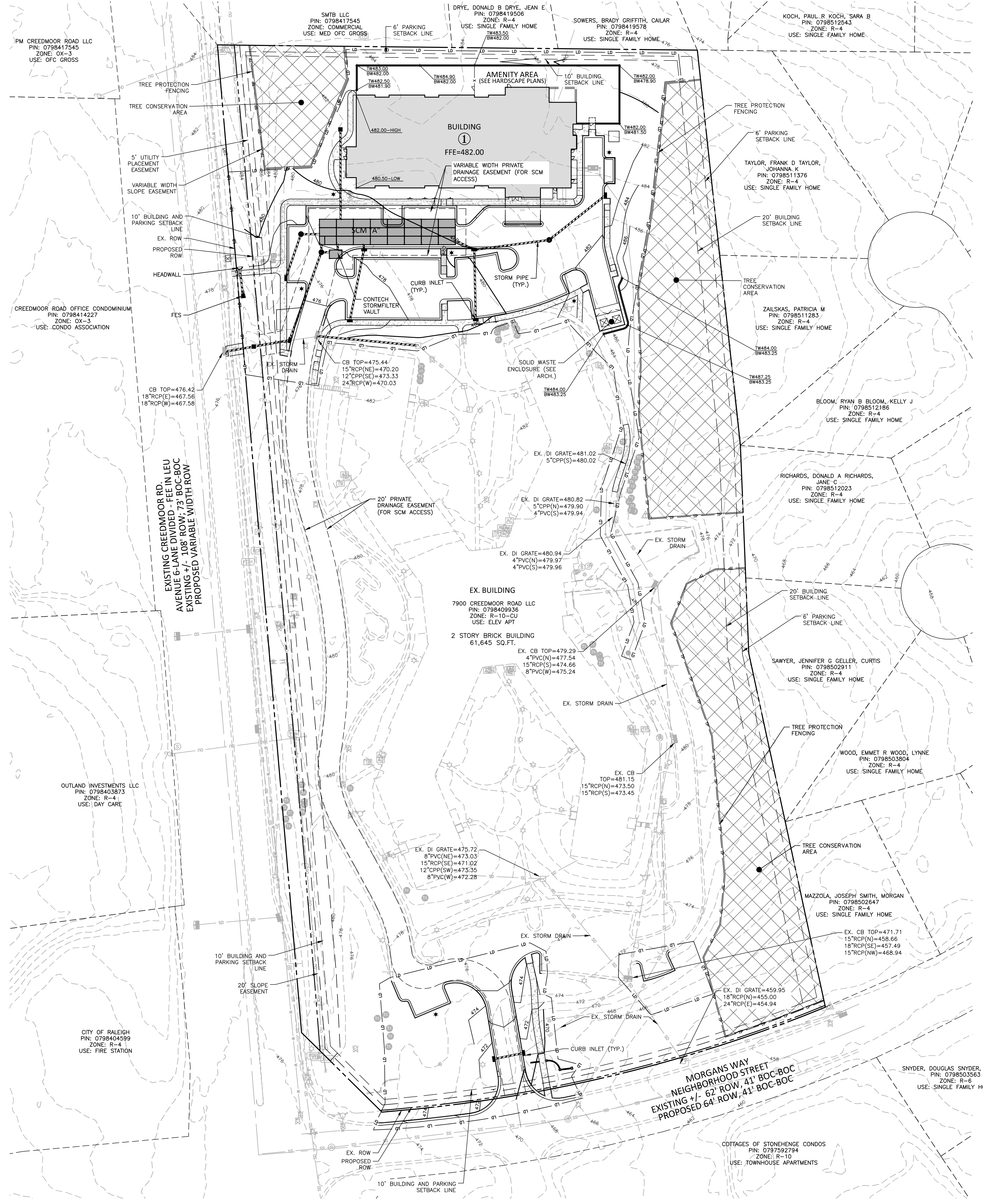
PROJECT NO. KDC-20000
 FILENAME KDC20000-ASR-OAG1
 CHECKED BY LJV
 DRAWN BY JTB
 SCALE 1"=50'
 DATE 08.05.2024

SHEET

OVERALL GRADING PLAN

C3.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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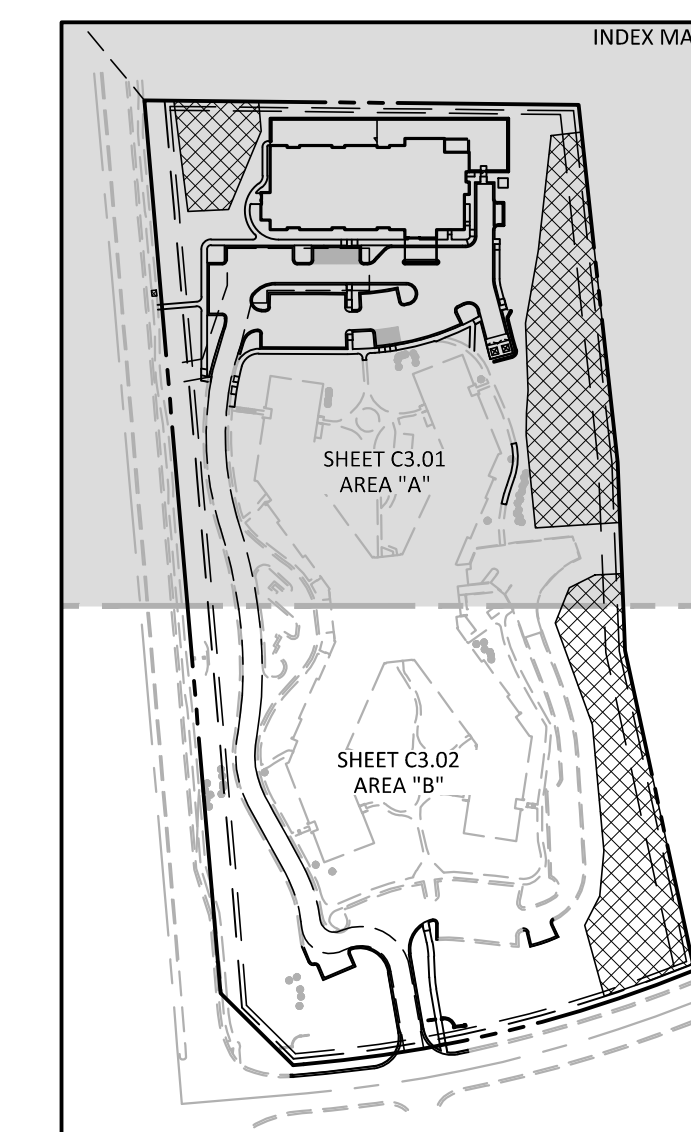
CLIENT

MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA



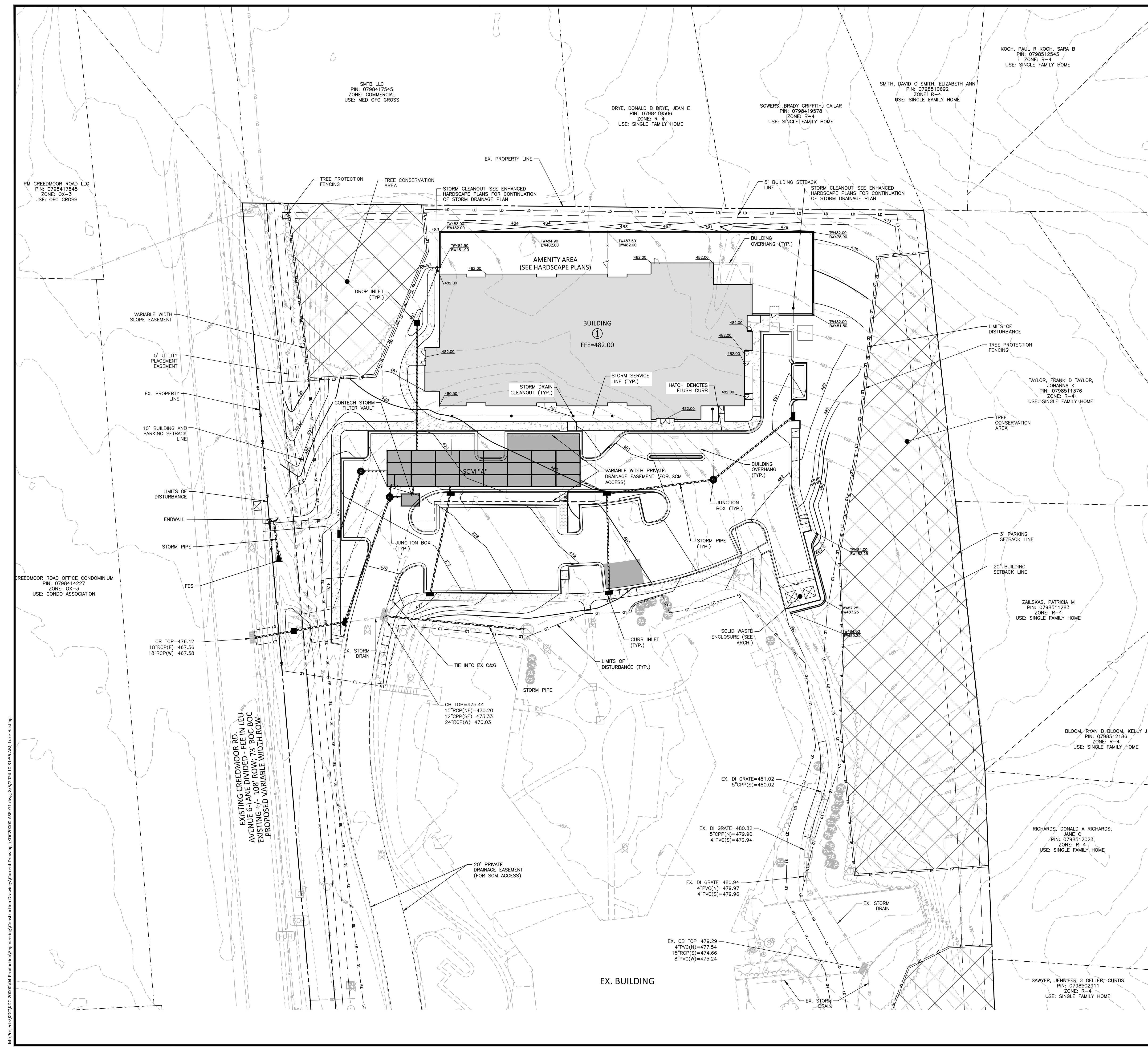
SEE SHEET C0.00 FOR ALL PROJECT NOTES.

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GRAPHIC SCALE
1 inch = 30 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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REVISIONS

NO.	DATE

PLAN INFORMATION

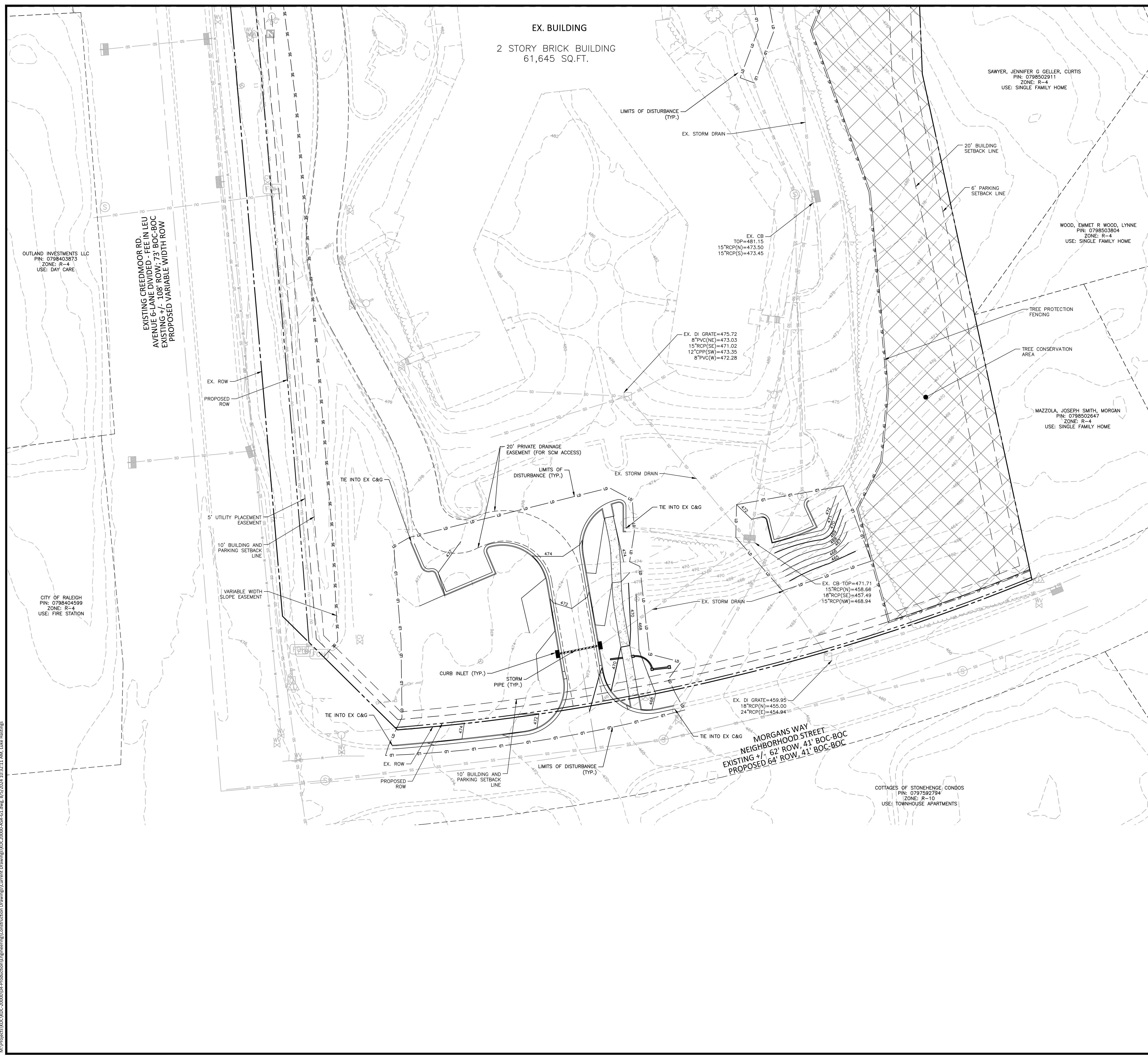
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FILENAME	KDC20000-ASR-G1.DWG
CHECKED BY	LJV
DRAWN BY	LLH
SCALE	1"=30'
DATE	08.05.2024

SHEET

DETAILED GRADING
PLAN AREA "A"

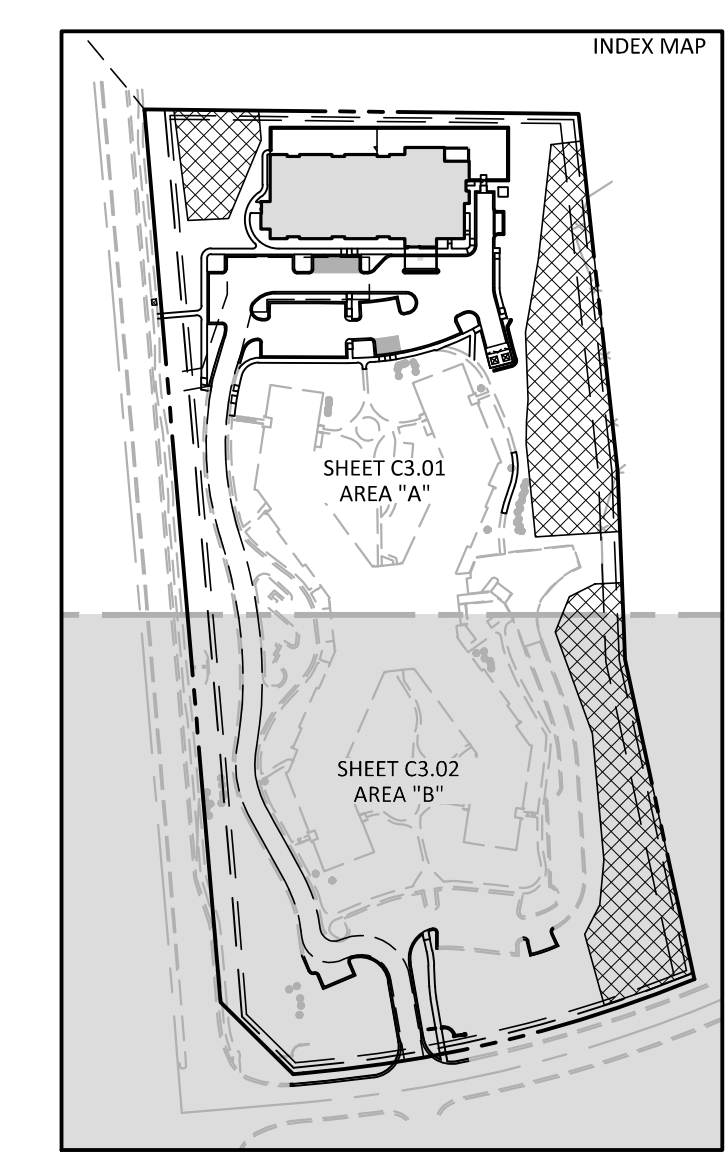
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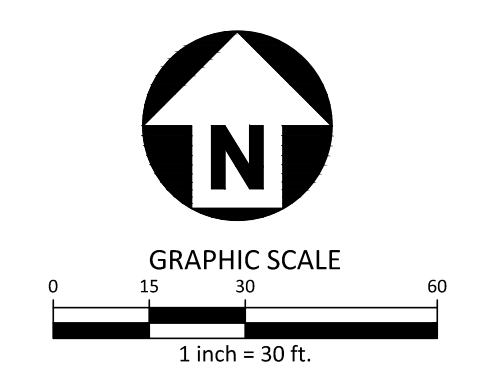
GRADING LEGEND

	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-RAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
	TREE PROTECTION FENCING
	SECONDARY TREE CONSERVATION AREA



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

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 Durham, NC 27713
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 fax 919.361.2269
 license number: C-0293, C-187
 www.mcadamsco.com

CLIENT
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 KISCO SENIOR LIVING
 5790 FLEET STREET, SUITE 300
 CARLSBAD, CALIFORNIA 92008

**ABBOTTSWOOD AT
 STONEHENGE**
 ADMINISTRATIVE SITE REVIEW
 7900 CREEDMOOR ROAD
 RALEIGH, NORTH CAROLINA, 27613



NO. DATE

PLAN INFORMATION

PROJECT NO. KDC-20000
 FILENAME KDC20000-ASR-G1.DWG
 CHECKED BY LJV
 DRAWN BY LLH
 SCALE 1"=30'
 DATE 08.05.2024

SHEET

**DETAILED GRADING
 PLAN AREA "B"**

C3.02



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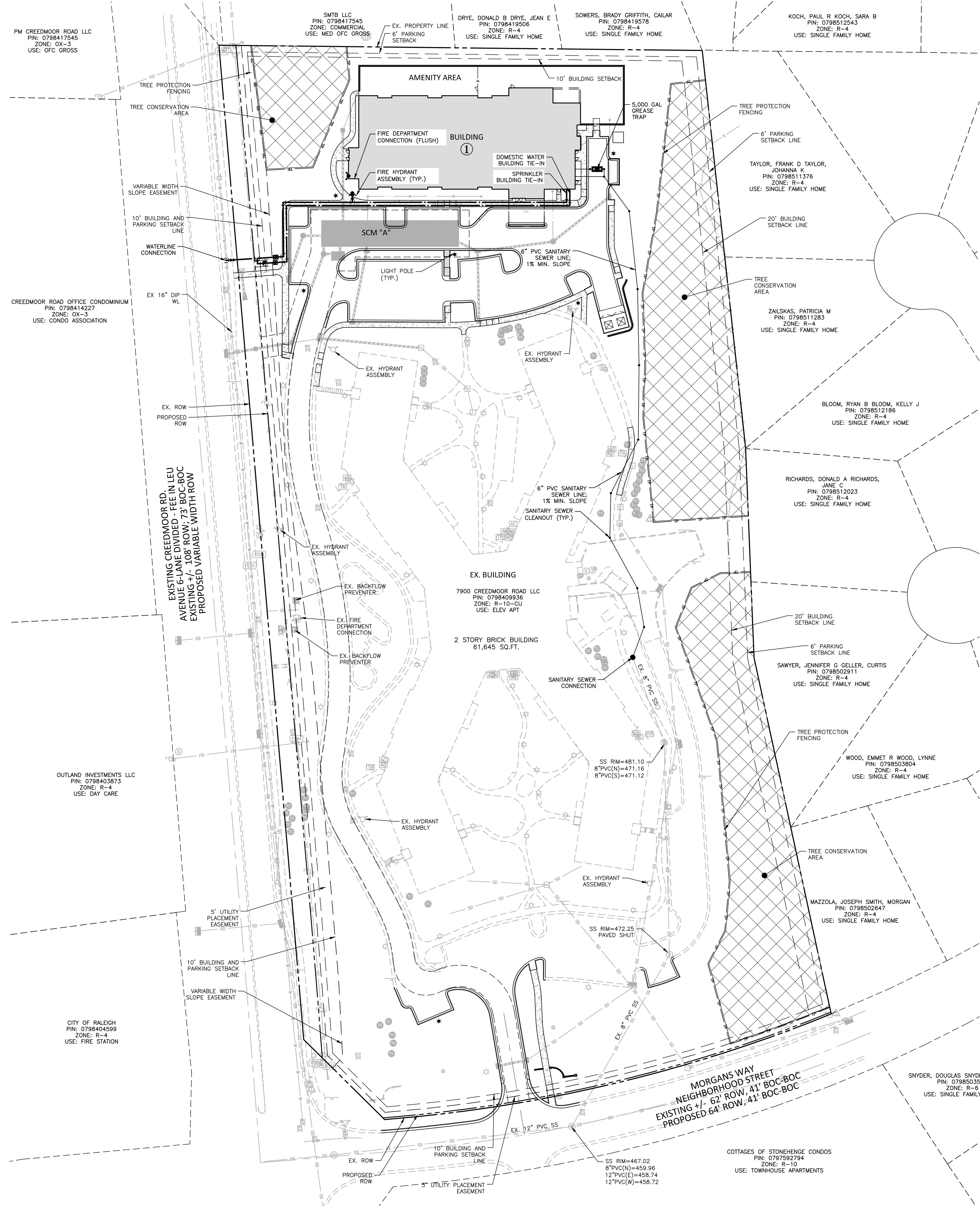
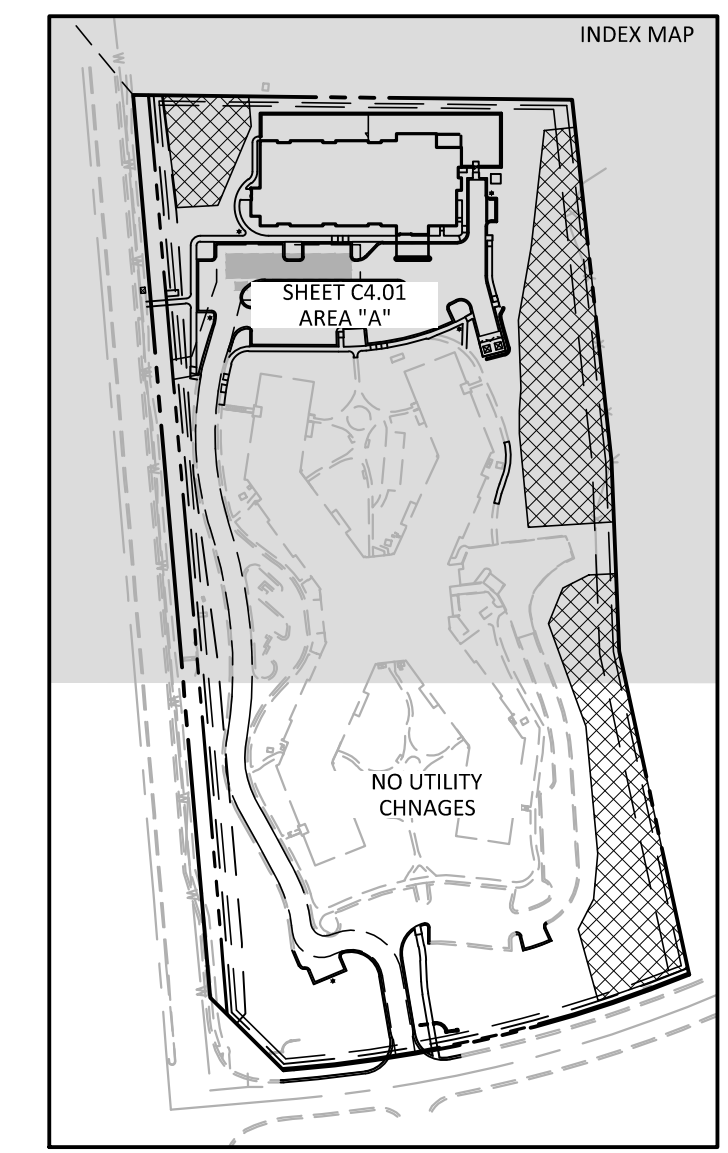
CLIENT

MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

ABBOTTWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

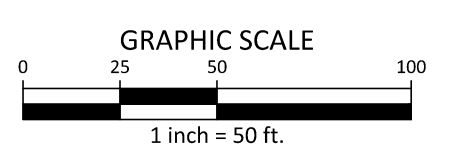
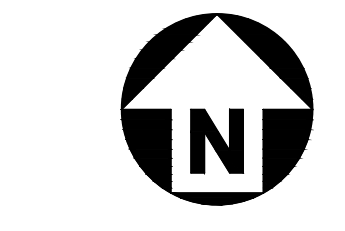
UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE

PLAN INFORMATION

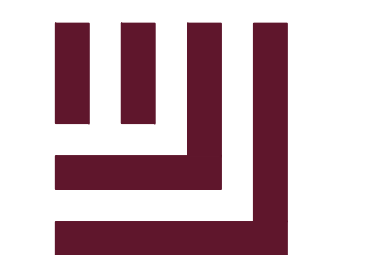
PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-OAS1
CHECKED BY	LJV
DRAWN BY	JTB
SCALE	1"=50'
DATE	08.05.2024

SHEET

OVERALL UTILITY PLAN

C4.00

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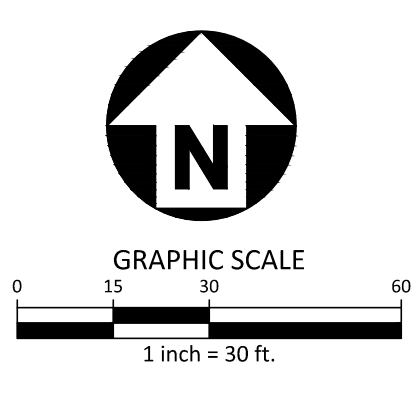
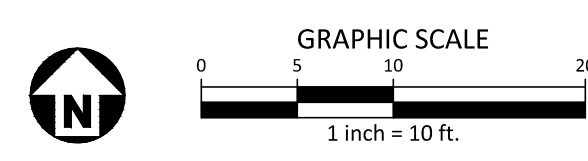
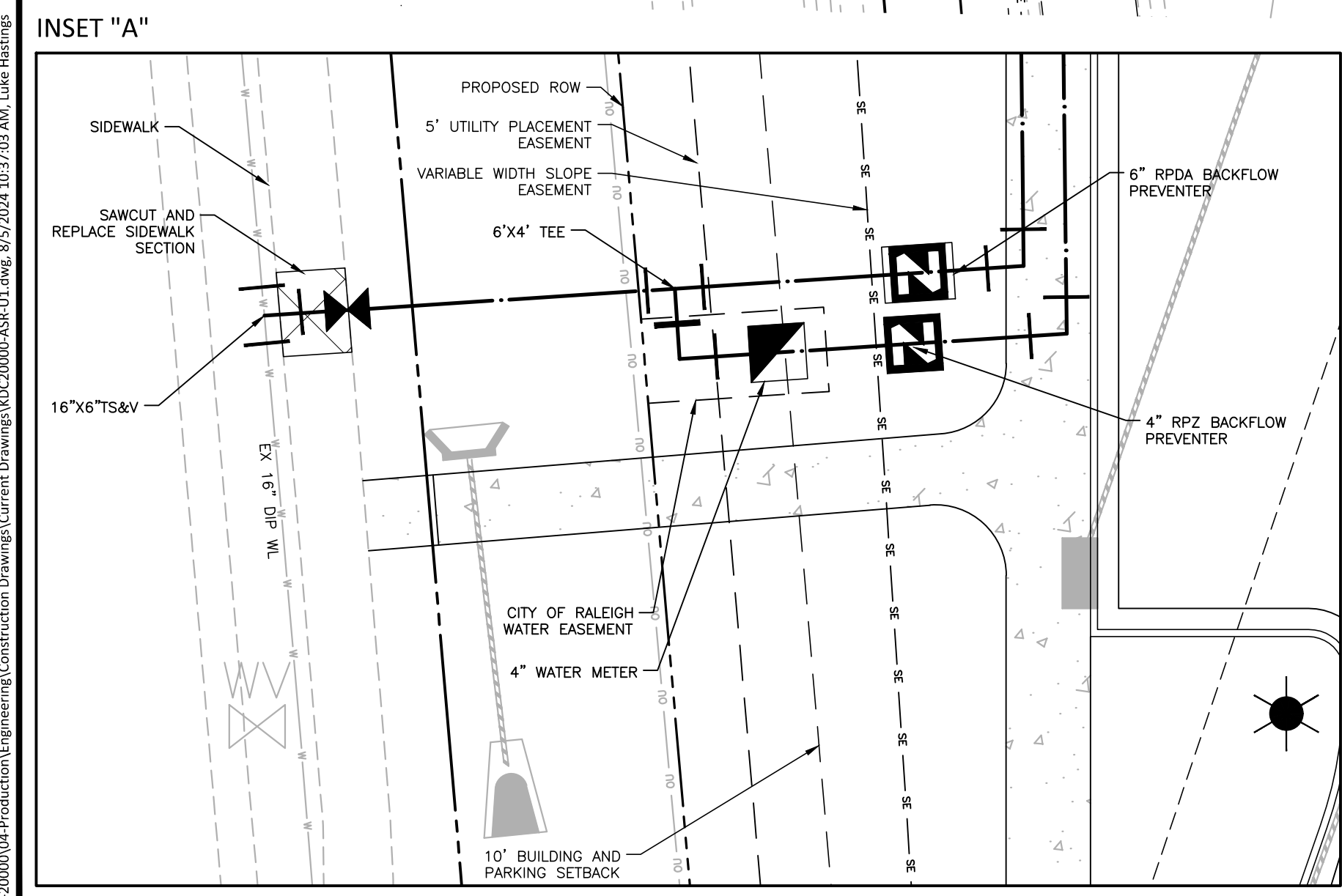
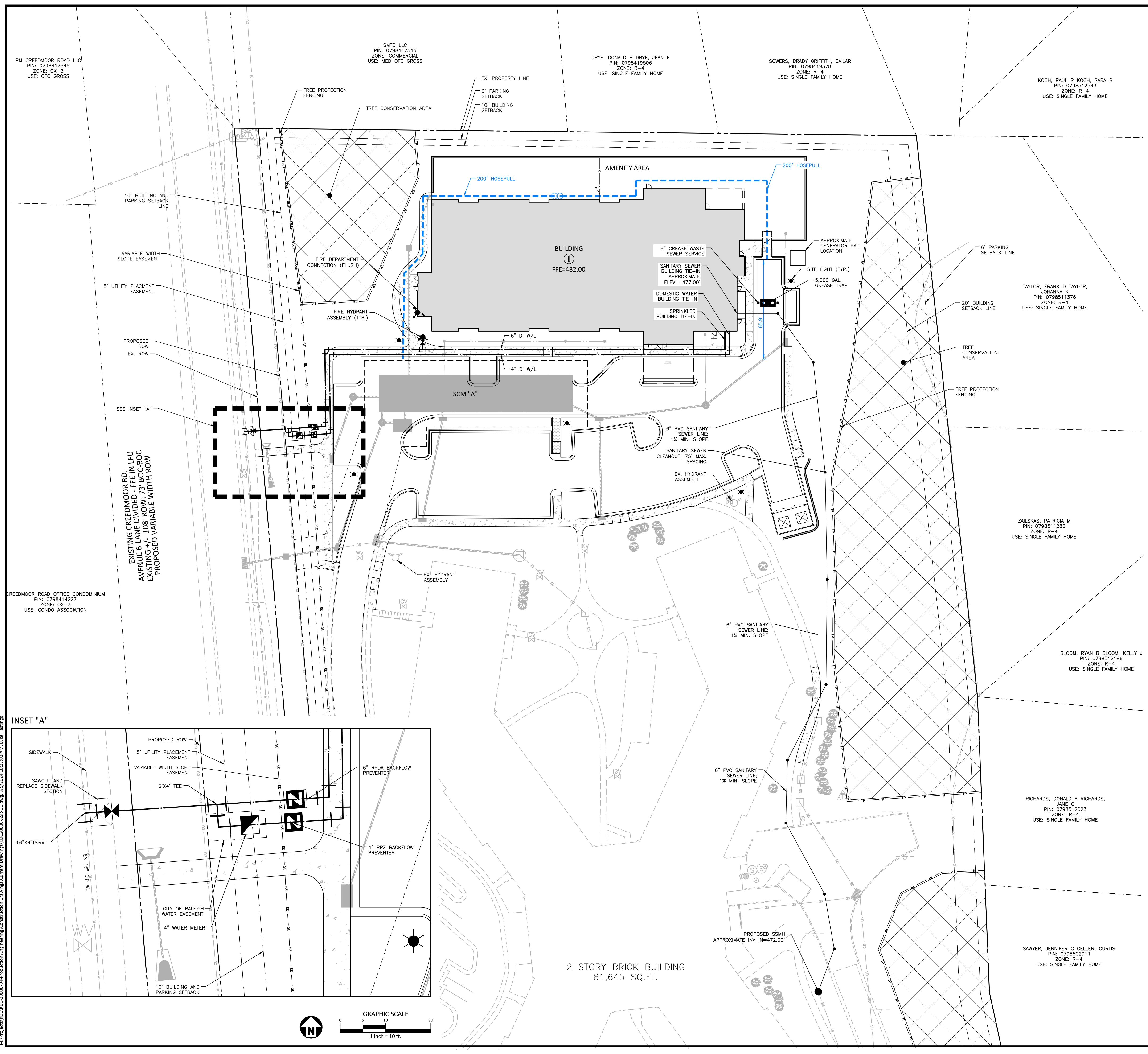
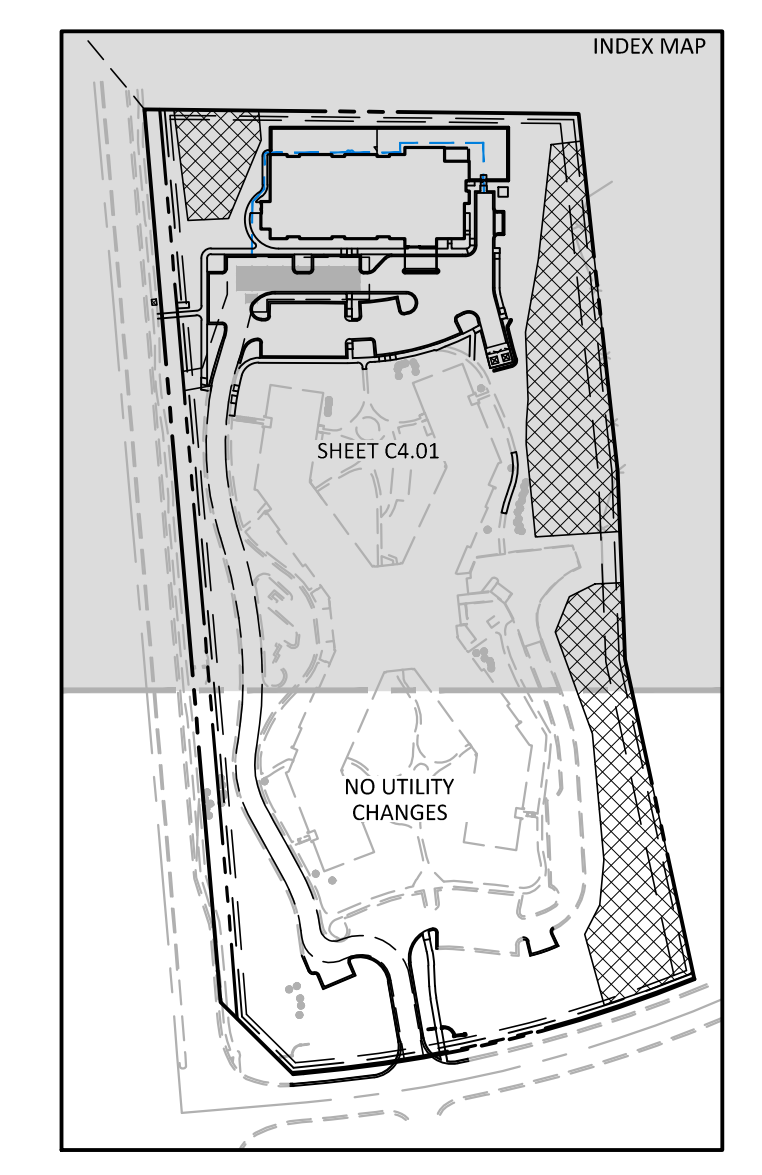
CLIENT

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**ABBOTTSWOOD AT
STONEHENGE**
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7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
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- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA



2 STORY BRICK BUILDING
61,645 SQ.FT.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE

PLAN INFORMATION

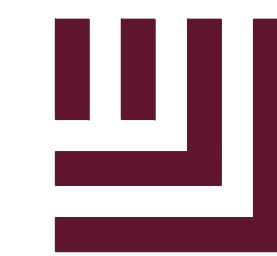
PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-U1.DWG
CHECKED BY	LJV
DRAWN BY	JTB
SCALE	1"=30'
DATE	08.05.2024

SHEET

DETAILED UTILITY PLAN

C4.01

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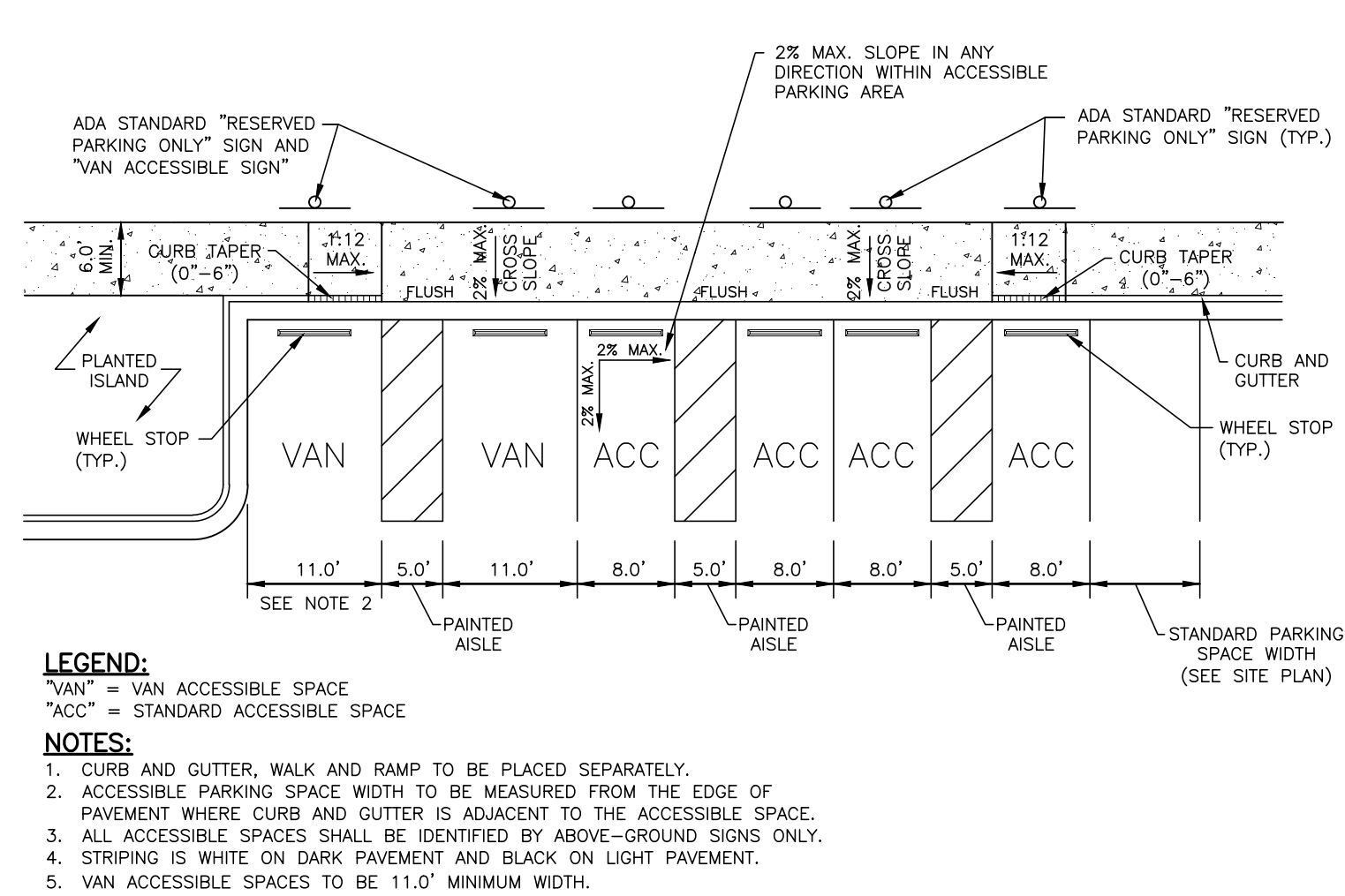
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fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

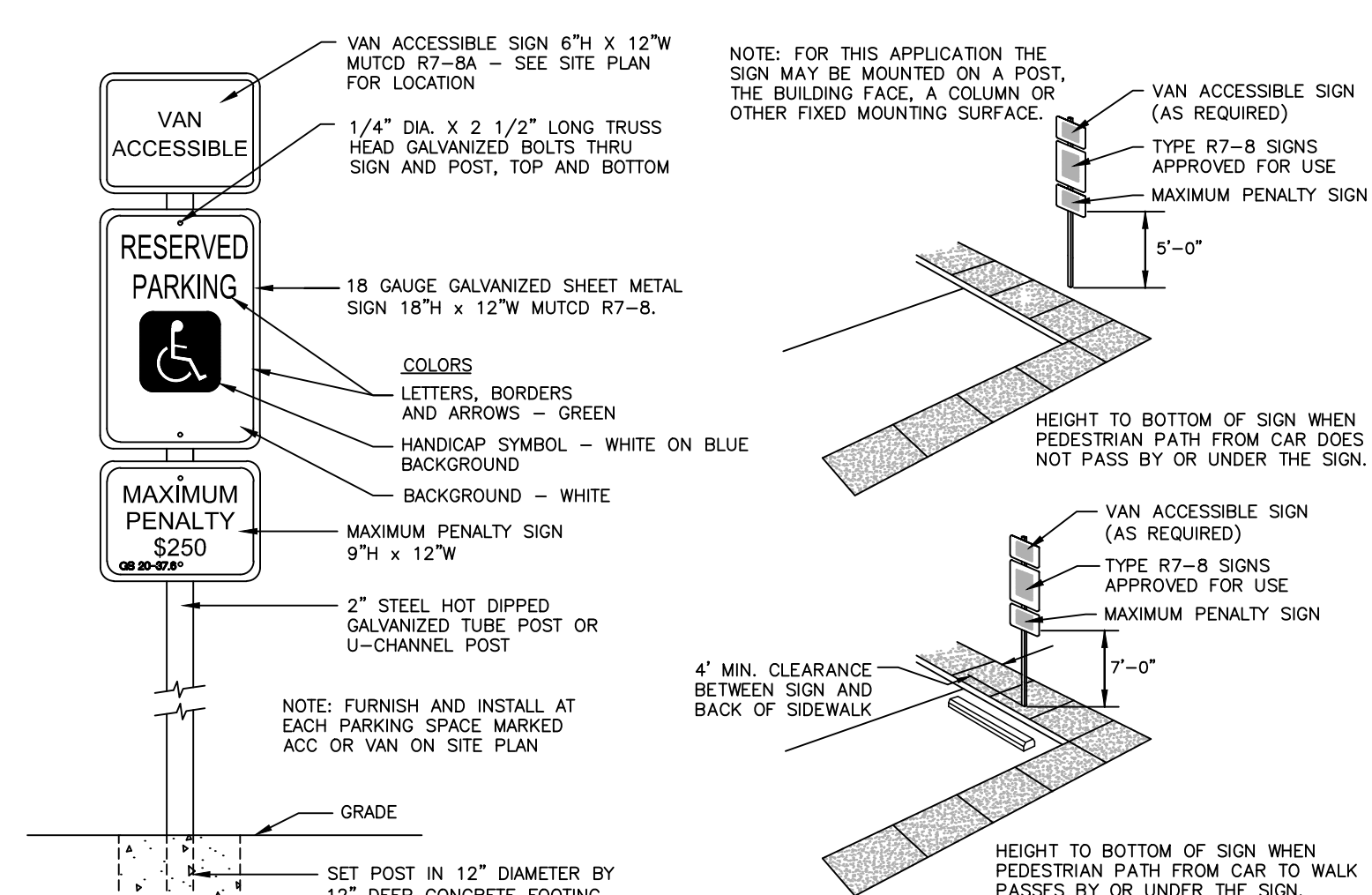
CLIENT

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5790 FLEET STREET, SUITE 300
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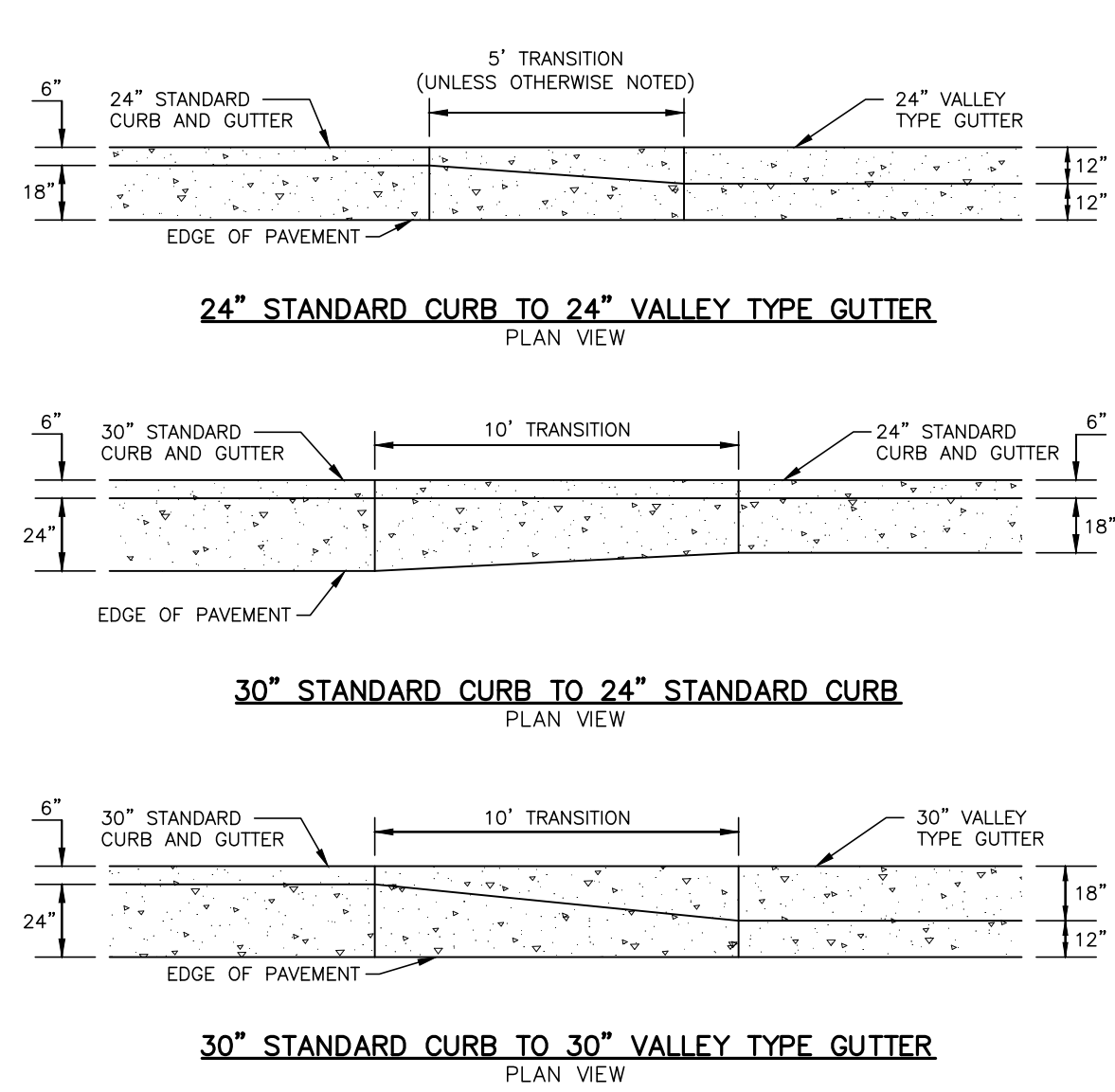
ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613



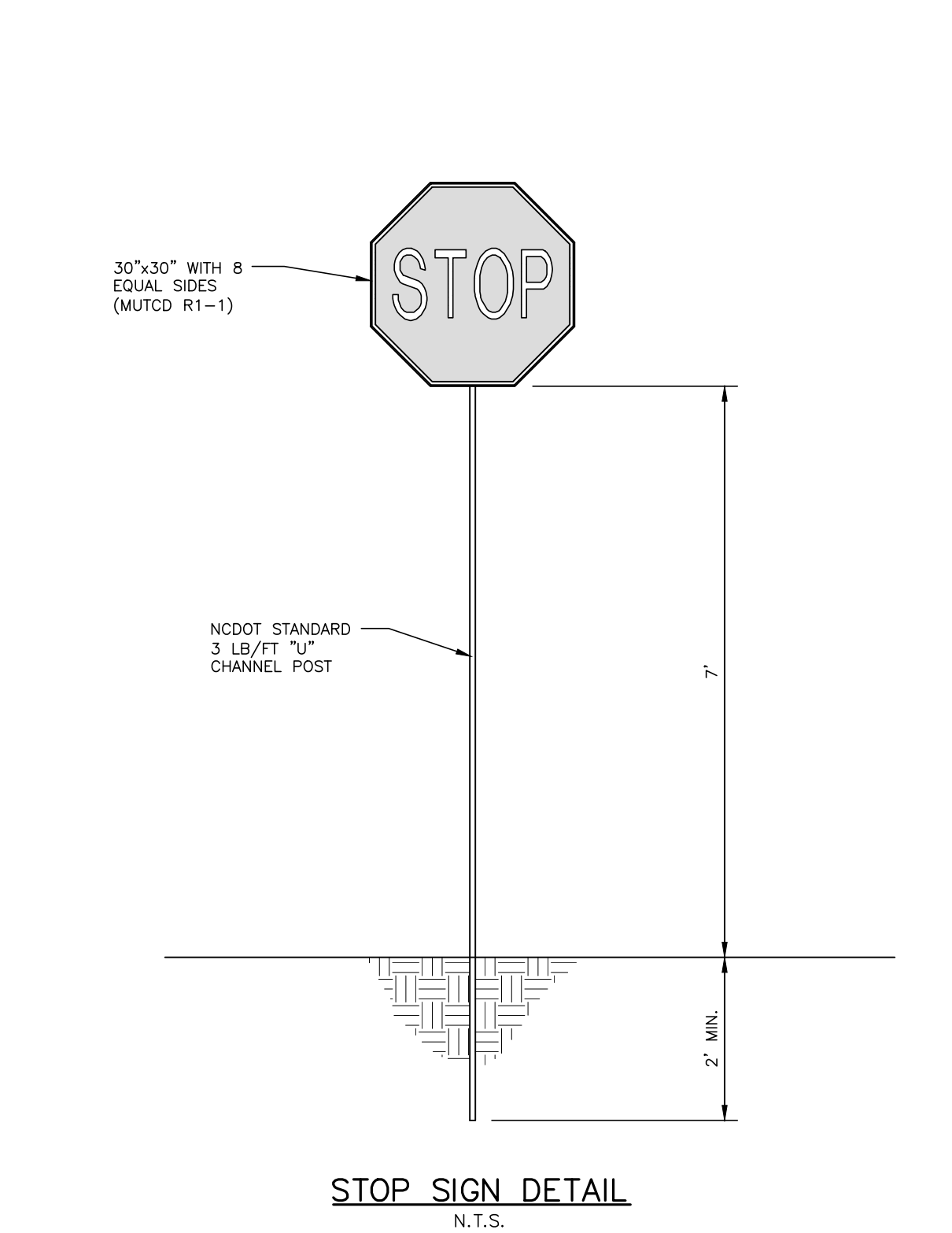
TYPICAL ACCESSIBLE PARKING SPACE LAYOUT, RAMP AND SIGN LOCATIONS
N.T.S.



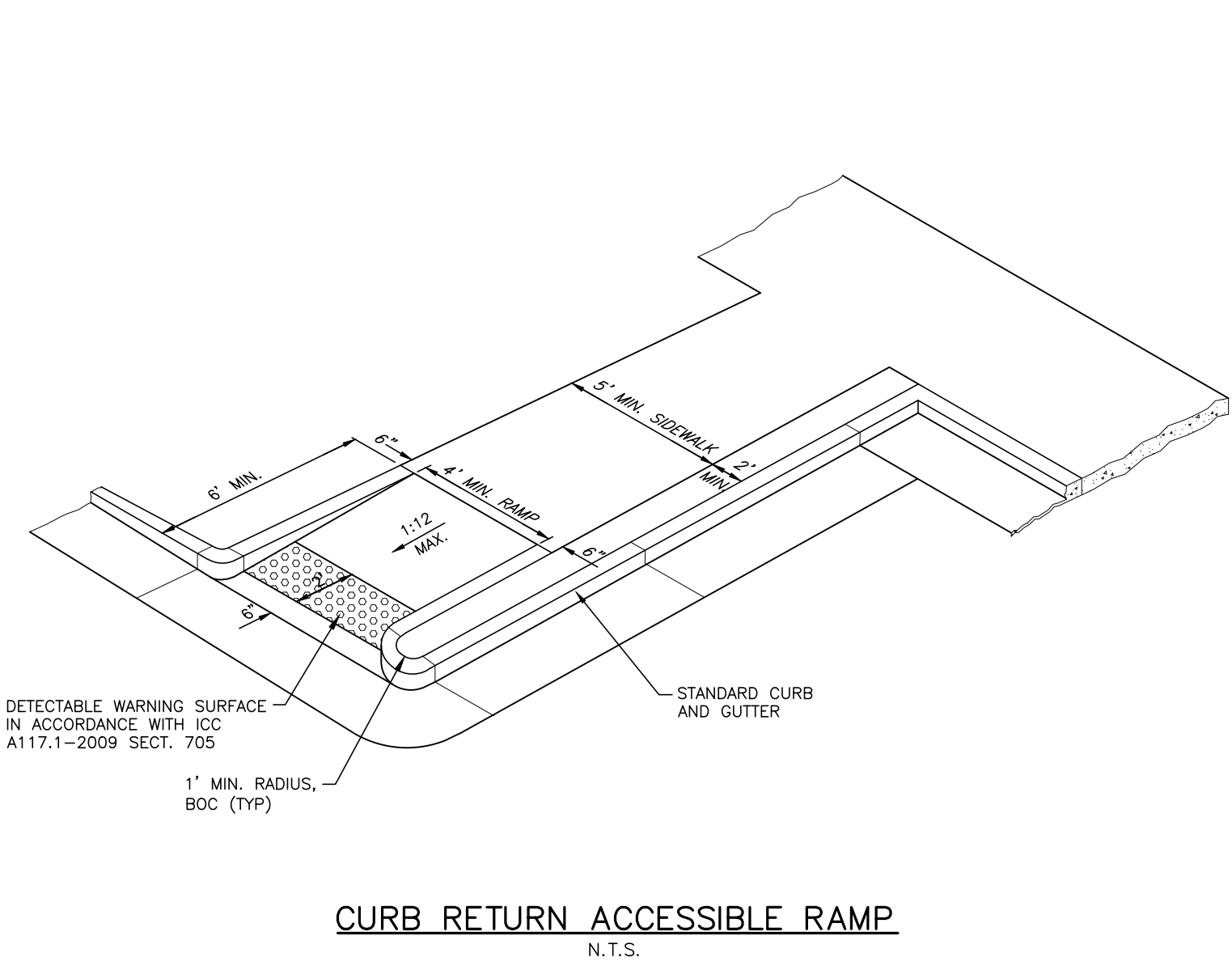
ACCESSIBLE PARKING SPACE SIGN
N.T.S.



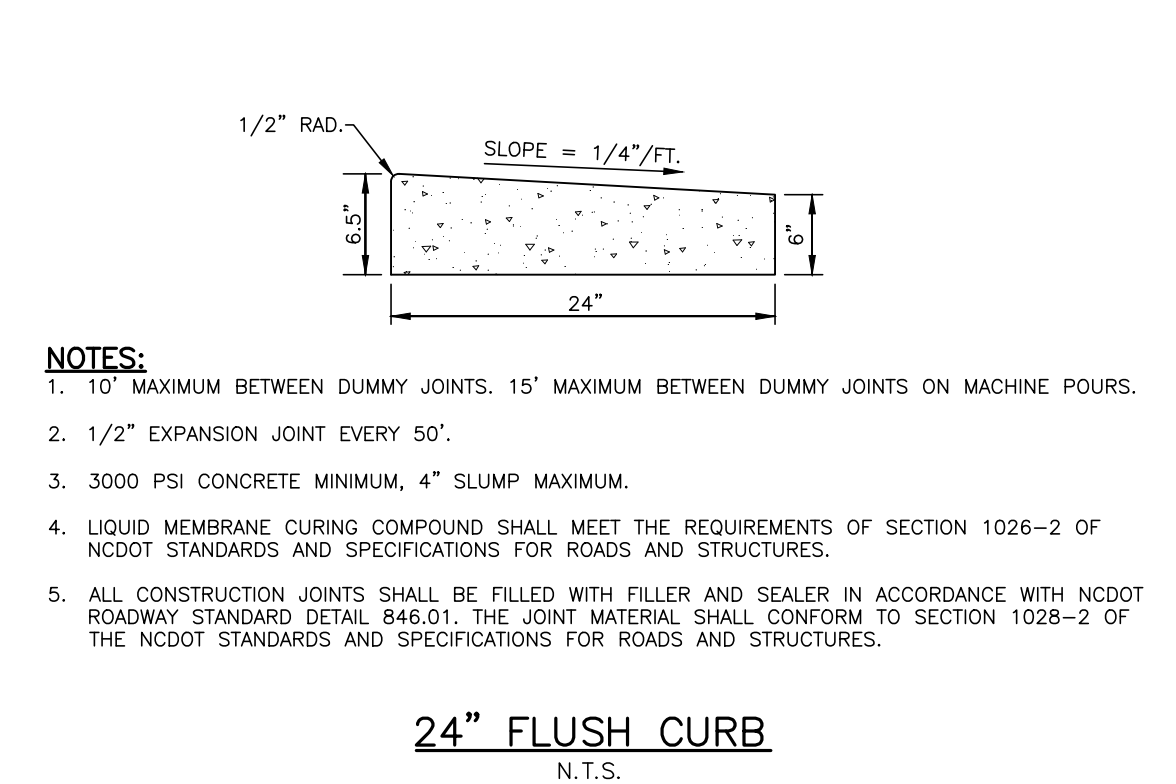
CURB TRANSITION DETAILS
N.T.S.



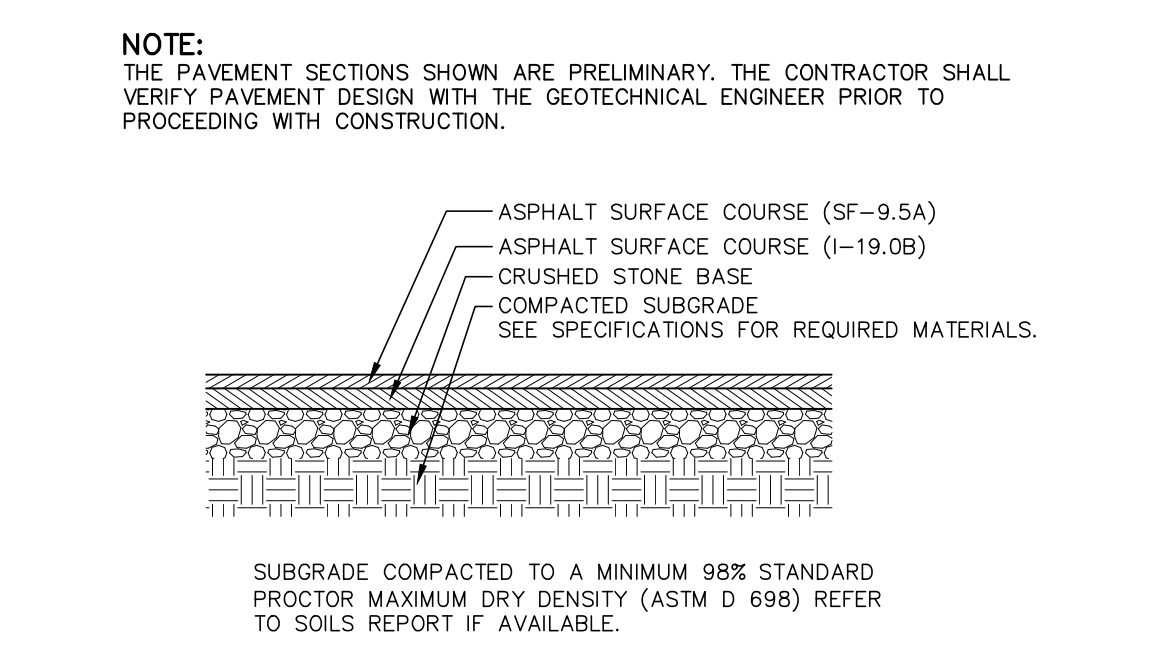
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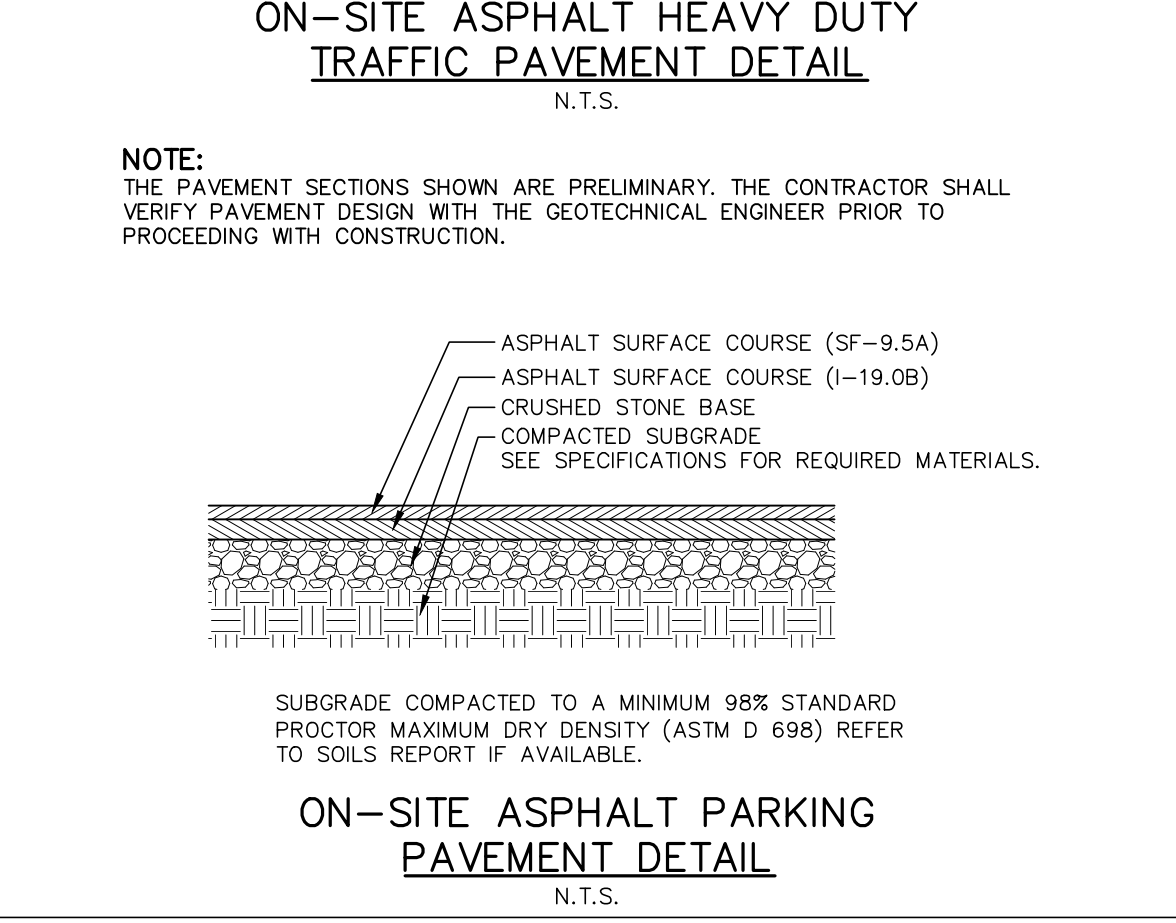
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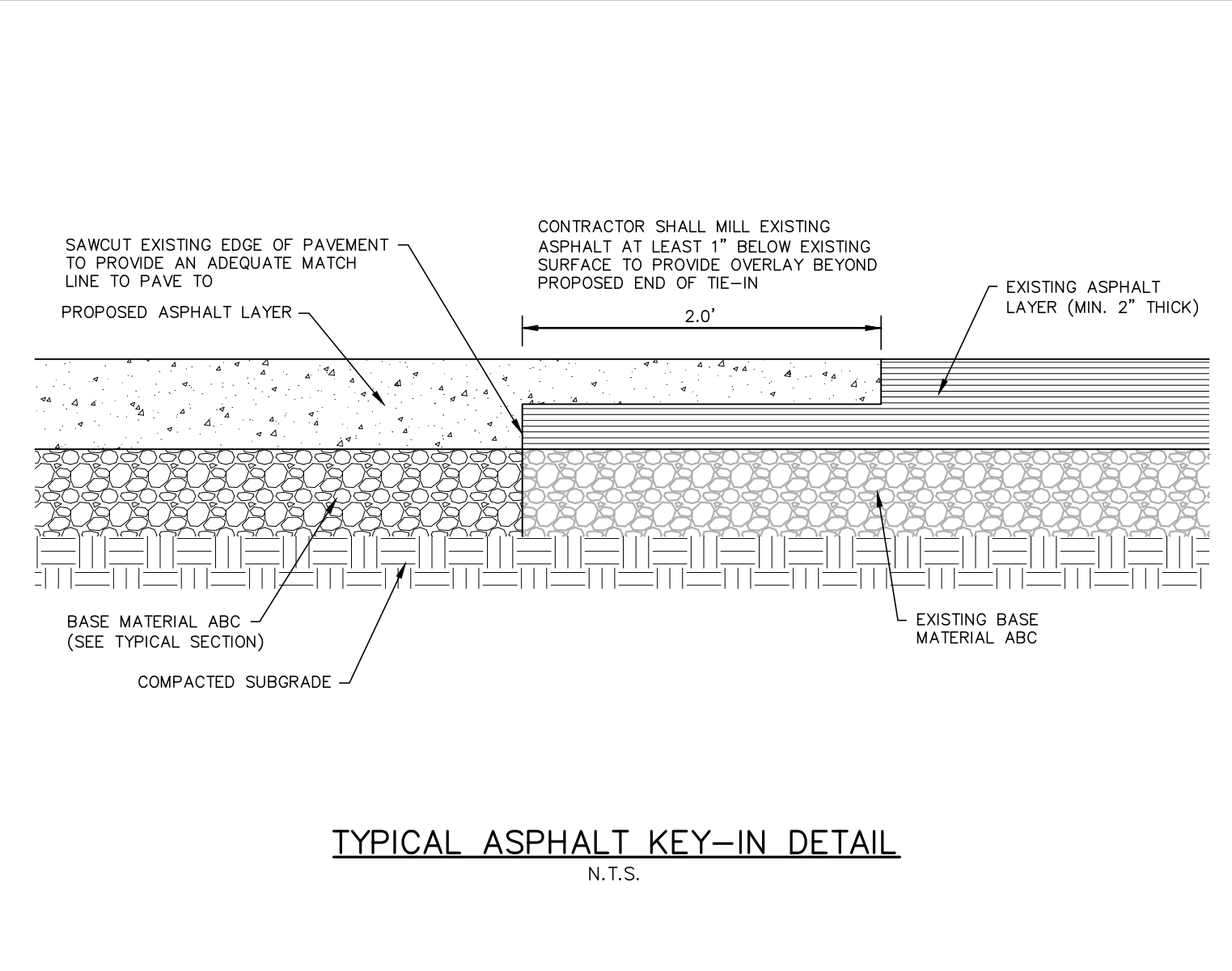
24\"/>



ON-SITE ASPHALT HEAVY DUTY TRAFFIC PAVEMENT DETAIL
N.T.S.



ON-SITE ASPHALT PARKING PAVEMENT DETAIL
N.T.S.



TYPICAL ASPHALT KEY-IN DETAIL
N.T.S.

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REVISIONS

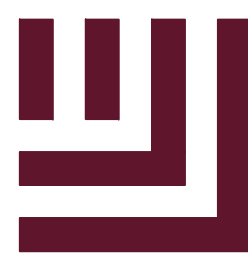
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PLAN INFORMATION

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FILENAME KDC20000-ASR-D1.DWG
CHECKED BY LJV
DRAWN BY LJV
SCALE NTS
DATE 08.05.2024

SITE DETAILS

C8.01



McADAMS

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license number: C-0293, C-187

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CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS

NO. DATE

PLAN INFORMATION

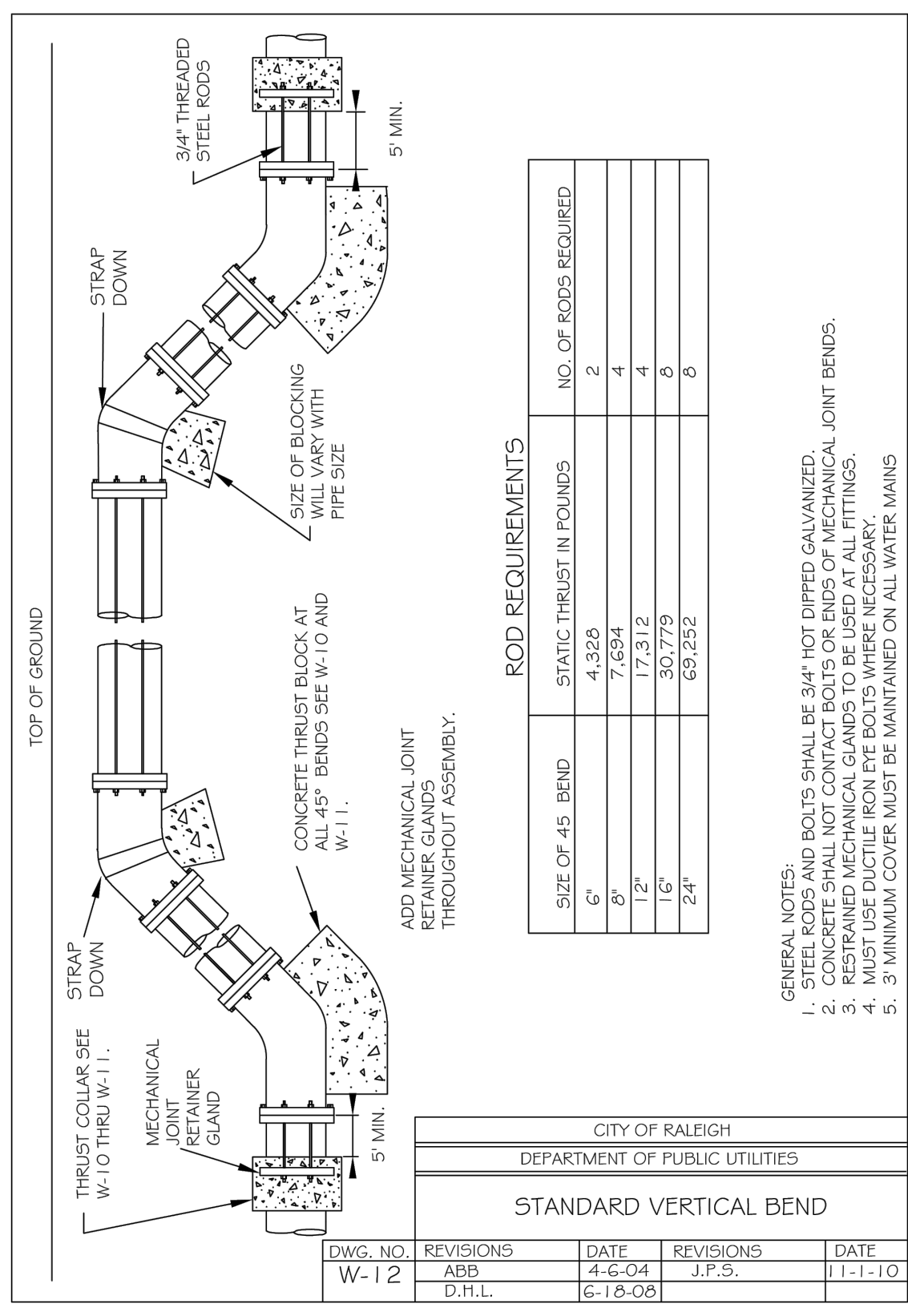
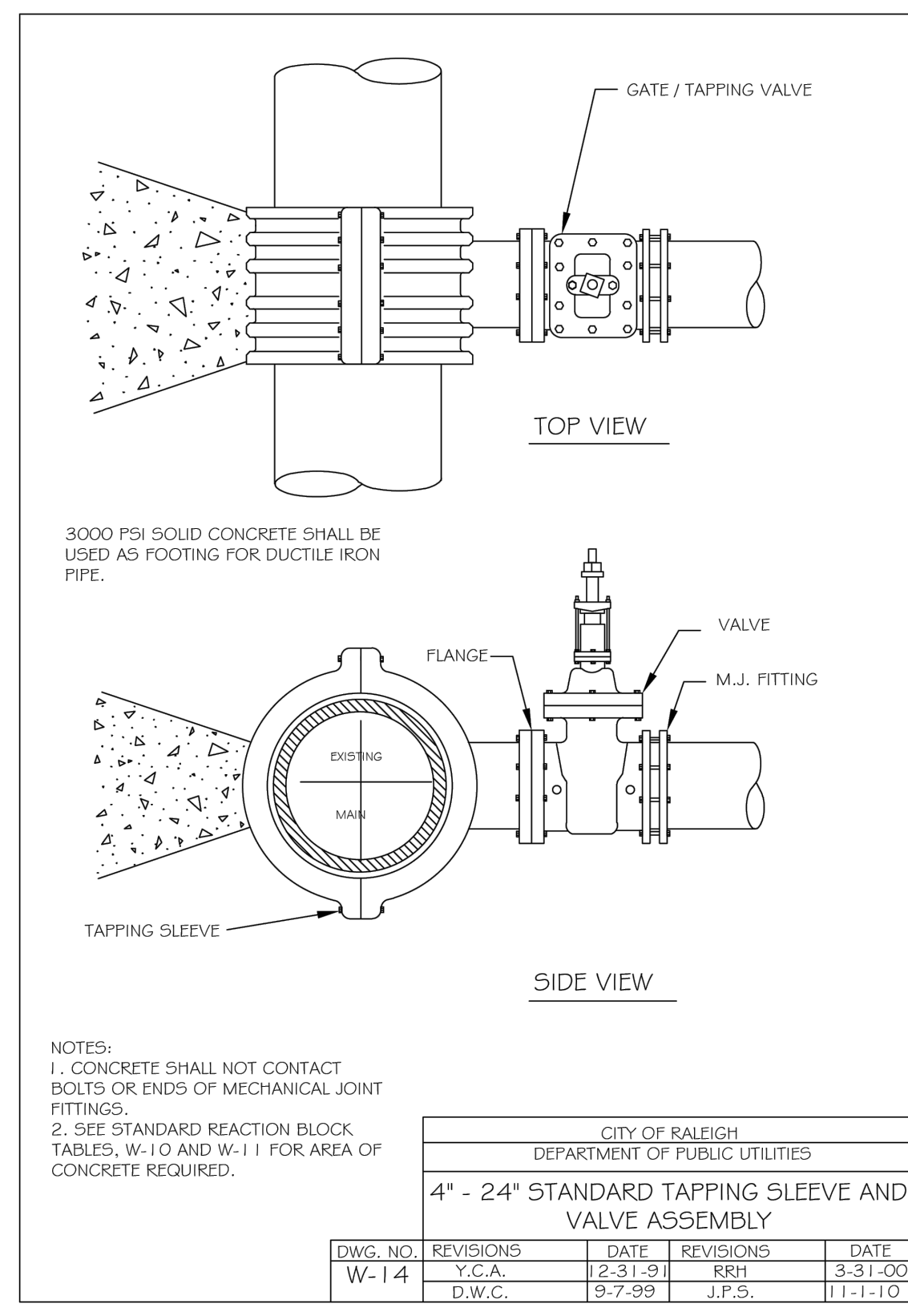
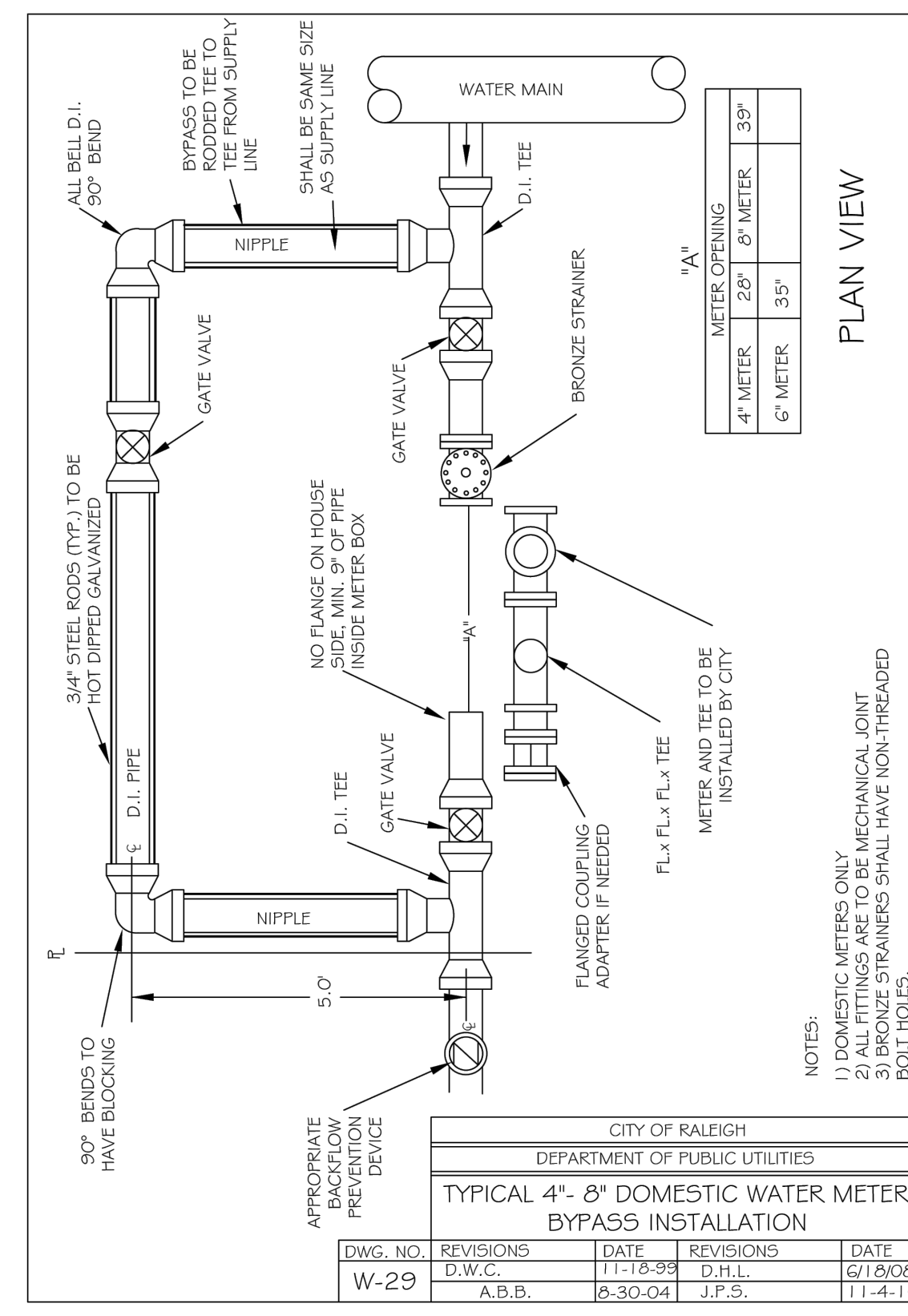
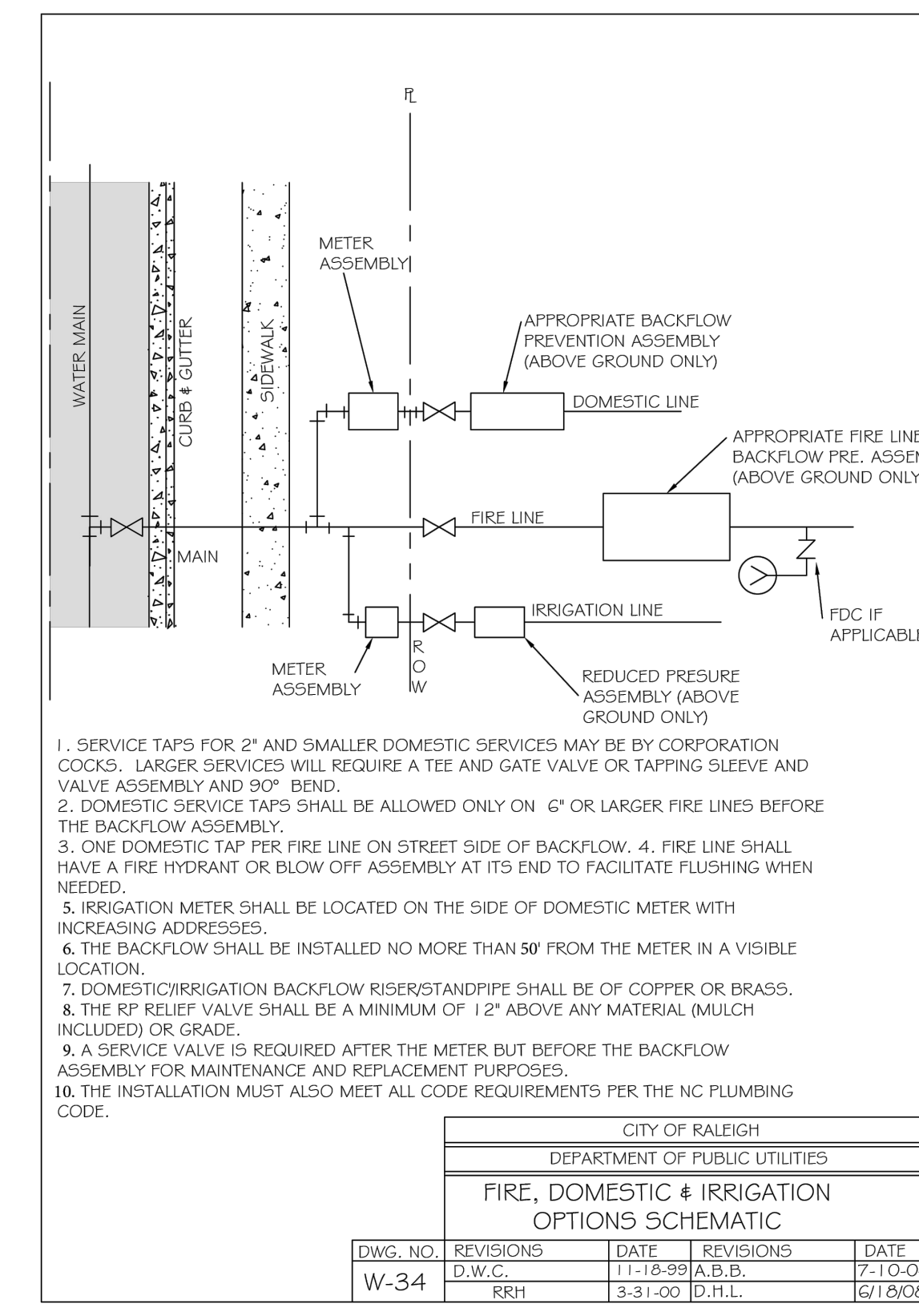
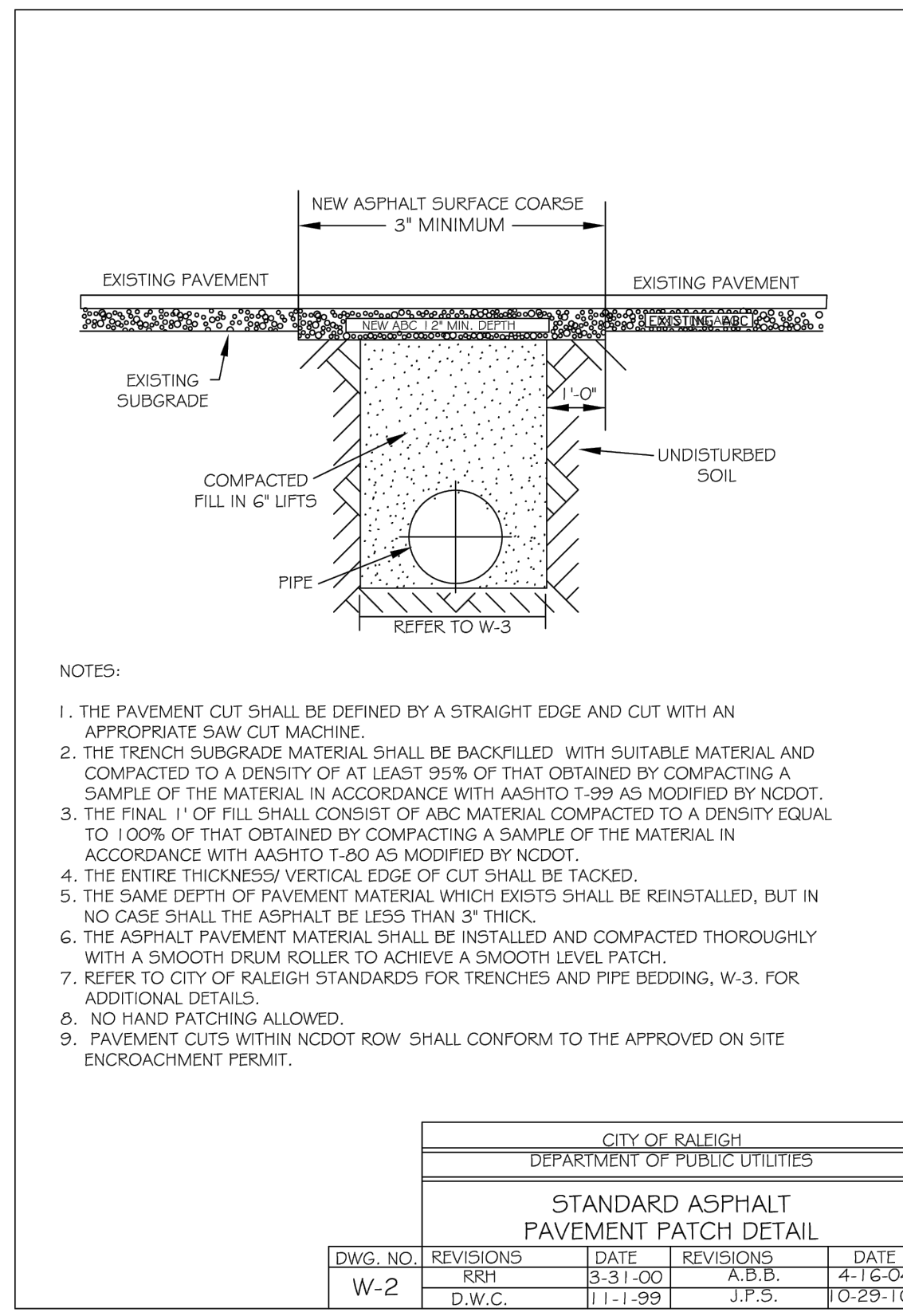
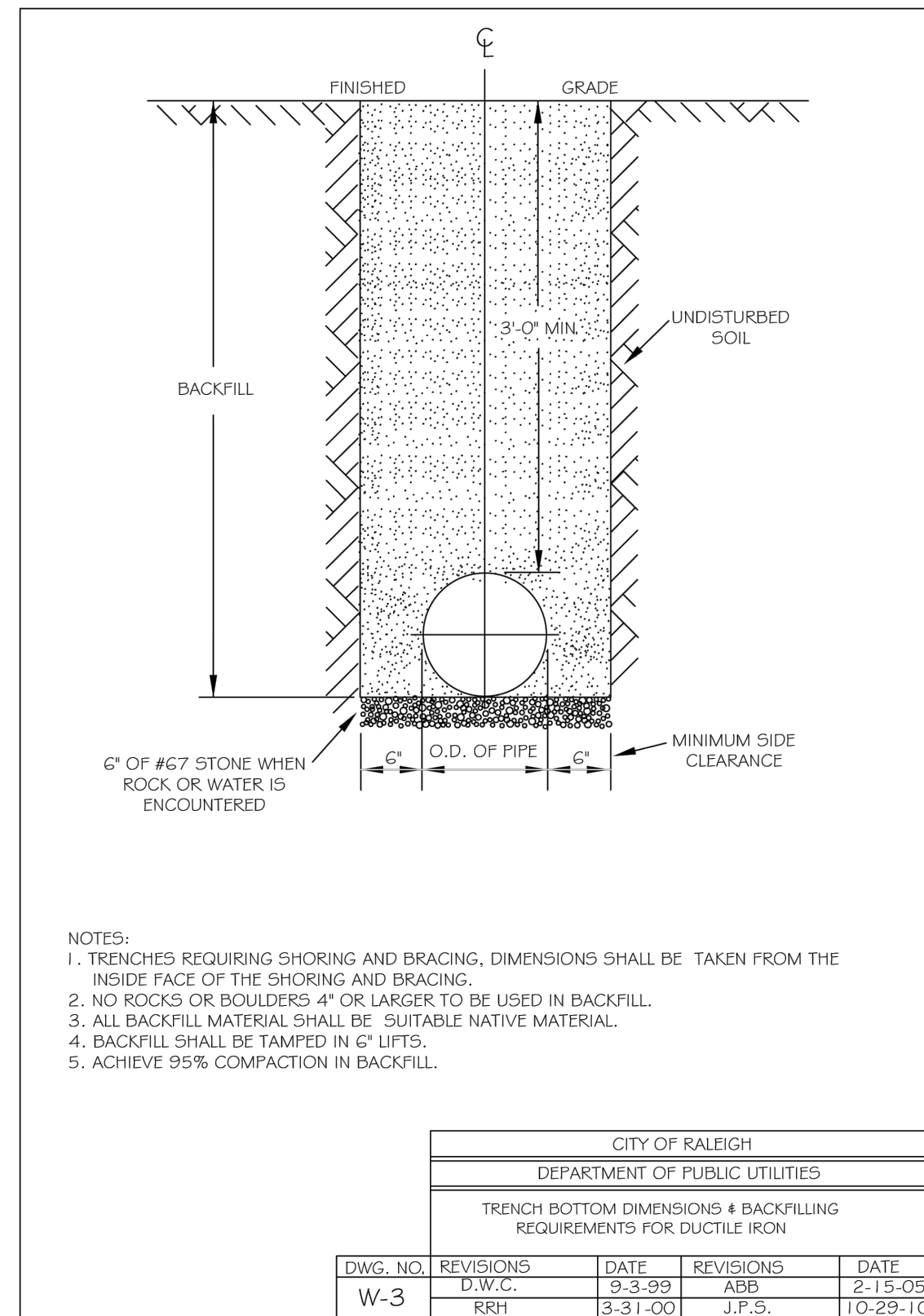
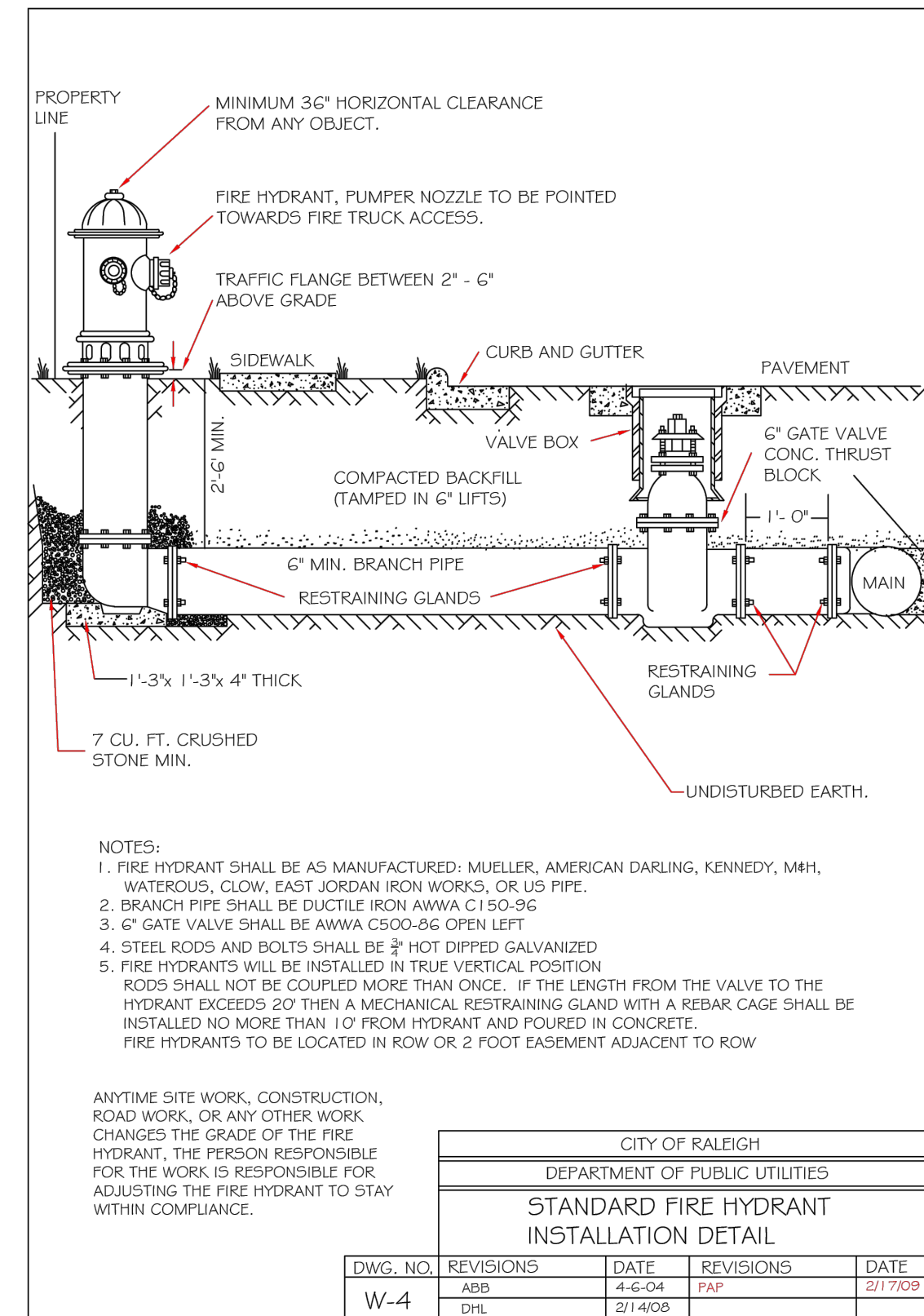
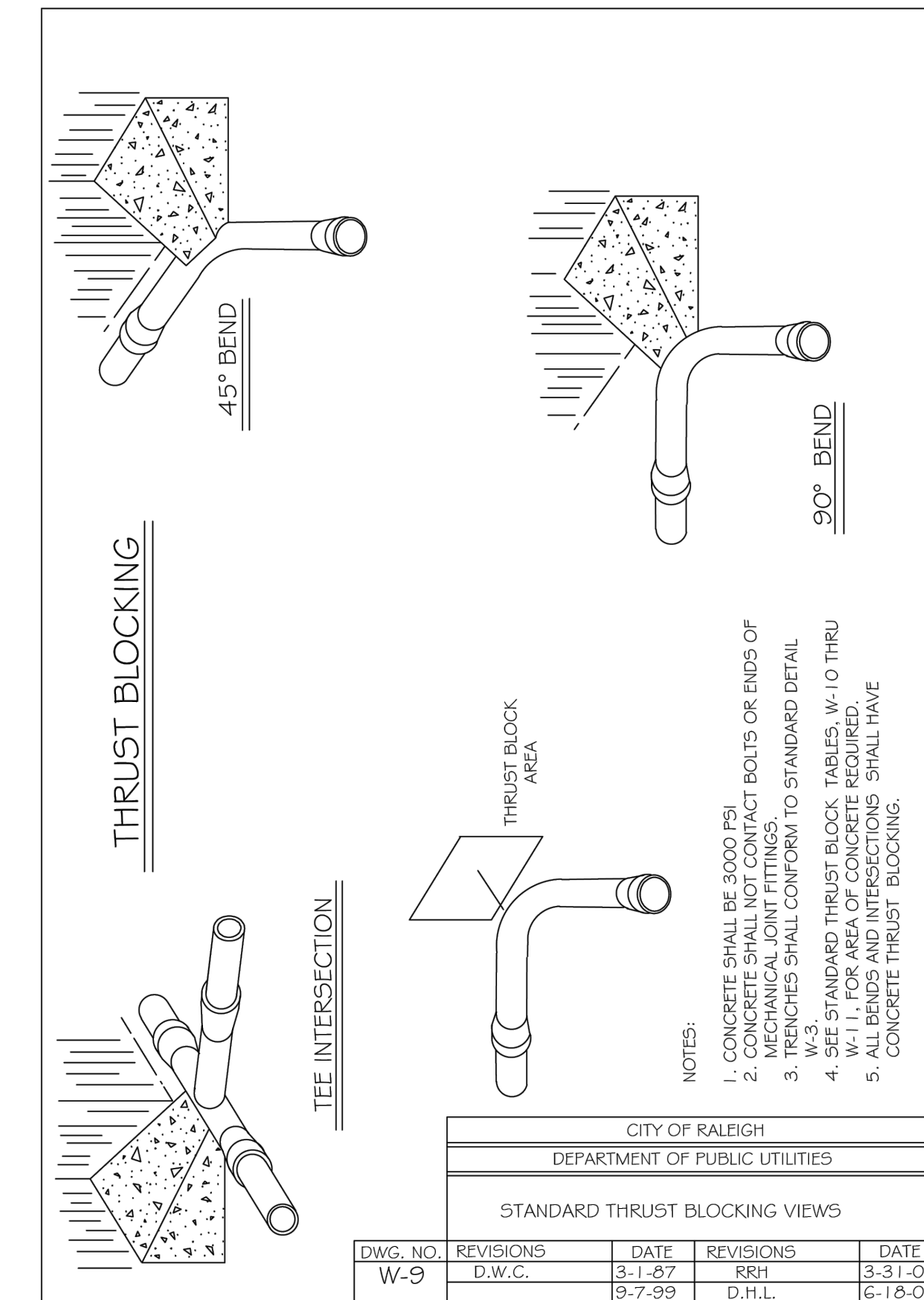
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FILENAME KDC20000-ASR-D1.DWG
CHECKED BY LJV
DRAWN BY LJV
SCALE NTS
DATE 08.05.2024

SHEET

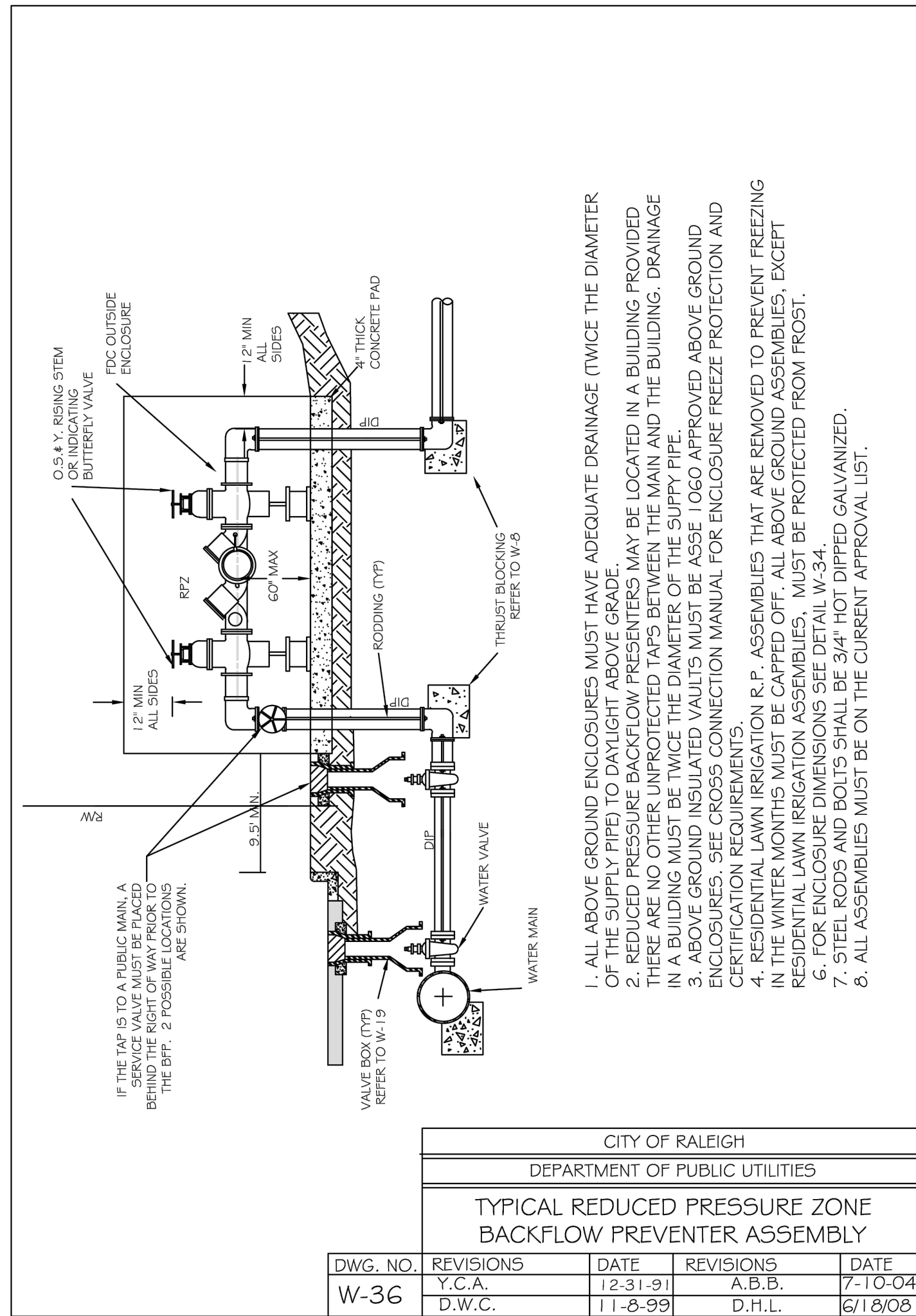
WATER DETAILS

C8.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

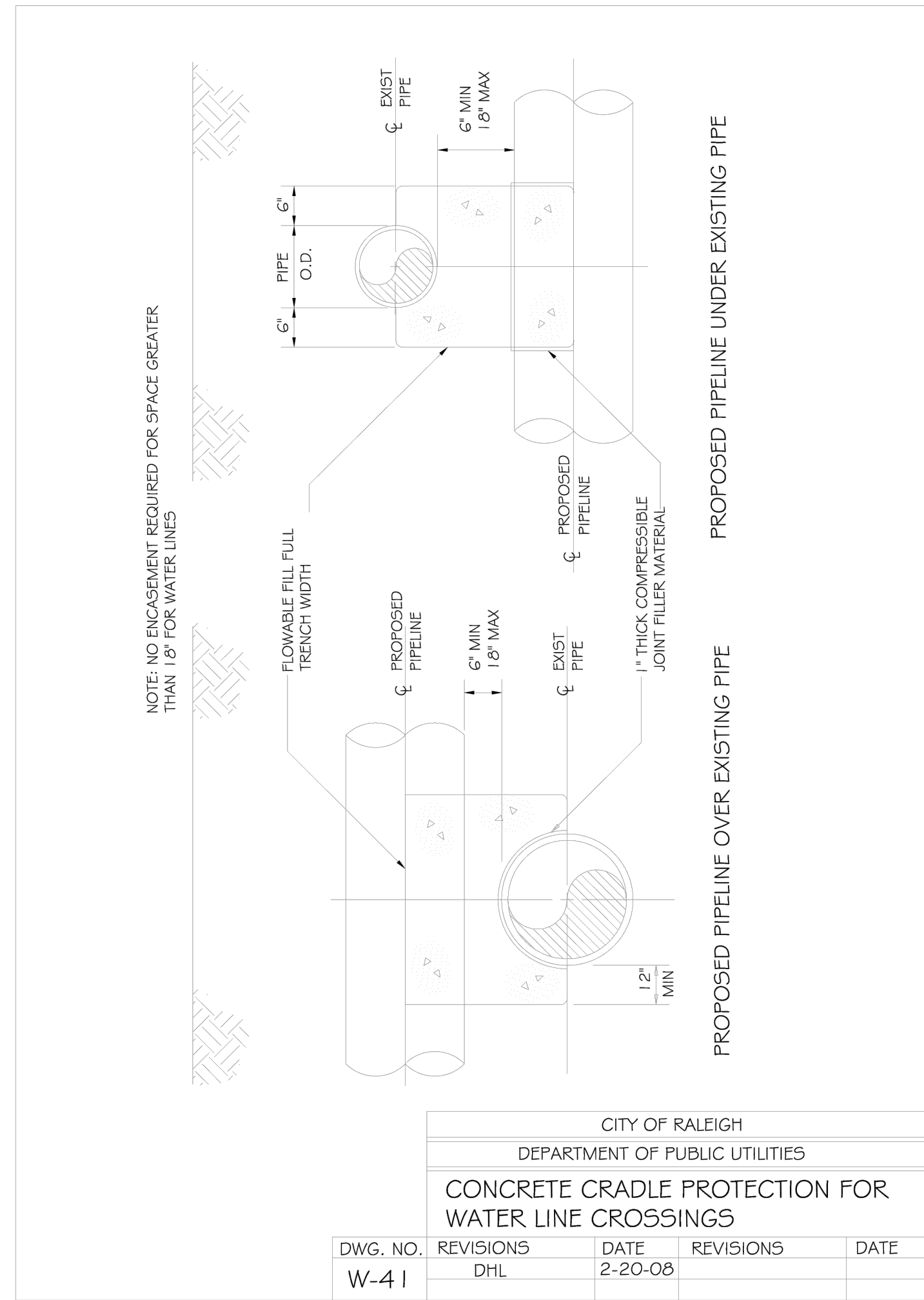


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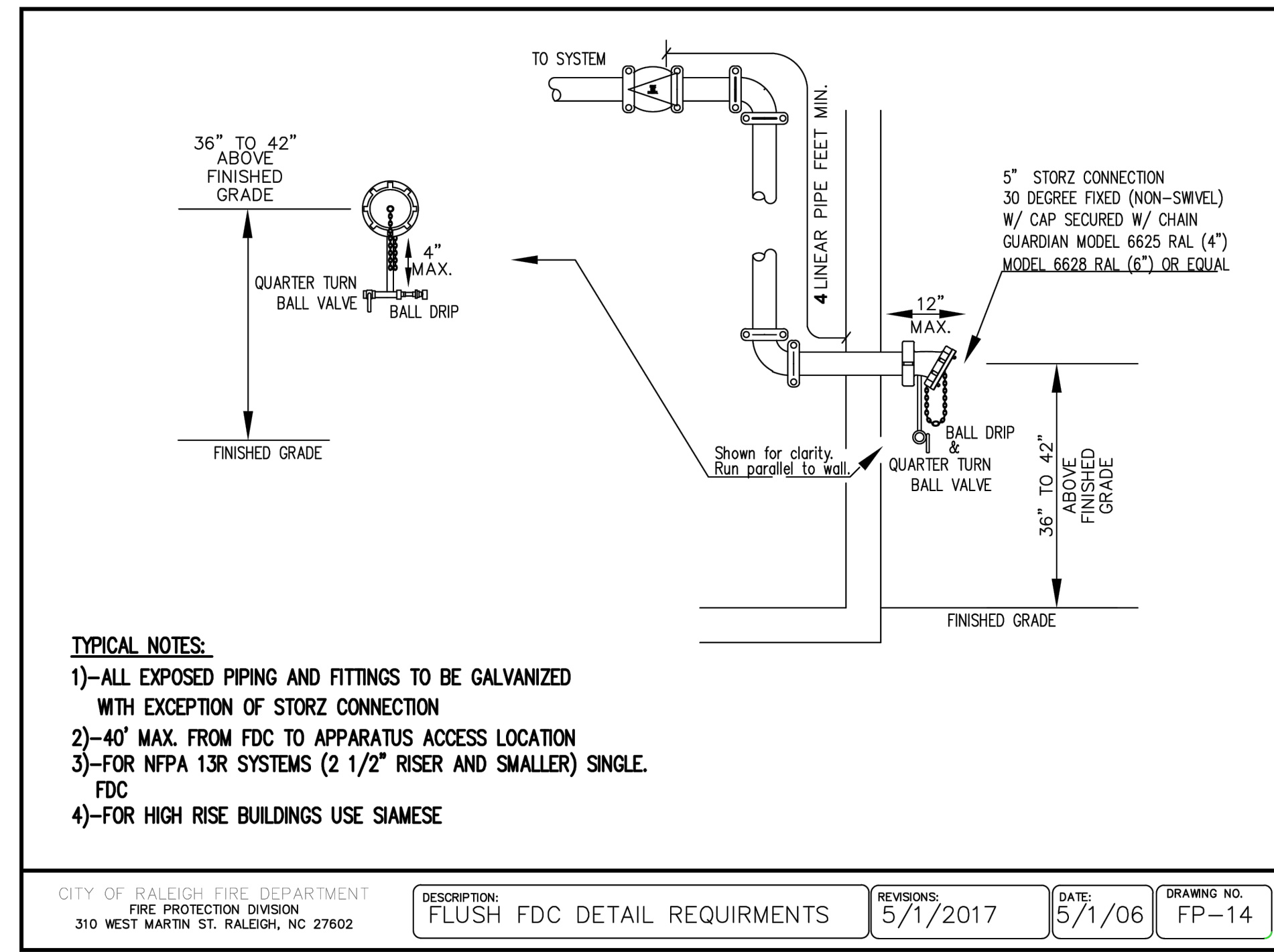


1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DAYLIGHT ABOVE GRADE.
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
3. ABOVE GROUND INSULATED VAULTS MUST BE ASSESS TO GO APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND RESIDENTIAL LAWN IRRIGATION R.P. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF. ALL ABOVE GROUND ASSEMBLIES EXCEPT RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FROST.
4. STEEL RODS AND BOLTS SHALL BE 3/4\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36	Y.C.A.	12-31-91	A.B.B.	7-10-04
	D.W.C.	11-8-99	D.H.L.	6/18/08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
CONCRETE CRADLE PROTECTION FOR WATER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-41	DHL	2-20-08		



- TYPICAL NOTES:**
- 1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
 - 2)-40\"/>

CITY OF RALEIGH FIRE DEPARTMENT 310 WEST MARTIN ST. RALEIGH, NC 27602	DESCRIPTION: FLUSH FDC DETAIL REQUIREMENTS	REVISIONS: 5/1/2017	DATE: 5/1/06	DRAWING NO. FP-14
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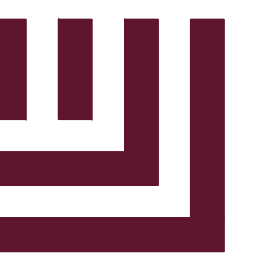
CLIENT
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CARLSBAD, CALIFORNIA 92008

**ABBOTTSWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS	
NO.	DATE

PLAN INFORMATION	
PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-D1.DWG
CHECKED BY	LJV
DRAWN BY	LJV
SCALE	NTS
DATE	08.05.2024

SHEET
WATER DETAILS
C8.03



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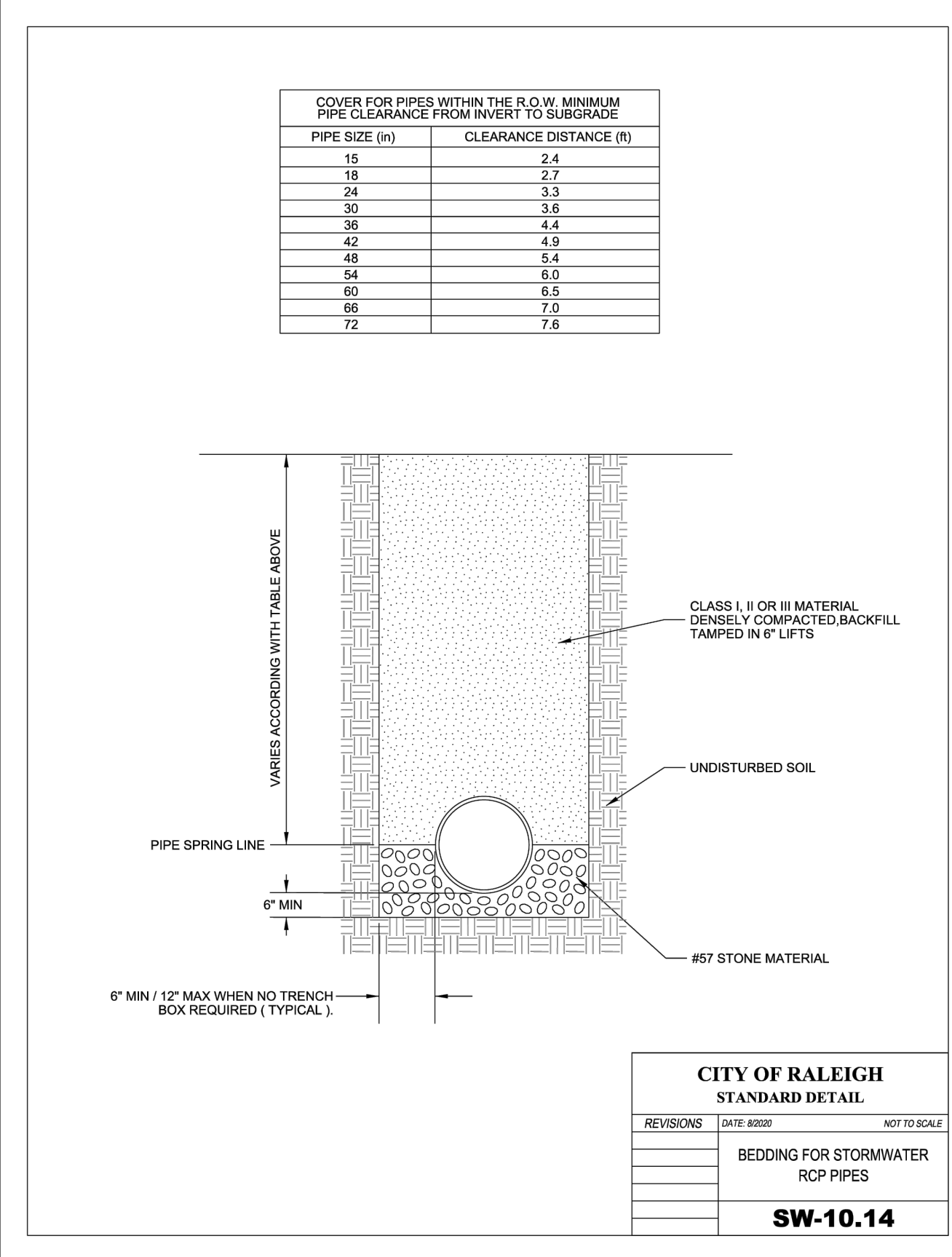
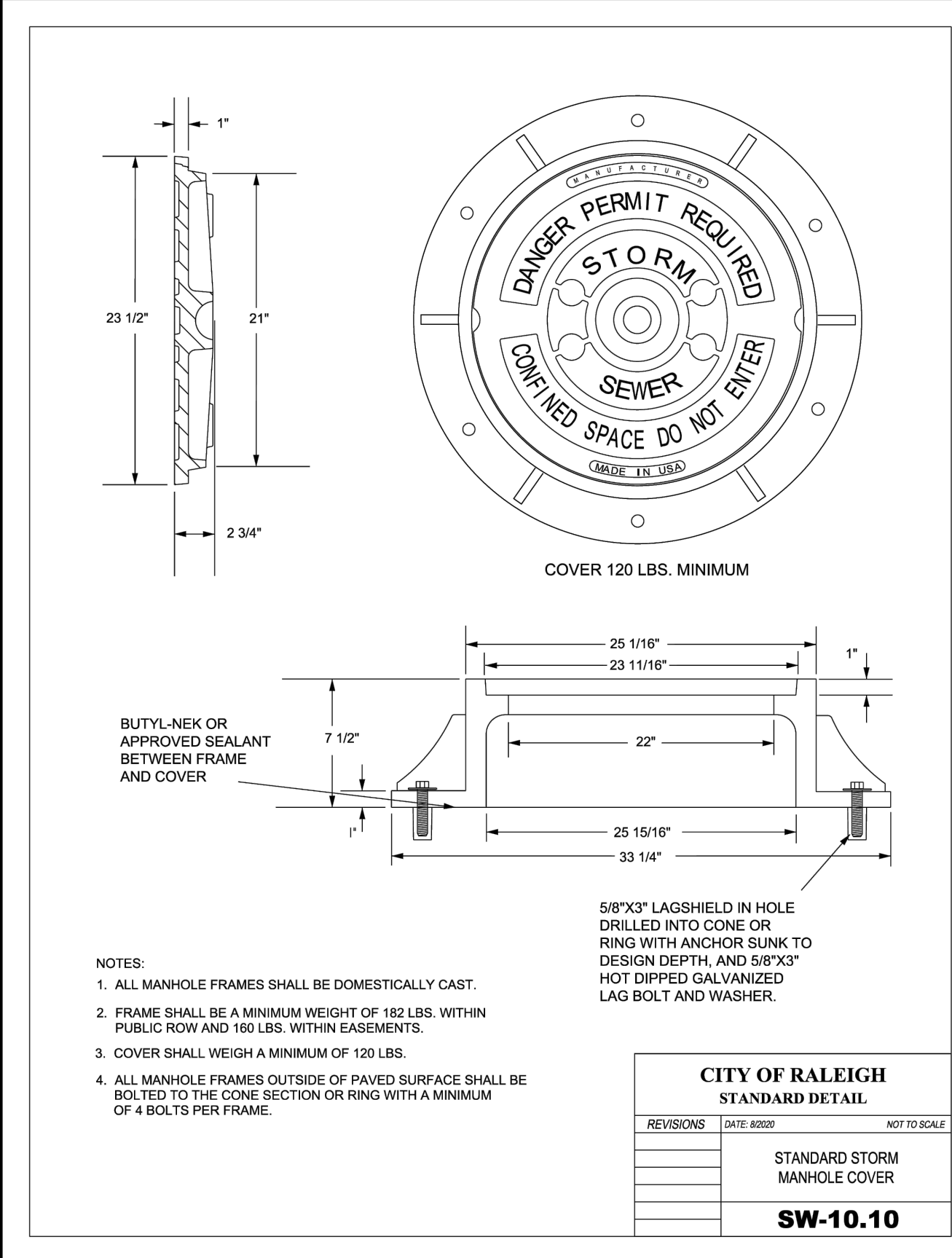
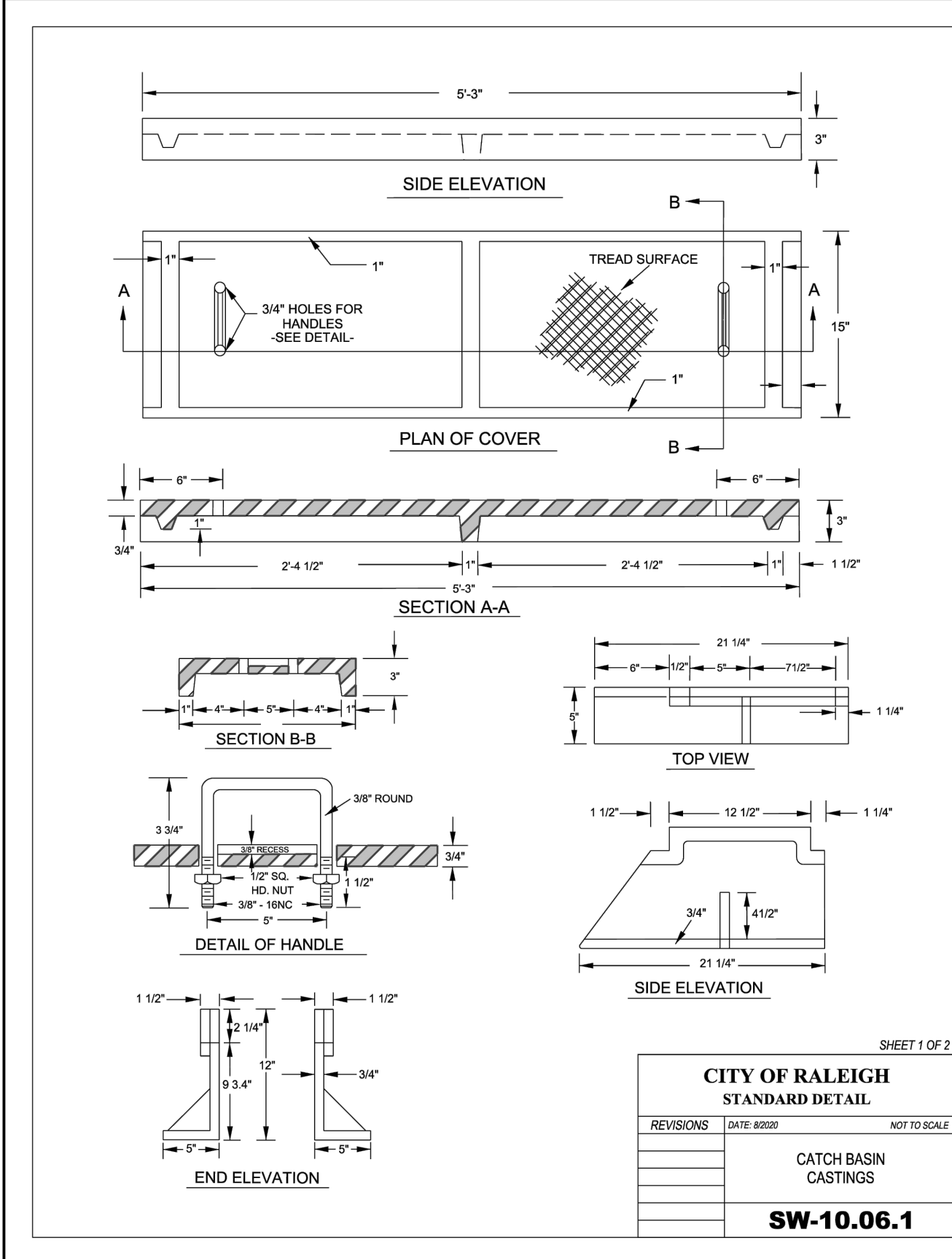
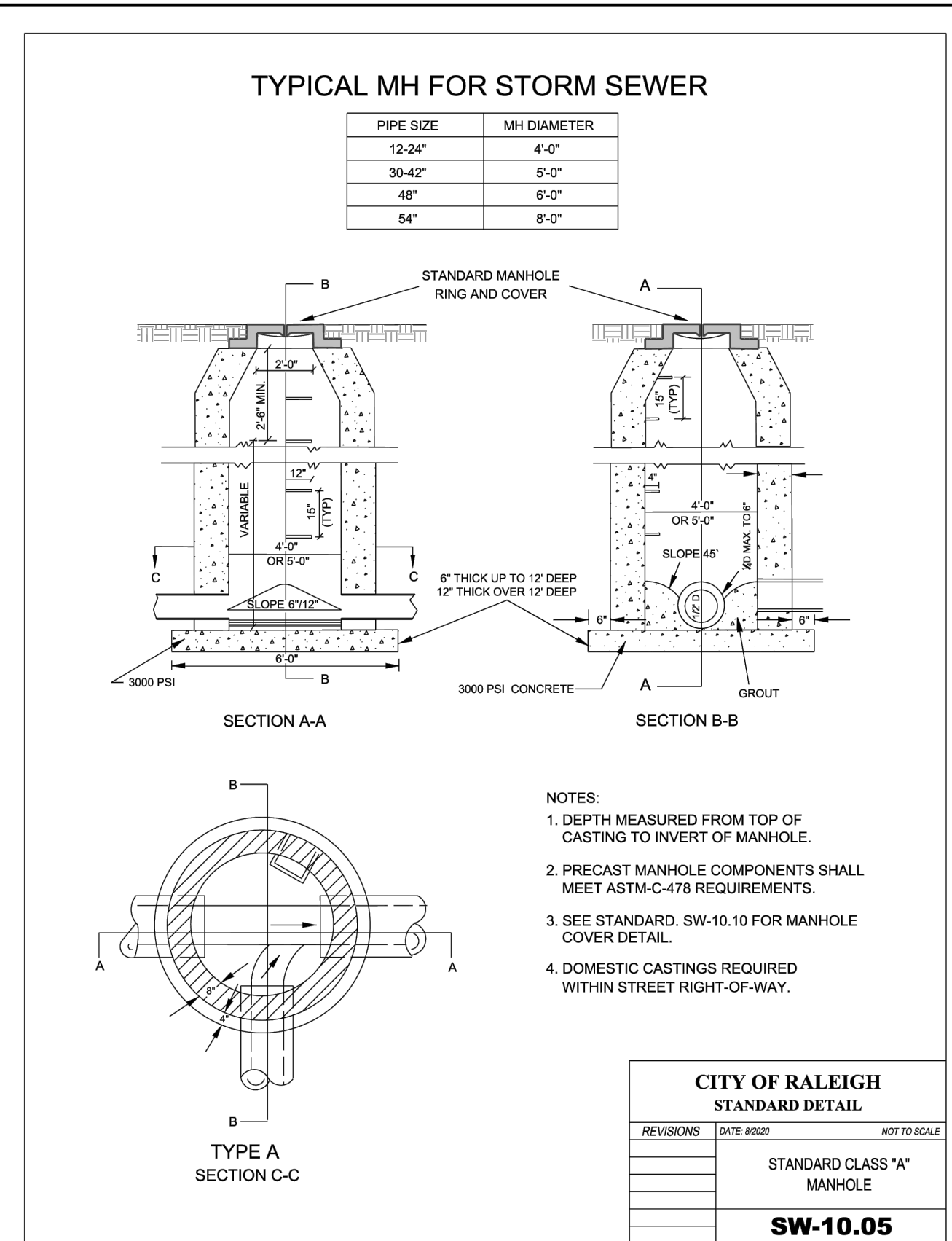
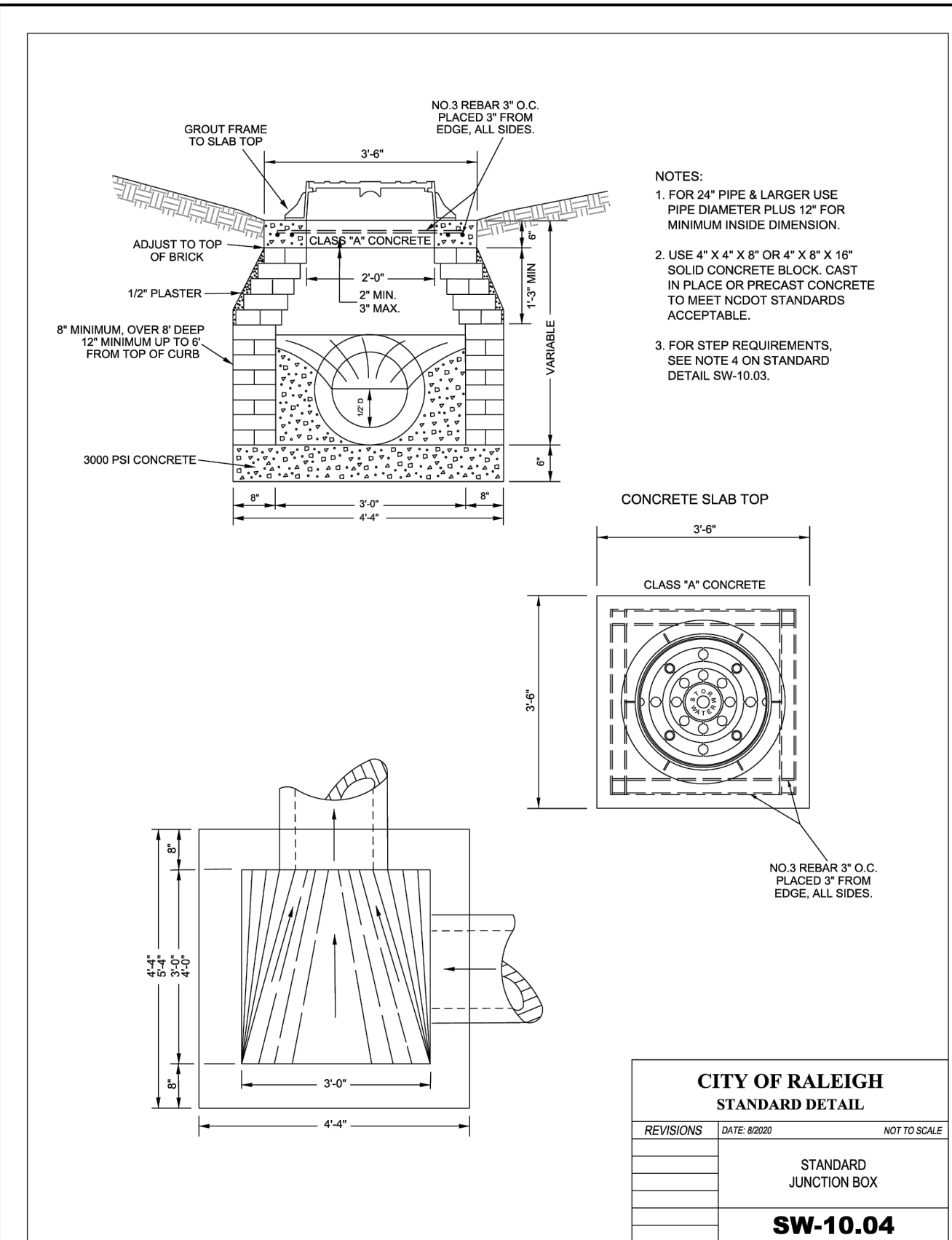
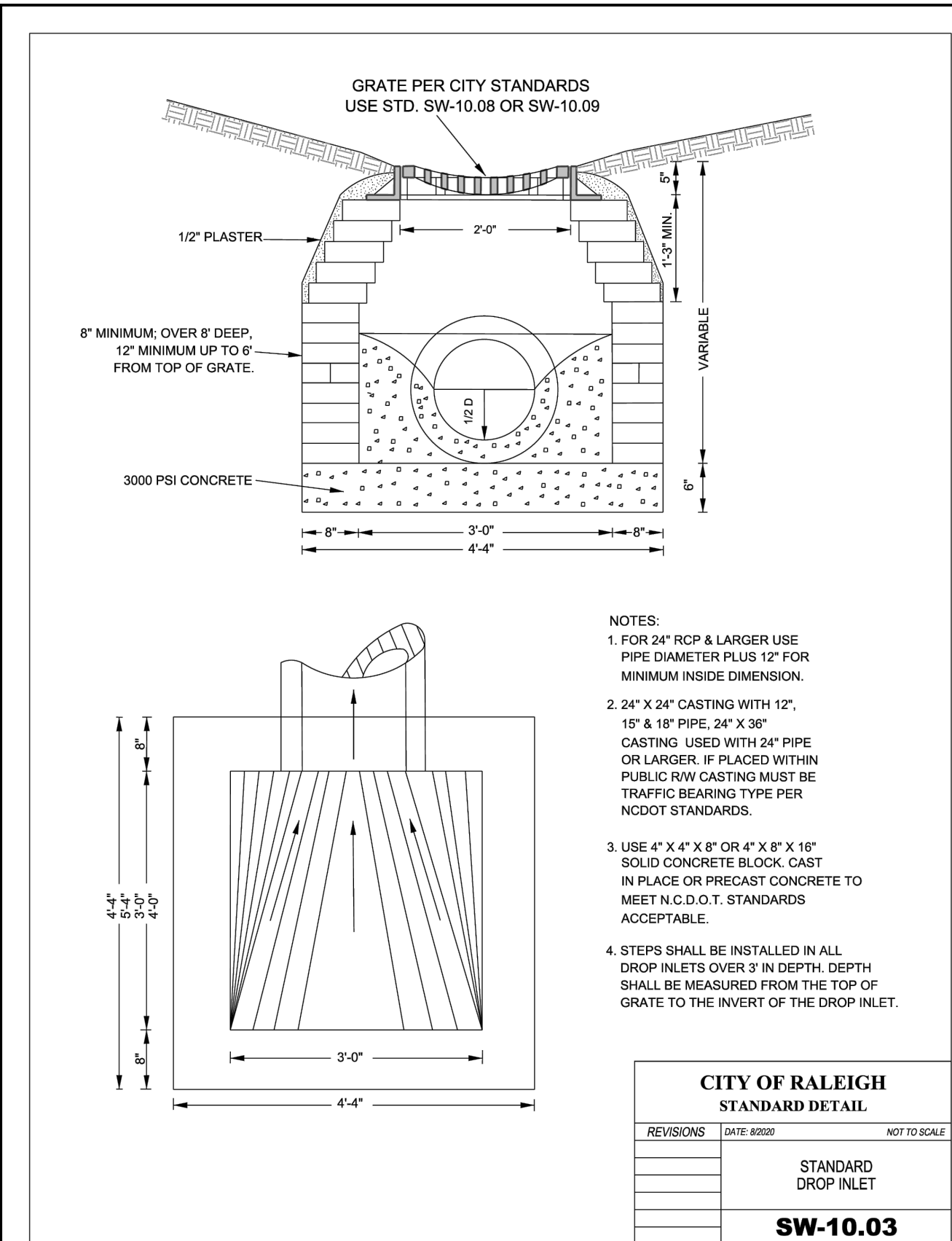
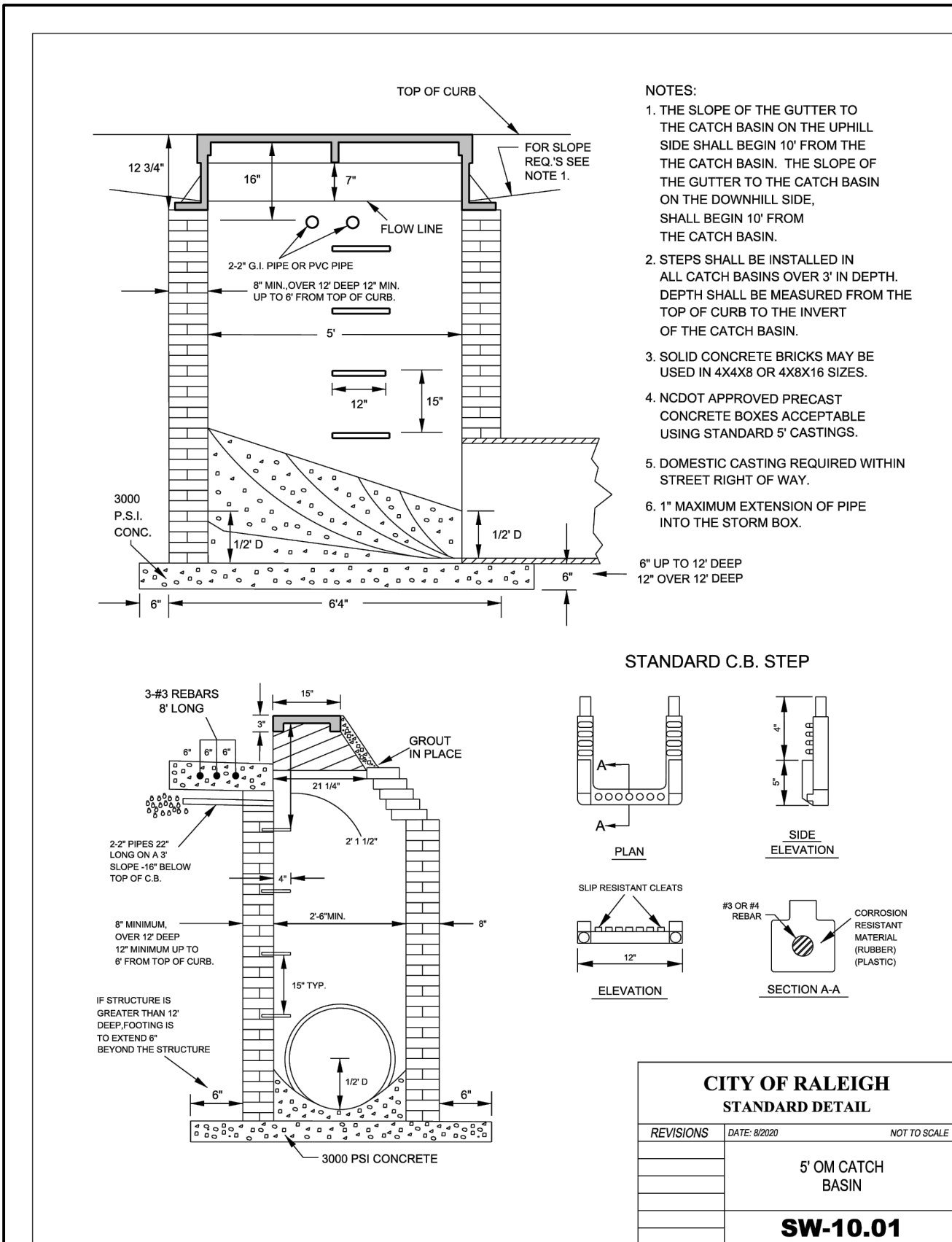
phone 919. 361. 5000
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license number: C-0293, C-187

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REVISIONS

NO. DATE

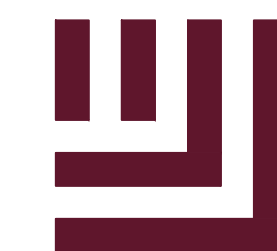
PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-D1.DWG
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**STORM DRAINAGE
DETAILS**

C8.04



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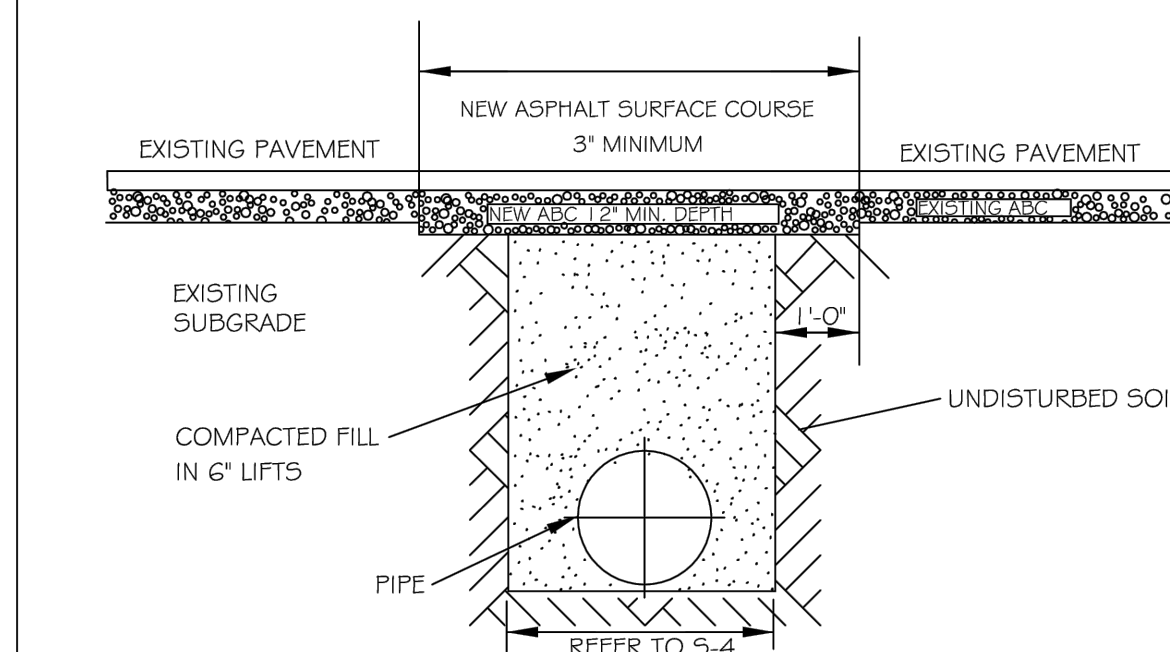
phone 919. 361. 5000
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license number: C-0293, C-187

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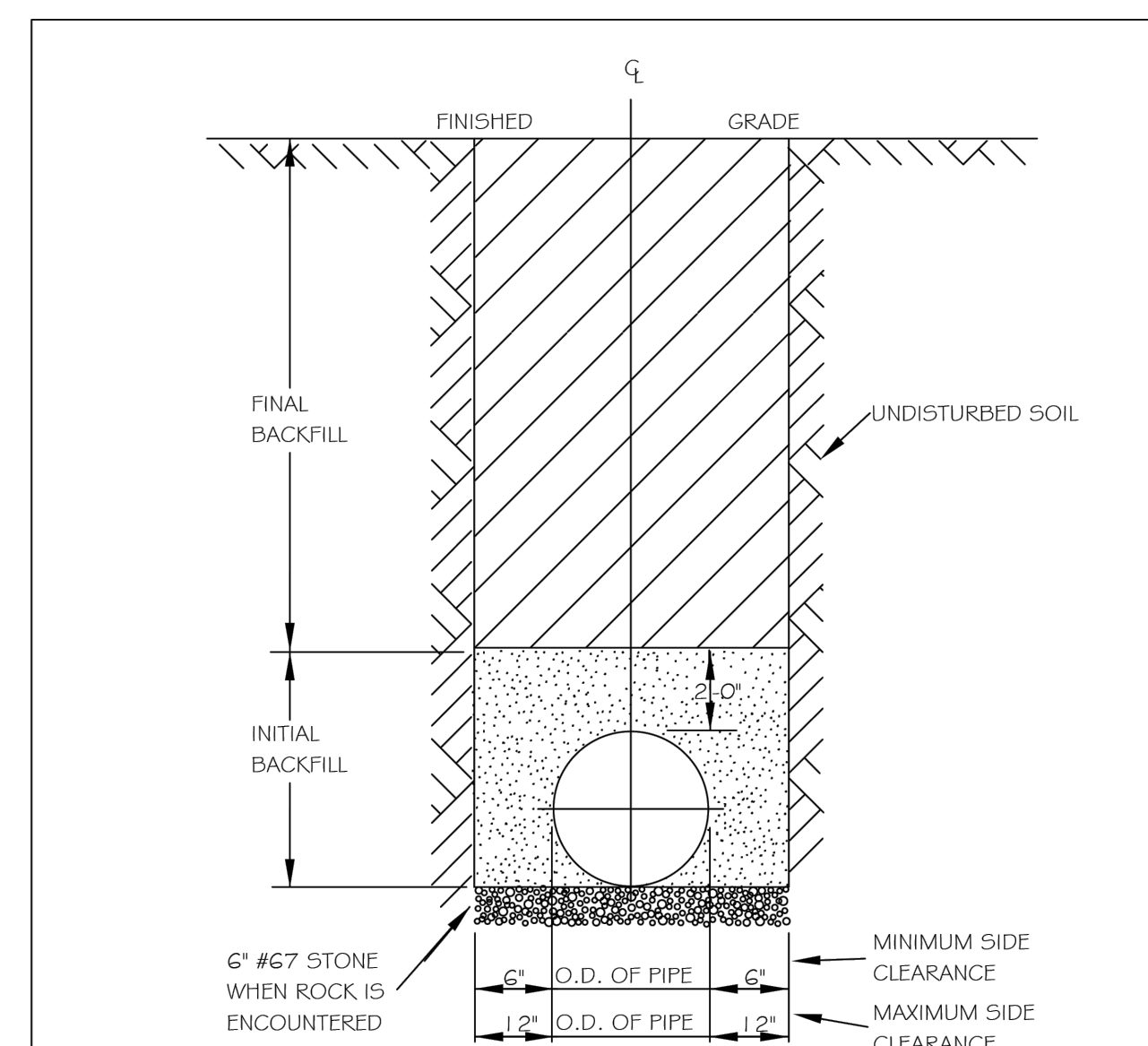
MR. JOE WHITEHOUSE
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CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT
STONEHENGE
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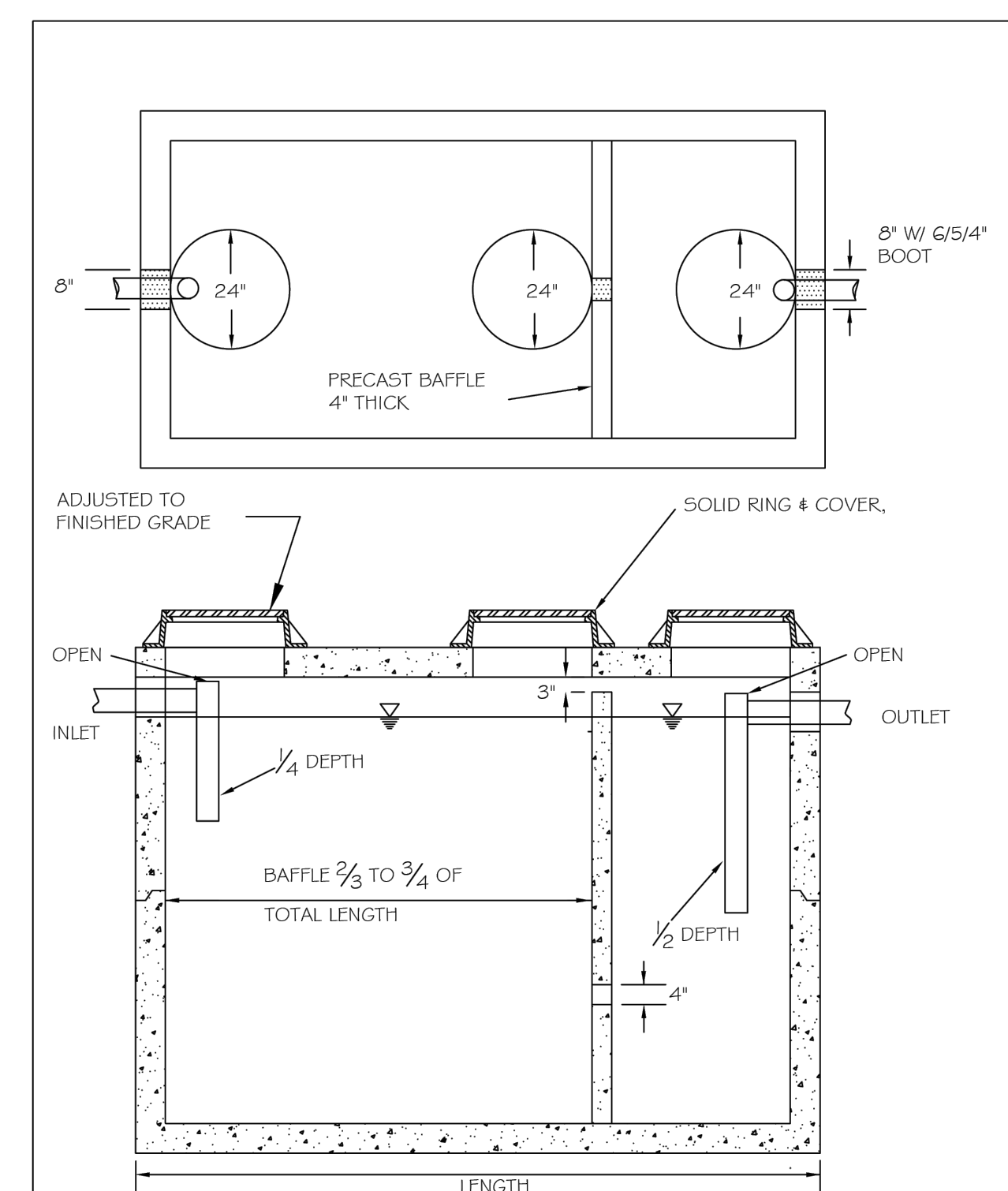
- NOTES:
1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-90 AS MODIFIED BY NCDOT.
 5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
 6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
 7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
 8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
 9. NO HAND PATCHING ALLOWED.
 10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	10-8-10



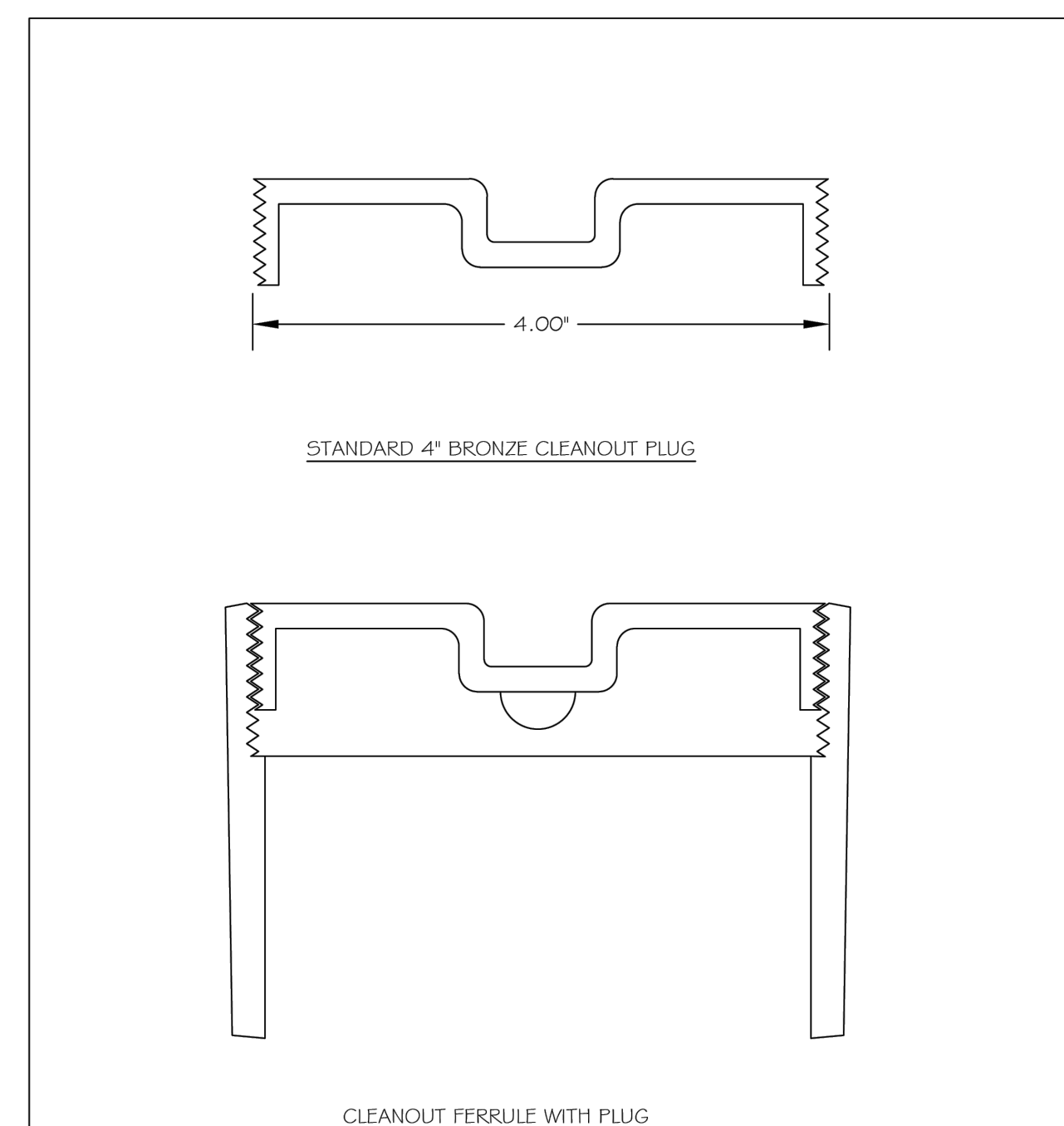
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
 5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.
 6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
 7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4	D.W.C.	9-3-99		
	RRH	3-30-00		



- NOTES:
1. REINFORCEMENT: H-20 BRIDGE LOADING (TRAFFIC RATED)
 2. CONCRETE: 4000 PSI @ 28 DAYS
 3. EARTH COVER: 0 TO 5' MAX.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
1000 GALLON GREASE INTERCEPTOR				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-40	RRH	3/9/00	D.H.L.	6/18/08
	ABB	3/19/04		



STYLES ACCEPTED:
INVERTED NUT
RAISED NUT

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-1-87	RRH	3-30-00
		3-27-95		

LOCALLY AVAILABLE SIZES	
INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
300	1000
550	1200
750	1600
1000	
1200	
1500	
2000	
2500	
3000	
4000	
5000	
6000	
8000	

- NOTES:
1. BAFFLE WALL LOCATED AT A DISTANCE FROM INLET WALL 2/5 TO 3/4 OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL S-40.
 2. BAFFLE WALLS LOCATED AT A DISTANCE APPROXIMATELY OF 1/3 OF THE TOTAL LENGTH OF THE SEPARATOR AS SHOWN ON DETAIL S-40.01.
 3. ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN PICK HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. MANHOLE COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
 4. FULL SIZE DUAL SWEEP CLEANOUTS SHALL BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
 5. INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
 6. CONCRETE: 4000 PSI @ 28 DAYS.
 7. DESIGN: ACI 318 BUILDING CODE
ASTM C 1413-06 FOR GREASE INTERCEPTORS
ASTM C913-02 FOR WATER AND WASTEWATER STRUCTURES
ASTM C2590-06 FOR MINIMAL STRUCTURAL DESIGN LOADING
 8. INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
 9. INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 12,000 PSI TENSILE STRENGTH, 19,000 PSI FLEXURAL STRENGTH, AND 800,000 PSI FLEXURAL MODULUS.
 10. ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
DIMENSIONS: GREASE INTERCEPTORS OIL-WATER-SAND SEPARATORS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-41	RRH	3/9/00	D.H.L.	6/18/08
	ABB	3/19/04		

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PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-D1.DWG
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SCALE NTS
DATE 08.05.2024

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SANITARY SEWER
DETAILS

C8.05

GENERAL NOTES

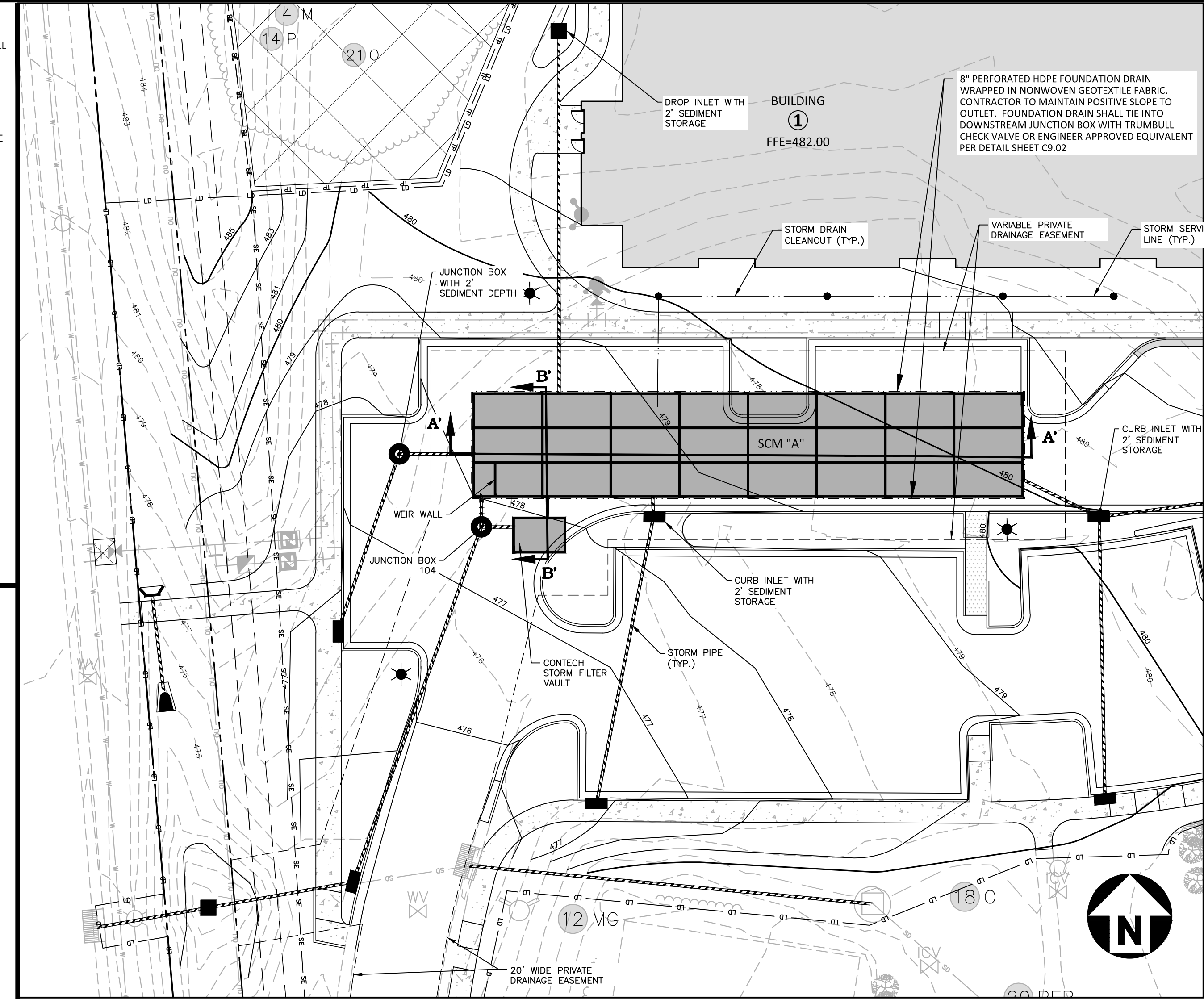
1. PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
2. PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
3. THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
4. PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO ENSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL EXCAVATE/REPLACE, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DEPOSITION) DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA.
5. ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
6. ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES MADE FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE ORDERING AND/OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. McADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
7. ALL PIPE/RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE STORM FILTER SYSTEM AND UNDERGROUND DETENTION PIPE SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
8. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE SAND FILTER SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SUCH DURING ENGINEER WALK-THROUGH/INSPECTION.
10. ALL PIPE PENETRATIONS THROUGH A CONCRETE OR CMP STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATERTIGHT USING NON-SHRINK CEMENTIOUS GROUT.
11. ACCESS MANHOLES SHALL INCLUDE LADDERS OR MANHOLE STEPS. IF, AT ANY ACCESS POINT, MANHOLE STEPS WOULD RESULT IN A 3" OR GREATER OFFSET, A LADDER SHALL BE PROVIDED. AS SUCH, A LADDER SHALL BE REQUIRED AT ALL MANHOLE ACCESS POINTS TO THE STORMFILTER VAULT. ALL LADDERS SHALL INCLUDE AN EXTENDING AND RETRACTING SECTION THAT ALLOWS THE LADDER TO BE EXTENDED ABOVE THE ACCESS LID TO FACILITATE SAFE INGRESS AND EGRESS TO/FROM A STANDING POSITION.

FOUNDATION NOTES

1. ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND SCM SYSTEM, THE ONSITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE UNDERGROUND SCM SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DEEMS THE FOUNDATION SOILS AS UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIAL SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE MIGRATION OF FINES, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND SCM SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC (IF USED) IS TO BE SPECIFIED BY THE GEOTECHNICAL ENGINEER.
2. IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD DURING CONSTRUCTION, THEN IT SHOULD BE GRADED TO A SLIGHT SLOPE SUCH THAT SATURATION OF THE SUBGRADE DOES NOT OCCUR.
3. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION. IT IS BEST TO BEGIN THE CONSTRUCTION OF THE SAND FILTER/DETENTION SYSTEMS AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR WATER TO ESCAPE.
4. THE CONTRACTOR SHALL PROVIDE FOUNDATION DRAINS FOR THE UNDERGROUND SCM. THE FOUNDATION DRAIN SHALL CONSIST OF 8" DIAMETER PERFORATED PIPE WRAPPED IN NONWOVEN GEOTEXTILE FABRIC. THE FOUNDATION DRAINS SHALL BE PLACED ON ALL FOUR SIDES OF THE UNDERGROUND SCM AS SHOWN ON THE DRAWINGS AND WITHIN THE VAULT'S BEDDING SYSTEM (BUT NOT DIRECTLY BELOW THE VAULT). THE FOUNDATION DRAIN SYSTEM SHALL TIE TO THE NEAREST STORM SEWER INLET / JUNCTION BOX MAINTAINING A POSITIVE SLOPE TO THE DOWNSTREAM STRUCTURE. FOUNDATION DRAINS SHALL NOT TIE INTO THE UNDERGROUND VAULT AT ANY POINT.

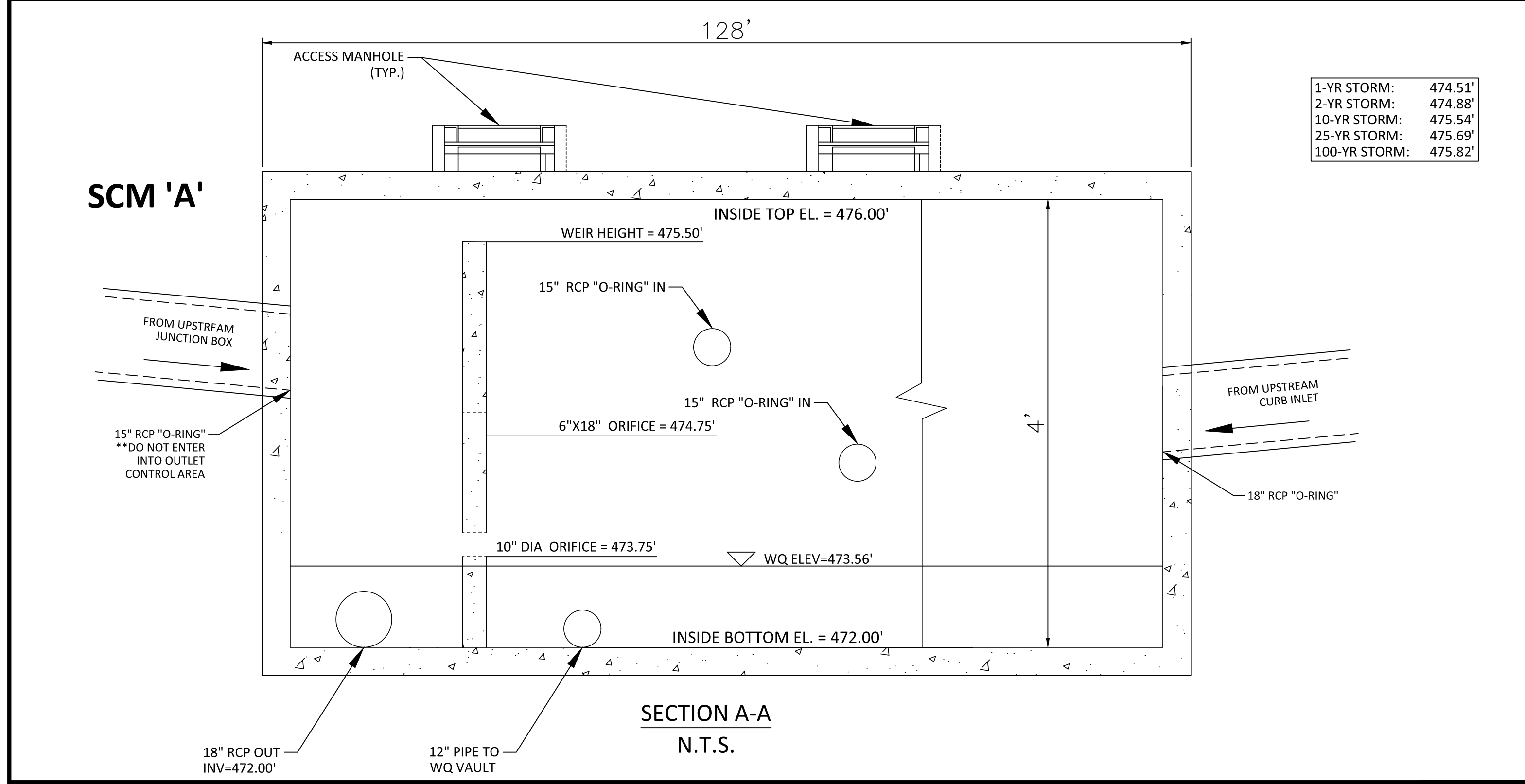
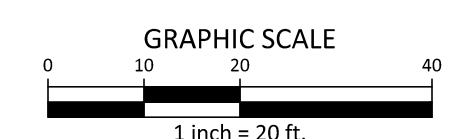
BEDDING NOTES

1. THE EXCAVATION SUB GRADE MUST BE TRANSIT LEVEL.
2. THE EXCAVATION PIT SHALL BE LINED (ON THE BOTTOM AND ALL FOUR SIDES) WITH A NON-WOVEN GEO-TEXTILE (GEOTEX 401 OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
3. THE SUBGRADE FOR THE DETENTION SYSTEM CAN BE A CONCRETE SLAB, OR CLEAN GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 3/4". THE BEDDING SHALL BE FREE FROM ROCK FORMATIONS, PROTRUDING STONES, FROZEN LUMPS, ROOTS, AND OTHER FOREIGN MATERIAL.
4. PREPARE THE SUBGRADE PER THE ONSITE GEOTECHNICAL ENGINEER'S DIRECTION (APPROXIMATELY 5-6" BELOW GRADE ON WHICH SLAB WILL SET). THE BEDDING MATERIAL SHOULD BE GRADED SUCH THAT A SMOOTH UNIFORM GRADE IS ESTABLISHED TO ALLOW FOR OPTIMUM PLACEMENT OF THE SAND FILTER.
5. THE SUBGRADE MUST SUPPORT THE DETENTION SYSTEM WITHOUT DIFFERENTIAL SETTLEMENT BETWEEN PIECES.
6. IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. STIFF GEGRID, ETC) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.



STORMWATER CONTROL MEASURE 'A' PLAN VIEW

1" = 20'



**SECTION A-A
N.T.S.**

STORMFILTER VAULT CONSTRUCTION NOTES

1. STORMFILTER CONTROL MEASURE CONFIGURATION IS PROVIDED ON SHEET C9.01.
2. ABSOLUTELY NO RUNOFF SHALL ENTER THE STORMFILTER CONTROL MEASURE UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
3. MANHOLE ACCESS SHALL BE PROVIDED FOR THE STORMFILTER CONTROL MEASURE. MANHOLES SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS (OR MINIMUM OSHA REQUIREMENTS APPLICABLE AT TIME OF CONSTRUCTION). CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.

STORMWATER SYSTEM MATERIAL SPECIFICATIONS

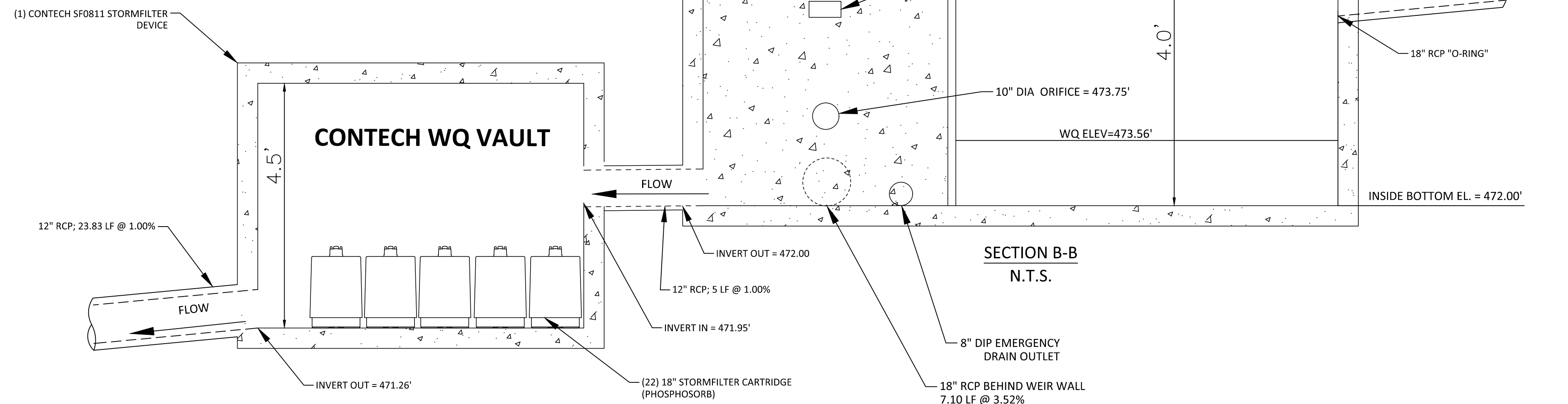
1. THE UNDERGROUND SCM UNITS ARE TO BE DESIGNED BY OTHERS. ANY CHANGES TO THE APPROVED PLANS SHALL BE PROVIDED TO THE DESIGN ENGINEER PRIOR TO INSTALLATION FOR REVIEW.
2. ACCESS RISERS SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS. ACCESS STEPS / LADDERS SHALL BE ATTACHED TO THE RISERS TO ALLOW FOR ACCESS INTO THE UNDERGROUND SCM SYSTEM.
3. DRAWDOWN OF THE STORMFILTER CARTRIDGE AREA AND DETENTION SYSTEMS IS VIA AN 6" PLUG VALVE. THE VALVES SHALL BE A M&H STYLE 1820 X-CENTRIC VALVE OR ENGINEER APPROVED EQUIVALENT. THIS VALVE IS IN ACCORDANCE WITH AWWA C-517, AND SHALL BE OPERABLE FROM INSIDE THE SEDIMENTATION AND DETENTION SYSTEMS VIA A HANDWHEEL (SEE DETAIL SHEET SW-2). THE CONTRACTOR SHALL PROVIDE A REMOVABLE VALVE WRENCH WITH A HANDWHEEL ON TOP FOR OPERATION OF THE 6" PLUG VALVE.
4. THE RCP OUTLET BARREL SHALL BE CLASS III RCP, MODIFIED BELL AND SPIGOT, MEETING THE REQUIREMENTS OF ASTM C76-LATEST. THE PIPE SHALL HAVE CONFINED O-RING RUBBER GASKET JOINTS MEETING ASTM C-443-LATEST. THE PIPE JOINTS SHALL BE TYPE R-4.
5. GEOTEXTILE FABRIC FOR THE OUTLET BARREL JOINTS SHALL BE MIRAFI 180N OR ENGINEER APPROVED EQUAL (NON-WOVEN FABRIC). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
6. ALL POURED CONCRETE SHALL BE MINIMUM 3000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL INSTALL THE UNDERGROUND SCM UNITS PER MANUFACTURERS' SPECIFICATIONS. CONTRACTOR TO PROVIDE A LETTER FROM MATERIAL SUPPLIER(S) STATING MATERIALS MEET THE SPECIFIED STANDARDS PRIOR TO INSTALLATION.

BACKFILL MATERIAL NOTES

1. THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE UNDERGROUND SCM SYSTEM.
2. THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOIDS.
3. HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
4. THE BACKFILL MATERIAL SHOULD BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM-D698). THE FILL SOILS SHOULD BE COMPACTED AT A MOISTURE CONTENT WITHIN +/- TWO PERCENT OF ITS OPTIMUM MOISTURE CONTENT.
5. ANY MATERIAL STOCKPILING ON TOP OF THE UNDERGROUND SCM SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER.

STATEMENT OF RESPONSIBILITY

1. ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.



**SECTION B-B
N.T.S.**

I:\Projects\MDC\200004-Production\Engineering\Construction Drawings\MDC20000-ASR-SW1.dwg, 8/5/2024, 10:36:23 AM, Luke Hastings

McADAMS
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www.mcadamsco.com

CLIENT
MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

**ABBOTTSWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS

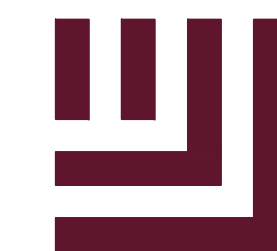
NO.	DATE

PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-SW1.DWG
CHECKED BY	LJV
DRAWN BY	JTB
SCALE	AS NOTED
DATE	08.05.2024

SHEET

**SCM "A" PLAN VIEW
AND DETAILS
C9.00**



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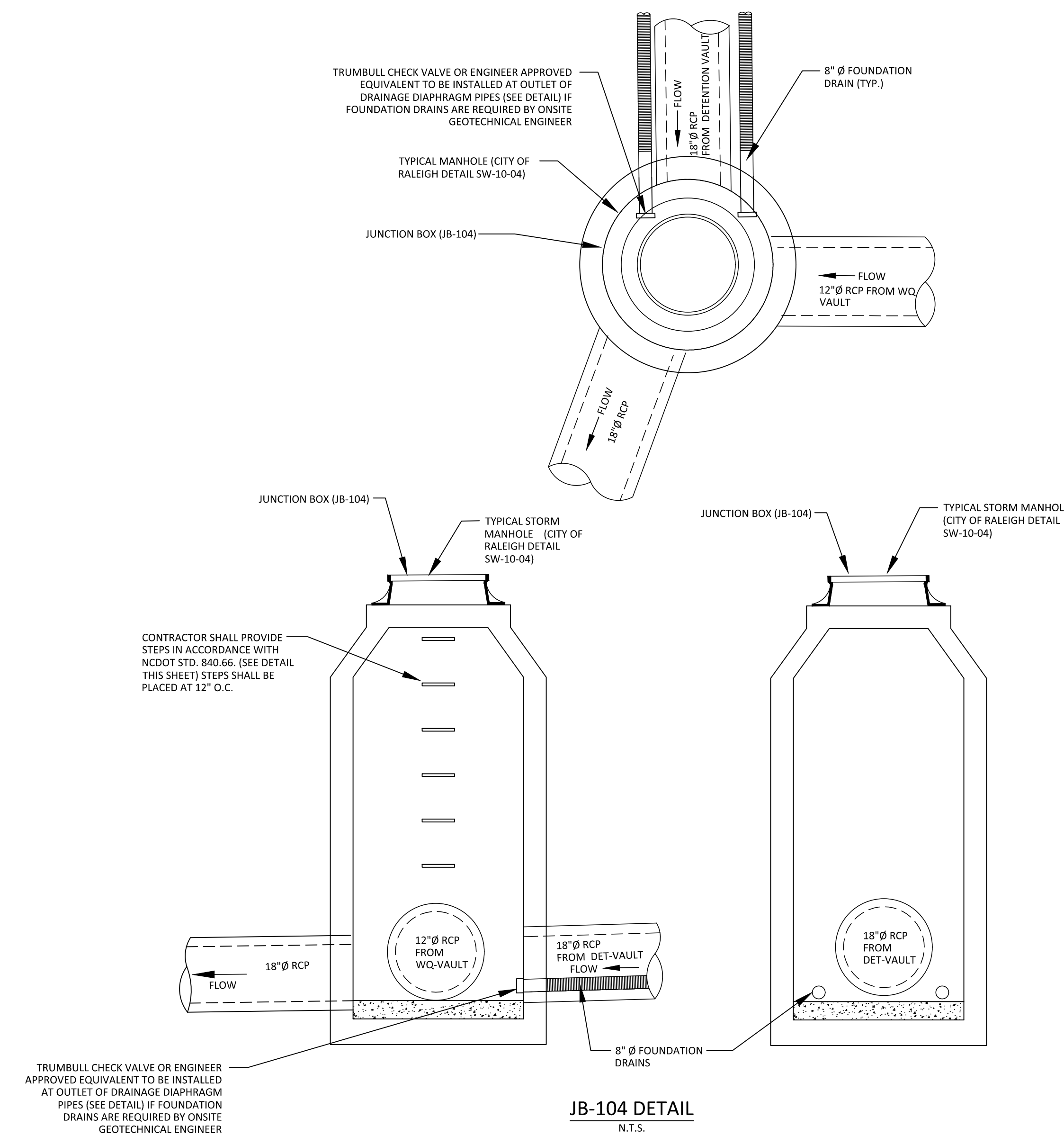
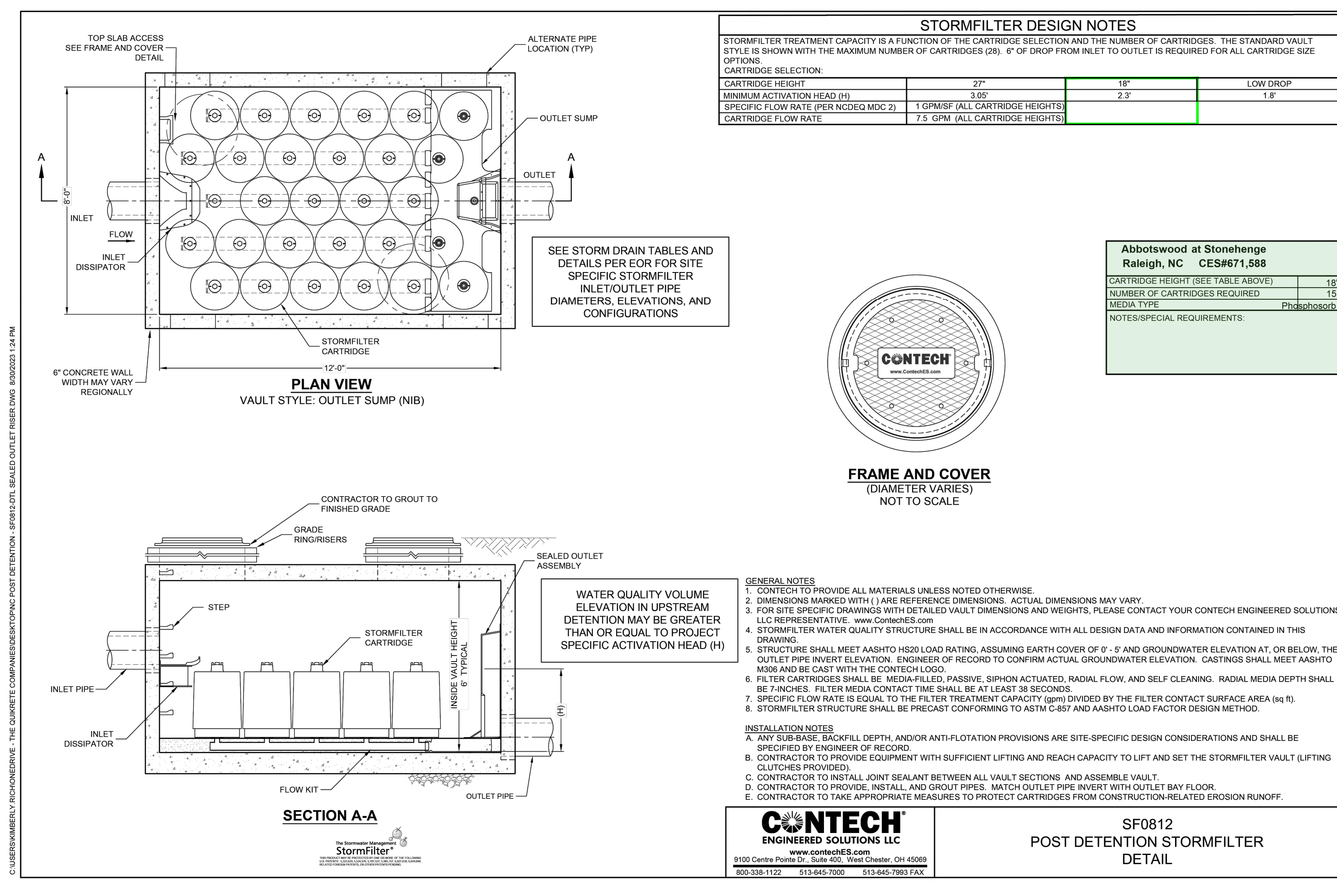
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REVISIONS

NO. DATE

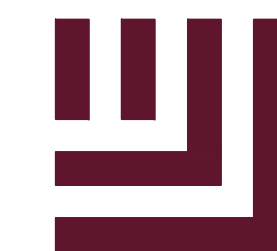
PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-SW1.DWG
CHECKED BY LJV
DRAWN BY JTB
SCALE AS NOTED
DATE 08.05.2024

SHEET

SCM DETAILS

C9.01



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SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA

PLANT SCHEDULE

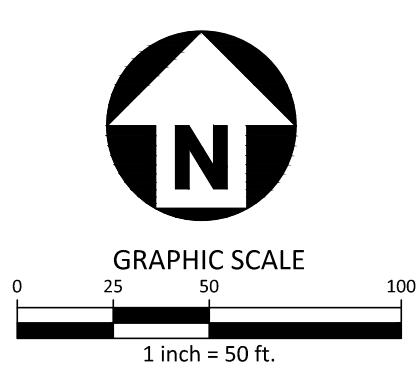
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL
TREES				
	QN	5	Quercus nuttallii Nuttall Oak	5" min
	TD	5	Taxodium distichum Bald Cypress	5" min
	UP2	4	Ulmus americana 'Princeton' Princeton American Elm	5" min
SHRUBS				
	IU	38	Ilex crenata Japanese Holly	
	LE	24	Loropetalum chinense 'Ruby Fire' Chinese Fringe Flower	3 gal

LANDSCAPE CALCULATIONS

STREET TREES	VEHICLE USE AREA
CREEDMOOR ROAD AND MORGANS WAY	PARKING LOT LANDSCAPING
PER THE CONTRACT BETWEEN KISCO SENIOR LIVING AND THE CITY OF RALEIGH, A FEE-IN-LIEU PAYMENT WILL BE MADE INSTEAD OF CONSTRUCTION OF THE WIDENING OF CREEDMOOR ROAD AND MORGANS WAY. THIS IS COMPUTED USING RATES FROM THE CITY'S PUBLIC IMPROVEMENT SCHEDULE FOR UP TO A MAXIMUM OF 1/2 OF 41 FEET B-B STREET SECTION AND UDO REQUIRED SHOULDER.	SHRUBS (PERIMETER ISLAND ONLY) REQUIRED: 62 (30/100 SF) PROVIDED: 62
BASED ON SECTION 8.5.6 OF THE UDO, AN AVENUE 6-LANE DIVIDED STREET SHOULD HAVE TREE SPACING OF 40' O.C. AVG.	ISLAND FACING CREEDMOOR ROAD [136.40 FT] SHRUBS (PERIMETER ISLAND ONLY) REQUIRED: 41 (30/100 LF) PROVIDED: 41
CREEDMOOR ROAD GROSS ROW: 966 LF NET ROW: 966 LF	ISLANDS FACING MORGANS WAY (2 SECTIONS) [TOTAL OF 68.83 FT] SHRUBS (PERIMETER ISLAND ONLY) REQUIRED: 21 (30/100 LF) PROVIDED: 21
TREES REQUIRED: 24 (40' O.C. AVG)	
MORGANS WAY GROSS ROW: 432 LF NET ROW: 392 LF	
TREES REQUIRED: 10 (40' O.C. AVG)	

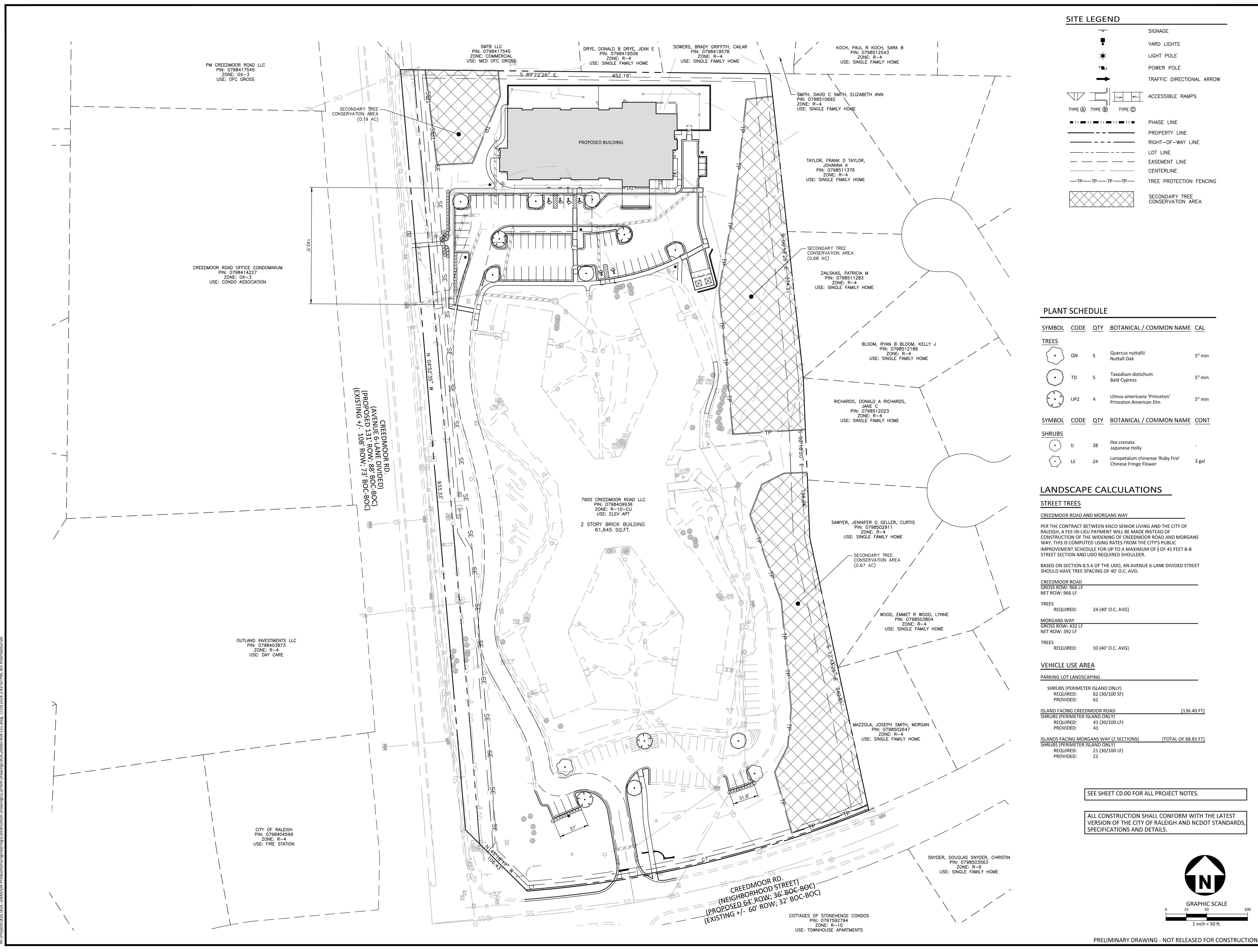
SEE SHEET CO.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\KDC\KDC-2000\04-Production\Engineering\Construction Drawings\KDC2000-ASR-LS1.dwg, 7/19/2024, 2:43:50 PM, Anil Khachabourian



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NO. DATE

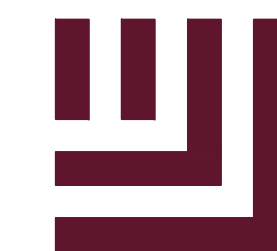
PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-LS1.DWG
CHECKED BY JAR
DRAWN BY AZK
SCALE 1"=50'
DATE 04. XX. 2024

SHEET

OVERALL LANDSCAPE PLAN

L5.00



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CLIENT

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5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

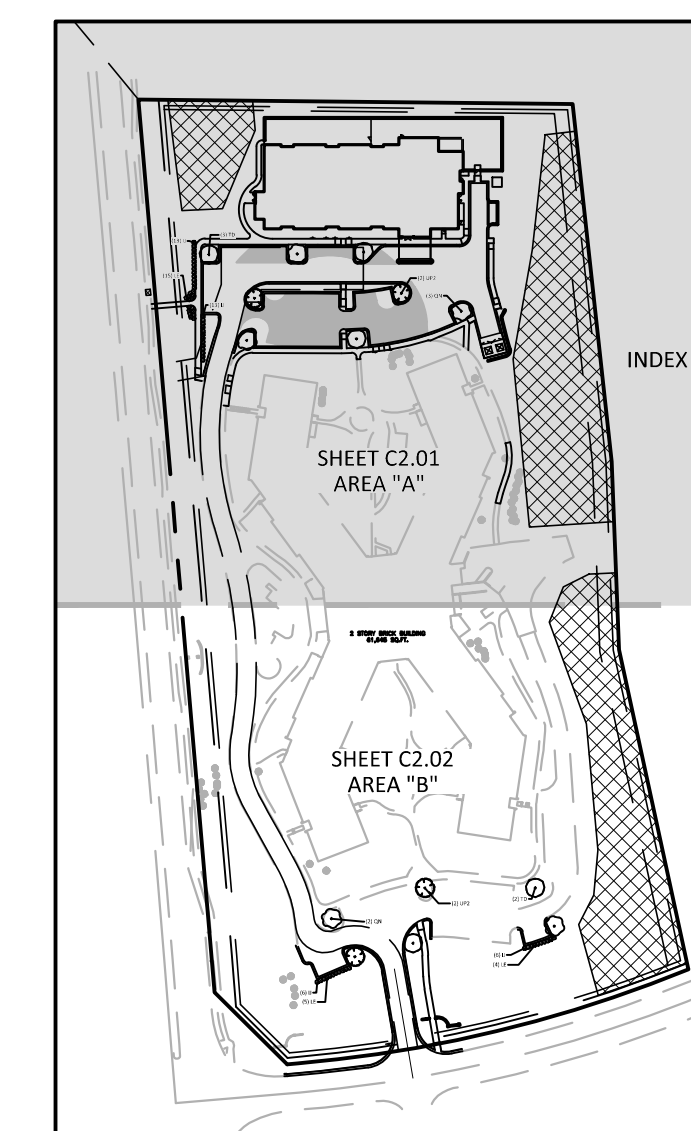
ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL
TREES				
	QN	5	Quercus nuttallii Nuttall Oak	5" min
	TD	5	Taxodium distichum Bald Cypress	5" min
	UP2	4	Ulmus americana 'Princeton' Princeton American Elm	5" min
SHRUBS				
	IJ	38	Ilex crenata Japanese Holly	-
	LE	24	Loropetalum chinense 'Ruby Fire' Chinese Fringe Flower	3 gal



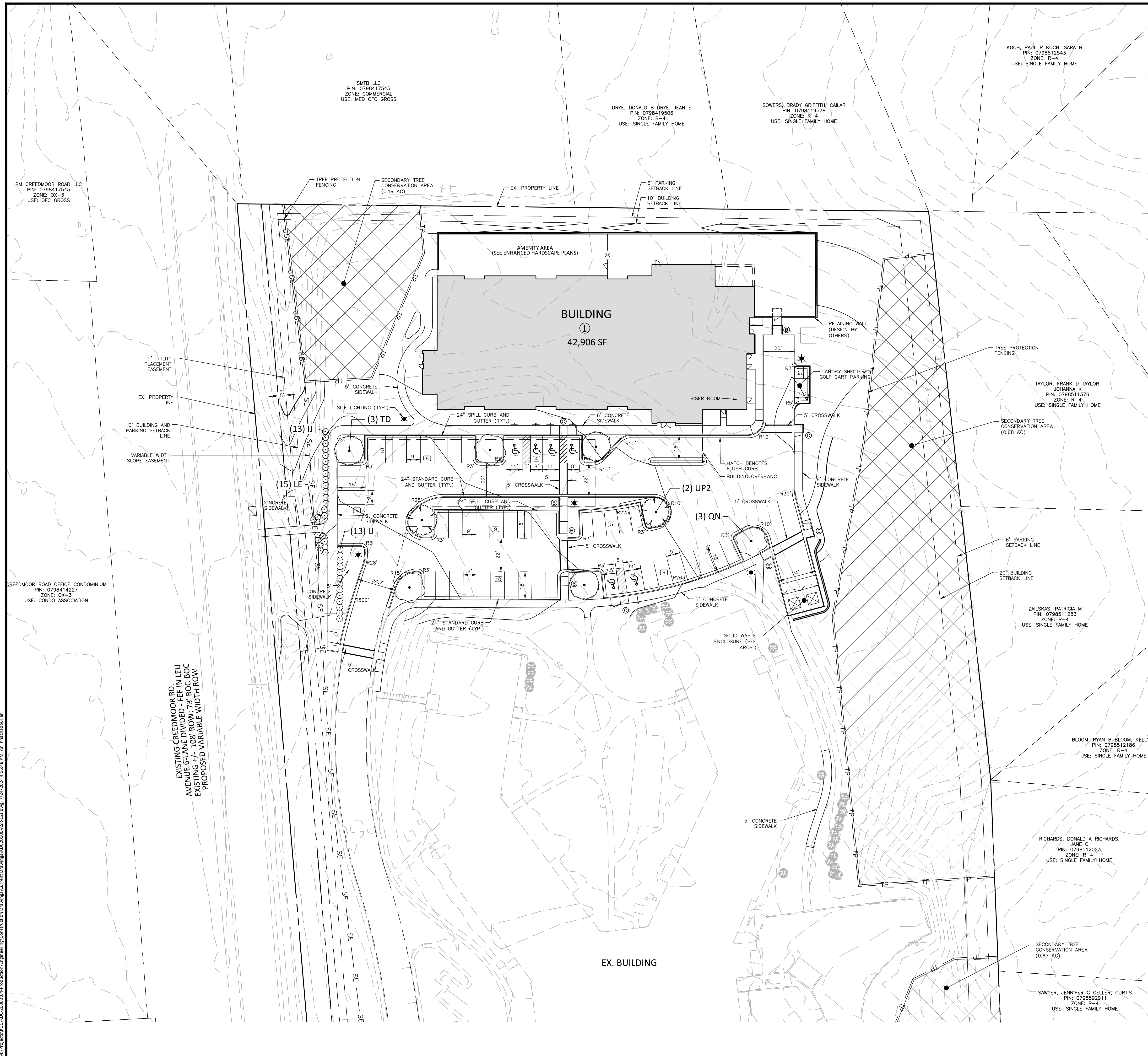
SEE SHEET C0.00 FOR ALL PROJECT NOTES.

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GRAPHIC SCALE
1 inch = 30 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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NO. DATE

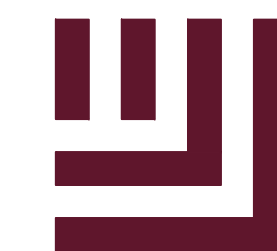
PLAN INFORMATION

PROJECT NO. KDC-2000
FILENAME KDC2000-ASR-LS1.DWG
CHECKED BY JAR
DRAWN BY AZK
SCALE 1"=30'
DATE 04. XX. 2024

SHEET

DETAILED LANDSCAPE PLAN
AREA "A"

L5.01



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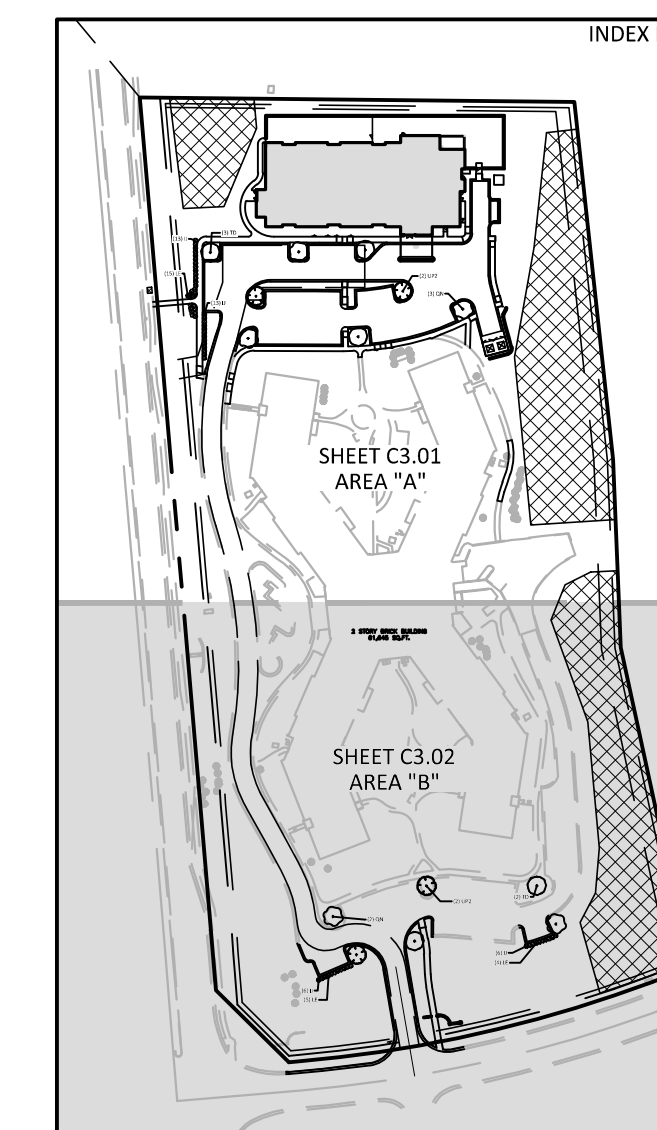
ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

SITE LEGEND

- SIGNAGE
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- LIGHT POLE
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- PROPERTY LINE
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- LOT LINE
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- CENTERLINE
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA

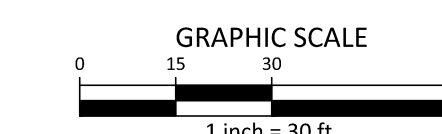
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL
TREES				
	QN	5	Quercus nuttallii Nuttall Oak	5" min
	TD	5	Taxodium distichum Bald Cypress	5" min
	UP2	4	Ulmus americana 'Princeton' Princeton American Elm	5" min
SHRUBS				
	IJ	38	Ilex crenata Japanese Holly	-
	LE	24	Loropetalum chinense 'Ruby Fire' Chinese Fringe Flower	3 gal



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

EX. BUILDING
2 STORY BRICK BUILDING
61,645 SQ.FT.

SAWYER, JENNIFER G GELLER, CURTIS
PIN: 0798502911
ZONE: R-4
USE: SINGLE FAMILY HOME

WOOD, EMMET R WOOD, LYNNE
PIN: 0798503804
ZONE: R-4
USE: SINGLE FAMILY HOME

MAZZOLA, JOSEPH SMITH, MORGAN
PIN: 0798502647
ZONE: R-4
USE: SINGLE FAMILY HOME

COTTAGES OF STONEHENGE/ CONDOS
PIN: 0797592794
ZONE: R-10
USE: TOWNHOUSE APARTMENTS

MORGANS WAY
NEIGHBORHOOD STREET
EXISTING +/- 62' ROW, 41' BOC-BOC
PROPOSED 64' ROW, 41' BOC-BOC

EXISTING CREEDMOOR RD.
AVENUE 6-LANE DIVIDED - FEE IN LEU
EXISTING +/- 108' ROW, 73' BOC-BOC
PROPOSED VARIABLE WIDTH ROW

OUTLAND INVESTMENTS LLC
PIN: 0798403873
ZONE: R-4
USE: DAY CARE

CITY OF RALEIGH
PIN: 0798404599
ZONE: R-4
USE: FIRE STATION

M:\Projects\MDC-20000\04-Production\Engineering\Construction Drawings\MDC20000-ASR-LS1.dwg, 7/24/2024 4:07:10 PM, Anil Khachabourian

REVISIONS

NO. DATE

PLAN INFORMATION

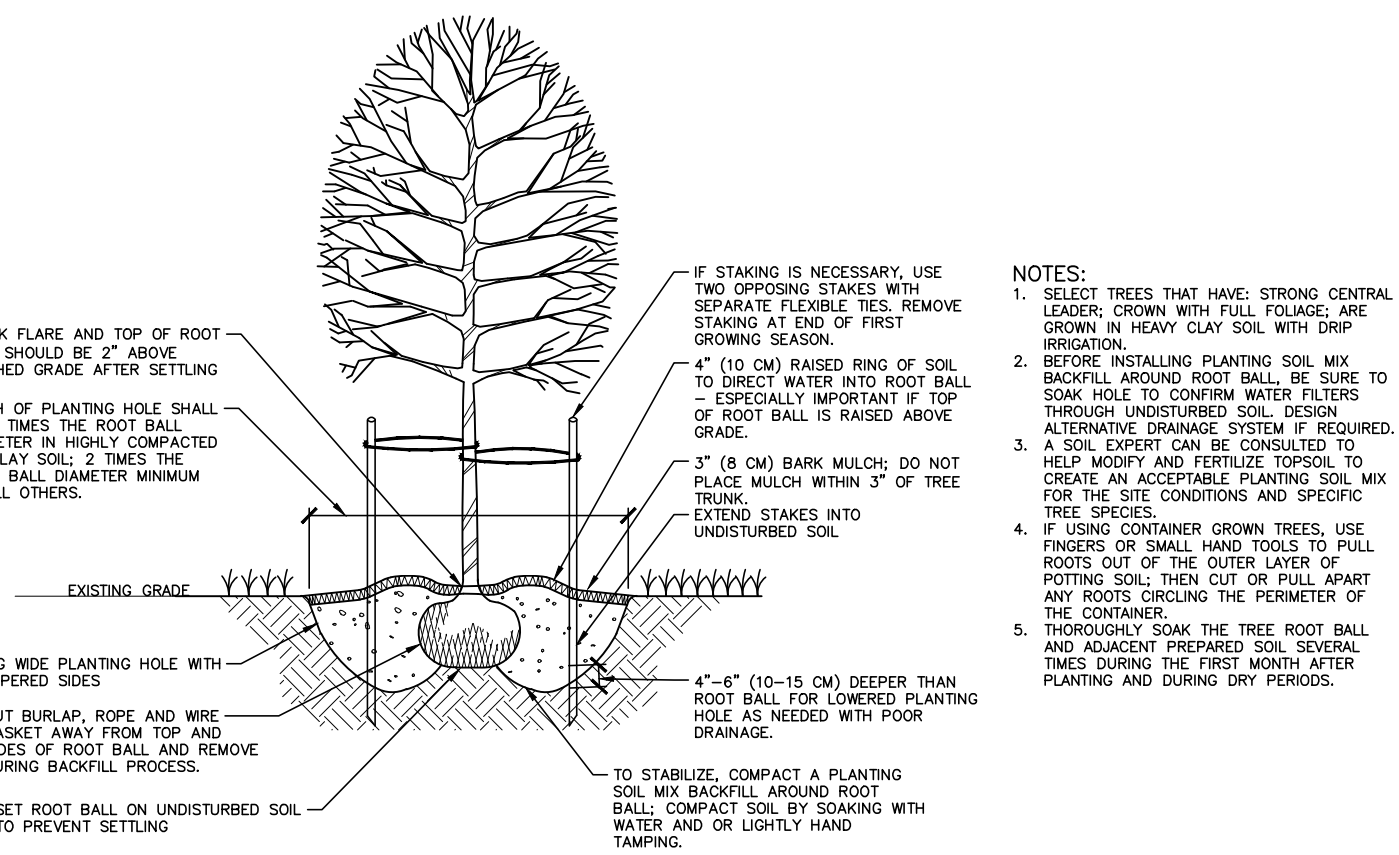
PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-LS1.DWG
CHECKED BY JAR
DRAWN BY AZK
SCALE 1"=30'
DATE 04. XX. 2024

SHEET

DETAILED LANDSCAPE PLAN
AREA "B"

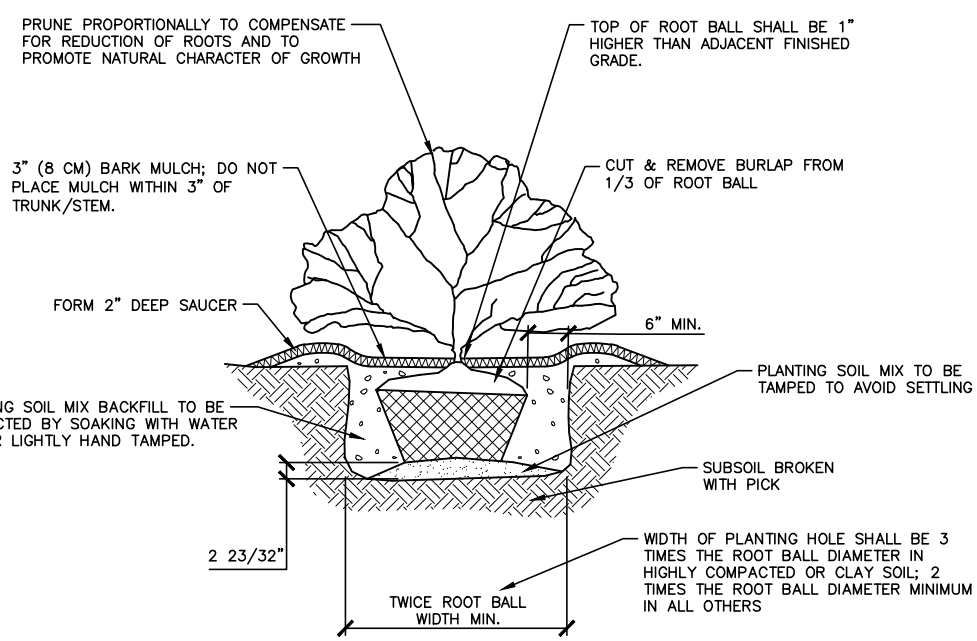
L5.02

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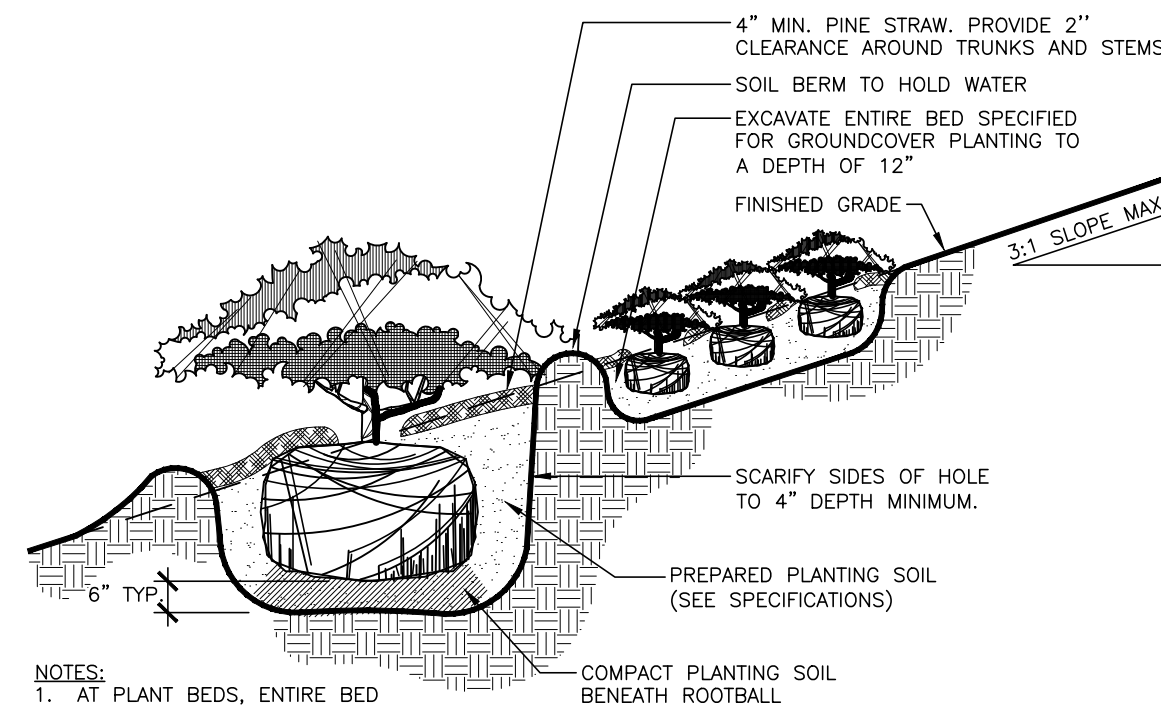
01 TREE INSTALLATION

SCALE: 3/8"=1'-0"



02 SHRUB INSTALLATION

SCALE: 3/8"=1'-0"



03 SHRUB PLANTING ON SLOPE

SCALE: 3/4"=1'-0"

WARRANTY & MAINTENANCE:

- WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- MAINTENANCE: INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
 - TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - GROUND COVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

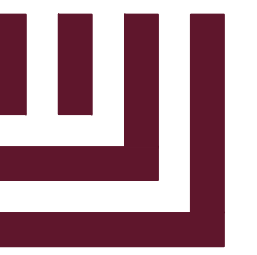
GENERAL DETAIL NOTES:

APPLIES TO ALL DETAIL SHEETS

- THESE NOTES SHALL APPLY TO ALL DETAILS INCLUDED IN THIS SET OF CONTRACT DOCUMENTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
- ALL CONCRETE SHALL BE 3,000 PSI.
- CONSTRUCT EXPANSION JOINTS WHERE WALLS MEET CURBS, STEPS, WALLS, OR FIXED SLABS.
- ALL WOOD, IN CONTACT WITH GROUND, UNLESS OTHERWISE SPECIFIED, SHALL BE SOUTHERN YELLOW PINE, SPIB GRADE NO. 2 COMMON OR BETTER, S4S, SIZED AS SHOWN ON DRAWINGS, TREATED AWPB LP22, 30% MAXIMUM MOISTURE CONTENT.
- BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE HOT-DIPPED GALVANIZED.
- ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH GALVANIZED NUTS, BOLTS AND WASHERS.
- ALL NAILS SHALL BE HOT DIPPED GALVANIZED. FINISH NAILS SHALL BE ANNULAR ALLOY ALUMINUM.
- ALL WELDS CONTINUOUS.
- INSTALL ALL SITE FURNISHINGS PLUMB, LEVEL, TRUE TO LINE AND AT ELEVATIONS INDICATED.
- RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
- SUBMIT SHOP DRAWINGS, PRODUCT DATA AND MAINTENANCE DATA FOR APPROVAL PRIOR TO PURCHASING, FABRICATION AND INSTALLATION.
- CONTRACTOR TO PROVIDE MOCK-UPS FOR ALL SITE PAVING TO BE USED THROUGHOUT PROJECT TO DEMONSTRATE ALL JOINT PATTERNS, EDGE TREATMENTS AND PAVING PATTERNS.
- WALL DETAILS SHOWN FOR DESIGN INTENT. REFER TO STRUCTURAL DRAWINGS FOR ALL WALL REINFORCEMENT AND CONSTRUCTION.

GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL. NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



McADAMS

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**ABBOTTSWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-LS1.DWG
CHECKED BY JAR
DRAWN BY AZK
SCALE AS SHOWN
DATE 04. XX. 2024

SHEET

LANDSCAPE DETAILS
AND NOTES

L5.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**ABBOTTSWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- TREE PROTECTION FENCING
- ACCESSIBLE ROUTE
- SECONDARY TREE CONSERVATION AREA
- HEAVY DUTY ASPHALT
- MILL AND OVERLAY LIMITS
- LIGHT DUTY CONCRETE SIDEWALK

TREE LEGEND

- BEECH
- BLACK GUM
- CEDAR
- CHERRY
- CRAPE MYRTLE
- DOGWOOD
- SWEETGUM
- HICKORY
- MAPLE
- MAGNOLIA
- OAK
- ORNAMENTAL
- PINE
- PEAR
- POPLAR
- SOURWOOD

DIAMETER INCH AT BREAST HEIGHT
-0- TYPE OF TREE


TREE SURVEY AND TREE PROTECTION PLAN
PROVIDED BY ANDERS LINDQUIST,
ISA CERTIFIED ARBORIST SO-10544A

Tree Conservation Plan Data Sheet
UDO Article 9.1 Tree Conservation
(Include applicable information on the plan sheet)

Project Name: Abbottswood at Stonehenge

Gross Site Acres:	10.28	ac
Right-of-way to be dedicated with this project:		ac
Net Site Acres:	9.92	ac

	Number of Acres	Percent of Total
UDO 9.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1		%
2. Primary Tree Conservation Area - Parkway Frontage		%
3. Primary Tree Conservation Area - CM		%
4. Primary Tree Conservation Area - MPOD		%
5. Primary Tree Conservation Area - Champion Tree "XX" dbh species		%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2		%
7. Primary Tree Conservation Area - 45% Slopes		%
8. Primary Tree Conservation Area - Thoroughfare	0.185	1.86
Subtotal of Primary Tree Conservation Areas:		%
UDO 9.1.4.D.2 Tree Conservation Area - Greenway		
		%
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas		
(Include perimeter buffers and their alternate compliance areas)	1.341	13.52
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas		
(Includes individual trees and their alternate compliance areas)	1.341	13.52
Subtotal of Secondary Tree Conservation Areas:		%
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	1.526	15.38



GRAPHIC SCALE
0 25 50 100
1 inch = 50 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



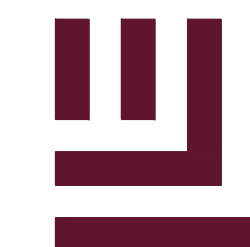
M:\Projects\MDC\2000\04-Production\Engineering\Construction Drawings\Current Drawings\UDO\UDO-ASR-TC1.DWG, 8/6/2024 5:32:20 PM, Anders Lindquist

REV NO. DATE

PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-TC1.DWG
CHECKED BY	JAR
DRAWN BY	AAL
SCALE	1"=30'
DATE	08.05.2024

SHEET
OVERALL TREE CONSERVATION PLAN
L8.00



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STONEHENGE
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RALEIGH, NORTH CAROLINA, 27613

Table with columns for Plot 1 through Plot 18, detailing tree species, DBH, Area, and Basal Area. Includes summary rows for 'TOTAL BASAL AREA' and 'BASAL AREA/ACRE' for each plot and overall totals.

F

NO. DATE

PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-TC1.DWG
CHECKED BY JAR
DRAWN BY AAL
SCALE
DATE 08.05.2024

SHEET

TREE CONSERVATION CALCULATIONS

L8.01

THESE DIMENSIONS ARE EXACTLY
AS SHOWN ON THE DRAWINGS
UNLESS OTHERWISE NOTED

E

D

C

B

A

8/2/2024 4:30:23 PM

#	ELEVATION NOTES BY NUMBER
NUMBER	NOTE



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 WWW.LS3P.COM



AUTHOR NAME

August 2, 2024 | Project Location | PROJECT TITLE | A 04

**Kisco Senior Living -
 Abbotswood at Stonehenge**
 7901 Creedmoor Rd
 Raleigh, North Carolina 27613
 LS3P PROJECT: 0404-226295

DATE	DESCRIPTION

SHEET NAME:
 BUILDING
 PERSPECTIVE

ORIG SUBMISSION: 2024.08.02

SHEET:
A-200

PROGRESS

1 2 3 4 5 6

