



Administrative Approval Action

Case File / Name: ASR-0056-2024
DSLCL- ABBOTTSWOOD AT STONEHENGE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This site is located at northeast corner of Creedmoor Road and Morgans Way, specifically at 7900 Creedmoor Rd., PIN 0798409936. The site is currently zoned R-10-CU.
- REQUEST:** The application is requesting an addition to the Congregate Care, Retirement, and Assisted Living Facility to include a new 49-room (47,160 sf) facility. This project will also include changes in surface parking and utilities.
- DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 19, 2025 by Mcadams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The SPR cannot be approved until a lighting plan meeting the requirements of UDO 7.4 is submitted, reviewed, and approved for compliance.
2. Add a note to the cover sheet stating that the operator will maintain a log in compliance with Z-033-20 Condition #2 that will be made available to City staff upon request.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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7. Submit with the items for review, a copy of the approval from NCDOT regarding the street trees to be planted along Creedmoor Road.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

3. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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The following items must be approved prior to the issuance of building permits:

General

1. Retaining wall permits shall be reviewed and approved prior to the issuance of building permits.

Engineering

2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A fee-in-lieu for shortage of streetscape along Creedmoor Rd shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. A public infrastructure surety for 43 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion, and a public infrastructure surety for 11 street trees shall be provided in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.521 acres of tree conservation area
9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 43 street trees along Creedmoor Road and 11 street trees along Morgans Way for a total of 54 street trees.

The following are required prior to issuance of building occupancy permit:

General



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1. All mechanical equipment shall be screened from view per UDO 7.2.5.D
2. Final inspection of all tree conservation areas and rights-of-way street trees by Urban Forestry Sta

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 3, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan McDonald Digitally signed by Keegan.McDonald@raleighnc.gov
Reason: I am approving this document
Date: 2025.04.09 13:59:44-04'00' Date: 04/03/2025
Development Services Dir/Designee

Staff Coordinator: Jeff Caines

ABBOTTWOOD AT STONEHENGE

7900 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH CASE #: ASR-0056-2024 PROJECT NUMBER: KDC-20000 DATE: AUGUST 5, 2024

Administrative Site Review Application

Planning and Development Customer Service Center - 1500 CityCenter Plaza, Suite 401 | Raleigh, NC 27601 | 919-996-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Building and Development Type	Tier Two Site Plan	Tier Three Site Plan	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Subdivision case #: _____ Record/lot plan case #: _____ Certificate of Appropriateness #: _____ Collage Court: _____ Board of Adjustment #: _____ Zoning Case #: 23-002 Design Alternate #: _____

GENERAL INFORMATION

Development name: Abbottwood at Stonehenge

Inside City limits? Yes No

Property address(es): 7900 Creedmoor Road

Site P1.N (s): 0798409936

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4):
Addition of residential congregare care building, supporting surface parking, and utilities.

Current Property Owner(s): KISO SENIOR LIVING
 Company: KISO SENIOR LIVING Title: OWNER
 Address: 5700 FLEET STREET
 Phone #: 760-804-7096 Email: _____

Applicant Name (if different from owner. See "who can apply" in instructions): Jonathan Balderson
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Leasehold holder
 Company: McAdams Address: 621 Hillsborough St., Suite 500, Raleigh NC 27603

Developer Contact: GABE LEGASPI
 Company: KISO SENIOR LIVING Title: OWNER
 Address: 5700 FLEET STREET
 Phone #: 760-804-7096 Email: _____

Applicant Name: Jonathan Balderson
 Company: McAdams Address: 621 Hillsborough St., Suite 500, Raleigh NC 27603
 Phone #: 919.287.0815 Email: balderson@mcadamsco.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): <u>R-10-CU</u>	Existing gross floor area (not to be demolished): <u>0</u>
Gross site acreage: <u>10.28</u>	Existing gross floor area to be demolished: <u>0</u>
# of parking spaces proposed: <u>58</u>	New gross floor area: <u>47,160</u>
Max # parking permitted (12.2.C. No Max)	Total of gross floor area and new: <u>47,160</u>
Overly District (if applicable) <u>N/A</u>	Proposed # of buildings: <u>1</u>
Existing use (UDO 6.1.4) <u>Congregate Care Retire</u>	Proposed # of stories for each: <u>3</u>
Proposed use (UDO 6.1.4) <u>Congregate Care Retire</u>	Proposed # of basement levels (UDO 15.7.A.6) <u>0</u>

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sf) <u>151395</u> Proposed total (sf) <u>193840</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>153387</u> Proposed total (sf) <u>201396</u>

RESIDENTIAL OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: <u>49</u>	Total # of hotel bedrooms: <u>0</u>
# of medium units: 10r-49r	49r or more: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
# of 1br-1	Is your project a collage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	A frequent transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person to whom an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessment.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that pursuant to state law (N.C.G.S. 143-755.61), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval pursuant to N.C. Gen. Stat. § 160D-403(f).

Signature: _____ Date: _____

Printed Name: _____

Signature: _____ Date: _____

Printed Name: _____

Ordinance (2020) 159 ZC 86A
 Adopted: 11/17/2020 Effective: 11/23/2020

Z-33.20 - 7900 Creedmoor Road, approximately 0.4 mile south of the intersection of Creedmoor Road and Strickland Road, being Wake County PIN 0798409936, Approximately 10.3 acres zoned to Residential-10-Conditional Use (R-10-CU).

- Conditions dated: August 25, 2020
- The following uses shall be prohibited as primary uses on the property: boarding house, dormitory, fraternity, seniority, necessary, convent, orphanage, school (public or private, K-12), outdoor sports or entertainment facility.
 - For a period of no less than 10 years after the date of issuance of the first certificate of occupancy for the use after the date of approval of this proposed rezoning by Raleigh City Council, a minimum of 80% of occupied dwelling units shall be occupied by at least one individual 55 years of age or older.
 - The residential density of the site shall not exceed 85 units per acre; that, the maximum number of dwelling units permitted is 85 units, which is more restrictive than the otherwise allowable density in the R-10 district. However, this shall not prevent application of any increased density or alternate method of counting dwelling units as may be otherwise applicable to any Group Living Use Category permitted under Section 6.2.2. of the Unified Development Ordinance at the time any development plan is submitted for review or as may otherwise be applicable to each development plan.

ZONING CONDITION RESPONSES:

- PROHIBITED USES ARE EXCLUDED FROM THIS SITE PLAN.
- 80% OF OCCUPIED DWELLING CONTAIN INDIVIDUALS OVER 55
- THE TOTAL NUMBER DWELLING UNITS IS WITHIN THE TWO TIMES THE DENSITY OF ALLOWABLE UNITS.

DENSITY CALCULATIONS:

EXISTING UNITS: 120 UNITS
 PROPOSED UNITS: 49
 TOTAL UNITS: 169 UNITS

ALLOWABLE (PER UDO SEC 6.2.2.C.2 AND CONDITIONS OF APPROVAL): 170

UDO 6.2.2.C.2

A. AS CURRENTLY DESIGNED, THE FACILITY COMPLIES WITH THE HOUSING FOR OLDER PERSONS ELEMENTS OF THE FAIR HOUSING ACT

B. PLEASE SEE DENSITY CALCULATIONS ABOVE.

C. NO UNIT IS OCCUPIED BY MORE THAN 2 PERSONS WHO ARE RELATED.

D. FACILITIES ON-SITE ARE STAFFED FOR AT LEAST 4 HOURS PER DAY

E. THE EXISTING AND PROPOSED FACILITIES CONTAIN THE REQUIRED COMMON INDOOR SOCIAL AND RELATED SERVICE FACILITIES. THERE IS A MINIMUM OF 30 SF PER ROOMING UNIT.

F. THE EXISTING FACILITY CONTAINS A COMPREHENSIVE PEDESTRIAN CIRCULATION PLAN IN ADDITION TO AN ALTERNATIVE TRANSPORTATION SOLUTION.

G. THE GREATER OF 10% OF THE LAND AREA OR 219 SF PER UNIT IS 10% OF THE LAND AREA (0.99 AC).

189 TOTAL UNITS @ 219 SF PER UNIT = 36,382 SF = 0.85 AC
 WE HAVE PROVIDED 0.99 AC OF AMENITY AREA.

BOTH AMENITY AREAS #1 & #2 ARE WITHIN 300 FEET OF THE ENTRANCE TO THE NEW PROPOSED BUILDING.

SITE DATA	
SITE ADDRESS:	7900 CREEDMOOR ROAD
PARCEL PIN NUMBER:	0798409936
SITE AREA:	GROSS SITE AREA: 10.28 AC (448,010 SF) NET SITE AREA: 9.92 AC (431,982 SF)
EXISTING ZONING:	R-10-CU
OVERLAY DISTRICT:	NONE APPLICABLE
WATERSHED:	CHARTER CREEK
RIVER BASIN:	NONE
FLOODPLAIN/FIRM PANEL:	ZONE 1, PANEL 372007800K
EXISTING USE:	CONGREGATE CARE
PROPOSED USE:	CONGREGATE CARE TOTAL NUMBER OF UNITS = 49 GROSS NEW BUILDING AREA = 47,160 SF
BUILDING HEIGHT:	MAX ALLOWABLE: 3 STOREYS/45' IN HEIGHT MAX PROVIDED: 3 STOREYS/44'-3" IN HEIGHT
VEHICULAR PARKING:	MAX ALLOWABLE: NO MAXIMUM PROVIDED: EXISTING SPACES TO REMAIN = 43 SPACES EXISTING ADA SPACES TO REMAIN = 2 SPACES PROPOSED ADA SPACES = 1 SPACES TOTAL SPACES PROVIDED = 105 SPACES
ACCESSIBLE PARKING:	REQUIRED: 4 TOTAL SPACES, 1 VAN SPACES PROVIDED: 9 TOTAL SPACES, 3 VAN SPACES
BIKE PARKING:	SHORT TERM REQUIRED: N/A SHORT TERM PROVIDED: N/A LONG TERM REQUIRED: N/A LONG TERM PROVIDED: N/A
BUILDING & PARKING SETBACKS (CVCS):	BUILDING SETBACK - PRIMARY/SIDE STREET: 10' BUILDING SETBACK - SIDE LOT LINE: 20' BUILDING SETBACK - REAR LOT LINE: 20' PARKING SETBACK - PRIMARY/SIDE STREET: 10' PARKING SETBACK - SIDE/REAR LOT LINE: 6'
IMPERVIOUS AREA:	EXISTING ON-SITE IMPERVIOUS: 2.48 AC PROPOSED ON-SITE IMPERVIOUS: 4.58 AC EXISTING OFFSITE IMPERVIOUS: 0.05 AC PROPOSED OFFSITE IMPERVIOUS: 0.08 AC
BLOCK PERIMETER:	MAXIMUM: 2,500 LF PROVIDED: 4,832 LF EXEMPT PER UDO 8.3.2.A.1(i) AND 8.3.2.A.1.b - SEE EXHIBIT ON SHEET 00.00
TREE CONSERVATION AREA:	OVERALL REQUIRED: 0.99 AC (10.0%) OVERALL PROVIDED: 1.53 AC (15.4%)
OUTDOOR AMENITY AREA:	OVERALL REQUIRED: 0.99 AC (10.0%) OVERALL PROVIDED: 0.99 AC (10.0%)

SHEET INDEX	
C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS PLAN
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	DETAILED SITE PLAN - AREA A
C2.02	DETAILED SITE PLAN - AREA B
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01	DETAILED GRADING PLAN - AREA A
C3.02	DETAILED GRADING PLAN - AREA B
C4.00	OVERALL UTILITY PLAN
C4.01	DETAILED UTILITY PLAN - AREA A
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C8.02	WATER DETAILS
C8.03	WATER DETAILS
C8.04	STORM DRAINAGE DETAILS
C8.05	SANITARY SEWER DETAILS
C9.00	SCM "A" PLAN VIEW AND DETAILS
C9.01	SCM DETAILS
L5.00	OVERALL LANDSCAPE PLAN
L5.01	DETAILED LANDSCAPE PLAN
L5.02	DETAILED LANDSCAPE PLAN
L5.03	LANDSCAPE NOTES AND DETAILS
L8.00	TREE CONSERVATION PLAN
L8.01	TREE CONSERVATION CALCULATIONS

FROM OTHERS

A050 TRASH ENCLOSURE PLAN
 A101 FLOOR PLAN LEVEL 1
 A102 FLOOR PLAN LEVEL 2
 A103 FLOOR PLAN LEVEL 3
 A200 BUILDING PERSPECTIVES
 A201 BUILDING ELEVATIONS
 A202 BUILDING ELEVATIONS



VICINITY MAP N.T.S.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4500 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure. Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require restoration of any water or sewer facilities not impacted as a result of this notification failure. Failure to call for inspection, install a manometer, or have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES OFFICES WILL NOT SERVICE THIS DESIGN.

NOTES

- THE MINIMUM CARRIER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF INTERSECTION OF THE CURB. NO DRIVEWAYS SHALL EXCEED THIS MINIMUM CLEARANCE CLEARANCE. (FROM SECTION 6.2.2.D)
- WITHIN THE AREA OF A DEFINING SHOT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, SIGN, FOLIAGE, BRANCH OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

Digitally signed by
 Jeff Caines@raleighnc.gov
 DN: cn=Jeff Caines@raleighnc.gov, o=City of Raleigh, ou=City of Raleigh, email=jeff.caines@raleighnc.gov, c=US

Reason: I am approving this document.
 Date: 2025.08.06
 Time: 10:37:53-04'00'



CONTRACTOR SHALL NOTIFY 'NCS11' (811) OR (1-800-632-9499) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 'NCS11'. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

McADAMS

The John R. McAdams Company, Inc.
 621 Hillsborough Street
 Suite 500
 Raleigh, NC 27603
 phone 919. 361. 5000
 fax 919. 361. 2269
 license number: C-0293, C-187
 www.mcadamsco.com

CONTACT

JONATHAN BALDERSON
 McADAMS
 balderson@mcadamsco.com
 PHONE: 919. 287. 0815

CLIENT

KISCO SENIOR LIVING
 GABE LEGASPI
 5700 FLEET STREET
 SUITE 300
 CARLSBAD, CA 92008
 760.804.7096

PROJECT DIRECTORY

Administrative Site Review Application
 Planning and Development Customer Service Center - 1500 CityCenter Plaza, Suite 401 | Raleigh, NC 27601 | 919-996-2000

NO.	DATE	REVISION
1	10.8.2024	REVISED PER 2nd ADR COMMENTS
2	12.04.2024	REVISED PER 3rd ADR COMMENTS
3	02.19.2025	REVISED PER 4th ADR COMMENTS

ADMINISTRATIVE SITE REVIEW FOR:

ABBOTTWOOD AT STONEHENGE
 RALEIGH, NORTH CAROLINA
 PROJECT NUMBER: KDC-20000

CLIENT
MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT STONEHENGE
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVIEWS

NO.	DATE	REVISION
1	10.18.2024	REVISED PER 2nd ASR COMMENTS
2	12.04.2024	REVISED PER 2nd ASR COMMENTS
3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-N1.DWG
CHECKED BY	LJV
DRAWN BY	LLH
SCALE	NTS
DATE	08.05.2024

SHEET

PROJECT NOTES

CO.00

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SITE PLAN NOTES

- NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREET SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADII OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT EXCEED THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL AND RESIDENTIAL COLLECTION INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL PARALLEL, MINOR & SENSITIVE AREA THROUGHGRADES.
- WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION ON THE NEAREST TRAVEL WAY. IF NO CURB LINE EXISTS, REFER TO SECTION 4.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDAINED BY CITY COUNCIL APPROVAL.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONTAMINANT DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY STREET, TRANSDUCTION, UTILITY, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (E.G. POWER POLES, TELEPHONE PEDESTALS, WATER MAINS, ETC.).
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL MEASURE, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 966-2409, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFORM DEVELOPMENT ORDINANCE (UDO) DETAILS.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2018 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM-PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-IDE ALL TYPICAL PAVEMENT SECTIONS SHOWN. IF THE GEOTECHNICAL ENGINEER DETERMINES AN ALTERNATE SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER BY WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
- ANY TRAVEL STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRAVEL STOP HAS BEEN FINISHED. ALL TRAVEL STOPS SHALL HAVE A 10'x20' (1000') SQUARE CONCRETE PAD.

DEMOLITION NOTES

- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- COMPLY WITH REQUIREMENTS FOR THE SAFETY DURING CONSTRUCTION AND DEMOLITION (CHAPTER 14, 2018 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2018 NC BUILDING CODE).

RETAINING WALL NOTES

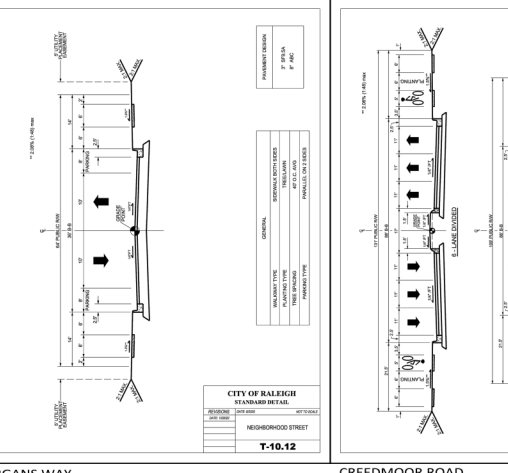
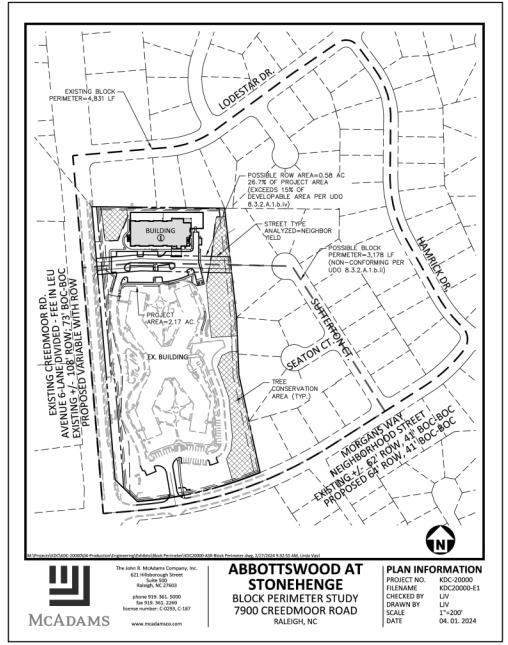
- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE BOTTOM OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENGINEERING RETAINING WALLS NOT LOCATED IN ANY STREAM BUFFER, AND THEIR CONSTRUCTION DOES NOT INTERFERE INTO ANY ADJACENT PROPERTIES DUE TO ANY WATER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL, OR PROCESSED FILL UNLESS THE CONTRACTOR CAN PROVE TO THE OWNER WITH CONTRIBUTION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR BACHE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TERRACE SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THE DESIGN.

GRADING NOTES

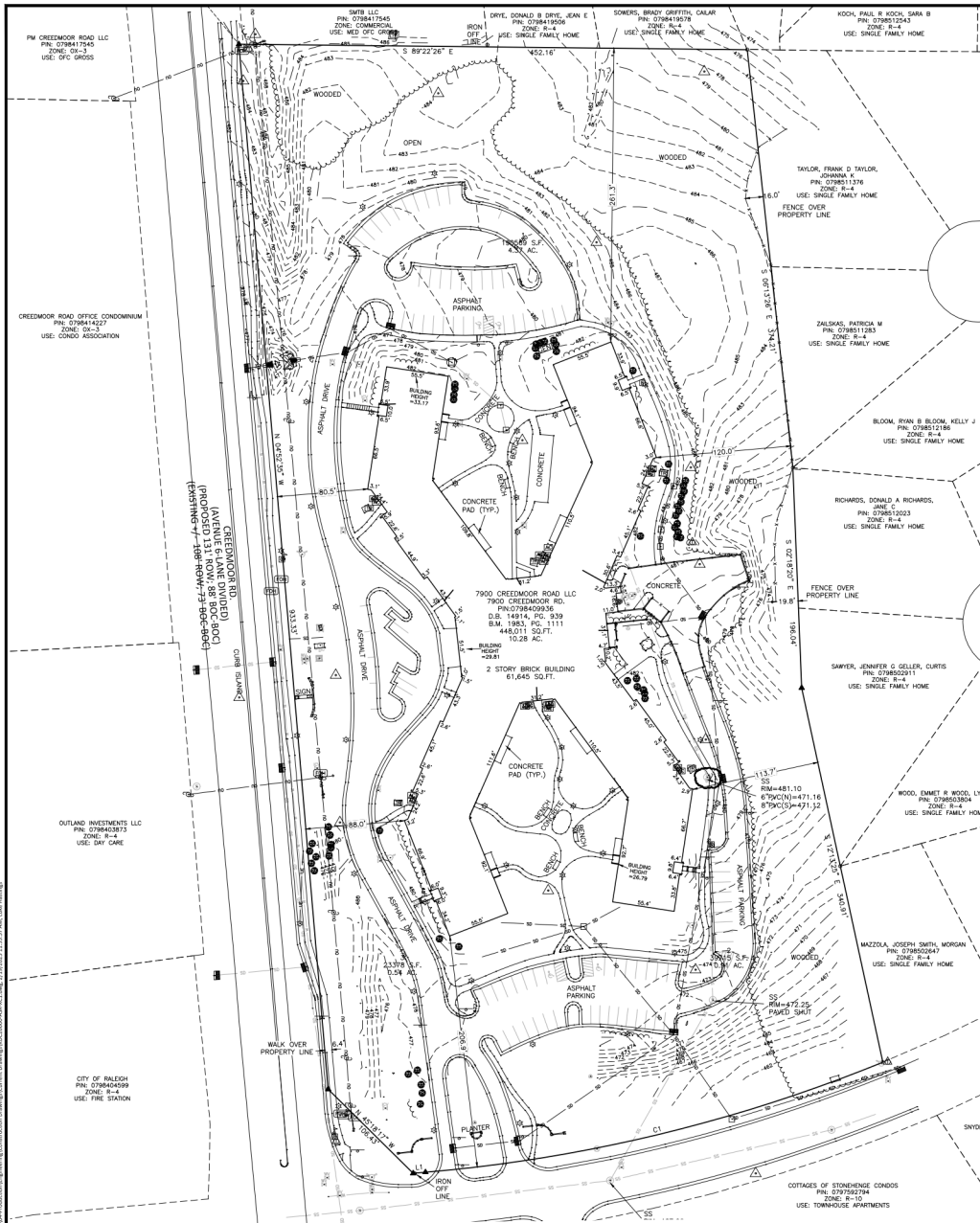
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS. FINAL RULE 29CFR 1926 SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH PROTECTION SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SPACES GREATER THAN 3'-0" (H) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- STANDARD UTILITY NOTES:
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONSTRUCTION HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
A. A DISTANCE OF 300" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SERVICE AS AN UNBROKEN SEPARATION. USE OF DRAINING WATER, IF APPLICABLE, BETWEEN SEPARATION CANNOT BE ACHIEVED. FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL BE AT LEAST 25" FROM A PRIVATE WELL OR 25" FROM A PUBLIC WELL.
B. WHEN A PUBLIC WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 12" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROFESSIONAL OPINION, OR AVOIDANCE A SANITARY SEWER PASSES OVER A WATERMAIN, THE MATERIALS OR STEEL ENCASUREMENT SEPARATION IS REQUIRED ON EACH SIDE OF CROSSING AND MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
D. 18" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS SIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
E. MAINTAIN 18" MIN. VERTICAL SEPARATION AT WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY SIP MATERIALS & CONCRETE CRADLE WITH 6" MIN. CLEARANCE (PER CORPUS DETAILS W/ 41 & 5-09).
F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN INC. PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PURSUING OPTIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 - 1/2" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. A MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICES FROM EACH EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 - INSTALL 4" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICATOR'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.26% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, LOUICE &/OR FEMA FOR ANY BARRIAGE BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS, RESPECTIVELY PRIOR TO CONSTRUCTION.
 - NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GRAZE INTERCEPTOR FOR 70% WATER SEPARATOR (SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE P&E PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A V-C AND/OR BUILDING PERMIT. CONTACT (919) 966-3145 OR FOS@RALIGH.GOV FOR MORE INFORMATION.
 - CROSS CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPROVAL OF THE RULES GOVERNING PUBLIC WATER SUPPLY IN NORTH CAROLINA.
 - THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
 - THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
 - THE DEVICES SHALL BE INSTALLED AND TESTED (INITIAL, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALIGH.GOV FOR MORE INFORMATION.
 - NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000 MUST UNDERGO THE PUBLIC BIDDING PROCESS.



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



LEGEND

- CONCRETE MONUMENT
- EXISTING IRON PIPE
- IRON PIPE SET
- EXISTING IRON PIPE
- MASONRY MANHOLE
- NC CODED SURVEY MON.
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- WATER VALVE
- FIRE DEPT. CONNECTION
- DRAINAGE INLET/7/8" INLET
- CL CATCH BASIN AT BC
- STORM DRAIN MANHOLE
- JUNCTION BOX
- FES
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- ELECTRIC PEDESTAL
- ELECTRIC HANDHOLE
- ELECTRIC BOX
- GUY WIRE
- LIGHT POLE
- POWER/UTILITY POLE
- CLEAN GUT
- SEWER MANHOLE
- IRRIGATION CONTROL VALVE
- GAS SERVICE METER
- GAS MARKER
- GAS VALVE
- CABLE TV BOX
- CATV HANDHOLE
- TELEPHONE HANDHOLE
- TELEPHONE BOX
- TELEPHONE PEDESTAL
- FIBER OPTIC MARKER
- FIBER OPTIC HANDHOLE
- TRAFFIC HANDHOLE
- BOLLARD
- AIR CONDITIONER
- SIGN
- MAILBOX
- CAMERA
- SEWER LINE
- STORM LINE
- FENCE
- HORIZONTAL
- OVERHEAD ELECTRIC LINE
- WOOD LINE
- RIP RAP

GENERAL NOTES

1. THIS IS AN ALTA/PLATS LAND TITLE SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
3. ALL DISTANCES ARE HORIZONTAL, GROUND DISTANCES.
4. ZONING: R-4 PER WAKE COUNTY GIS; NO ZONING REPORT PROVIDED.
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.U.R.M. COMMUNITY PANEL #3720079800J DATED 5/22/2006.
7. REFERENCES AS SHOWN.
8. UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT POSSIBLY LOCATED THE UNDERGROUND UTILITIES.
9. NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
10. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, RECENT DITCH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
11. NO FIELD DELINEATION OF WETLANDS WAS PERFORMED AS A PART OF THIS SURVEY AND NO MARKERS FOR SUCH WERE OBSERVED.
12. PROPERTY HAS VEHICULAR ACCESS TO CREEDMOOR ROAD AND MORGANS WAY.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 85°07'25" W	10.98'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1390.77'	420.03'	S. 76°28'32" W	418.44'

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www.mcadamsco.com

CLIENT
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5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

**ABBOTTWOOD AT STONEHENGE
ROADWAY FRONTAGE
IMPROVEMENT PLAN**
RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE
1	

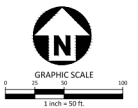
PLAN INFORMATION

PROJECT NO. KDC20000
FILENAME KDC20000-ASR-XCL.DWG
CHECKED BY --
DRAWN BY --
SCALE 1"=50'
DATE 08.05.2024

SHEET

EXISTING CONDITIONS PLAN

C1.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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CARLSBAD, CALIFORNIA 92008

**ABBOTTWOOD AT
STONEHENG
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024**

7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS

NO.	DATE	REVISION
1	08.28.2024	REVISED PER 1st ASR COMMENTS
2	12.08.2024	REVISED PER 2nd ASR COMMENTS
3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO. KDC-20000
 FILENAME KDC20000-ASR-DM1
 CHECKED BY LVJ
 DRAWN BY LVJ
 SCALE 1"=50'
 DATE 08.05.2024

SHEET

DEMOLITION PLAN

C1.01

DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- PRIMARY TREE CONSERVATION AREA - THROUGHFARE
- SECONDARY TREE CONSERVATION AREA

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

- PRIMARY TREE CONSERVATION AREA - THROUGHFARE
- SECONDARY TREE CONSERVATION AREA



GRAPHIC SCALE
1 inch = 50 ft.

SEE SHEET CD.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

NOTE: GC IS TO KEEP ALL ADJACENT ROADWAYS, EXISTING PROPERTY AND NEIGHBORING PROPERTIES CLEAN OF ALL CONSTRUCTION MUD, CONCRETE, AND ANY OTHER CONSTRUCTION RELATED DEBRIS. GC TO CLEAN IMMEDIATELY IF THIS SHOULD OCCUR.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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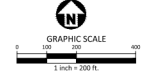
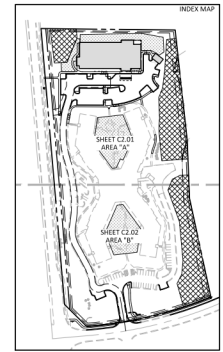
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ABBOTTSWOOD AT STONEHENG
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

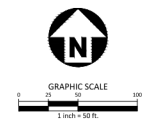
SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- PHASE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- LOT LINE
- CENTERLINE
- TREE PROTECTION FENCING
- ACCESSIBLE ROUTE
- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- SECONDARY TREE CONSERVATION AREA
- HEAVY DUTY ASPHALT
- LIGHT DUTY CONCRETE SIDEWALK
- AMENITY AREA



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



REVISIONS

NO.	DATE	REVISION
1	08.18.2024	REVISED PER 1st ASR COMMENTS
2	12.04.2024	REVISED PER 2nd ASR COMMENTS
3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

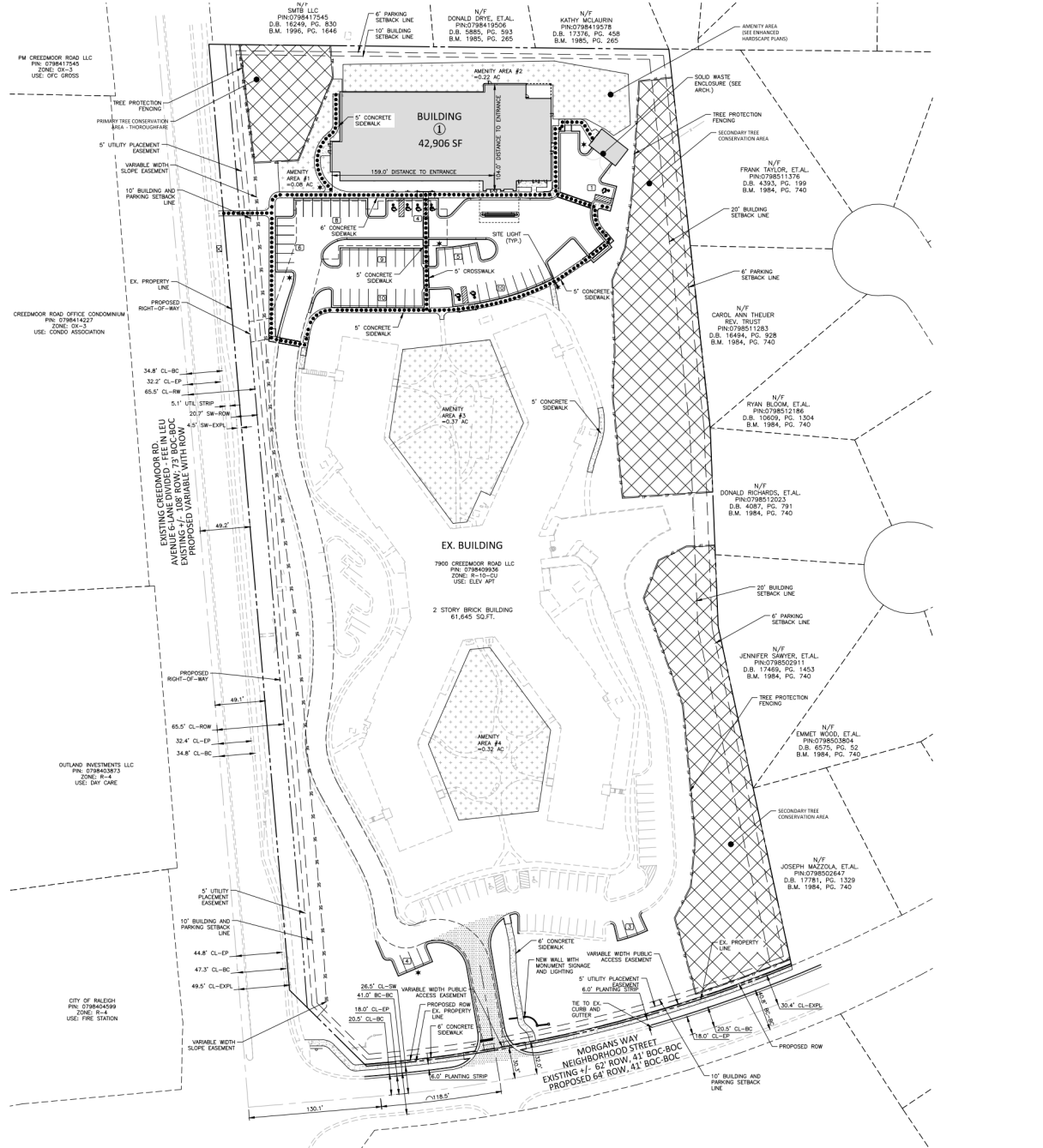
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FILENAME KDC20000-ASR-0A51
CHECKED BY LWJ
DRAWN BY LLW
SCALE 1"=50'
DATE 08.05.2024

SHEET

OVERALL SITE PLAN

C2.00

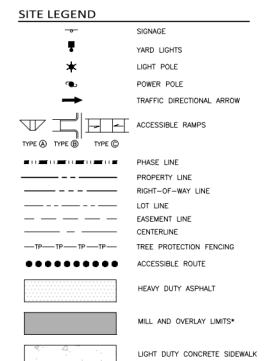
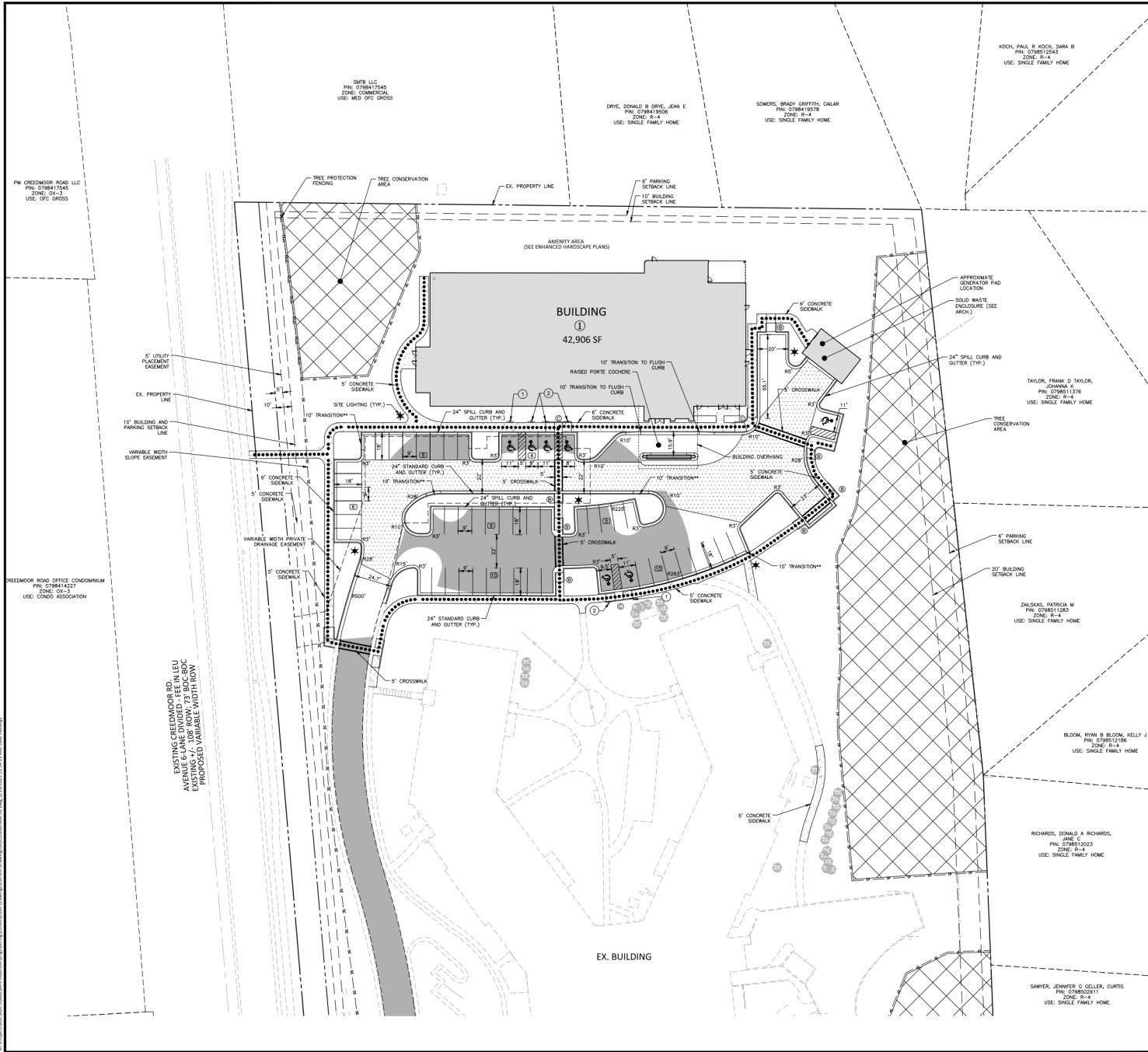
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



AMENITY AREA CALCULATIONS

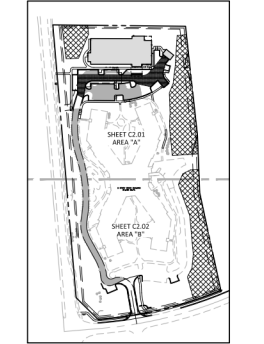
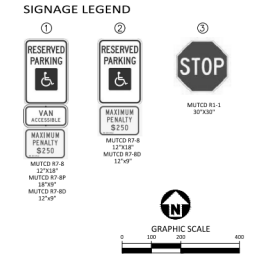
	AREA (SF)	AREA (AC)
NET PARCEL AREA	431,982	9.92
REQUIRED AMENITY AREA (10%)	43,198	0.99
PROVIDED AMENITY AREA:		
AMENITY AREA #1	3,599	0.08
AMENITY AREA #2	9,671	0.22
AMENITY AREA #3	16,137	0.37
AMENITY AREA #4	13,925	0.32
TOTAL AMENITY	43,332	0.99

M:\Projects\2024\KDC_20000\01_Preliminary\Drawings\Overall\SitePlan\Overall\SitePlan.dwg, 2/27/2025 11:13:44 AM, User: llw



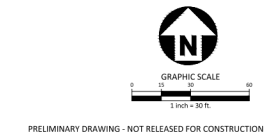
*10' TRANSITION FROM SPILL CURB TO 24" STANDARD CURB AND GUTTER

*MIL AND OVERLAY LIMITS SHOW THE EXTENT OF EXISTING ASPHALT. CONTRACTOR MAY CHOOSE TO REPLACE EXISTING ASPHALT TO NEW ASPHALT PAVEMENT SECTION IF MORE COST EFFECTIVE.



SEE SHEET C2.00 FOR ALL PROJECT NOTES.

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ABBOTTSWOOD AT STONEHENGE
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREAMMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

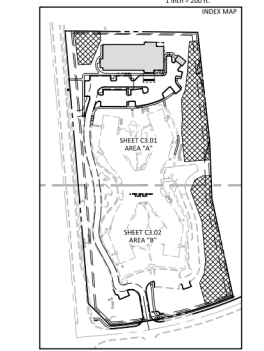
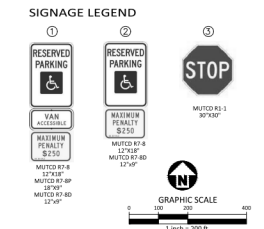
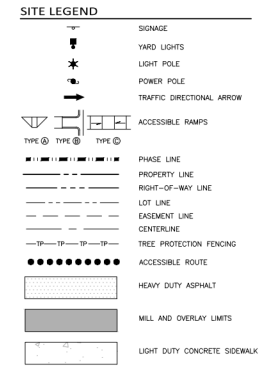
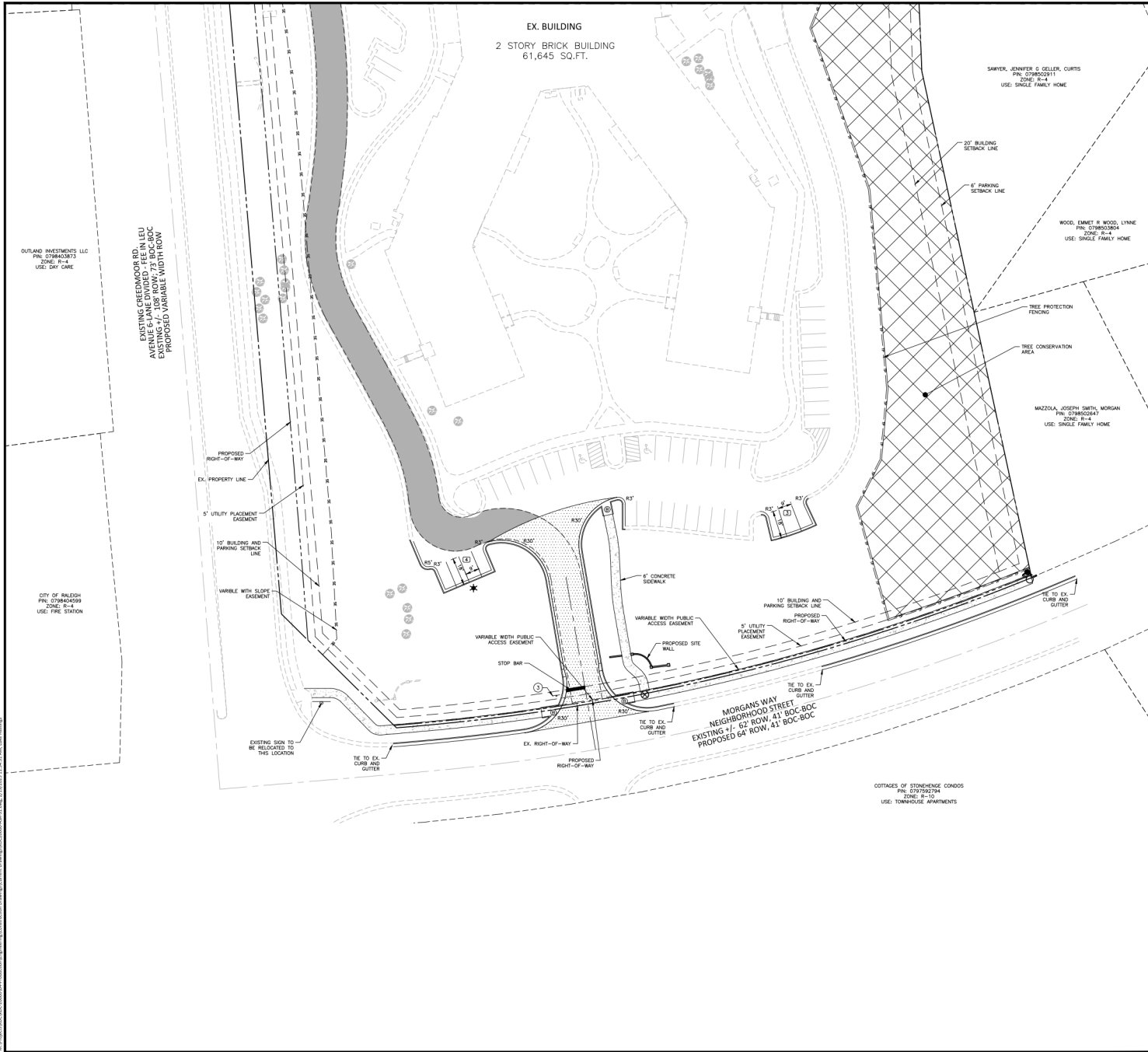
REVISIONS

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3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

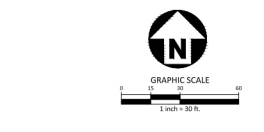
PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-S1.DWG
CHECKED BY LIV
DRAWN BY LLH
SCALE 1"=30'
DATE 08.05.2024

SHEET
DETAILED SITE PLAN
AREA "A"
C2.01



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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FILENAME KDC20000-ASR-S1.DWG
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SHEET
DETAILED SITE PLAN AREA "B"
C2.02



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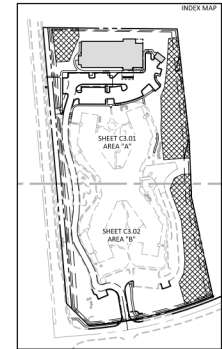
CLIENT

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**ABBOTTWOOD AT
STONEHENGE
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GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- AREA DRAIN
- STORM SERVICE CLEAN OUT
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WODED AREA
- MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)
- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- SECONDARY TREE CONSERVATION AREA
- 6' LIGHT DUTY CONCRETE SIDEWALK



BUILDING #1 AVERAGE GRADE PLANE

	PROPOSED		
	HIGH	LOW	AVERAGE
CREAMMOOR ROAD	482.00	480.50	481.25

REVISIONS

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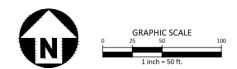
PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-0AG1

CHECKED BY JLV
DRAWN BY JTB
SCALE 1"=50'
DATE 08.05.2024

SHEET

OVERALL GRADING PLAN

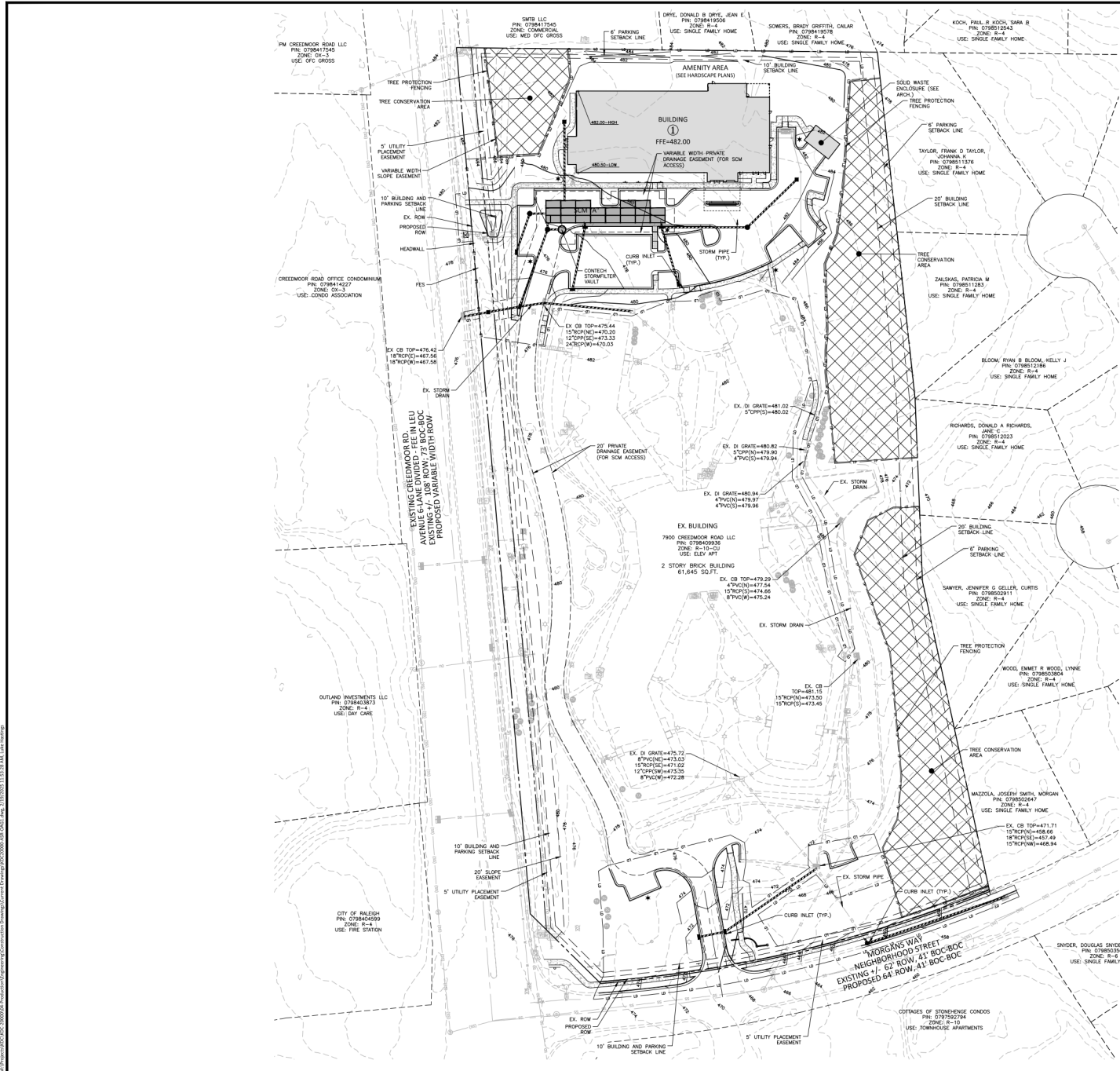
C3.00



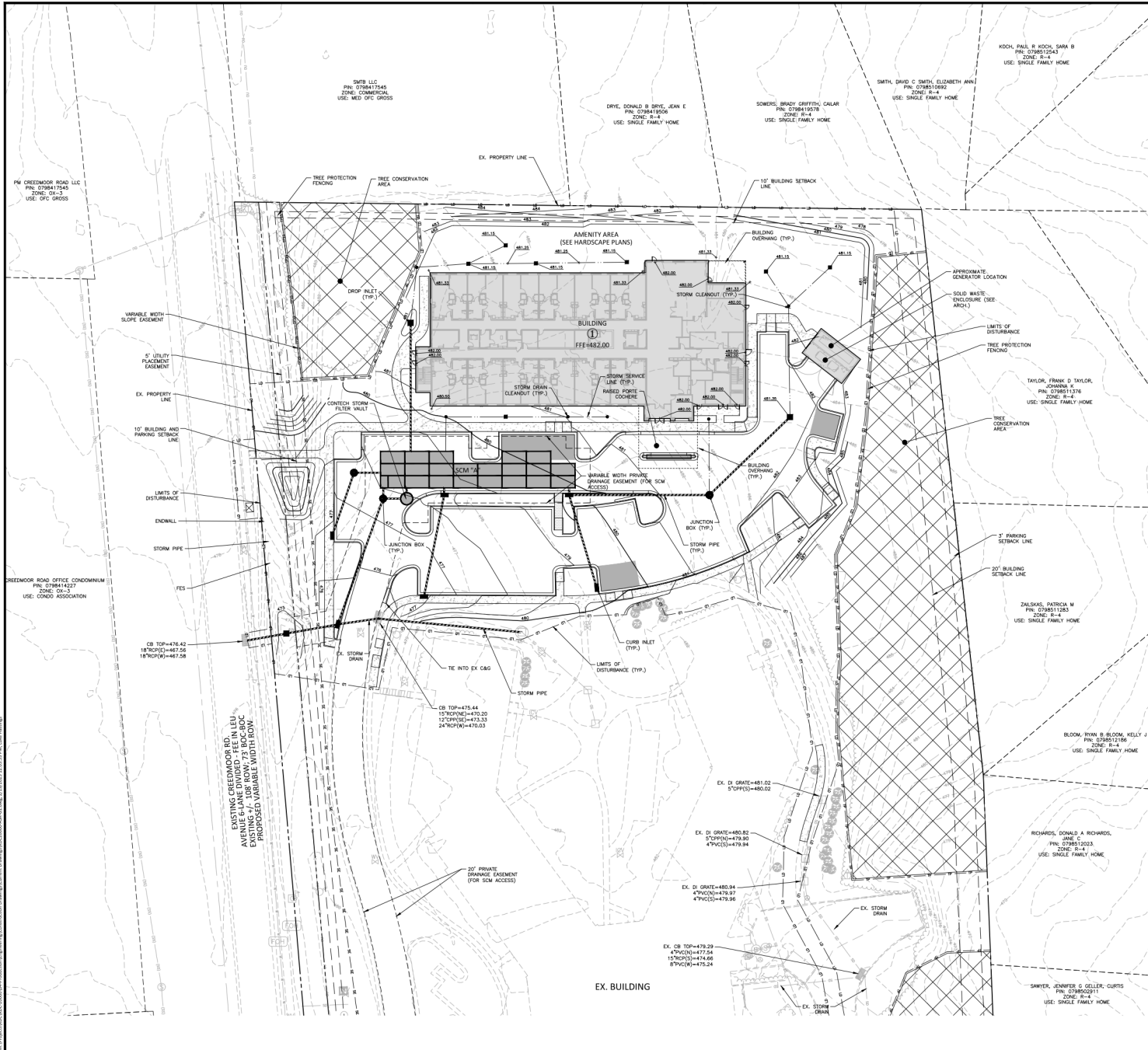
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

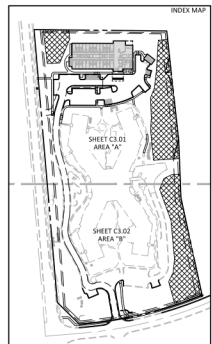


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GRADING LEGEND

[Symbol]	FLARED END SECTION
[Symbol]	ENDWALL SECTION
[Symbol]	CATCH BASIN
[Symbol]	DROP INLET
[Symbol]	STORM SERVICE INLET
[Symbol]	STORM SERVICE ROOF-TO-DRAIN
[Symbol]	JUNCTION BOX
[Symbol]	DRAINAGE FLOW ARROW
[Symbol]	LINE BREAK SYMBOL
[Symbol]	TOP & BOTTOM CURB ELEVATIONS
[Symbol]	TOP OF WALL ELEVATION
[Symbol]	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
[Symbol]	SPOT ELEVATION
[Symbol]	STORM DRAINAGE
[Symbol]	STORM SERVICE LINE
[Symbol]	ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
[Symbol]	TREE PROTECTION FENCING
[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	WOODED AREA
[Symbol]	MAJOR CONTOUR
[Symbol]	MINOR CONTOUR
[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	EASEMENT LINE
[Symbol]	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
[Symbol]	TREE PROTECTION FENCING



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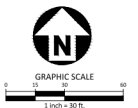
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SHEET
DETAILED GRADING PLAN AREA "A"
C3.01

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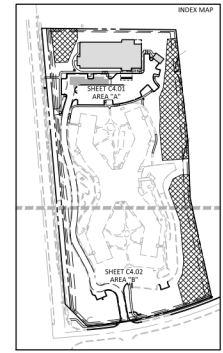
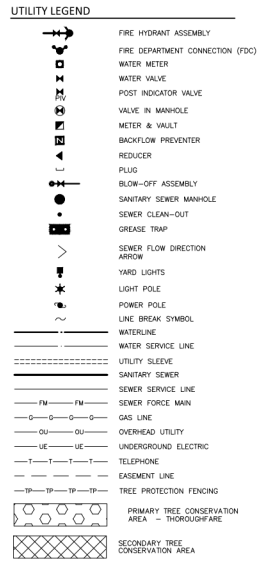
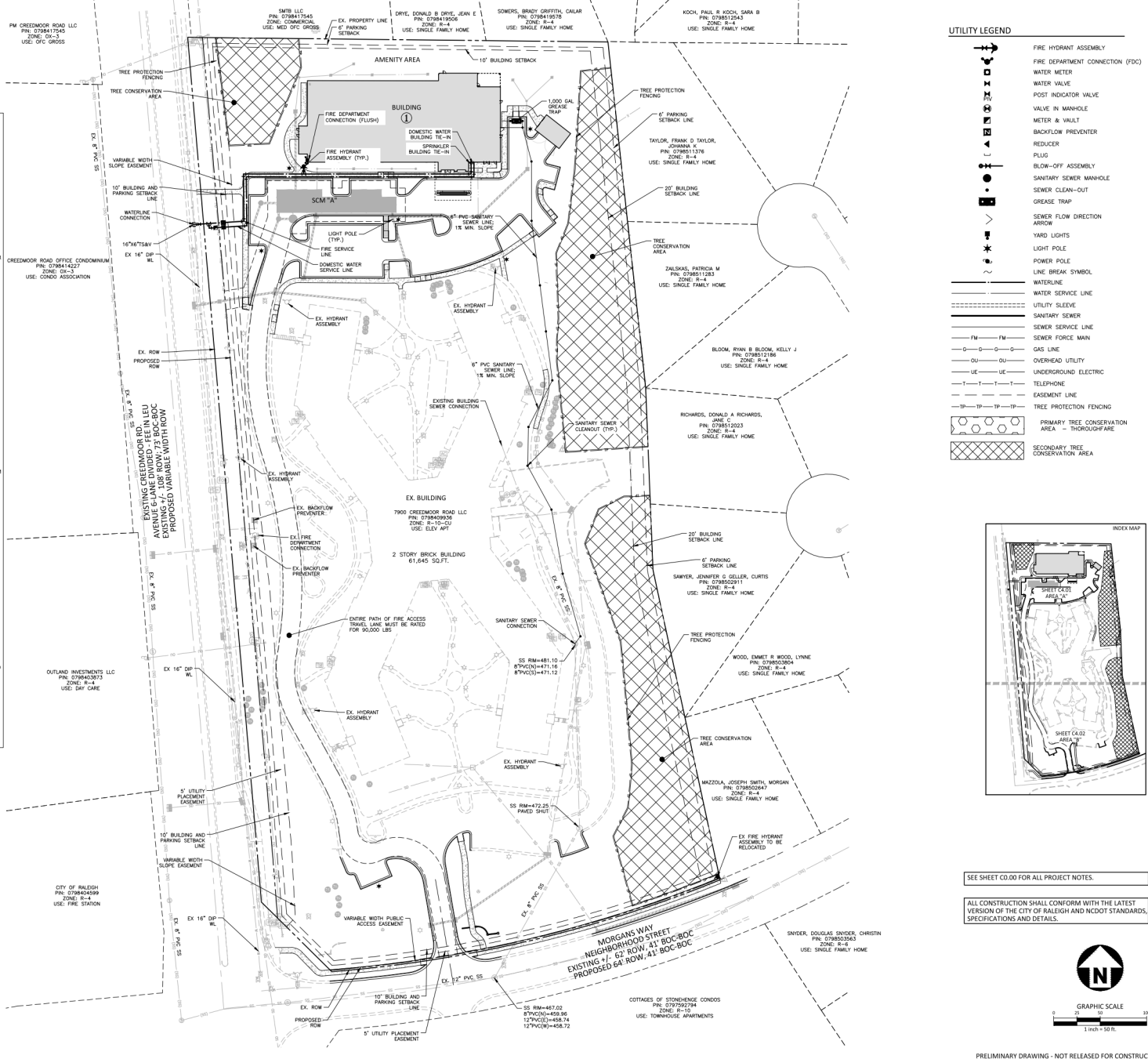
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ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Infrastructure Inspection Division and schedule a construction meeting with the Department prior to beginning any construction. Rainfall Water must be contacted at (919) 998-4500 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure. Failure to notify City Department in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any sewer or water system not inspected as a result of this notification. Failure to call or respond to the City of Raleigh (sewermain plus) from identified stions on this project, or any other location of City of Raleigh, constitutes a violation of the City and possible evolution from future work in the City of Raleigh.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- STANDARD UTILITY NOTES:**
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS REFERENCE: CORPUS HANDBOOK, CURRENT EDITION
 2. UTILITY SEPARATION REQUIREMENTS:
 - (A) A DISTANCE OF 120" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESIDENCE USED AS A SOURCE OF RUNNING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - (B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - (C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER WATERMAIN, OR MATERIALS OF STEEL ENCASEMENT EXTENDED 12" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - (D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM WATER FACILITIES. LINES OF MATERIALS SPECIFIED FOR SANITARY SEWER.
 - (E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 12" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY TOP MATERIALS & A CONCRETE CRACKLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W- 41 & S-49).
 - (F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 3. ANY NECESSARY FIELD REVIEWS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
 5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SEWER INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 6. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN RESERVATION OF A UTILITY LINES OTHERWISE DIRECTED TO BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURES.
 9. INSTALL 4" DP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 10. INSTALL 6" PVC SEWER SERVICES @ 3.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
 11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINING LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
 12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 13. NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 14. GREASE INTERCEPTOR / OIL WATER SEPARATION SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW 150 PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGH.GOV FOR MORE INFORMATION.
 15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
 16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
 17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
 18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
 19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT: ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.



SEE SHEET C4.00 FOR ALL PROJECT NOTES.

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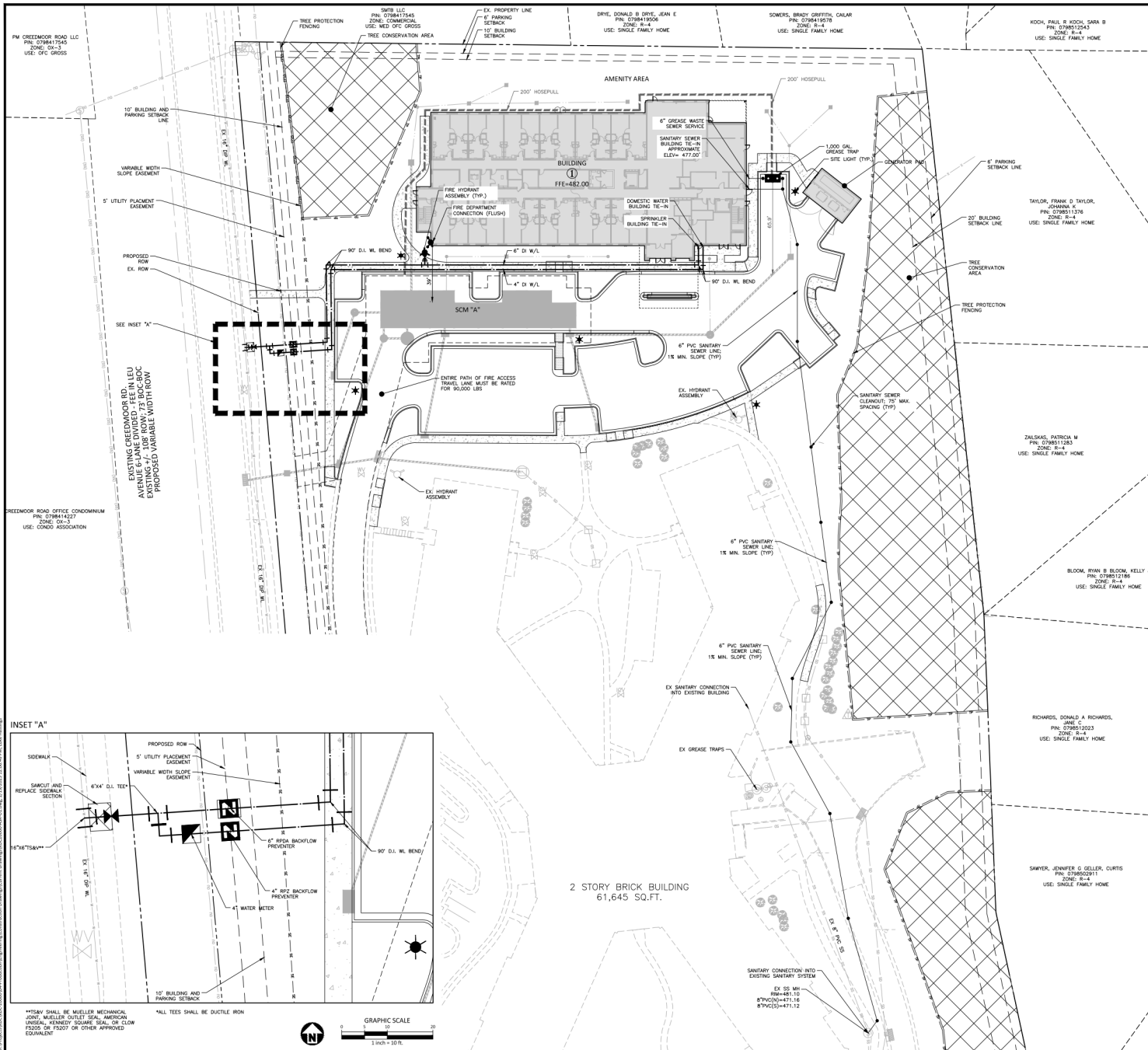
PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-0A1
CHECKED BY JWB
DRAWN BY JTB
SCALE 1"=50'
DATE 08.05.2024

SHEET

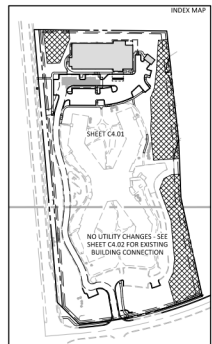
OVERALL UTILITY PLAN

C4.00



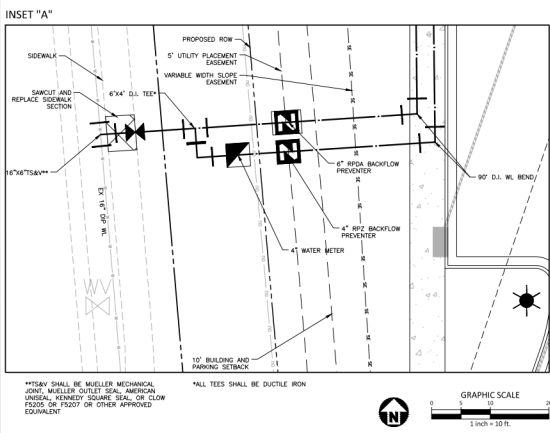
UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- TREE PROTECTION FENCING



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RALEIGH, NORTH CAROLINA, 27613

REVISIONS

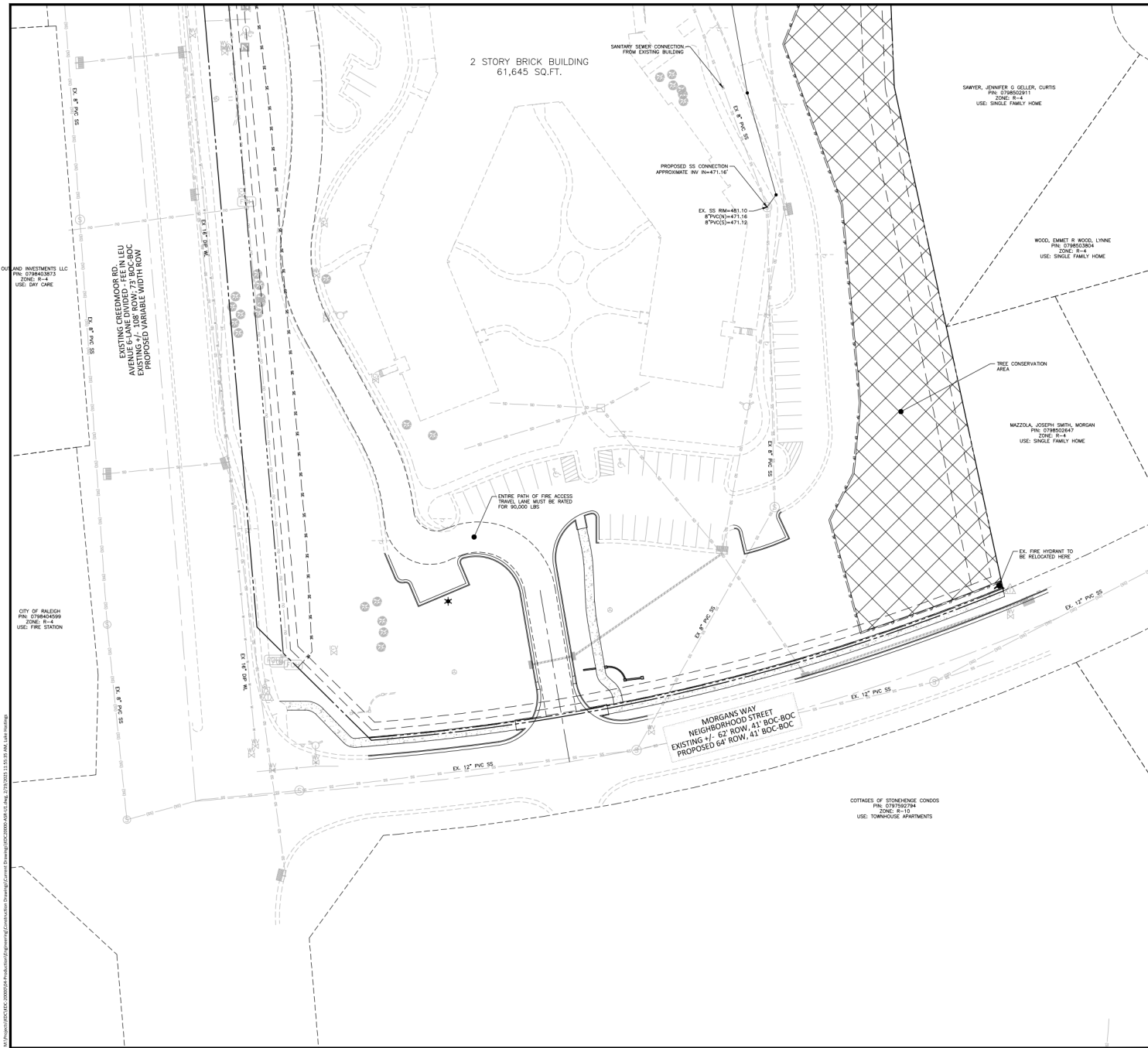
NO.	DATE	REVISION
1	10.18.2024	REVISED PER 1st ASR COMMENTS
2	12.04.2024	REVISED PER 2nd ASR COMMENTS
3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-111.DWG
CHECKED BY LIV
DRAWN BY JTB
SCALE 1"=30'
DATE 08.05.2024

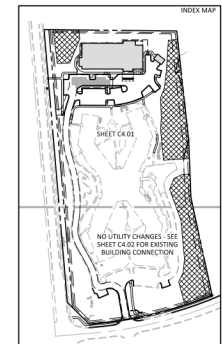
SHEET
DETAILED UTILITY PLAN
C4.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE
	TREE PROTECTION FENCING



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Rough Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work, notify ground surface water and sewer infrastructure. Failure to notify City Departments in advance of any construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a downstream plug have permitted plans on the table, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

McADAMS

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license number: C-0293, C-187
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CLIENT

MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

**ABBOTTSWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

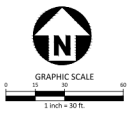
REVISIONS

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FILENAME KDC20000-ASR-111.DWG
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SCALE 1"=30'
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SHEET



DETAILED UTILITY PLAN

C4.02



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PLAN INFORMATION

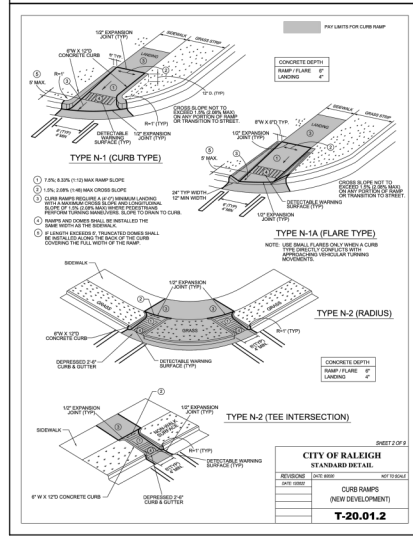
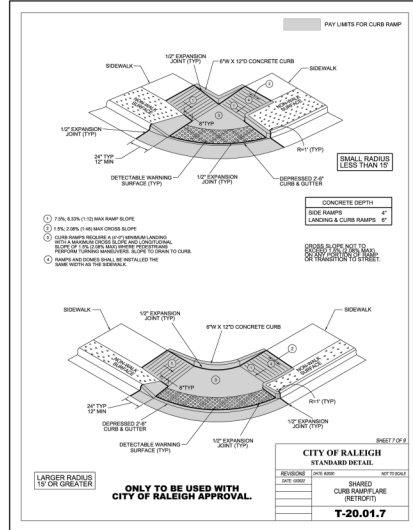
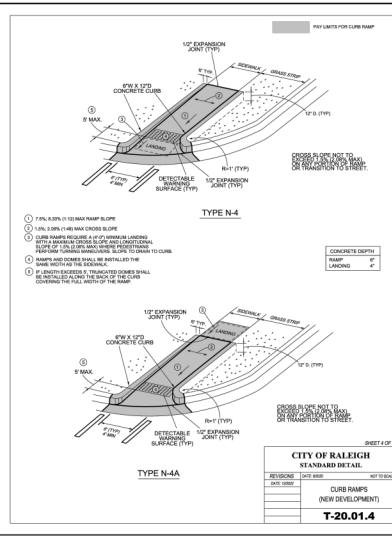
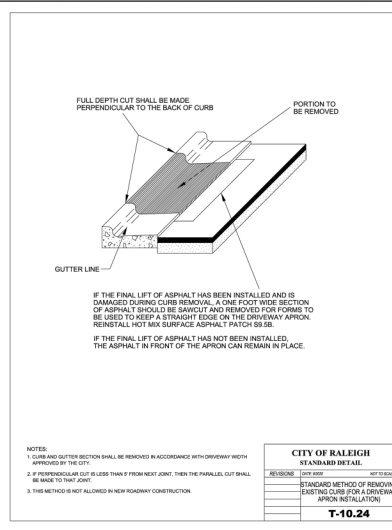
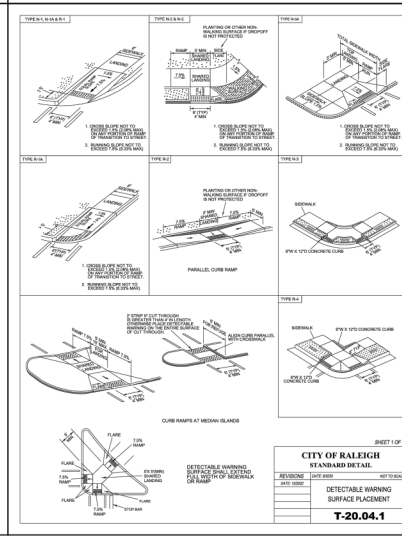
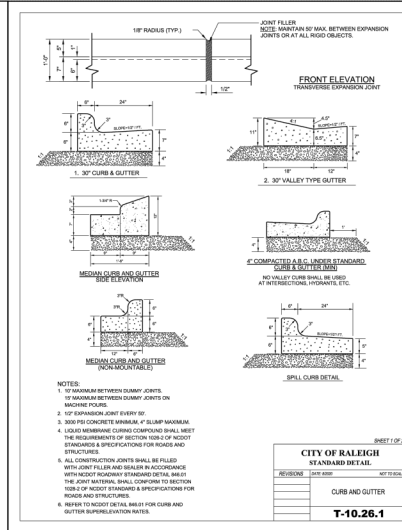
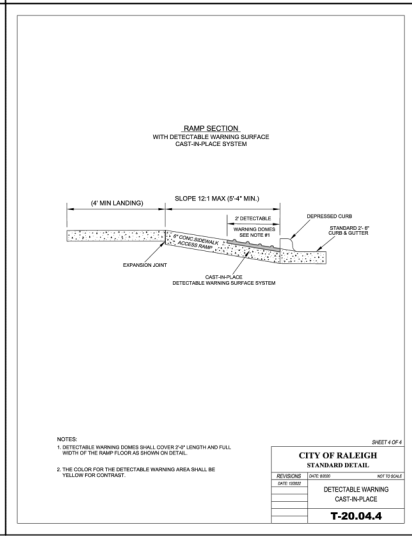
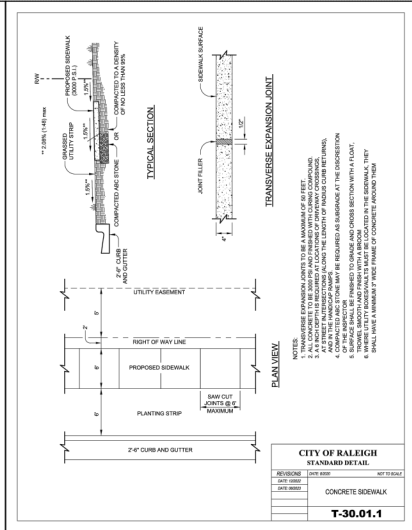
PROJECT NO. KDC-20000
 FILENAME KDC20000-ASR-DI-DWG
 CHECKED BY LIV
 DRAWN BY LIV
 SCALE NTS
 DATE 08.05.2024

SHEET

SITE DETAILS

C8.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



C:\Users\jwhitehouse\OneDrive\Documents\Projects\ASR-0056-2024\Drawings\T-20.01.1.dwg



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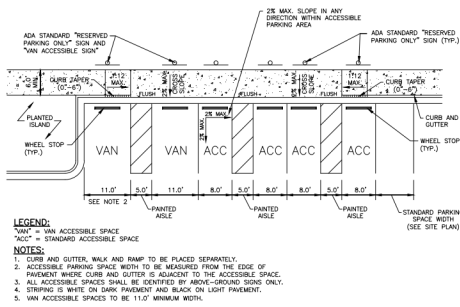
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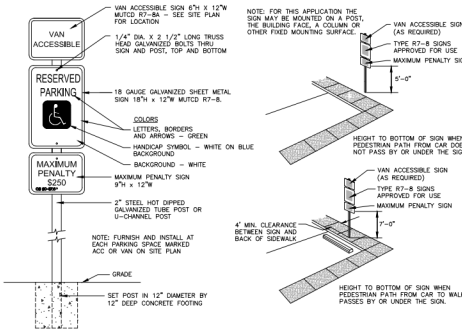
CLIENT

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CARLSBAD, CALIFORNIA 92008

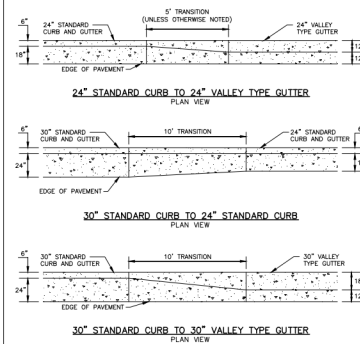
ABBOTTSWOOD AT
STONEHENGE
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613



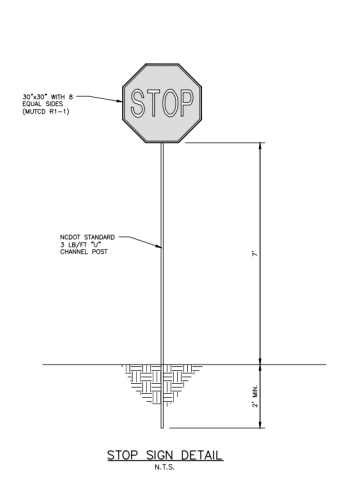
TYPICAL ACCESSIBLE PARKING SPACE LAYOUT, RAMP AND SIGN LOCATIONS
N.T.S.



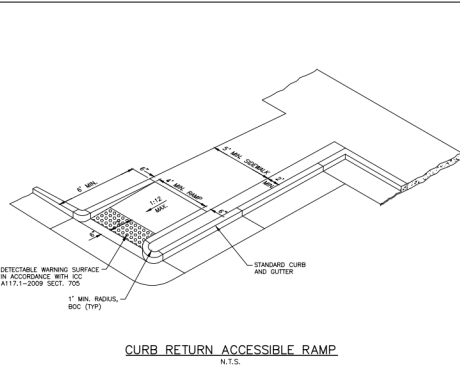
ACCESSIBLE PARKING SPACE SIGN
N.T.S.



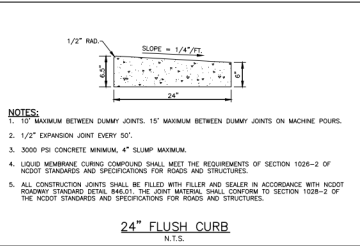
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N.T.S.



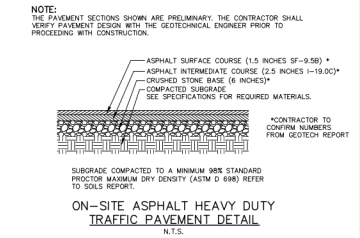
STOP SIGN DETAIL
N.T.S.



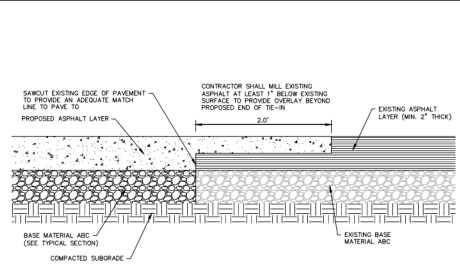
CURB RETURN ACCESSIBLE RAMP
N.T.S.



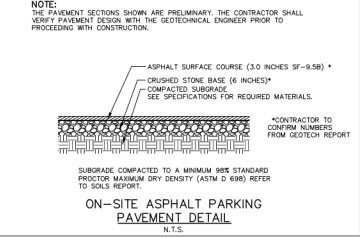
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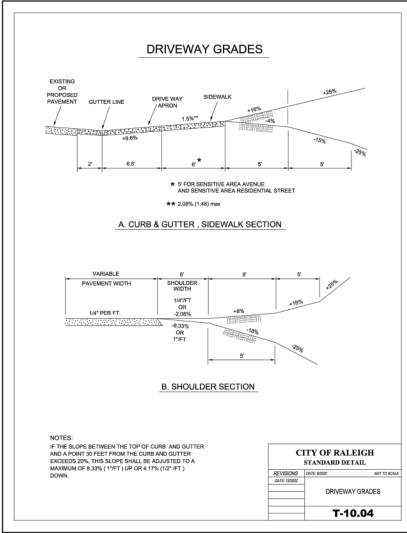
ON-SITE ASPHALT HEAVY DUTY TRAFFIC PAVEMENT DETAIL
N.T.S.



TYPICAL ASPHALT KEY-IN DETAIL
N.T.S.



ON-SITE ASPHALT PARKING PAVEMENT DETAIL
N.T.S.



DRIVEWAY GRADES

A. CURB & GUTTER, SIDEWALK SECTION

B. SHOULDER SECTION

Table with 2 columns: REVISION, DATE. Row 1: 1, 10.18.2024, REVISED PER 1st ASR COMMENTS. Row 2: 2, 12.04.2024, REVISED PER 2nd ASR COMMENTS. Row 3: 3, 02.19.2025, REVISED PER 3rd ASR COMMENTS.

REVISIONS

Table with 3 columns: NO., DATE, COMMENTS. Row 1: 1, 10.18.2024, REVISED PER 1st ASR COMMENTS. Row 2: 2, 12.04.2024, REVISED PER 2nd ASR COMMENTS. Row 3: 3, 02.19.2025, REVISED PER 3rd ASR COMMENTS.

PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-01.DWG
CHECKED BY LIV
DRAWN BY LIV
SCALE NTS
DATE 08.05.2024

SHEET

SITE DETAILS

C8.01



McADAMS

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ABBOTTSWOOD AT
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PLAN INFORMATION

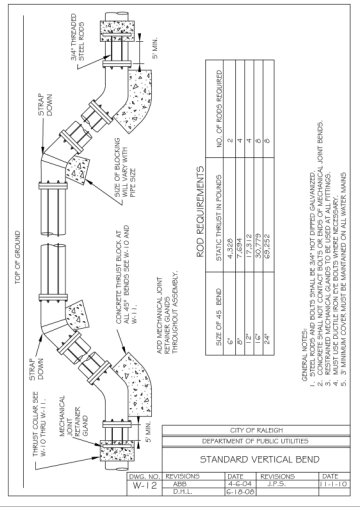
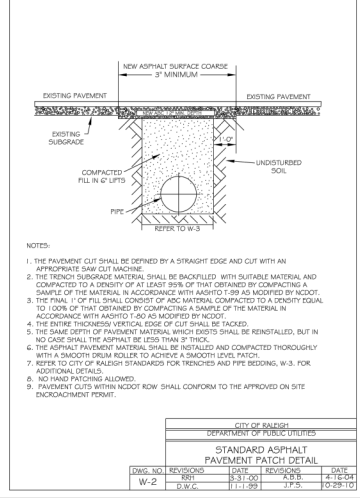
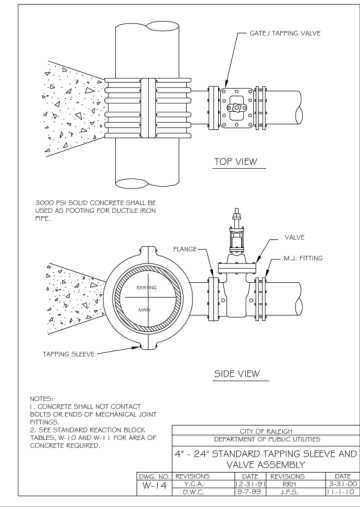
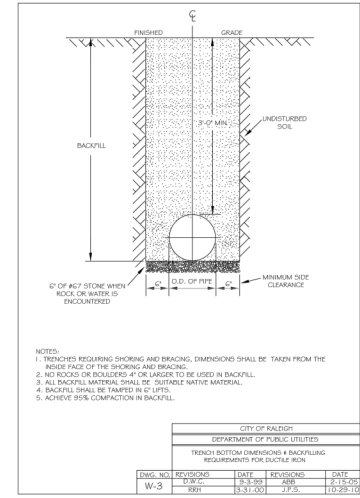
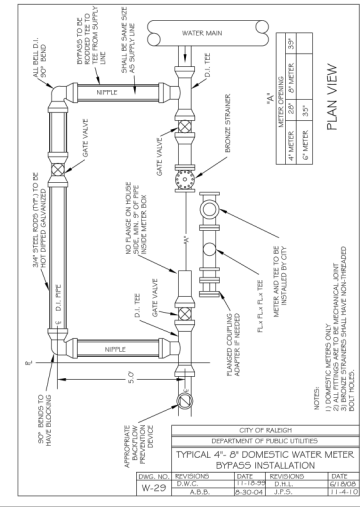
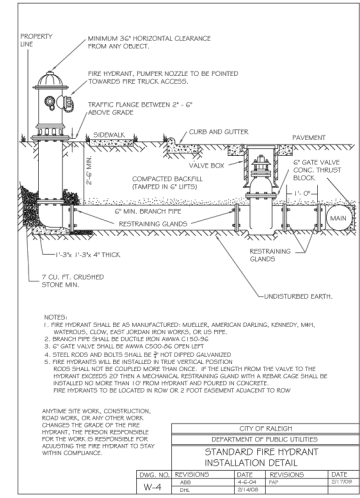
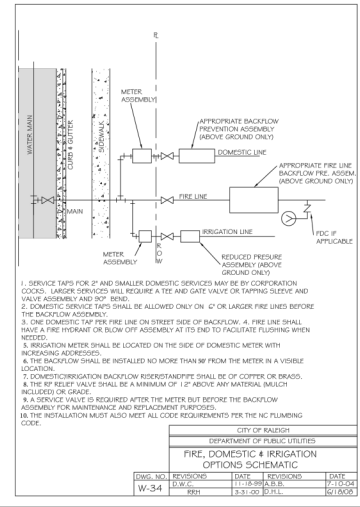
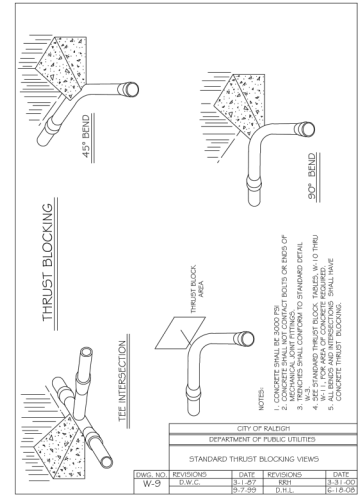
PROJECT NO. KDC-20000
 FILENAME KDC20000-ASR-01.DWG
 CHECKED BY LIV
 DRAWN BY LIV
 SCALE NTS
 DATE 08.05.2024

SHEET

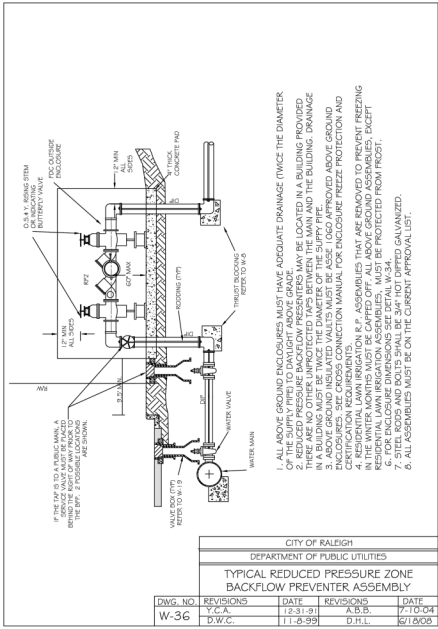
WATER DETAILS

C8.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

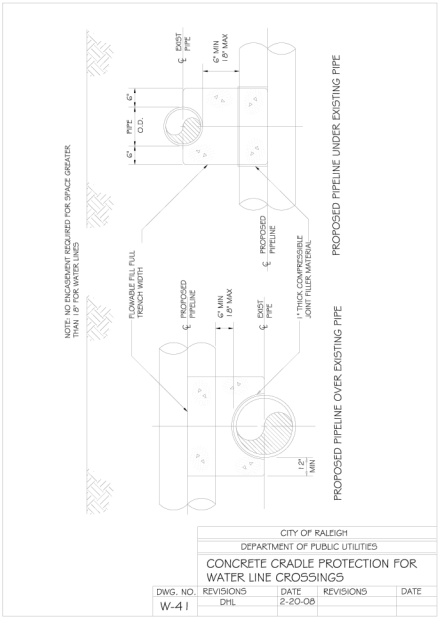


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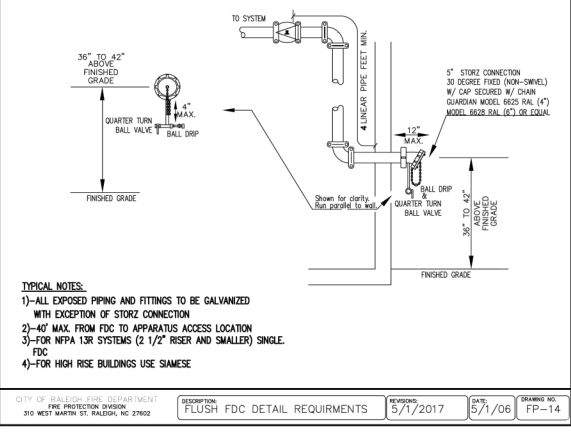


1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DRAINLIGHT ABOVE GRADE.
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THE ENCLASUREMENT IS ABOVE GRADE AND THE BACKFLOW PREVENTER IS ABOVE GRADE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
3. ALL ABOVE GROUND ENCLOSURES MUST BE PROTECTED FROM FREEZING AND FROST. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
4. ALL ABOVE GROUND ENCLOSURES MUST BE PROTECTED FROM FREEZING AND FROST. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
5. ALL ABOVE GROUND ENCLOSURES MUST BE PROTECTED FROM FREEZING AND FROST. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
6. ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36	Y.A.A.	12-31-01	A.B.S.	4/10/04
	D.W.C.	11-8-99	D.H.L.	6/1/00



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
CONCRETE CRADLE PROTECTION FOR WATER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-41	D.H.L.	2-20-06		



- TYPICAL NOTES:**
- 1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
 - 2)-40\"/>

CITY OF RALEIGH - FIRE DEPARTMENT FIRE PROTECTION DIVISION 310 WEST MARTIN ST. RALEIGH, NC 27602	DESCRIPTION FLUSH FDC DETAIL REQUIREMENTS	REVISIONS 5/1/2017	DATE 5/1/06	DRAWING NO. FP-14
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PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-01.DWG
CHECKED BY	LJV
DRAWN BY	LJV
SCALE	NTS
DATE	08.05.2024

SHEET
WATER DETAILS
C8.03



McAdams

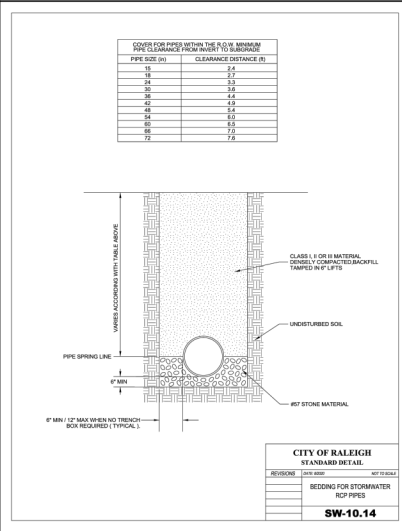
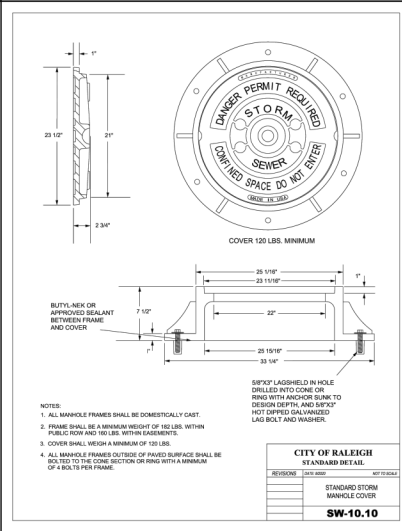
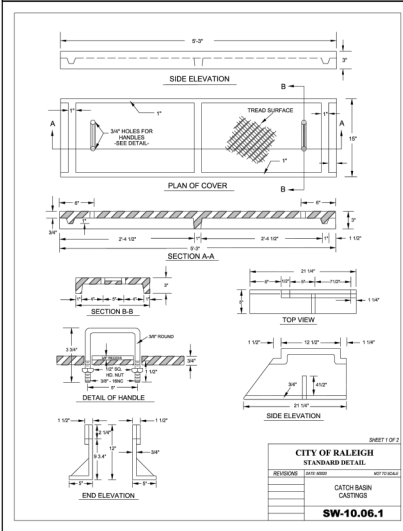
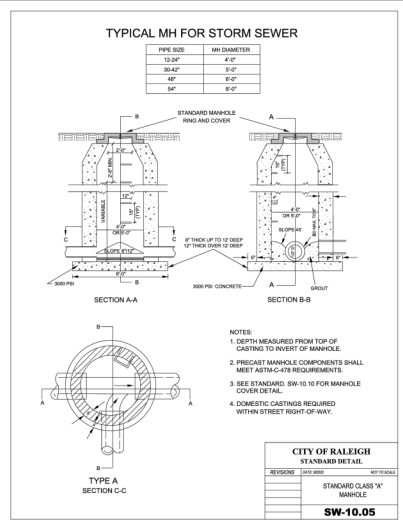
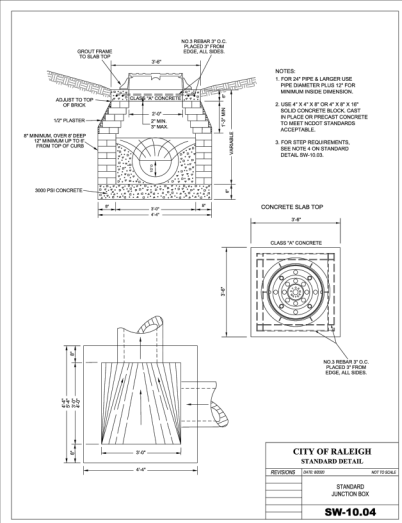
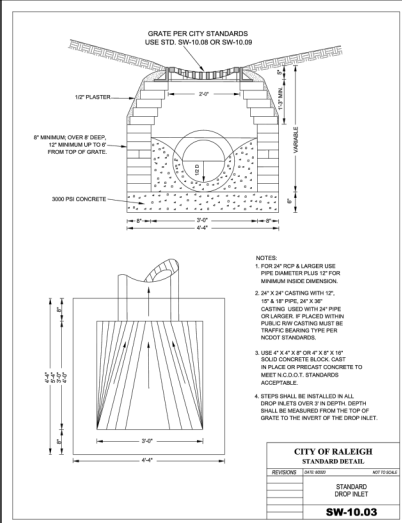
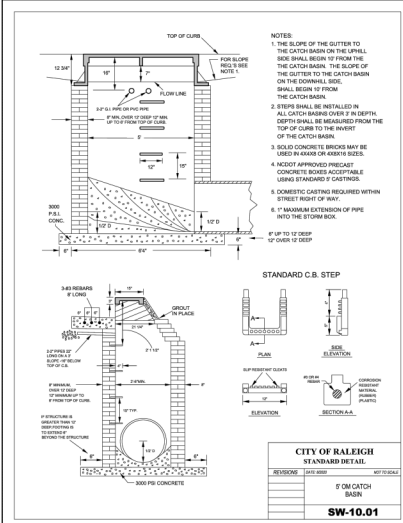
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COVERS FOR PIPES WITHIN THE P.C.W. MINIMUM PIPE CLEARANCE FROM INLET TO GUARDRAIL

PIPE SIZE (IN)	CLEARANCE DISTANCE (FT)
18	2.7
24	3.3
30	3.9
36	4.5
42	5.1
48	5.7
54	6.3
60	6.9
66	7.5
72	8.1

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PROJECT NO. KDC-20000
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CHECKED BY LIV
DRAWN BY LIV
SCALE NTS
DATE 08.05.2024

SHEET

STORM DRAINAGE DETAILS
C8.04



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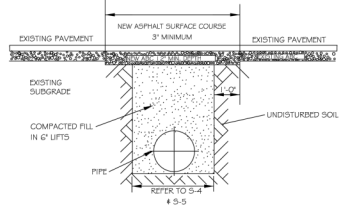
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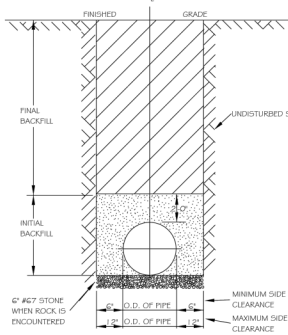
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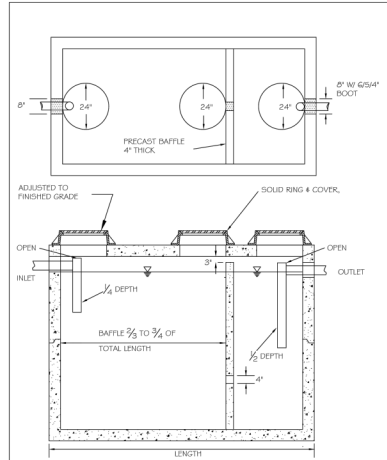
- NOTES:
1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 4. THE FINAL 1" OF FILL SHALL CONSIST OF ASK MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
 6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
 7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
 8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
 9. NO HAND PATCHING ALLOWED.
 10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD ASPHALT PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
5-3	D.W.C.	11-1-99	A.S.S.	4-19-04	
	RRH	3-30-00	J.F.S.	0-8-10	



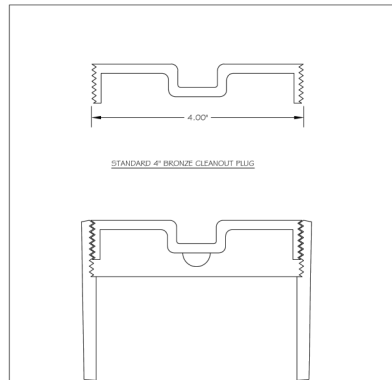
- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDER 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
 5. ACTIVE ZONE COMPACTION IN NON-TRAFFIC AREAS, AND 30% COMPACTION IN TRAFFIC AREAS.
 6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
 7. NO BOULDERS 6" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
5-4	D.W.C.	3-30-00			



- NOTES:
1. REINFORCEMENT: 11-20 BRIDGE (LOADING (TRAFFIC RATED))
 2. CONCRETE: 4000 PSI @ 28 DAYS
 3. EARTH COVER: 0' TO 5' MAX.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
1000 GALLON GREASE INTERCEPTOR					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
5-40	REV	3/31/04	REV	11/11/08	
	ABB				



STDS ACCEPTED:
INVERTED NUT
RAISED NUT

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
4" CLEANOUT PLUG					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
5-34	D.W.C.	3-27-99		3-30-00	

LOCALLY AVAILABLE SIZES	
INTERCEPTORS CAPACITY (GALL.)	SEPARATORS CAPACITY (GALL.)
300	1000
550	1200
750	1600
1000	
1200	
1500	
2000	
2500	
3000	
4000	
5000	
6000	
6000	

- NOTES:
1. Baffle wall located at a distance from inlet wall $\frac{3}{8}$ to $\frac{1}{2}$ of the total length of the interceptor or separator as shown on detail 5-40.
 2. Baffle wall located at a distance from outlet wall $\frac{1}{2}$ of the total length of the separator as shown on detail 5-40 (2).
 3. EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE INLET TEES SHALL EXTEND 20% INTO THE LIQUID DEPTH. THE INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SAMPLE.
 4. ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN PICK HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. MANHOLES COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
 5. ALL INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
 6. CONCRETE: 4000 PSI @ 28 DAYS.
 7. DESIGN AS PER FOLLOWING CODE:
ASTM C15.02 FOR GREASE INTERCEPTORS
ASTM C15.03 FOR WATER AND WINDSHOWER STRUCTURES
ASTM C890.02 FOR MINIMAL STRUCTURAL DESIGN LOADS
 8. INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
 9. INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 12,000 PSI TENSILE STRENGTH, 19,000 PSI FLEXURAL STRENGTH, AND 800,000 PSI FIBRAL MODULUS.
 10. ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
DIMENSIONS: GREASE INTERCEPTORS OIL-WATER-SAND SEPARATORS					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
5-41	REV	3/31/04	REV	11/11/08	
	ABB				

REVISIONS

NO.	DATE	REVISIONS
1	10.18.2024	REVISED PER 1st ASR COMMENTS
2	12.04.2024	REVISED PER 2nd ASR COMMENTS
3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	KDC-20000
FILENAME	KDC20000-ASR-01.DWG
CHECKED BY	LIV
DRAWN BY	LIV
SCALE	NTS
DATE	08.05.2024

SHEET

SANITARY SEWER
DETAILS

C8.05

GENERAL NOTES

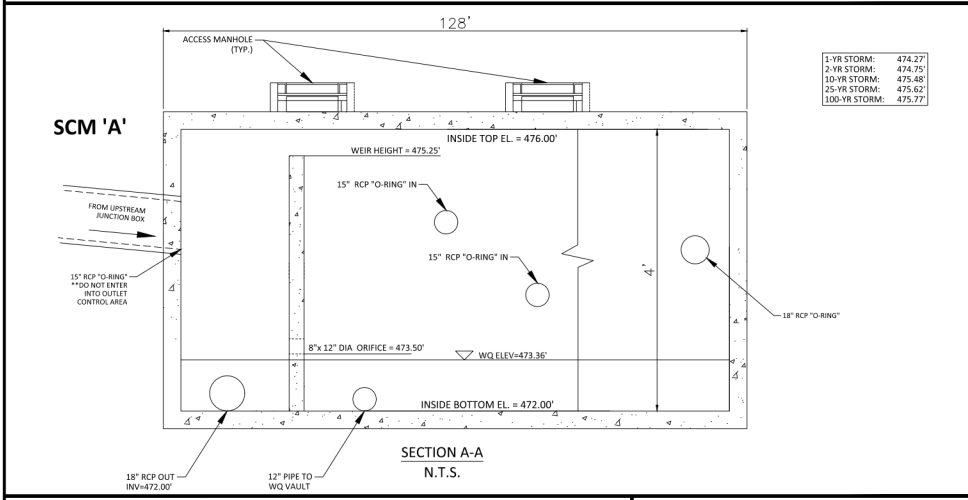
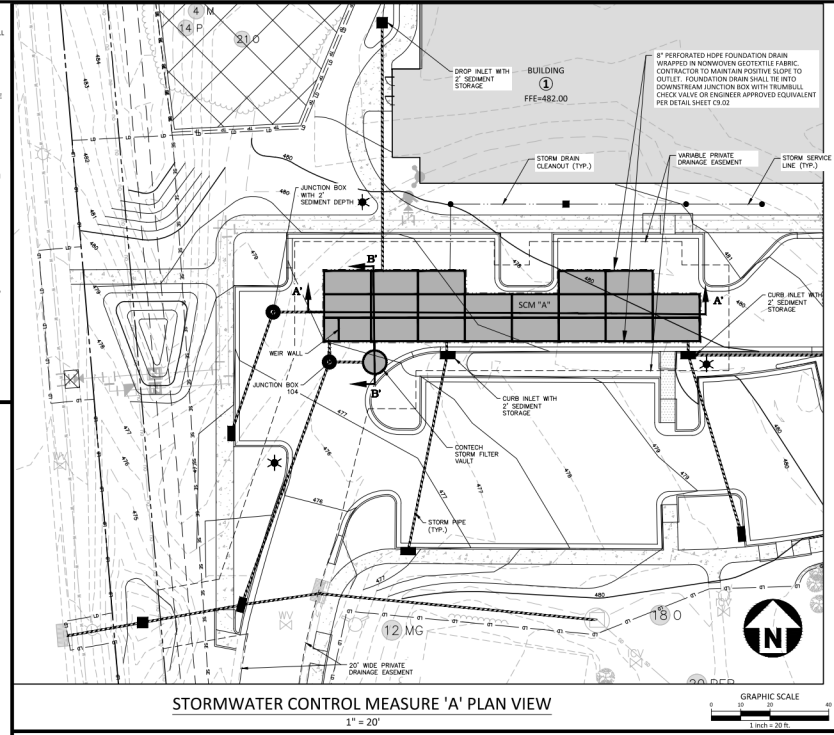
- PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
- PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUBSISTANT SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED TO THE ENGINEER'S AND OWNER'S APPROVAL AT THE CONTRACTOR'S EXPENSE.
- THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
- PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO ENSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. COVERED WITH VEGETATION). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL SIGNIFY THIS AS NECESSARY. THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT ITS /HER EXPIRE SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DEPOSITED) (THE TO BE AN UNSTABILIZED UPSTREAM DRAINAGE AREA).
- ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
- ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (JOINT / RISER CONNECTIONS, ENCAPS, ACCESS MANHOLES, ETC) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES MADE FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE OBSERVATION OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. McADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
- ALL PIPE RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE STORM FILTER SYSTEM AND UNDERGROUND DETENTION PIPE SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE SAND FILTER SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SICK DURING ENGINEER WALK THROUGH INSPECTION.
- ALL PIPE PENETRATIONS THROUGH A CONCRETE OR CMP STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC) SHALL BE MADE WATER TIGHT USING NON-SHRINK CEMENTITIOUS GROUT.
- ACCESS MANHOLES SHALL INCLUDE LADDERS OR MANHOLE STEPS. IF AT ANY ACCESS POINT, MANHOLE STEPS WOULD RESULT IN A 3" OR GREATER OFFSET, A LADDER SHALL BE PROVIDED. AS SUCH, A LADDER SHALL BE REQUIRED AT ALL MANHOLE ACCESS POINTS TO THE STORMFILTER VAULT. ALL LADDERS SHALL INCLUDE AN EXTENDING AND RETRACTING SECTION THAT ALLOWS THE LADDER TO BE EXTENDED ABOVE THE ACCESS LID TO FACILITATE SAFE INGRESS AND EGRESS TO/TOP A STANDING POSITION.

FOUNDATION NOTES

- ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND SCM SYSTEM, THE ONSITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE UNDERGROUND SCM SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DETERMINES THE FOUNDATION SOILS ARE UNSATURATED, THEN THE LIGHTEST FILL MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIALS SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE MIGRATION OF FINE, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND SCM SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC (IF USED) IS TO BE SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD DURING CONSTRUCTION, THEN IT SHOULD BE GRADED TO A SLIGHT SLOPE SUCH THAT SATURATION OF THE SUBGRADE DOES NOT OCCUR.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION. IT IS BEST TO BEGIN THE CONSTRUCTION OF THE SAND FILTER/RETENTION SYSTEMS AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR WATER TO ESCAPE.
- THE CONTRACTOR SHALL PROVIDE FOUNDATION DRAINAGE FOR THE UNDERGROUND SCM. THE FOUNDATION DRAIN SHALL CONSIST OF 6" DIAMETER PERFORATED PIPE WRAPPED IN NONWOVEN GEOTEXTILE FABRIC. THE FOUNDATION DRAINS SHALL BE PLACED ON ALL FOUR SIDES OF THE UNDERGROUND SCM AS SHOWN ON THE DRAWINGS AND WITHIN THE VAULTS BEING SYSTEM (BUT NOT DIRECTLY BELOW THE VAULTS). THE FOUNDATION DRAIN SYSTEM SHALL TIE TO THE NEAREST STORMSEWER INLET / JUNCTION BOX MAINTAINING A POSITIVE SLOPE TO THE DOWNSTREAM STRUCTURE. FOUNDATION DRAINS SHALL NOT TIE INTO THE UNDERGROUND VAULT AT ANY POINT.

BEDDING NOTES

- THE EXCAVATION SUB GRADE MUST BE TRANSIT LEVEL.
- THE EXCAVATION PIT SHALL BE LINED (ON THE BOTTOM AND ALL FOUR SIDES) WITH A NON-WOVEN GEO-TEXTILE (GEOFLEX 401 OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
- THE SUBGRADE FOR THE DETENTION SYSTEM CAN BE A CONCRETE SLAB, OR CLEAN GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 3/4". THE BEDDING SHALL BE FREE FROM ROCK FORMATIONS, PROTRUDING STONES, FROZEN LUMBS, ROOTS, AND OTHER FOREIGN MATERIAL.
- PREPARE THE SUBGRADE PER THE ONSITE GEOTECHNICAL ENGINEER'S DIRECTION (APPROXIMATELY 1/8" BELIEF GRADE ON WHICH SLAB WILL SET). THE BEDDING MATERIAL SHOULD BE GRADED SUCH THAT A SMOOTH UNIFORM GRADE IS ESTABLISHED TO ALLOW FOR OPTIMUM PLACEMENT OF THE SAND FILTER.
- THE SUBGRADE MUST SUPPORT THE DETENTION SYSTEM WITHOUT DIFFERENTIAL SETTLEMENT BETWEEN PIECES.
- IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. STIFF GEOTEXTILE, ETC) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.



STORMFILTER VAULT CONSTRUCTION NOTES

- STORMFILTER CONTROL MEASURE CONFIGURATION IS PROVIDED ON SHEET C9.02.
- ABSOLUTELY NO RUNOFF SHALL ENTER THE STORMFILTER CONTROL MEASURE UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- MANHOLE ACCESS SHALL BE PROVIDED FOR THE STORMFILTER CONTROL MEASURE. MANHOLES SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS OR MINIMUM OSHA REQUIREMENTS APPLICABLE AT TIME OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.

STORMWATER SYSTEM MATERIAL SPECIFICATIONS

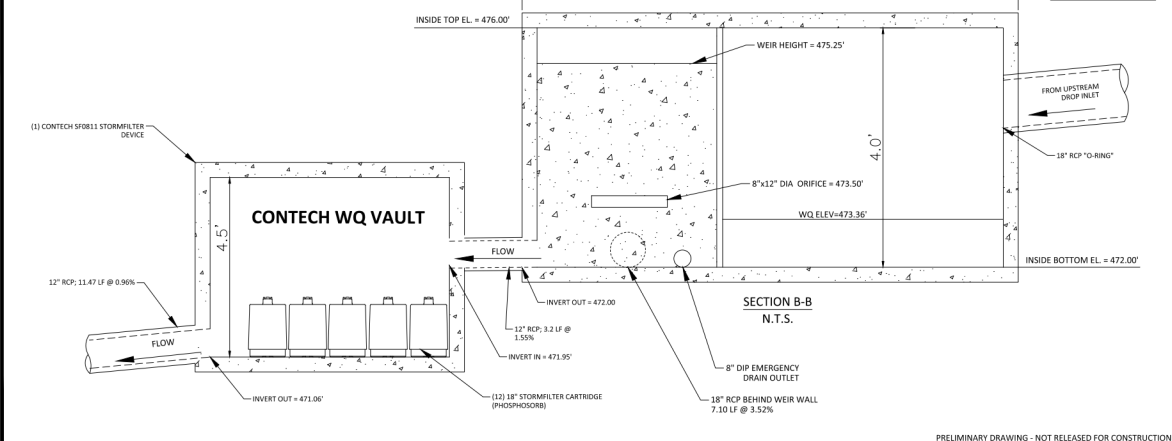
- THE UNDERGROUND SCM UNITS ARE TO BE DESIGNED BY OTHERS. ANY CHANGES TO THE APPROVED PLANS SHALL BE PROVIDED TO THE DESIGN ENGINEER PRIOR TO INSTALLATION FOR REVIEW.
- ACCESS RISERS SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS. ACCESS STEPS / LADDERS SHALL BE ATTACHED TO THE RISERS TO ALLOW FOR ACCESS INTO THE UNDERGROUND SCM SYSTEM.
- DRAWDOWN OF THE STORMFILTER CARTRIDGE AREA AND DETENTION SYSTEMS IS VIA AN 8" P/V PLUG VALVE. THE VALVES SHALL BE A 1/2\"/>

BACKFILL MATERIAL NOTES

- THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE UNDERGROUND SCM SYSTEM.
- THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMBS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOID.
- HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
- THE BACKFILL MATERIAL SHOULD BE PLACED IN 6\"/>

STATEMENT OF RESPONSIBILITY

- ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.



McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919.361.5000
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license number: C-0293, C-187
www.mcadamsco.com

CLIENT
MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT STONEHENGE
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS

NO.	DATE	REVISION
1	10.18.2024	REVISED PER 2nd ASR COMMENTS
2	12.04.2024	REVISED PER 2nd ASR COMMENTS
3	02.19.2025	REVISED PER 2nd ASR COMMENTS

PLAN INFORMATION
PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-SW1.DWG
CHECKED BY LV
DRAWN BY JTB
SCALE AS NOTED
DATE 08.05.2024

SHEET
SCM "A" PLAN VIEW AND DETAILS
C9.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-SW1.DWG
CHECKED BY LIV
DRAWN BY JTB
SCALE AS NOTED
DATE 08.05.2024

SHEET

SCM DETAILS

C9.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (16). 4" OF DROP FROM INLET TO OUTLET IS REQUIRED FOR ALL CARTRIDGE SIZE OPTIONS.

CARTRIDGE HEIGHT	2 1/2"	3"	4"	LOW DROP
MINIMUM ACTIVATION HEAD (H)	3.00'	2.75'	2.50'	1.8'
SPECIFIC FLOW RATE (PER 1000 SQ. FT.)	1.1 GPM/SQ. FT.	1.0 GPM/SQ. FT.	0.9 GPM/SQ. FT.	0.8 GPM/SQ. FT.
CARTRIDGE FLOW RATE	1.1 GPM	1.0 GPM	0.9 GPM	0.8 GPM

Abbottswood at Stonehenge
Raleigh, NC
CES 671,588

CARTRIDGE HEIGHT PER TABLE ABOVE: 3"
NUMBER OF CARTRIDGES REQUIRED: 16
MEDIA TYPE: Polypropylene
NOTES/SPECIAL REQUIREMENTS:

PLAN VIEW
STANDARD OUTLET RISER
FLOWKIT-400

FRAME AND COVER
(DRAWING VIEW)
N.T.S.

SECTION A-A

CONTRACTOR TO GROUT TO FINISHED GRADE
GRADE RINGS/ROBES
SEALING OUTLET RISER
STORMFILTER CARTRIDGE
INLET PIPE
FLOW KIT
OUTLET RISER
HOLE OUTLET RISER

WATER QUALITY VOLUME DETENTION MAY BE GREATER THAN THE EQUAL TO PROJECT SPECIFIC ACTIVATION HEAD (H)

The Stormwater Management
StormFilter
FOR THE PREVENTION OF POLLUTION AND THE PROTECTION OF WATER RESOURCES
10000 CREEDMOOR ROAD, SUITE 300, CARLSBAD, CA 92008
TEL: 760.439.2222 FAX: 760.439.2223

CONTECH
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SFMH96
POST DETENTION STORMFILTER
DETAIL

JB-104 DETAIL
N.T.S.

TRUMBULL CHECK VALVE OR ENGINEER APPROVED EQUIVALENT TO BE INSTALLED AT OUTLET OF DRAINAGE DIAPHRAGM PIPES (SEE DETAIL IF FOUNDATION DRAINS ARE REQUIRED BY ONSITE GEOTECHNICAL ENGINEER)

TYPICAL MANHOLE (CITY OF RALEIGH DETAIL SW-10-04)

JUNCTION BOX (JB-104)

8" Ø FOUNDATION DRAIN (TYP.)

12" Ø RCP FROM DET. VAULT

18" Ø RCP FROM DET. VAULT

18" Ø RCP FROM DET. VAULT

CONTRACTOR SHALL PROVIDE STEPS IN ACCORDANCE WITH MCDOT STD. 840.66. (SEE DETAIL THIS SHEET) STEPS SHALL BE PLACED AT 12" O.C.

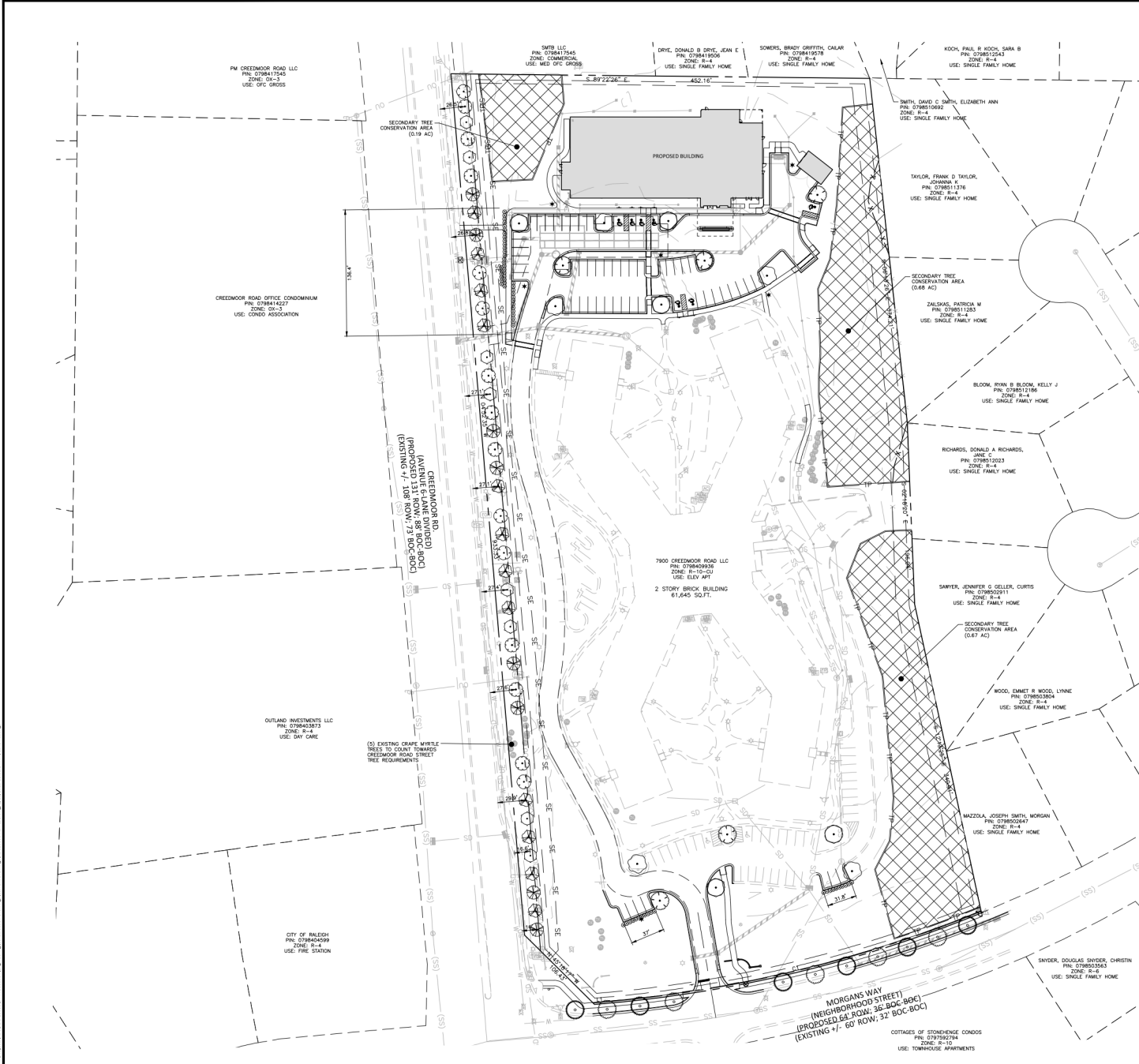
TRUMBULL CHECK VALVE OR ENGINEER APPROVED EQUIVALENT TO BE INSTALLED AT OUTLET OF DRAINAGE DIAPHRAGM PIPES (SEE DETAIL IF FOUNDATION DRAINS ARE REQUIRED BY ONSITE GEOTECHNICAL ENGINEER)

JUNCTION BOX (JB-104)

TYPICAL STORM MANHOLE (CITY OF RALEIGH DETAIL SW-10-04)

8" Ø FOUNDATION DRAINS

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SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	TREE PROTECTION FENCING
	SECONDARY TREE CONSERVATION AREA

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL
TREES				
	AMCA	12	AMLANCHIER CANADENSIS CANADIAN SERVICEBERRY	1.5' MIN
	CECT	8	CERCIS CANADENSIS 'FOREST PANOR' FOREST PANY EASTERN REDBUD	1.5' MIN
	COBV	9	COTINUS OBOVATUS AMERICAN SMOKE TREE	1.5' MIN
	CORG	8	CORNUS X 'RUTGAN' STELLAR PINK* DOGWOOD	1.5' MIN
	HARIY	6	HAMAMELIS VIRGINIANA COMMON WITCH HAZEL	1.5' MIN
	NYSP	6	NYSSA SYLVATICA BLACKGUM	3' MIN
	QNUT	5	QUERCUS NUTTALLI NUTTALL OAK	3' MIN
	QLSH	5	QUERCUS SHUMARDII SHUMARD OAK	3' MIN
	TORC	5	TAXODIUM DISTICHUM BALD-CYPRESS	3' MIN
	UAP2	5	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	3' MIN
SHRUBS				
	LI	38	LILLY CLEMATIS JAPANESE HOLLY	3 GAL
	LE	24	LOROPETALUM CHINENSE 'RUBY FIRE' CHINESE FRINGE FLOWER	3 GAL

LANDSCAPE CALCULATIONS

STREET TREES

CREEDMOOR ROAD AND MORGANS WAY

PER THE CONTRACT BETWEEN KISCO SENIOR LIVING AND THE CITY OF RALEIGH, A FEE-IN-LIEU PAYMENT WILL BE MADE INSTEAD OF CONSTRUCTION OF THE WISDENING OF CREEDMOOR ROAD AND MORGANS WAY. THIS IS COMPUTED USING RATES FROM THE CITY'S PUBLIC IMPROVEMENT SCHEDULE FOR UP TO A MAXIMUM OF 10' OF 6' FEET 8" STREET SECTION AND LDDO REQUIRED SHOULDER.

BASED ON SECTION 5.5 & 6 OF THE LUDO, AN AVENUE 6-LANE DIVIDED STREET SHOULD HAVE THE SPACING OF 80' O.C. AVG.

CREEDMOOR ROAD
TOTAL ROW: 566' L

TREES	REQUIRED:	24 (80' O.C. AVG, 3" CAL) or 48 (20' O.C. AVG, 1.5" CAL)
PROVIDED:		43 UNDERSTORY TREES + (5 EXISTING TREES) = 48

MORGANS WAY
TOTAL ROW: 322' L

TREES	REQUIRED:	11 (80' O.C. AVG, 3" CAL)
PROVIDED:		11

VEHICLE USE AREA

PARKING LOT LANDSCAPING

SHRUBS (PERIMETER ISLAND ONLY)

REQUIRED:	62 (30/200 SF)
PROVIDED:	82

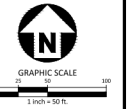
ISLAND FACING CREEDMOOR ROAD [138.40 FT]

SHRUBS (PERIMETER ISLAND ONLY)	REQUIRED:	41 (30/200 LF)
PROVIDED:	41	

ISLAND FACING MORGANS WAY (2 SECTIONS) [TOTAL OF 68.83 FT]

SHRUBS (PERIMETER ISLAND ONLY)	REQUIRED:	21 (30/200 LF)
PROVIDED:	21	

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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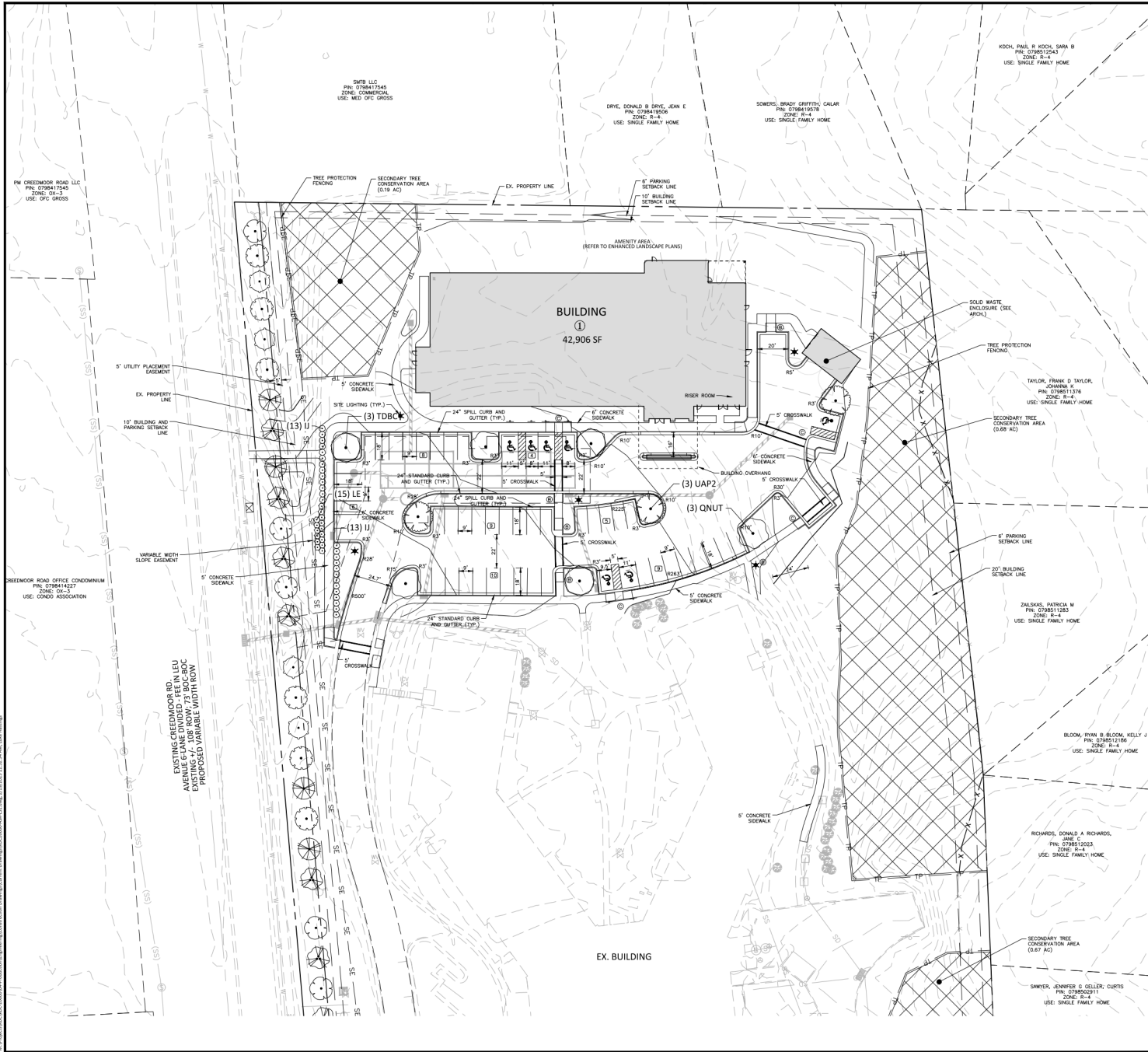
PLAN INFORMATION

PROJECT NO. KDC-20000
 FILENAME: KDC20000-ASR-LS1.DWG
 CHECKED BY: JAR
 DRAWN BY: AZK
 SCALE: 1"=50'
 DATE: 08.05.2024

SHEET

OVERALL LANDSCAPE PLAN

L5.00

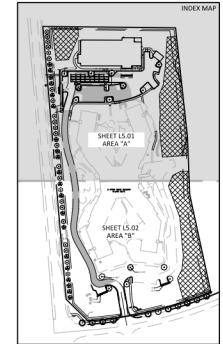


SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- TREE PROTECTION FENCING
- SECONDARY TREE CONSERVATION AREA

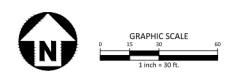
PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL
TREES				
(Symbol)	AMCA	12	AMELANCHIER CANADENSIS CANADIAN SERVICEBERRY	1.5' MIN
(Symbol)	CECF	8	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD	1.5' MIN
(Symbol)	COBY	9	COTINUS OBOVATUS AMERICAN SMOKY TREE	1.5' MIN
(Symbol)	COBG	8	CORNUS X 'BUTGAN' STELLAR PINK® DOGWOOD	1.5' MIN
(Symbol)	HAMV	6	HAMMELUS VIRGINIANA COMMON WITCH HAZEL	1.5' MIN
(Symbol)	NY5Y	6	NYSSA SYLVATICA BLACKGUM	3' MIN
(Symbol)	QNU7	5	QUERCUS NUTTALLII NUTTALL OAK	3' MIN
(Symbol)	QL5H	5	QUERCUS SHUMARDII SHUMARD OAK	3' MIN
(Symbol)	TDBC	5	TAXODIUM DISTICHUM BALD CYPRESS	3' MIN
(Symbol)	UAP2	5	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	3' MIN
SHRUBS				
(Symbol)	II	38	ILEX CRENATA JAPANESE HOLLY	3 GAL
(Symbol)	LE	24	LEPOTILIUM CHINENSE 'RUBY FIRE' CHINESE FRINGEE FLOWER	3 GAL



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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Durham, NC 27713
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license number: C-0293, C-187
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CLIENT
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KISCO SENIOR LIVING
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CARLSBAD, CALIFORNIA 92008

ABBOTTSWOOD AT STONEHENG
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
7900 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27613

REVISIONS

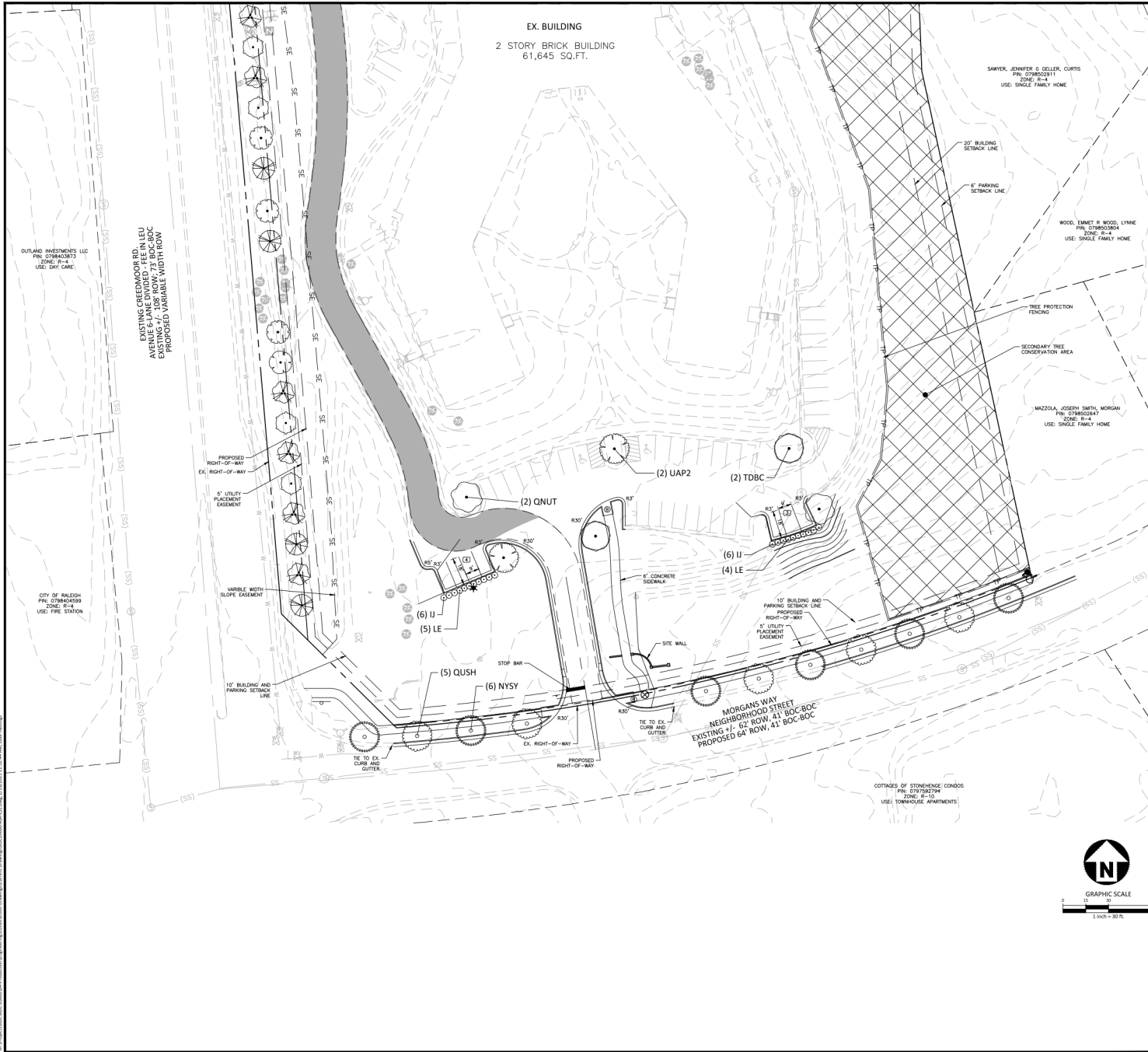
NO.	DATE	REVISION
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PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-LS1.DWG
CHECKED BY JAR
DRAWN BY AZK
SCALE 1"=30'
DATE 08.05.2024

SHEET

DETAILED LANDSCAPE PLAN
AREA "A"
L5.01



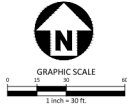
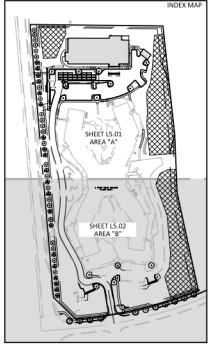
SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	TREE PROTECTION FENCING
	SECONDARY TREE CONSERVATION AREA

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL
	AMCA	12	AMELANCHIER CANADENSIS CANADIAN SERVICEBERRY	1.5' MIN
	CECF	8	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY KESTER WILDRED	1.5' MIN
	COBV	9	COTINUS COBOLTA AMERICAN SMOKY TREE	1.5' MIN
	COBG	8	CORNUS 'BUTLUM' STELLAR PINK DOGWOOD	1.5' MIN
	HAMV	6	HAMAMULUS VIRGINIANA COMMON WITCH HAZEL	1.5' MIN
	NYSY	6	NYSA SYLVATICA BLACKGLIM	3' MIN
	QNUT	5	QUERCUS NUTTALLI NUTTALL OAK	3' MIN
	QUSH	5	QUERCUS SHUMARDII SHUMARD OAK	3' MIN
	TDBC	5	TAXODIUM DISTICHUM BALD CYPRESS	3' MIN
	UAP2	5	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	3' MIN

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	UJ	38	ILEX CRENATA WAXENY HOLLY	3 GAL
	LE	24	LODOPETALUM CHINENSE 'RUBY FIRE' CHINESE FRINGE FLOWER	3 GAL



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.

CLIENT
MR. JOE WHITEHOUSE
KISCO SENIOR LIVING
5790 FLEET STREET, SUITE 300
CARLSBAD, CALIFORNIA 92008

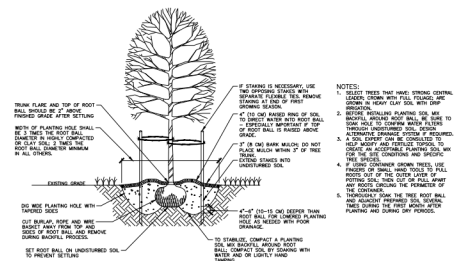
**ABBOTTSWOOD AT
STONEHENGE**
ADMINISTRATIVE SITE REVIEW
ASR-0056-2024
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REVISIONS

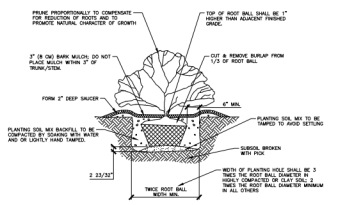
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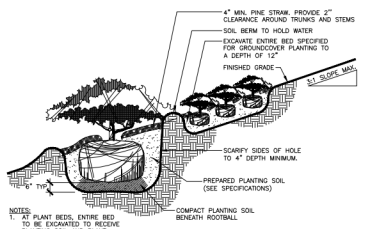
SHEET
DETAILED LANDSCAPE PLAN
AREA "B"
L5.02



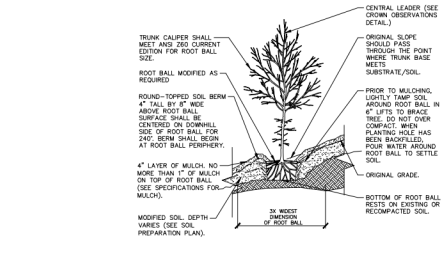
01 TREE INSTALLATION
SCALE: 3/8"=1'-0"



02 SHRUB INSTALLATION
SCALE: 3/8"=1'-0"



03 SHRUB PLANTING ON SLOPE
SCALE: 3/4"=1'-0"



04 TREE ON SLOPE 5% (20:1) TO 50% (2:1) - MODIFIED SOIL
SCALE: 1:1

WARRANTY & MAINTENANCE:

1. "WARRANTY" INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, ABUSE BY OWNERS, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
2. MAINTENANCE - INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
 - TREE AND SHRUB MAINTENANCE - MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, REESTABLISHING PLANTING SAUCERS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - GROUND COVER AND PLANT MAINTENANCE - MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

GENERAL DETAIL NOTES:

- APPLIES TO ALL PLANTINGS:**
1. TREES SHALL APPLY TO ALL DETAILS INCLUDED IN THIS SET OF CONTRACT DOCUMENTS.
 2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 3. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.
 4. ALL CONCRETE SHALL BE 3,000 PSI.
 5. CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FROD SLABS.
 6. ALL WOODS, IN CONTACT WITH GROUND, UNLESS OTHERWISE SPECIFIED, SHALL BE SOUTHERN YELLOW PINE, SPSB GRADE NO. 2 COMMON OR BETTER, S4S, SIZED AS SHOWN ON DRAWINGS, TREATED AWPP UPLZ, 10% MAXIMUM MOISTURE CONTENT.
 7. BOLTS, THROUGH BOLTS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE HOT-DIPPED GALVANIZED.
 8. ALL THROUGH BOLTS TO BE SMOOTH SHANK WITH GALVANIZED NUTS, BOLTS AND WASHERS.
 9. ALL NAILS SHALL BE HOT-DIPPED GALVANIZED. FINISH NAILS SHALL BE ANNUAL ALLOY ALUMINUM.
 10. ALL WELDS CONTINUOUS.
 11. INSTALL ALL SITE FURNISHINGS PLUMB, LEVEL, TRUE TO LINE AND AT ELEVATIONS INDICATED.
 12. RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
 13. SUBMIT SHOP DRAWINGS, PRODUCT DATA AND MAINTENANCE DATA FOR APPROVAL PRIOR TO PURCHASING, FABRICATION AND INSTALLATION.
 14. CONTRACTOR TO PROVIDE MOCK-UPS FOR ALL SITE PAVING TO BE USED THROUGHOUT PROJECT TO DEMONSTRATE ALL LIGHT PATTERNS, EDGE TREATMENTS AND PAVING PATTERNS.
 15. WALL DETAILS SHOWN FOR DESIGN INTENT. REFER TO STRUCTURAL DRAWINGS FOR ALL WALL REINFORCEMENT AND CONSTRUCTION.

GENERAL LANDSCAPE NOTES:

1. "ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS."
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT OR ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL BE EQUAL OR SUPERIOR QUALITY AS DEFINED BY THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT DRY BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEEDSOD IF NOT SPECIFICALLY SHOWN ON PLANS.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER (LENGTH AND SHALL NOT CONTAIN SLAG, CHIMERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL).
19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND ARE THOROUGHLY MIXED TO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
20. IF IMPROVED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL, FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE ARCHITECT PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE PLANTED TO A DEPTH OF 2 INCHES AND WITH A MINIMUM 3 FOOT RADIAL FROM BASE OF TREE OR TO DRAINAGE THROUGH THE POINT WHERE TRUNK MEETS SUBSTRATE/SOIL.
23. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE TREE, DO NOT COVER TRUNK OR BRANCHES. WHEN PLANTING HOLE HAS BEEN ESTABLISHED, POUR WATER AROUND ROOT BALL TO SETTLE SOIL.
24. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SCALD, DRIVING, SMASHING, WHIPPING, AND OTHER HANDLING AND TYPING DAMAGE. DO NOT BEND OR BIND TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
25. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, LIMITED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
29. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN 1/8" OR MINUS 1/2" OF FINISH GRADES. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



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ASR-0056-2024
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RALEIGH, NORTH CAROLINA, 27613

REVISIONS

NO.	DATE	REVISION PER 2nd ASR COMMENTS
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3	02.19.2025	REVISED PER 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO. KDC-20000
FILENAME KDC20000-ASR-L51.DWG
CHECKED BY JAR
DRAWN BY AZK
SCALE AS SHOWN
DATE 08.05.2024

LANDSCAPE DETAILS AND NOTES
L5.03



SITE LEGEND

- ☐ SIGNAGE
- ☐ YARD LIGHTS
- ☐ LIGHT POLE
- ☐ POWER POLE
- ☐ TRAFFIC DIRECTIONAL ARROW
- ☐ ACCESSIBLE RAMPS
- ☐ PHASE LINE
- ☐ RIGHT-OF-WAY LINE
- ☐ LOT LINE
- ☐ EASEMENT LINE
- ☐ CENTERLINE
- ☐ TREE PROTECTION FENCING
- ☐ ACCESSIBLE ROUTE
- ☐ PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- ☐ SECONDARY TREE CONSERVATION AREA

TREE LEGEND

- ☐ BEECH
- ☐ BLACK GUM
- ☐ CEDAR
- ☐ CHERRY
- ☐ CRAPPE MYRTLE
- ☐ DOGWOOD
- ☐ SWEETGUM
- ☐ HICKORY
- ☐ MAPLE
- ☐ MAGNOLIA
- ☐ OAK
- ☐ ORNAMENTAL
- ☐ PINE
- ☐ PEAR
- ☐ POPLAR
- ☐ SOUTHWOOD
- ☐ DIAMETER INCH AT BREAST HEIGHT
- ☐ TYPE OF TREE

NOTE: THE TREE STANDS ARE GENERALLY IN GOOD HEALTH, WITH MINIMAL AMOUNT OF INVASIVE SPECIES

TREE SURVEY AND TREE PROTECTION PLAN PROVIDED BY ANDERS LINQQUIST, ISA CERTIFIED ARBORIST SO-10544A

Tree Conservation Plan Data Sheet
 800 Andrus & Tree Conservation
 (Include applicable information on the plan sheet)

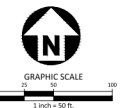
Project Name: **Abbotswood at Stonehenge**

Gross Site Area: 10.28 =

Right of way to be dedicated with this project: =

Net Site Area: 9.92 =

	Number of trees	Percent of total
UDO 8.1.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SR50-1		
2. Primary Tree Conservation Area - Parkway Frontage		
3. Primary Tree Conservation Area - CM		
4. Primary Tree Conservation Area - MPOD		
5. Primary Tree Conservation Area - Champion Tree 'X' 4th species		
6. Primary Tree Conservation Area - Heavy Buffer Zone 2		
7. Primary Tree Conservation Area - 4th Slopes		
8. Primary Tree Conservation Area - Thoroughfare		
Subtotal of Primary Tree Conservation Areas:		
UDO 8.1.A.2. Secondary Tree Conservation Areas		
UDO 8.1.A.2.1. A. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)	1,521	15.33
UDO 8.1.A.2.1. A.4. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)		
Subtotal of Secondary Tree Conservation Areas:	1,521	15.33
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	1,521	15.33



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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PLAN INFORMATION

PROJECT NO. KDC-20000
 FILENAME KDC20000-ASR-TCL-DWG
 CHECKED BY JAR
 DRAWN BY AAL
 SCALE 1"=30'
 DATE 08.05.2024

SHEET

OVERALL TREE CONSERVATION PLAN
L8.00

MECHANICAL SCREENING PLAN
1/4" = 1'-0"

E

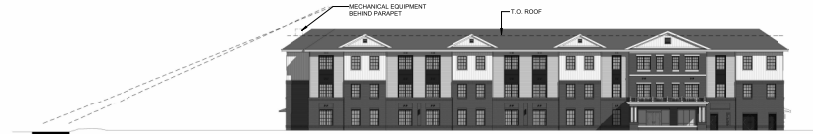
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C

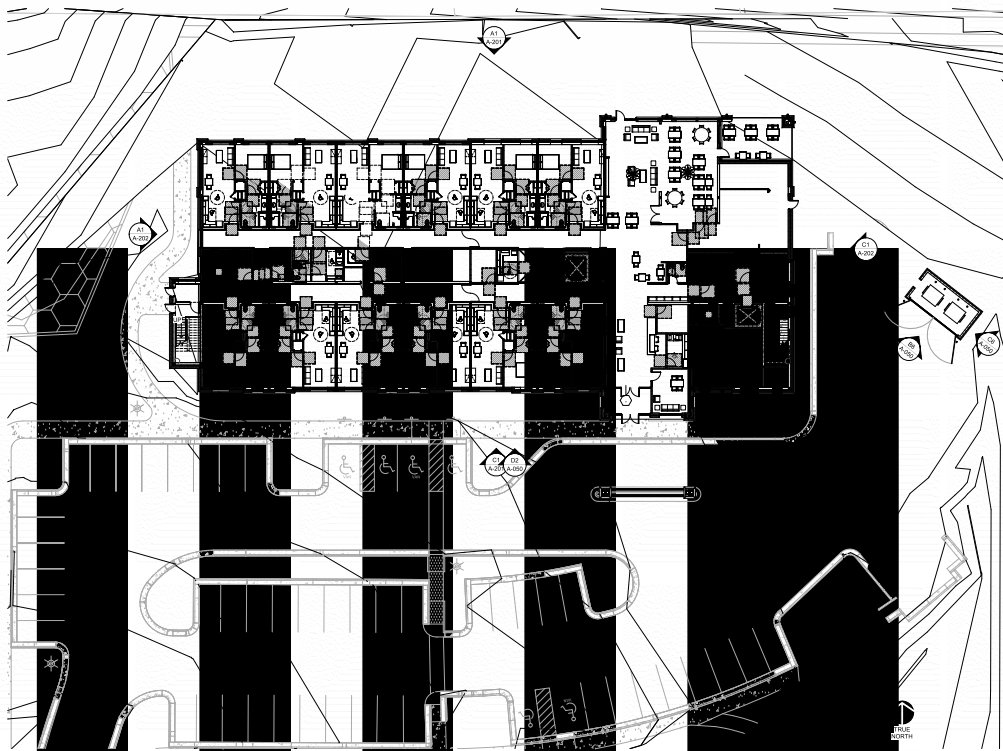
B

A

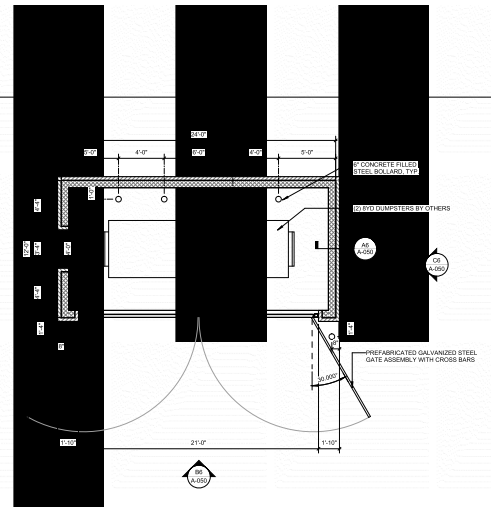
(A1) ARCHITECTURAL SITE BUILDING PLAN- LEVEL 1
1/8" = 1'-0"



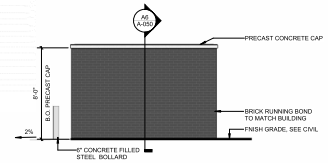
(D2) MECHANICAL SCREENING DIAGRAM
1/4" = 1'-0"



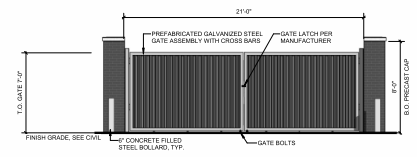
(A1) ARCHITECTURAL SITE BUILDING PLAN- LEVEL 1
1/8" = 1'-0"



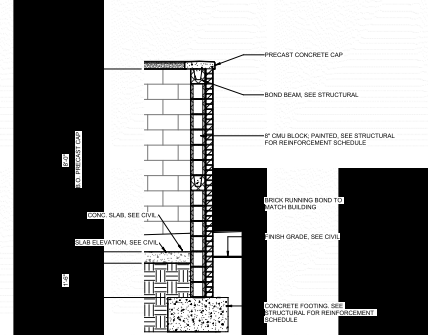
(E6) TRASH ENCLOSURE PLAN
1/4" = 1'-0"



(C6) TRASH ENCLOSURE ELEVATION 1
1/4" = 1'-0"



(B6) TRASH ENCLOSURE ELEVATION 2
1/4" = 1'-0"

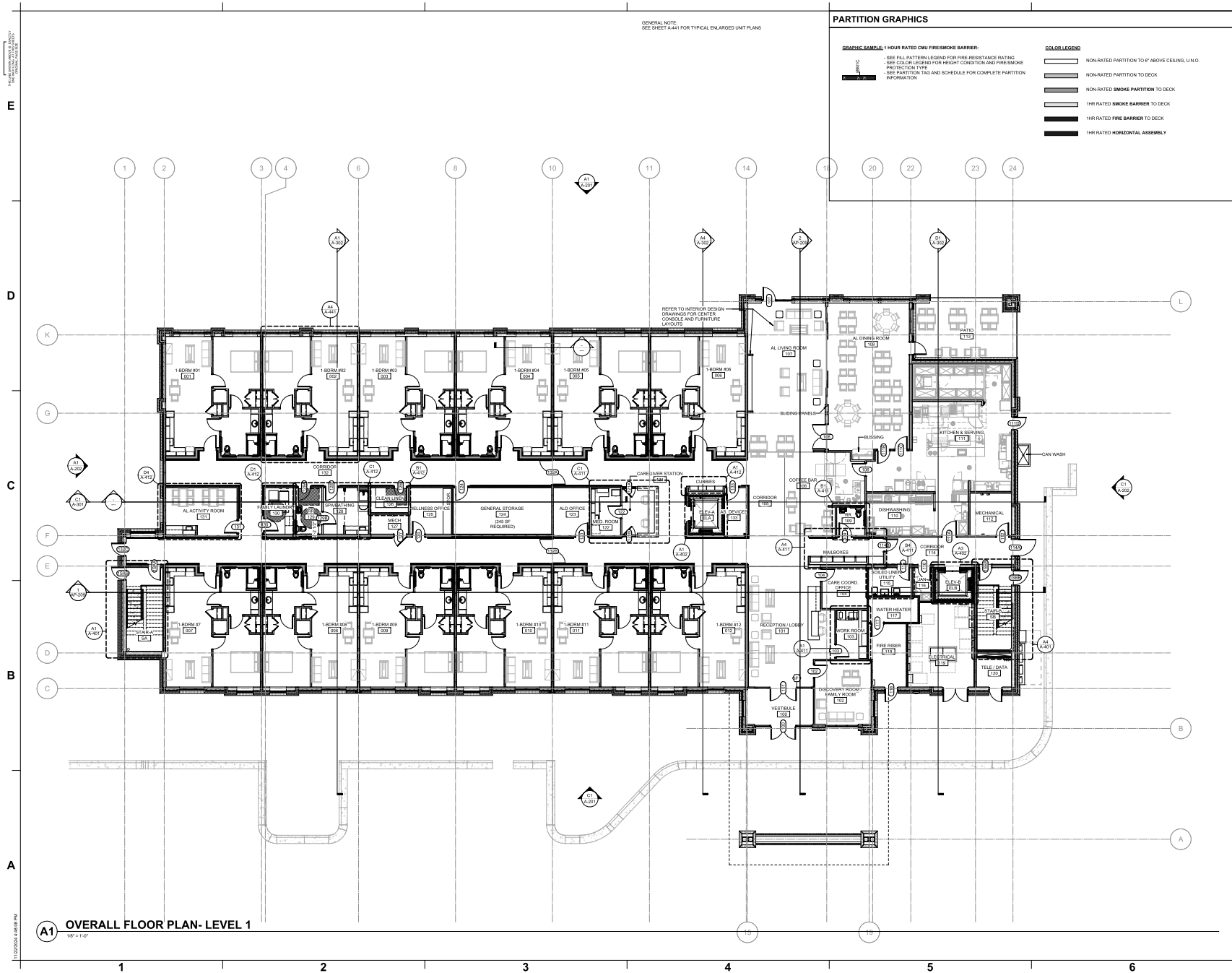


(A6) TRASH ENCLOSURE SECTION
1/4" = 1'-0"



OR LIVING
at Stonehenge
Living Building

NO.	DATE	DESCRIPTION



GENERAL NOTE:
SEE SHEET A1-41 FOR TYPICAL ENLARGED UNIT PLANS

PARTITION GRAPHICS

GRAPHIC SAMPLE, 1 HOUR RATED CMU FIRE/SMOKE BARRIER:

SEE FILL PATTERN LEGEND FOR FIRE-RESISTANCE RATING.
 SEE COLOR LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE.
 SEE PARTITION TAG AND SCHEDULE FOR COMPLETE PARTITION INFORMATION.

COLOR LEGEND

- NON-RATED PARTITION TO 6' ABOVE CEILING, UNO.
- NON-RATED PARTITION TO DECK.
- NON-RATED SMOKE PARTITION TO DECK.
- 1HR RATED SMOKE BARRIER TO DECK.
- 1HR RATED FIRE BARRIER TO DECK.
- 1HR RATED HORIZONTAL ASSEMBLY.



KISCO SENIOR LIVING
 Abbotswood at Stonehenge
 New Assisted Living Building
 7950 Creemore Rd
 Raleigh, North Carolina 27613

LS3P PROJECT: 048-220295

DATE	DESCRIPTION

SHEET NAME:
**FLOOR PLAN-
LEVEL 1**

ORIG SUBMISSION: 2024.11.21

SHEET:
A-101

(A1) OVERALL FLOOR PLAN- LEVEL 1
 1/8" = 1'-0"



421 N HARRINGTON STREET SUITE 705
RALEIGH, NORTH CAROLINA 27605
TEL: 919.829.2700 FAX: 919.829.2730

KISCO SENIOR LIVING
Abbotswood at Stonehenge
New Assisted Living Building
7950 Creedmoor Rd
Raleigh, North Carolina 27613

LS3P PROJECT: 048-220295

DATE	DESCRIPTION

SHEET NAME:
**FLOOR PLAN-
LEVEL 2**

ORIG SUBMISSION: 2024.11.21

SHEET:
A-102

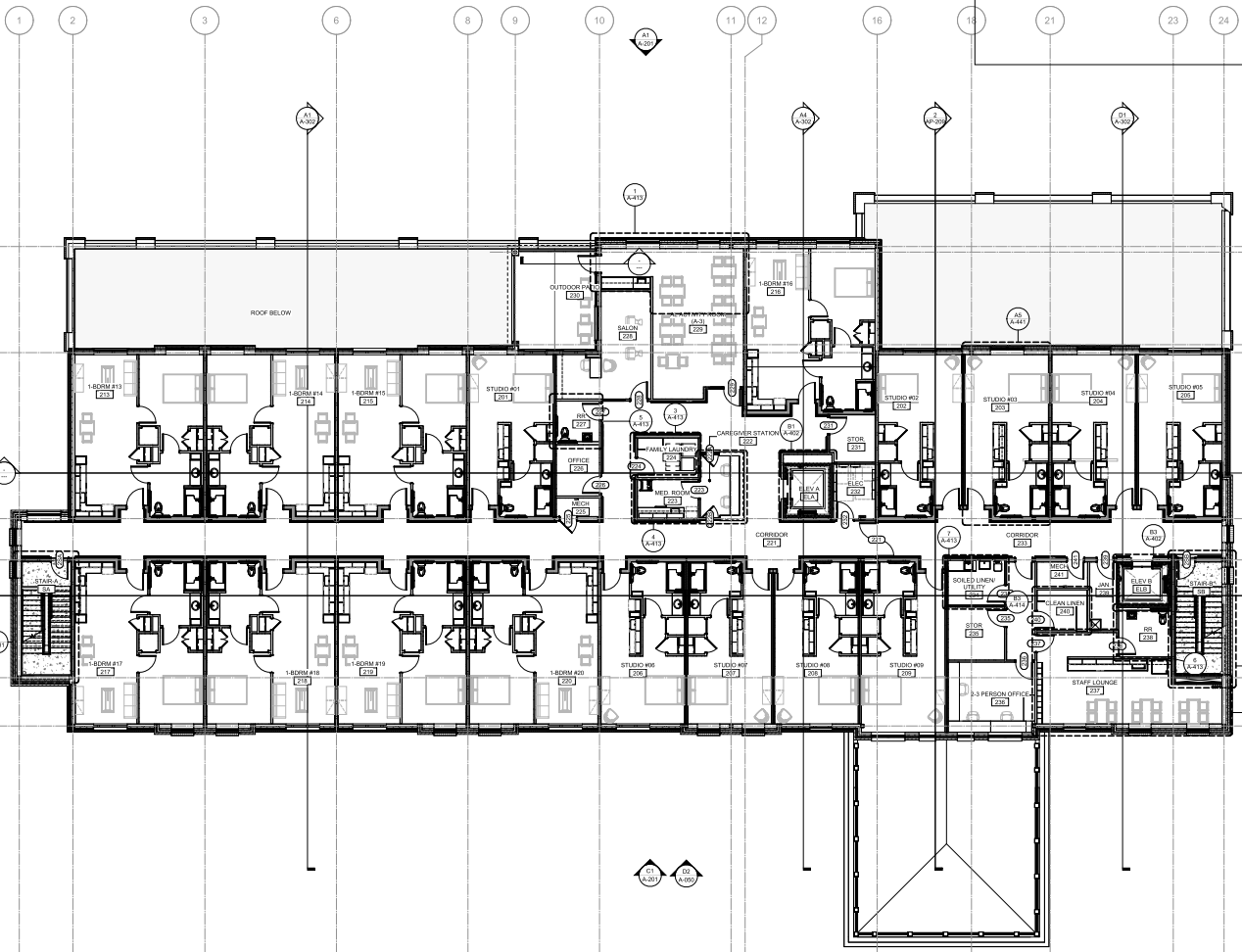
PAGE TURN

PARTITION GRAPHICS

GRAPHIC SAMPLE, 1 HOUR RATED CMU FIRE/SMOKE BARRIER:
- SEE FILL PATTERN LEGEND FOR FIRE RESISTANCE RATING
- SEE COLUMN LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE
- SEE PARTITION TAG AND SCHEDULE FOR COMPLETE PARTITION INFORMATION

- COLOR LEGEND**
- NON-RATED PARTITION TO 0' ABOVE CEILING, U.N.O.
 - NON-RATED PARTITION TO DECK
 - NON-RATED SMOKE PARTITION TO DECK
 - 1HR RATED SMOKE BARRIER TO DECK
 - 1HR RATED FIRE BARRIER TO DECK
 - 1HR RATED HORIZONTAL ASSEMBLY

GENERAL NOTE:
SEE SHEET A-411 FOR ENLARGED UNIT PLANS



A1 OVERALL FLOOR PLAN- LEVEL 2
1/8" = 1'-0"

1
2
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6

1
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6

E

D

C

F

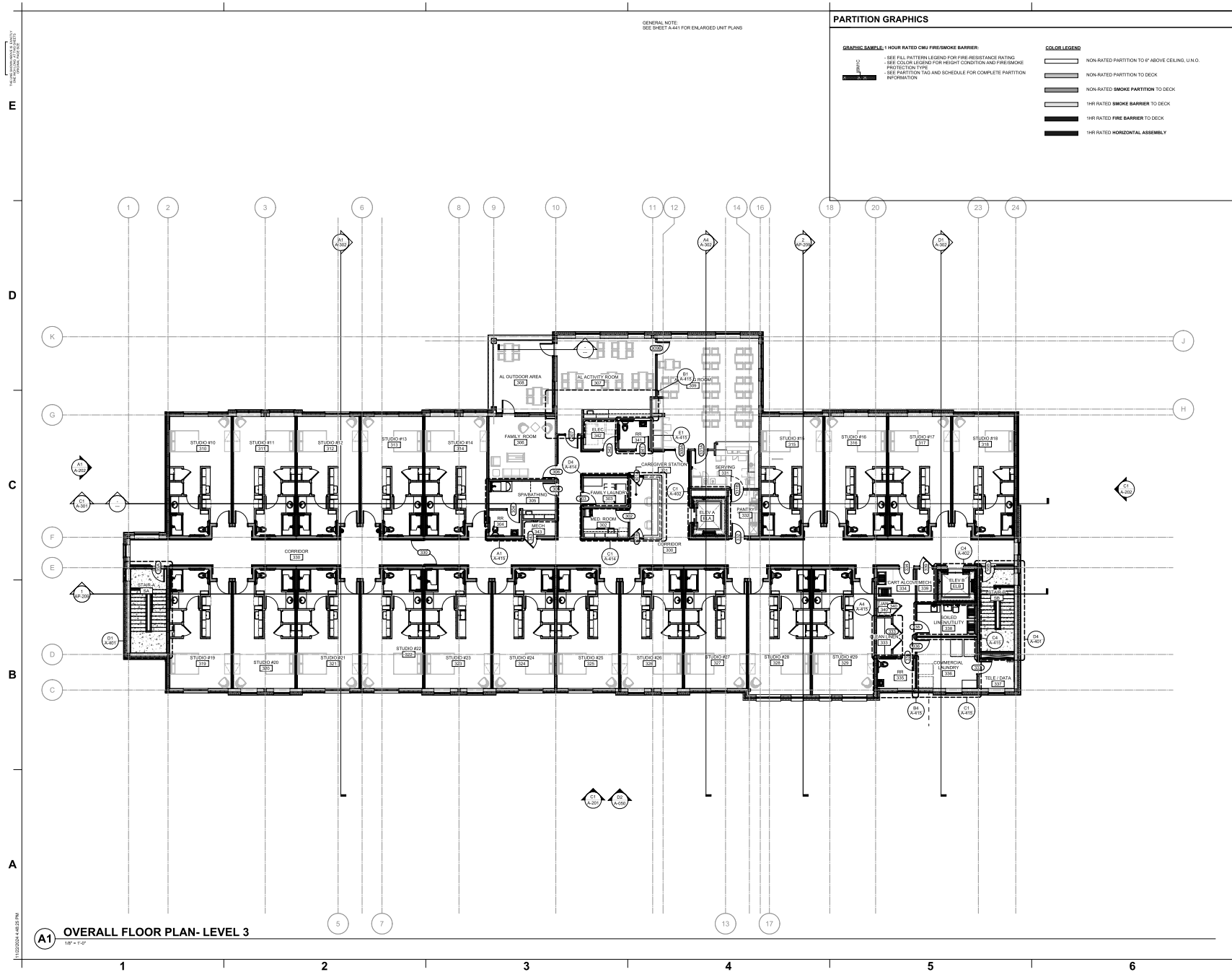
E

D

C

B







A



GENERAL NOTE:
SEE SHEET A-141 FOR ENLARGED UNIT PLANS

PARTITION GRAPHICS

GRAPHIC SAMPLE, 1 HOUR RATED CMU FIRE/SMOKE BARRIER:
SEE FILL PATTERN LEGEND FOR FIRE RESISTANCE RATING
SEE COLOR LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE
SEE PARTITION TAG AND SCHEDULE FOR COMPLETE PARTITION INFORMATION

- COLOR LEGEND**
-  NON-RATED PARTITION TO 6' ABOVE CEILING, UNO.
 -  NON-RATED PARTITION TO DECK
 -  NON-RATED SMOKE PARTITION TO DECK
 -  1HR RATED SMOKE BARRIER TO DECK
 -  1HR RATED FIRE BARRIER TO DECK
 -  1HR RATED HORIZONTAL ASSEMBLY



LS3P
421 N HARRINGTON STREET SUITE 700

KISCO SENIOR LIVING
Abbotswood at Stonehenge
New Assisted Living Building
7950 Creelmoor Rd
Raleigh, North Carolina 27613
LS3P PROJECT: 0484-220295

DATE	DESCRIPTION

SHEET NAME:
**FLOOR PLAN-
LEVEL 3**

ORIG SUBMISSION: 2024.11.21

SHEET: **A-103**

PAGE TURN

A1 OVERALL FLOOR PLAN- LEVEL 3
1/8" = 1'-0"

E

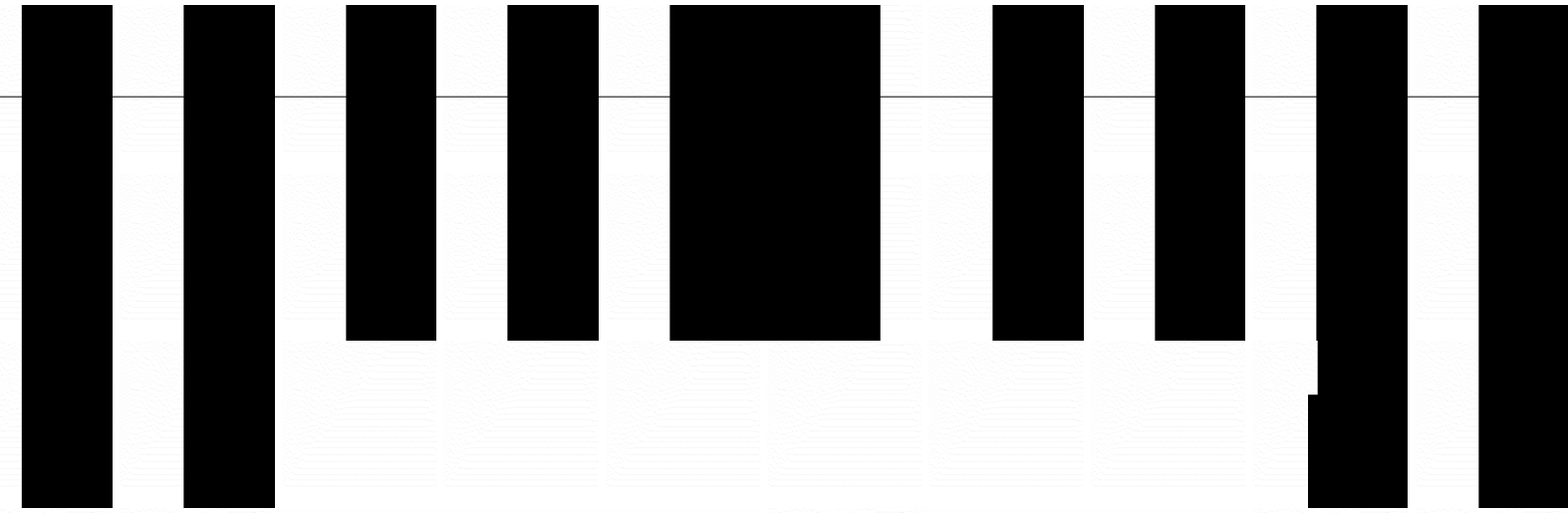
D

C

B

A

A1



OR LIVING
at Stonehenge
Living Building

NO.	DATE	DESCRIPTION

ORIG
SUBMISSION:

SHEET: **A-200**

PAGE TURN



(C1) NORTHWEST PERSPECTIVE



(C4) NORTHEAST PERSPECTIVE



(A1) SOUTHWEST PERSPECTIVE



(A4) SOUTHEAST PERSPECTIVE

1 2 3 4 5 6

L



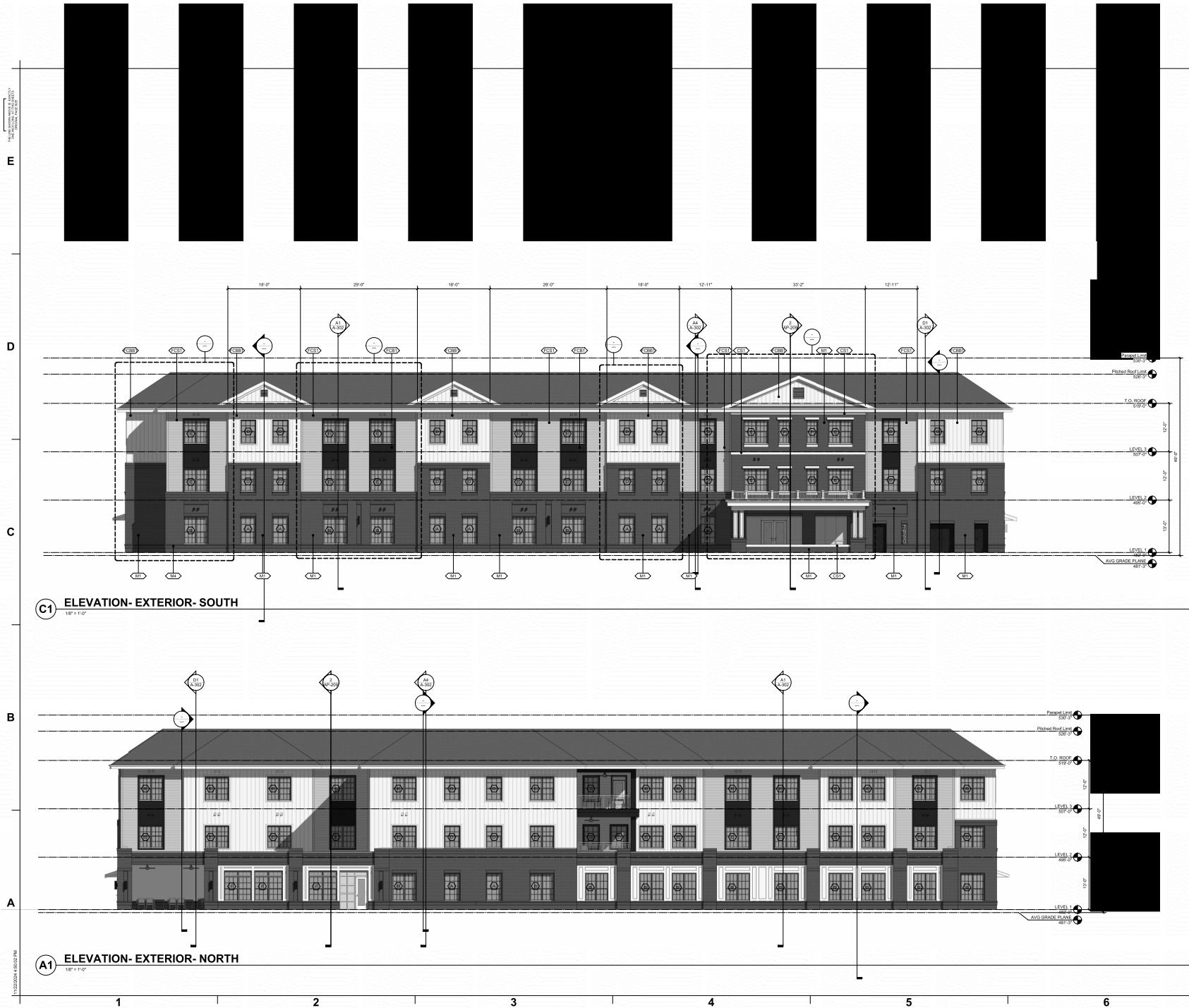
KISCO SENIOR LIVING
 Abbotswood at Stonehenge
 New Assisted Living Building

7/20/2024, 10:50:00 AM

DATE	DESCRIPTION

SHEET: **A-201**

PAGE TURN



E

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1 2 3 4 5 6

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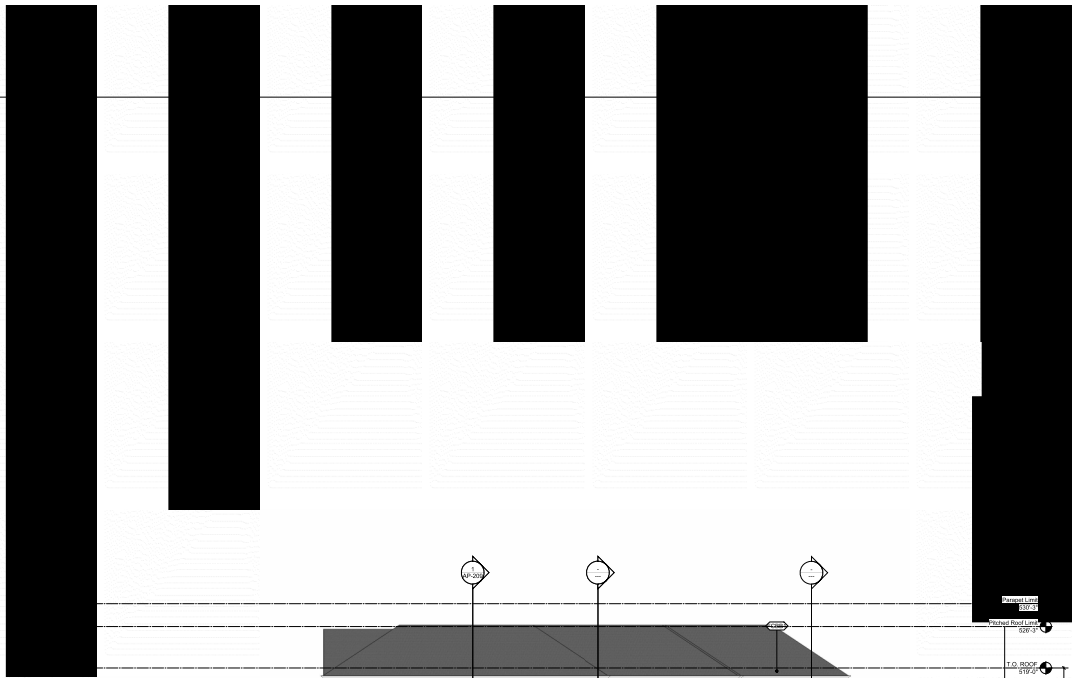
E

D

C

B

A



C1 ELEVATION- EXTERIOR- EAST
1/8" = 1'-0"



A1 ELEVATION- EXTERIOR- WEST
1/8" = 1'-0"

1

2

3

4

5

6



OR LIVING
at Stonehenge
Living Building

DATE	DESCRIPTION

SHEET: **A-202**

PAGE TURN