



Administrative Approval Action

Case File / Name: ASR-0057-2022
DSLCL - 7691 ACC BLVD

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Brier Creek Parkway, south of ACC Boulevard at 7691 ACC Blvd.

REQUEST: Development of a vacant 1.688 acre/73,533 sf tract zoned PD (Ruby Jones Master Plan -OX UDO base district). A proposed 8,080 gross square foot office building consisting of 3 units for future proposed uses with associated parking and landscaping, screening designs per MP-1-00 and the Raleigh Unified Development Ordinance (UDO).

Z-58-00/MP-1-00 - Ruby Jones Tract-Brier Creek. Effective 11/21/00

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 28, 2023 by TIMMONS GROUP.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Sheet A400, the post-development spot grades are labeled along the east elevation plane, closest to ACC Blvd, and the building height dimension to 'top of roof' is provided, demonstrating compliance with UDO Sec.1.5.7.A.
2. All building material reference design codes and abbreviations are removed from the elevation drawings sheet A400.
3. Sheet A400, the transparency design calculations/table and labeling is removed for the south elevation.
4. Sheet A400, the rooftop HVAC units are delineated on the elevations, as shown per sheet A300, and demonstrate compliance with UDO Sec.7.2.5.D.
5. The site data table information is amended to include the gross sf for the proposed units inside the building.



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Stormwater

6. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

9. A tree impact permit must be obtained for installation of tree protection fence around certain existing street trees to remain, and removal of certain existing street trees. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The greenway easement, as shown on Sheet C3.00 within the preliminary plan, shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Stormwater

2. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
3. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along ACC Boulevard.



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2. A public infrastructure surety for 4 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of the improvement cost for infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 3, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 05/03/2023
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

Seventy (70%) percent of the mortgage along the southern portion of ACB
Board, was in the intersection with the through-line system.

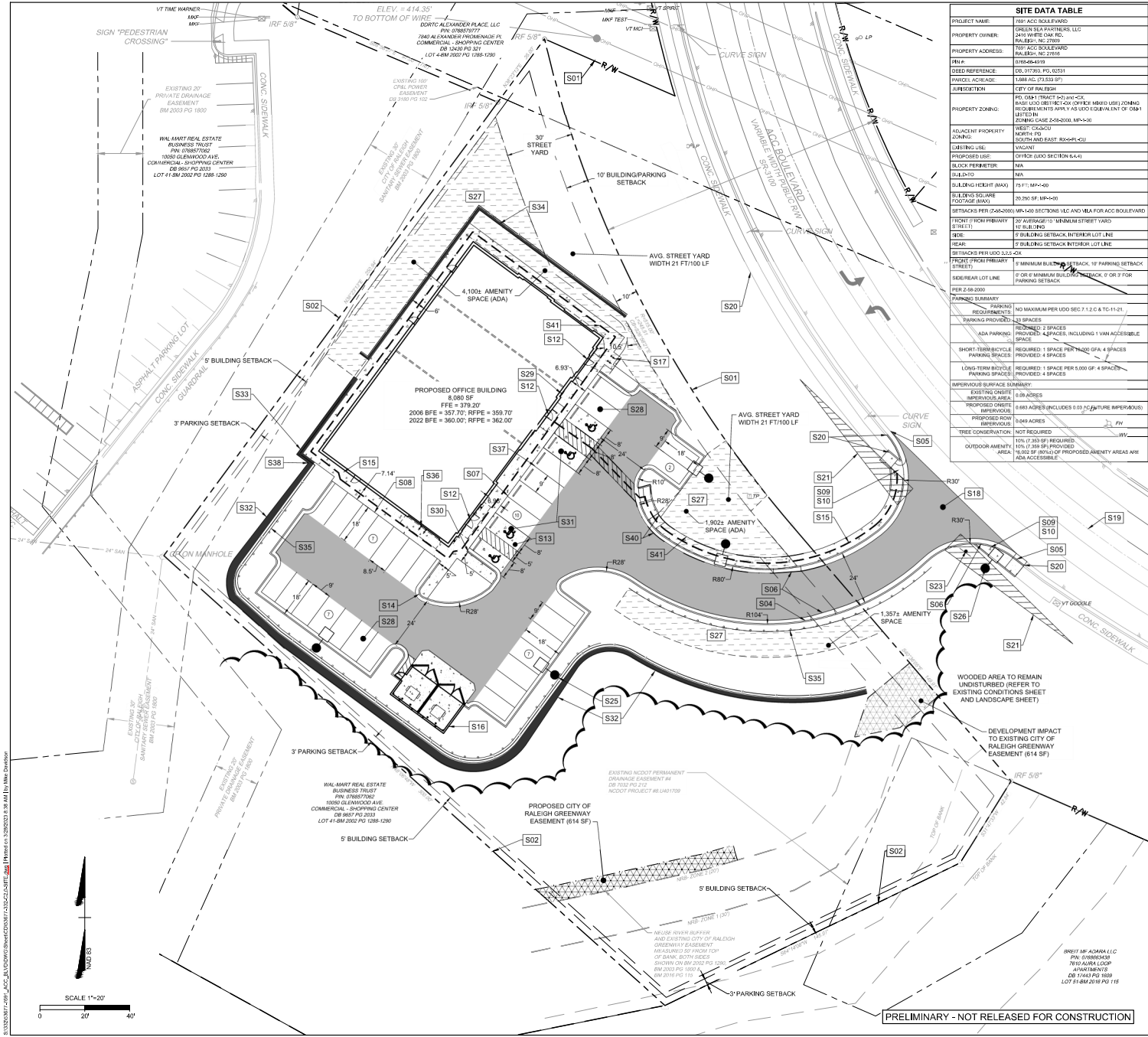
SEE NOTES
BELOW

ZONING CONDITIONS NOTES AND ME

Table 1 shows, in order to estimate the Cigno Comprehensive Plan objective of urban scale development in the Regional Center area.

TIME	
	JOB NO. 53677
	SHEET NO. C0.1

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SITE DATA TABLE	
PROJECT NAME:	7860 ACC BOULEVARD
PROPERTY OWNER:	GREEN STAR PARTNERS, LLC
PROPERTY ADDRESS:	2416 WHITE OAK RD.
DEED REFERENCE:	7807 ACC BOULEVARD
PARCELS ACRES:	1.000 AC (21.000 SF)
ADJACENT PRIORITY ZONING:	PD, OSA (TRACT 02) AND C-4
PROPOSED USE:	OFFICE (UDD SECTION 8.4.4)
BLDG PERMETER:	N/A
BUILDING HEIGHT (MAX):	25 FT. MH-40
BUILDING SQUARE FOOTAGE (MAX):	20,200 SF MH-40
FRONT (FROM PRIMARY STREET):	20' AVERAGE TO MINIMUM STREET YARD
REAR:	5' MINIMUM BUILDING SETBACK, 10' PARKING SETBACK
SIDE REAR LOT LINE:	5' MINIMUM BUILDING SETBACK, 10' PARKING SETBACK
PER 2-98-2000:	
PARKING:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1
REQUIREMENTS:	REQUIRED: 2 SPACES
PROVIDED:	PROVIDED: 4 SPACES
ADA PARKING:	REQUIRED: 1 SPACE PER 5,000 SF OF 4 SPACES
SHORT-TERM BICYCLE PARKING SPACES:	REQUIRED: 1 SPACE PER 5,000 SF OF 4 SPACES
LONG-TERM BICYCLE PARKING SPACES:	REQUIRED: 1 SPACE PER 5,000 SF OF 4 SPACES
IMPROVED SURFACE:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1
EXISTING ON-SITE IMPROVEMENTS:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1
PROPOSED ON-SITE IMPROVEMENTS:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1
PROPOSED HOW IMPROVEMENTS:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1
TREE CONSERVATION:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1
OUTDOOR AMENITY AREA:	NO MAXIMUM PER UDD SEC 7.1.2.C & 7.1.2.1

SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
501	RIGHT-OF-WAY (TYP.)
504	PROPERTY BOUNDARY (TYP.)
505	24" CONCRETE CURB & GUTTER, REFER TO DETAIL
506	30" CONCRETE CURB & GUTTER, REFER TO DETAIL
507	FLUSH CURB
508	TURN DOWN CURB, REFER TO DETAIL
509	SEWER, RAMP @ 8.33% MINIMUM (TYPICAL - PER ADA AND LOCAL CODES)
510	DETECTABLE WARNING PER ADA REQUIREMENTS
511	BUILDING PRIMARY ENTRANCE
512	CONCRETE ADA STAIR (TYP.)
513	3' FACE OF CURB RADIUS (TYP.)
514	STANDARD DUTY CONCRETE SIDEWALK, REFER TO PLANS FOR (MOTH DIMENSIONS REFER TO DETAILS
515	DUMPS PER PAD & ENCLOSURE, REFER TO ARCHITECTURAL PLANE DETAILS
516	SHORT TERM BICYCLE SPACES, REFER TO DETAIL
517	PULL ACCESS DRIVEWAY
518	EXISTING ROAD CENTERLINE
519	MATCH EXISTING PAVEMENT ELEVATION
520	10' X 10' RIGHT DISTANCE TRIANGLE (TYP.)
521	PEDESTRIAN CROSSWALK STRIPING PER NC DOT REQUIREMENTS
522	"STOP" SIGN, R-15 (MUTCD) AND STOP BAR (PER NC DOT REQUIREMENTS)
523	DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
524	LEFT TURN LANE (TYPICAL - REFER TO LISTING AND ARCHITECTURAL PLANS)
525	RELOCATED STREET LIGHT (CONTRACTOR TO COORDINATE RELOCATION)
526	OUTDOOR AMENITY AREA (TYPICAL - REFER TO LEGEND)
527	STANDARD DUTY ASPHALT
528	ACCESSIBLE PARKING SPAC (TYPICAL - PER ADA AND LOCAL CODES); R-3A (MUTCD) MOUNTED TO BUILDING
529	ADA ACCESSIBLE PARKING SPAC (TYPICAL - PER ADA AND LOCAL CODES); R-3A (MUTCD)
530	ADA ACCESSIBLE PARKING SPAC STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES)
531	SEGMENTAL RETAINING WALL 4' WITH 42" MINIMUM BLACK SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
532	SEGMENTAL RETAINING WALL 4' WITH 42" MINIMUM BLACK SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
533	SEGMENTAL RETAINING WALL 4' WITH 42" MINIMUM BLACK SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
534	SEGMENTAL RETAINING WALL 4' WITH 42" MINIMUM BLACK SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
535	LAND RAMP, REFER TO DETAIL
536	STANDARD DUTY ASPHALT
537	TRANSITION FROM SEGMENTAL RETAINING WALL TO CONCRETE RETAINING WALL
538	WIDE PAVEMENT ACCESS EASEMENT
539	SEWER, RAMP @ 8.33% MINIMUM (TYPICAL - PER ADA AND LOCAL CODES)
540	SEWER, RAMP @ 8.33% MINIMUM (TYPICAL - PER ADA AND LOCAL CODES)

SITE LAYOUT LEGEND	
STANDARD DUTY ASPHALT	DESCRIPTION
[Pattern]	STANDARD DUTY ASPHALT
[Pattern]	HEAVY DUTY ASPHALT
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	OUTDOOR AMENITY AREA (EACH AREA IS AT LEAST 10' IN WIDTH AND LENGTH; AT LEAST 50% OF AMENITY AREA MUST BE COMPLIANT WITH ADA REQUIREMENTS. REFER TO SITE DATA TABLE FOR CALCULATIONS).
[Pattern]	EXISTING CITY OF RALEIGH GREENWAY EASEMENT
[Pattern]	IMPACT AREA AND PROPOSED GREENWAY EASEMENT REPLACEMENT AREA PER COORDINATION WITH STAFF

- SITE LAYOUT NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - SHALL NOTIFY NORTH CAROLINA ONE CALL (811) OR (1-800-424-4040) TO HAVE EXISTING UTILITIES LOCATED.
 - PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8' WIDE MINIMUM WITH 5' WIDE ACCESSIBLE SPACES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
 - TRANSITION FROM 30" TO 24" CURB AND GUTTER TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
 - ALL UNIMPAVED AREAS SHALL BE PAVED WITH ASPHALT OR CONCRETE PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
 - NO PARTIAL OBSTRUCTING PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, SIGNING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTYFOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB AND GUTTER. THE MAXIMUM TRAVELING WAY IS NO CURBING FEET. SHALL BE PLACED WITHIN A RIGHT TRIANGLE OF A PUBLIC STREET. PRIVATE STREET OR DRIVEWAY COINTEGRATED WITHIN A RIGHT TRIANGLE OF A PUBLIC STREET.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF SIGNING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
 - CITY OF RALEIGH STORMWATER REVIEWER HAS INDICATED THAT THE ENGINEER SHALL REFER TO ALL DIMENSIONAL DATA TO THE ENGINEER'S APPROPRIATE FOR SITE RETAINING WALL LOCATION REQUIREMENTS AND INDICATED THAT SEGMENTAL RETAINING WALLS SHALL BE 10' MINIMUM FROM THE PROPOSED OFFICE BUILDING. WE WILL REQUEST A DESIGN EXCEPTION FROM THE ENGINEERING DEPARTMENT HEAD AT SPR SINCE THE 10' REQUIREMENTS ARE NOT REQUIRED PER UDD 7.1.2.
 - AT LEAST 50% OF AMENITY AREA MUST COMPLY WITH ADA ACCESSIBILITY.

PRELIMINARY
NOT FOR
CONSTRUCTION

DATE
07/13/2022

DRAWN BY
A. BROWN

DESIGNED BY
A. BROWN

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

DATE
07/13/2022

REVIEWED BY
CITY OF RALEIGH

REVIEWED BY
CITY OF RALEIGH

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REVIEWED BY
CITY OF RALEIGH

YOUR VISION ACHIEVED THROUGH OURS.

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CITY OF RALEIGH

7860 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA

DATE
07/13/2022

DRAWN BY
A. BROWN

DESIGNED BY
A. BROWN

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

DATE
07/13/2022

REVIEWED BY
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DATE
07/13/2022

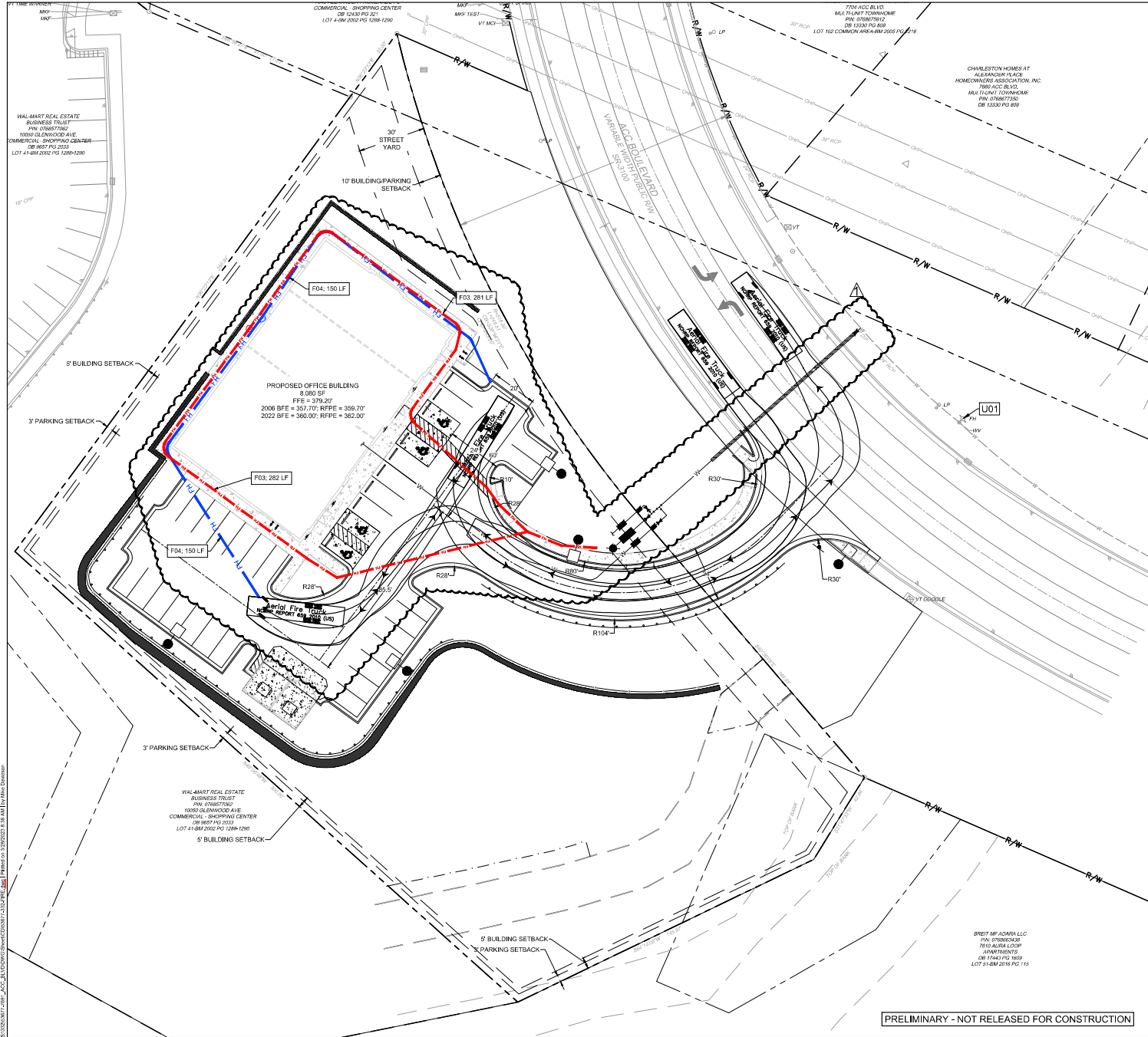
REVIEWED BY
CITY OF RALEIGH

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CITY OF RALEIGH

REVIEWED BY
CITY OF RALEIGH

REVIEWED BY
CITY OF RALEIGH

3/20/2021 1:40 PM A:_ACG_LAYOUTS\7860 ACC BOULEVARD\130722\220713.DWG Plotted on 7/13/2022 1:38 PM by M.M. Davidson
A:_ACG_LAYOUTS\7860 ACC BOULEVARD\130722\220713.DWG Plotted on 7/13/2022 1:38 PM by M.M. Davidson

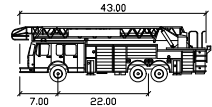


LEGEND:
DISTANCE FROM FIRE HYDRANT
DISTANCE FROM FIRE TRUCK ACCESS

FIRE TRUCK EXIT & HYDRANT ACCESS KEYNOTES

NUMBER	DESCRIPTION
F01	PUMPER FIRE TRUCK (TYP.)
F02	EXISTING PUBLIC FIRE HYDRANT (TYP.)
F03	2400 LF FROM HYDRANT (PULL-THE-HOSE-METHOD)
F04	1150 LF FROM FIRE TRUCK (PULL-THE-HOSE-METHOD)

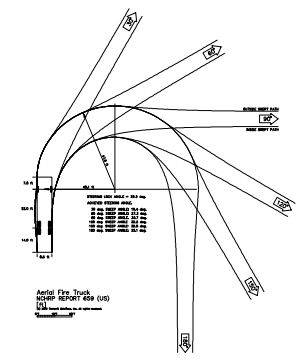
NOTE:
1. BUILDING WILL NOT HAVE A SPRINKLER SYSTEM



Aerial Fire Truck

Width	8.50
Track	9.50
Lock to Lock Time	6.0
Steering Angle	33.3

AERIAL FIRE TRUCK PROFILE
NTS



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5401 Tenth Avenue, Raleigh, NC 27607
TEL 919-886-4961 FAX 919-833-8124 www.timmons.com

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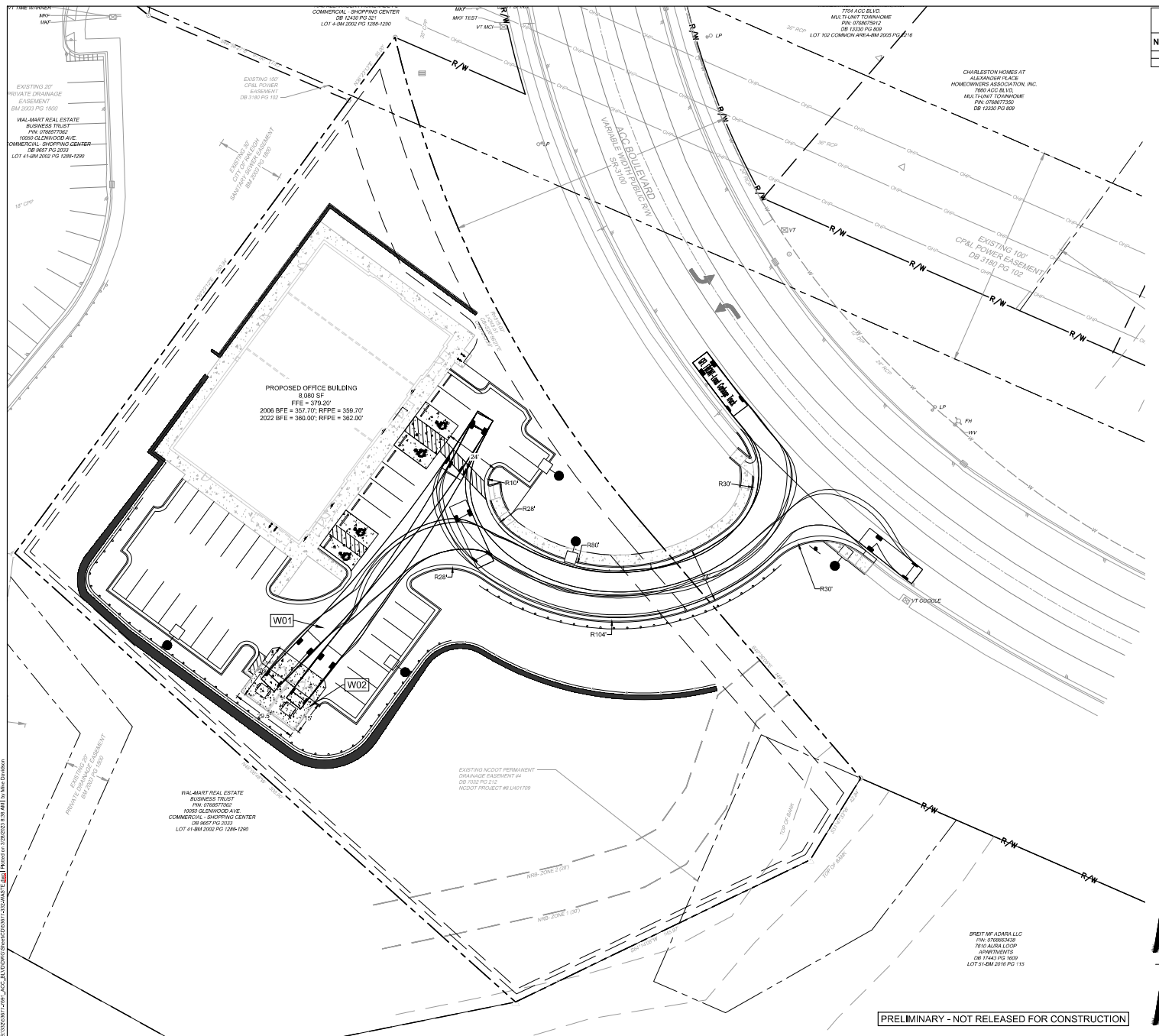
DATE	REVISION DESCRIPTION
07/13/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS
07/28/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS
07/28/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS

DATE: 07/13/2022
DRAWN BY: A. BROWN
DESIGNED BY: A. BROWN
CHECKED BY: M. DAVIDSON
SCALE: AS SHOWN

TIMMONS GROUP
7691 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA
FIRE APPARATUS ACCESS EXHIBIT

JOB NO. 53677
SHEET NO. C2.1

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WASTE SERVICE EXITING SITE KEYNOTES	
NUMBER	DESCRIPTION
W01	WASTE SERVICE TRUCK (TYP.)
W02	DUMPSTER ENCLOSURE


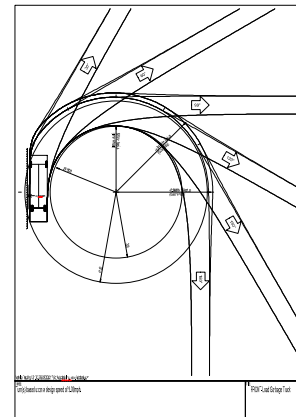


Diagram illustrating the dimensions of a front-load garbage truck:

- Overall Length: 36'
- Overall Width: 8'
- Overall Body Height: 10.48'
- Min Body Ground Clearance: 0.934'
- Track Width: 8'
- Lock-to-lock time: 5.00'
- Wall to Wall Turning Radius: 38.00ft

PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC
TEL 919.866.4951 FAX 919.833.8124 www.timberline.com

REVISION DESCRIPTION

DATE	REVISION
12/16/2022	REVISION
02/15/2023	REVISION
03/28/2023	REVISION

DATE
07/13/2022

07/13/2022

DRAWN BY

A. BROWN

DESIGNED BY

A. BROWN

TIMMONS GROUP 

7691 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA
SOLID WASTE SERVICES EXHIBIT

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TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1852

7691 ACC BOULEVARD

RALEIGH - WAKE COUNTY - NORTH CAROLINA

GRADING AND DRAINAGE PLAN

JOB NO.
53677

SHEET NO.
C3.0

DESIGNED BY
A. BROWN

CHECKED BY
M. DAVIDSON

SCALE
AS SHOWN

DATE
07/13/2022

DATE
07/13/2022

DATE
07/28/2022

DATE
07/28/2022

THIS DRAWING PREPARED AT THE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL: 919.886.4951 FAX: 919.831.5174 www.timmons.com

REVISION DESCRIPTION

REVISION NO. OF RAIL HIGH REVIEW COMMENTS

REVISION NO. OF RAIL HIGH REVIEW COMMENTS

REVISION NO. OF RAIL HIGH REVIEW COMMENTS

REVISION NO. OF RAIL HIGH REVIEW COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

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CONSTRUCTION



MP-1 FLOODPLAIN IMPACTS



2006 FUTURE 1% CHANCE FLOODPLAIN IMPACTS

GRADING & STORMWATER KEYNOTES	
NUMBER	DESCRIPTION
G01	SEGMENTAL RETAINING WALL #1 (WALL HEIGHT RANGING FROM 0.6' - 22.35')
G02	CONCRETE RETAINING WALL #2 (WALL HEIGHT RANGING FROM 0.81' - 9.82')
G03	SEGMENTAL RETAINING WALL #3 (WALL HEIGHT RANGING FROM 0.25' - 8.68')
G05	TRANSITION POINT FROM SEGMENTAL RETAINING WALL TO CONCRETE RETAINING WALL
G06	LIMITS OF DISTURBANCE
G12	24" CURB & GUTTER (TYP.)
G13	FLUSH SIDEWALK (FOR A.D.A.)
G14	TAPER CURB TO FLUSH SIDEWALK
G23	ADA STALLS (MAX SLOPE 1:50)
G24	SIDEWALK ADA ACCESS ROUTE MAX CROSS SLOPE 1:50; MAX LONG. SLOPE 1:20)
G25	INLINE ADA RAMP (TYP.)
G30	MATCH EXISTING PAVEMENT ELEVATION
G31	CLASS 5 RIP RAP PAD; REFER TO DETAIL AND OUTLET PIPE OUTLET PROTECTION TABLE

FLOODPLAIN LEGEND	
	DESCRIPTION
[Pattern]	100-YEAR FLOODPLAIN FROM MASTER PLAN - FIGURE MP-1
[Pattern]	2006 FEMA FUTURE 1% CHANCE FLOODPLAIN - REGULATORY FLOOD PROTECTION ELEVATION 357.8' ± = 359.8' R/PPE
[Pattern]	IMPACTED FLOODPLAIN AREA
[Pattern]	IMPACTED FLOODPRONE SOILS

FLOODPLAIN IMPACT SUMMARY ON SITE	
FLOOD PRONE SOILS AREA PER FREDMONT ENVIRONMENTAL STUDY	23,281 SF
ALLOWED IMPACT	50% (11,640 SF)
PROPOSED IMPACT	55% (12,803 SF)
FLOODPLAIN AREA PER Z-58-2000, MP-1	29,701 SF
ALLOWED IMPACT	30% (8,910 SF)
PROPOSED IMPACT	29% (8,604 SF)
2006 FUTURE 1% CHANCE FLOODPLAIN (357.8' ± = 359.8' R/PPE)	30,071 SF
ALLOWED IMPACT	50% (20,035 SF)
PROPOSED IMPACT	47.4% (18,589 SF)



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

TIMMONS GROUP

7691 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA
FLOODPLAIN IMPACT EXHIBIT

JOB NO.
53677
SHEET NO.
C3.1

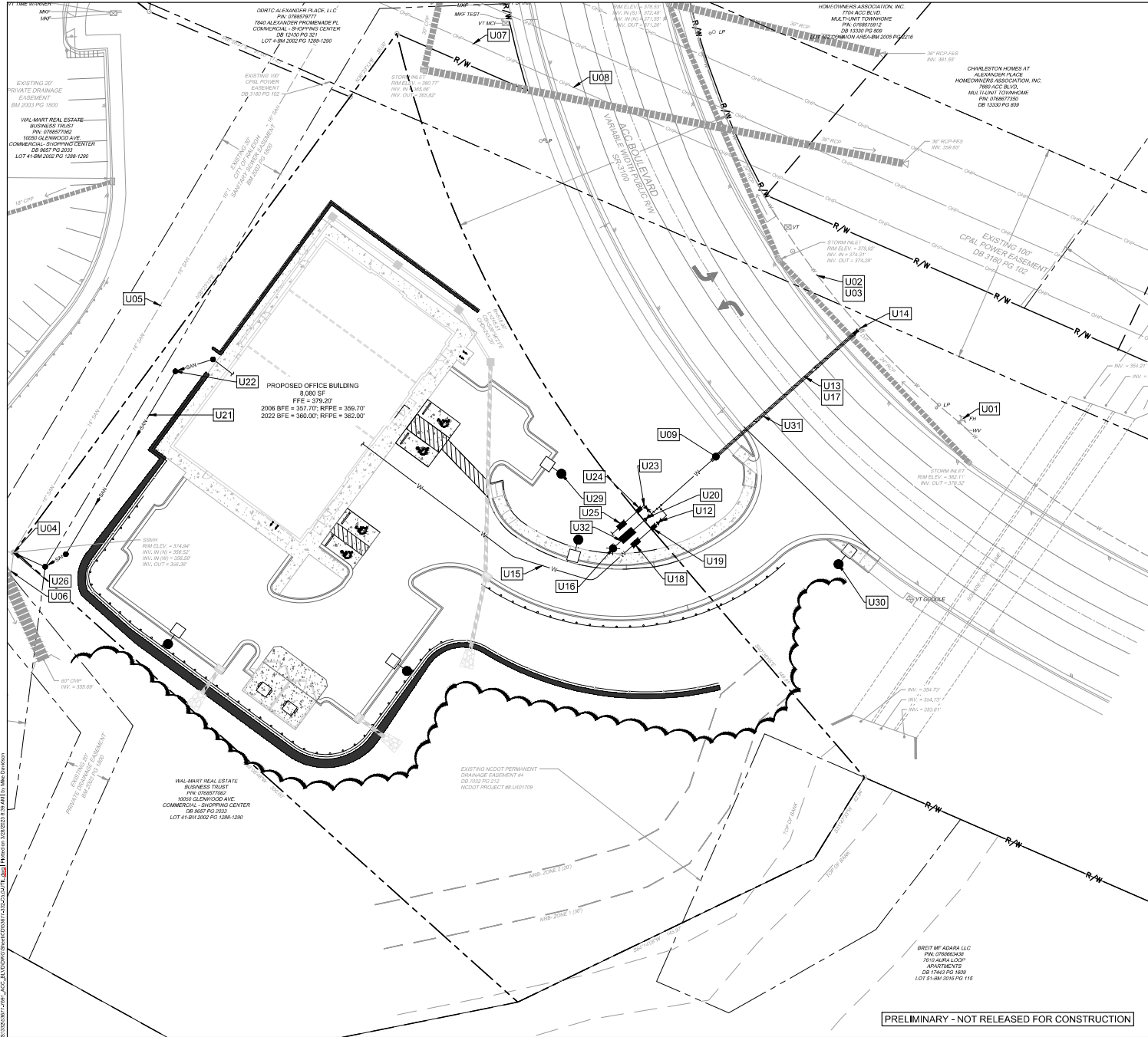
YOUR VISION ACHIEVED THROUGH OURS.

DATE
07/13/2022
DRAWN BY
A. BROWN
DESIGNED BY
A. BROWN
CHECKED BY
R. BAKER
SCALE
AS SHOWN

REVISION DESCRIPTION
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PRELIMINARY
NOT FOR
CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5401 TERRY ROAD, SUITE 200
RALEIGH, NC 27607
TEL 919.886.4961 FAX 919.833.8124 WWW.TIMMONSGROUP.COM



UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	EXISTING FIRE HYDRANT
U03	EXISTING 12" DIP WATERLINE
U04	EXISTING SANITARY SEWER MANHOLE (TYP.)
U05	EXISTING 16" DIP SANITARY SEWER MAIN (TYP.)
U07	EXISTING UTILITY POLE (TYP.)
U08	EXISTING OVERHEAD UTILITY LINE (TYP.)
U09	20" X 20" BORE TYPIC CUT ASPHALT
U12	2" TYPE "K" SOFT COPPER DOMESTIC WATER SERVICE (TYP.)
U13	6" DIP WATER LINE (TYP.)
U14	12"X12" FULL CIRCUMFERENCE STAINLESS STEEL TAPPING SLEEVE & 8" GATE VALVE
U15	2" PVC WATERLINE
U16	FIRE HYDRANT ASSEMBLY (TYP.)
U17	INSTALL BY BORE & JACK W/ 14" STEEL CASING
U18	12" X12" DOMESTIC BPP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 375 OR AS APPROVED BY CITY OF RALEIGH); BACKFLOW PREVENTER (REFER TO DETAIL W-36)
U19	2" DOMESTIC WATER METER & CURB STOP
U20	8" GATE VALVE (TYP.)
U21	4" PVC SANITARY SEWER SERVICE @ 1.0% MIN. SLOPE (TYP.)
U22	CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL
U23	1" TYPE K COPPER WATER IRRIGATION LINE; COORDINATE IRRIGATION DESIGN
U24	1" IRRIGATION METER & CURB STOP
U25	1" RPP IRRIGATION BPP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 375 OR AS APPROVED BY CITY OF RALEIGH); BACKFLOW PREVENTER (REFER TO DETAIL W-36)
U26	CONNECT TO EXISTING SANITARY SEWER MANHOLE; CORE DRILL AND INSTALL FLEXIBLE RUBBER BOOT; (CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
U28	2" GATE VALVE (TYP.)
U29	PROPOSED LIGHT POLE (TYP.); REFER TO LIGHTING PLAN
U30	RELOCATED LIGHT POLE (TYP.); REFER TO LIGHTING AND DEMO PLAN
U31	PROPOSED 155 LF BORE & JACK W/ 14" INSIDE DIA. STEEL ENCASUREMENT PIPE (0.375" WALL THICKNESS) WITH SPIDERS.
U32	8" RPPA (WILKINS 375DA OR AS APPROVED BY CITY OF RALEIGH)

- UTILITY NOTES**
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 - ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
 - CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
 - ALL ILLUSTRATED UTILITY INFRASTRUCTURE IS DIAGRAMMATIC AND MAY NOT REPRESENT THE ACTUAL SIZE OF INFRASTRUCTURE. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
 - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 - CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. McDONALD, OR TRUMBULL.
 - SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
 - ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
 - METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
 - A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
 - ALL 8" SANITARY SEWER SERVICES CONNECTIONS SHALL BE MADE INTO MANHOLES ONLY.
 - UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
 - ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO CITY OF RALEIGH AND NCOTD STANDARDS AND SPECIFICATIONS.
 - ON SITE BOUNDARY TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED 05/11/2022. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.

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REVISION DESCRIPTION	
DATE	DESCRIPTION
07/13/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS
07/28/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS
08/28/2022	REVISED PER CITY OF RALEIGH REVIEW COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

DATE	07/13/2022
DRAWN BY	A. BROWN
DESIGNED BY	A. BROWN
CHECKED BY	M. DAVIDSON
SCALE	AS SHOWN

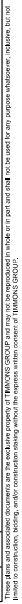
TIMMONS GROUP
7691 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA
UTILITY PLAN

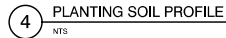
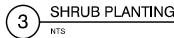
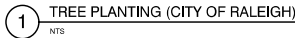
7691 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA
UTILITY PLAN

JOB NO.	53677
SHEET NO.	C5.0

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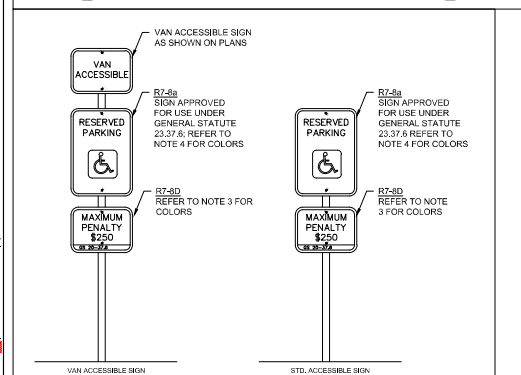
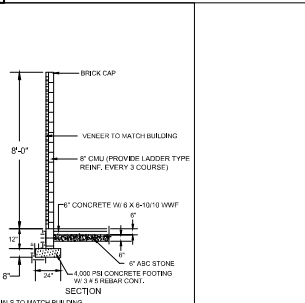
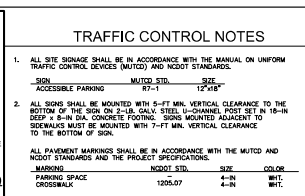




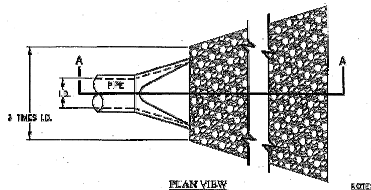
JOB NO.
53677

SHEET NO.
C6.1

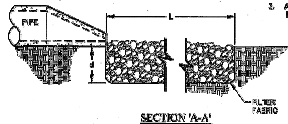
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1. ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI (ASTM C39) WITH ENTRAINED AIR BETWEEN 4% AND 6%.



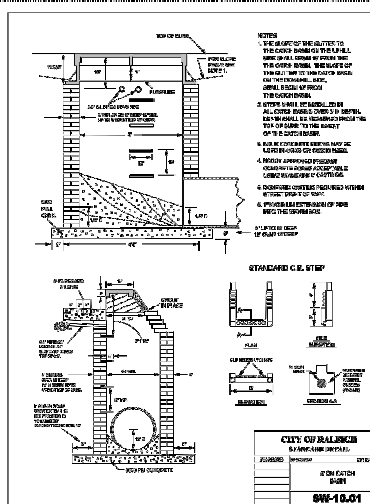
PLAN VIEW



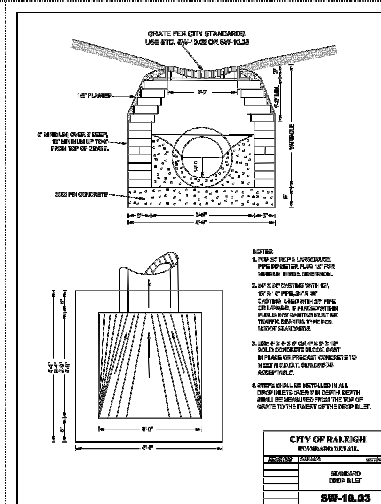
SECTION A-A

NOTES:

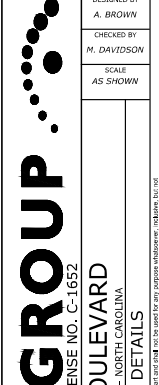
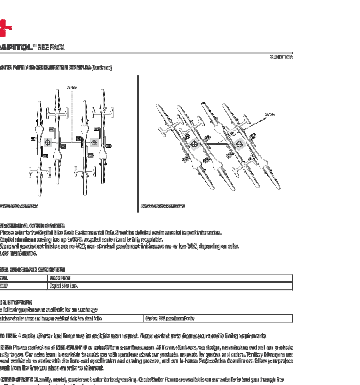
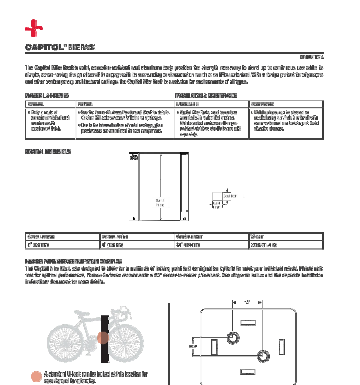
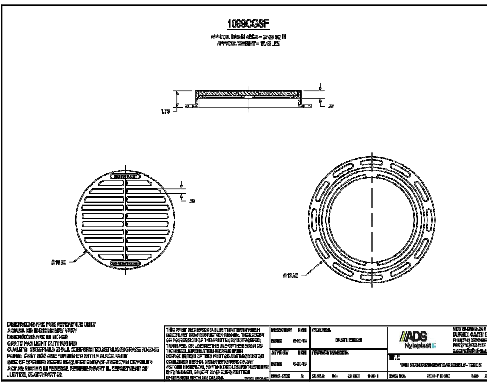
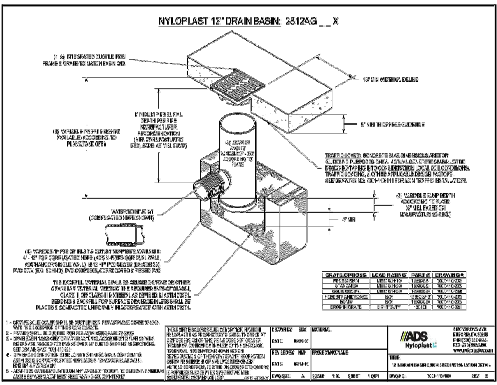
1. L = THE LENGTH OF THE RIPRAP AREAS.
2. d = 1.5 TIMES THE MAXIMUM STONE CHARACTER BUT NOT LESS THAN 6" (150-150).
3. A FILTER BLANKET OF FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.



CITY OF RALEIGH
REVISIONS
DATE
BY
DESCRIPTION
10-01



CITY OF RALEIGH
REVISIONS
DATE
BY
DESCRIPTION
10-03



PRELIMINARY
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CONSTRUCTION

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
COUNTY ENGINEERING, INC. 20007
TEL. 919-886-4921 FAX 919-833-6124 www.timmons.com

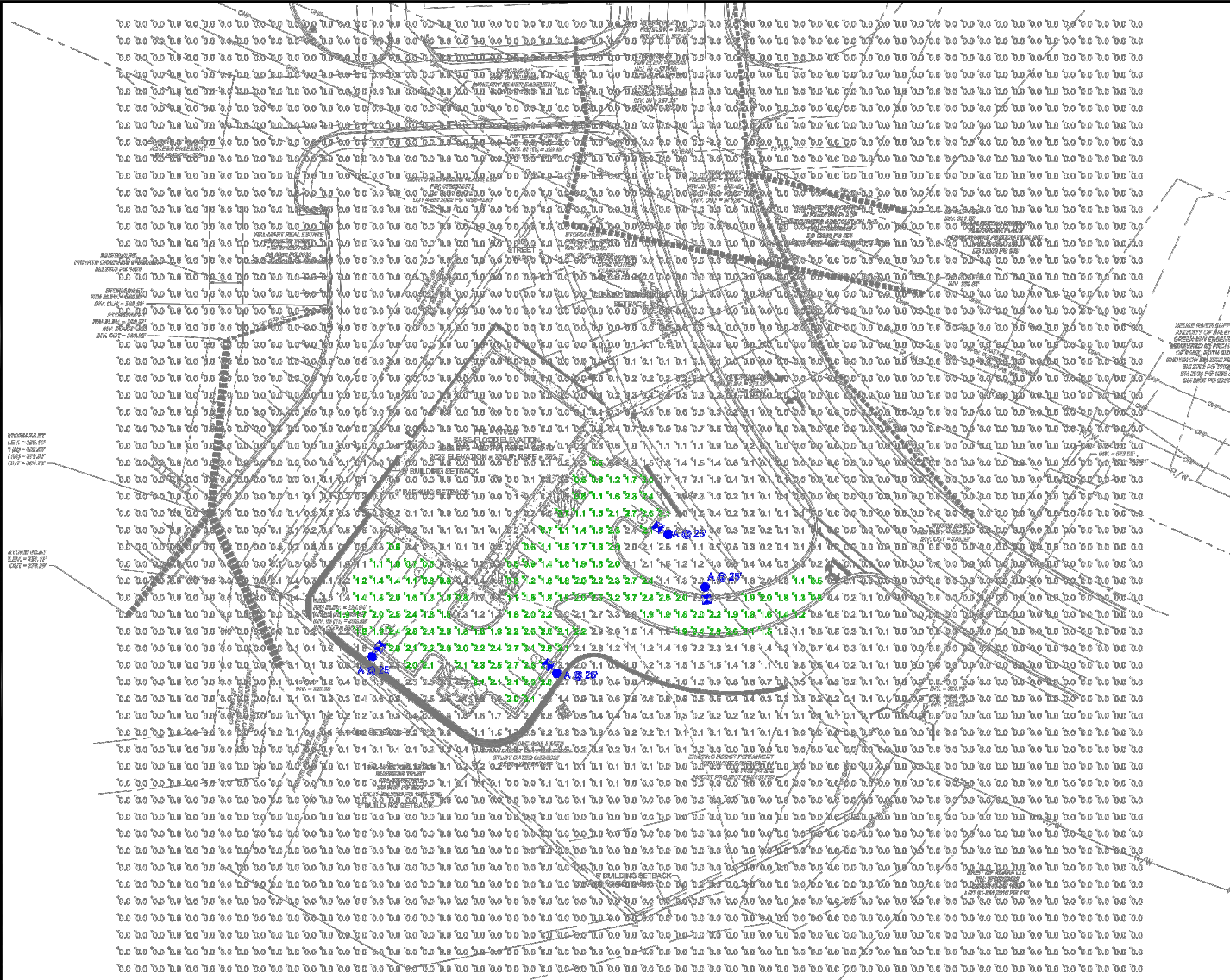
YOUR VISION ACHIEVED THROUGH OURS.

DATE
07/13/2022
DRAWN BY
A. BROWN
DESIGNED BY
A. BROWN
CHECKED BY
M. DAVIDSON
SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
7691 ACC BOULEVARD
RALEIGH - WAKE COUNTY - NORTH CAROLINA
NOTES AND DETAILS

JOB NO.
53677
SHEET NO.
C7.2

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION



Lighting

Showbox LED

Light fixture details and specifications.

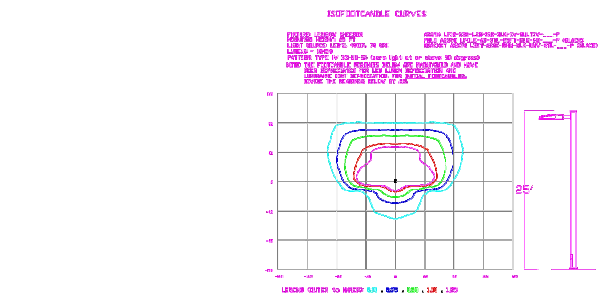
Item	Description	Quantity	Unit
1	Showbox LED	1	Each

Lighting

Showbox LED

Light fixture details and specifications.

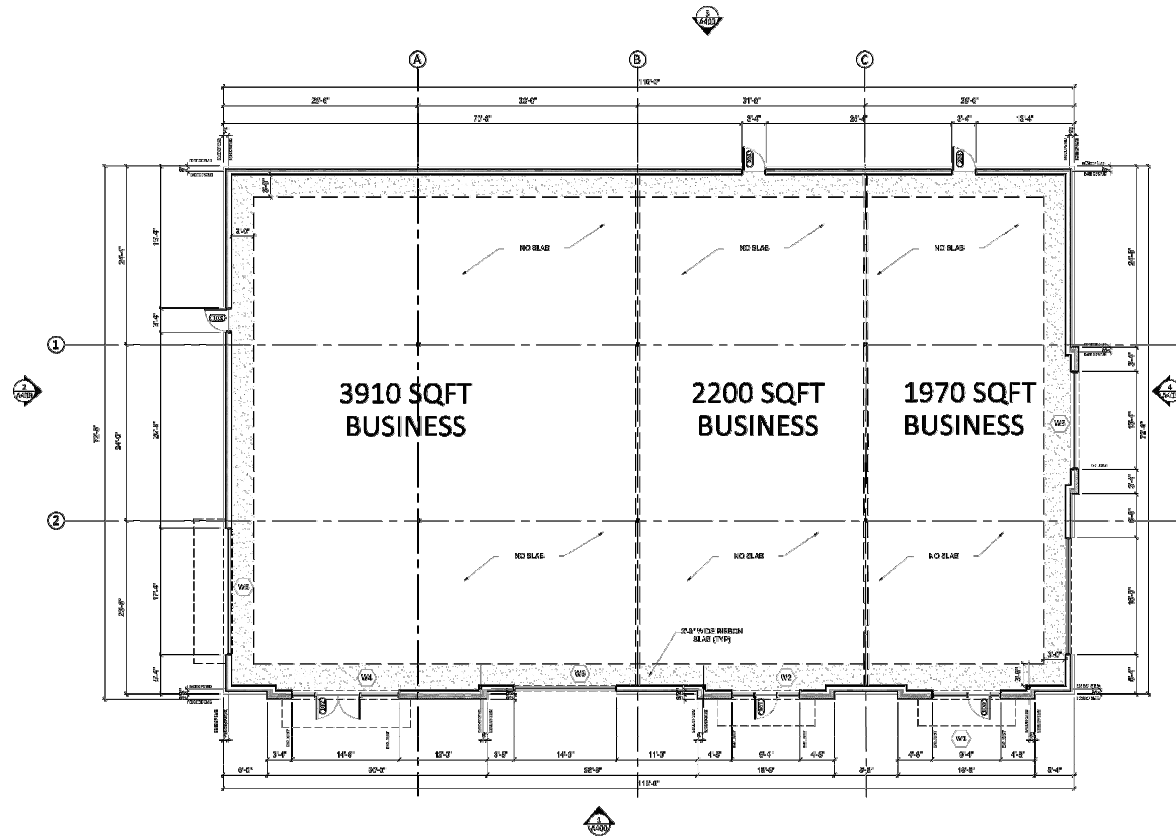
Item	Description	Quantity	Unit
1	Showbox LED	1	Each



Statistics					
Description	Symbol	Avg	Max	Min	Max/Min
Parking	X	1.8 fc	3.7 fc	0.5 fc	7.4:1

Schedule	Label	Quantity	Description	Manufacturer	Lighting Fixture
1	A	4	LED T8 Fluorescent - Type II - 4000K	400	200

				<p>LIGHTING DESIGN TOLERANCE</p> <p>The calculated footcandle (FC) levels in this lighting design are calculated values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in landscape infiltration, blocked view quantities including obstructions, differences in properties of surrounding surfaces, distributions (leakage or otherwise), in the luminaire, or in lighting fixture mounting (over height) in this design may produce different results from the calculated values. Normal tolerances of voltage, lamp output, and luminaire are luminaire manufacturers will also affect results.</p>		<p>PROPRIETARY & CONFIDENTIAL</p> <p>This document together with its contents and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of this drawing, design or any information contained herein by the prospective customer or other entities, including without limitation, competitors, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted except with written consent, in writing, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.</p>	
				<p>DUKE ENERGY PROGRESS</p>			
				<p>7691 ACC BLVD Raleigh, NC</p> <p>SITE LIGHTING ARRANGEMENT</p> <p>DUKE ENERGY PROGRESS LIGHTING SOLUTIONS</p> <p>Designed by R. J. JENSEN Scale: 1" = 3'</p> <p>Reviewed by R. J. JENSEN Date: 11/16/2022 Size: Drawing size "D"</p> <p>Description LED Streetlights</p> <p>Drawing No. 22-0462A EWT 1 OF 1</p>			
NO.	DATE	REVISION	BY				



01 Floor Plan

3/8" = 1'-0"

Floor Plan

PROJECT
7801 ACC Blvd

ADDRESS
7801 ACC Boulevard
Raleigh
North Carolina
27617

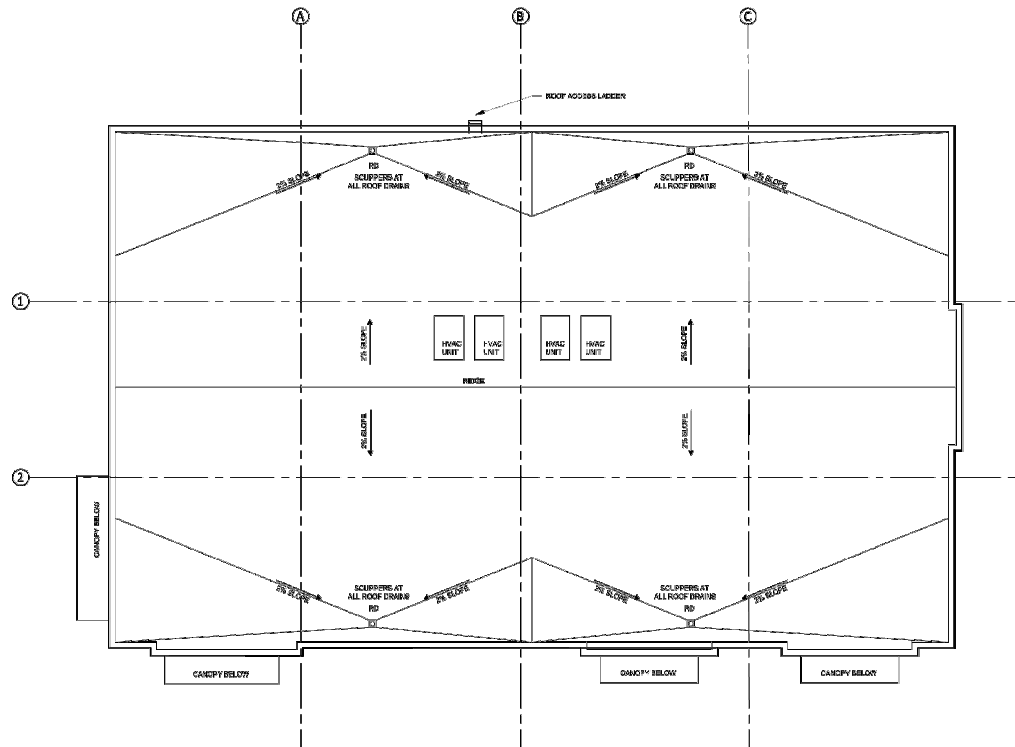
REVISION

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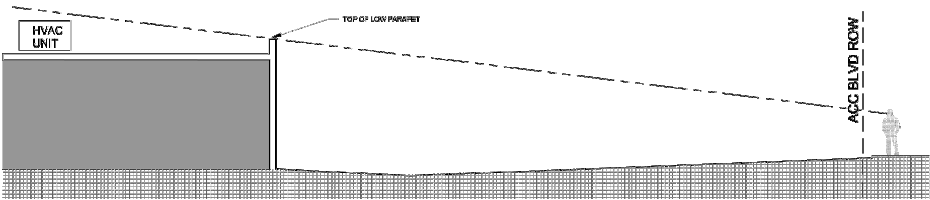
Varies

DATE

12.08.12



01 Roof Plan
3/8" = 1'-0"



02 Site Line Study
3/8" = 1'-0"

Roof Plan

PROJECT	Butner Medical
ADDRESS	1605 NC 56 Cranberry North Carolina 27522
REVISION	
DATE	12.09.12

