

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes No		
Property address(es): _____		
Site P.I.N.(s): _____		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). 		
Current Property Owner(s):		
Company: _____		Title: _____
Address: _____		
Phone #: _____		Email: _____
Applicant Name (If different from owner. See "who can apply" in instructions): Richard Brown		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: _____		Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units: 1br <u>223</u> 2br <u>50</u> 3br <u>6</u> 4br or more <u>0</u>			
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

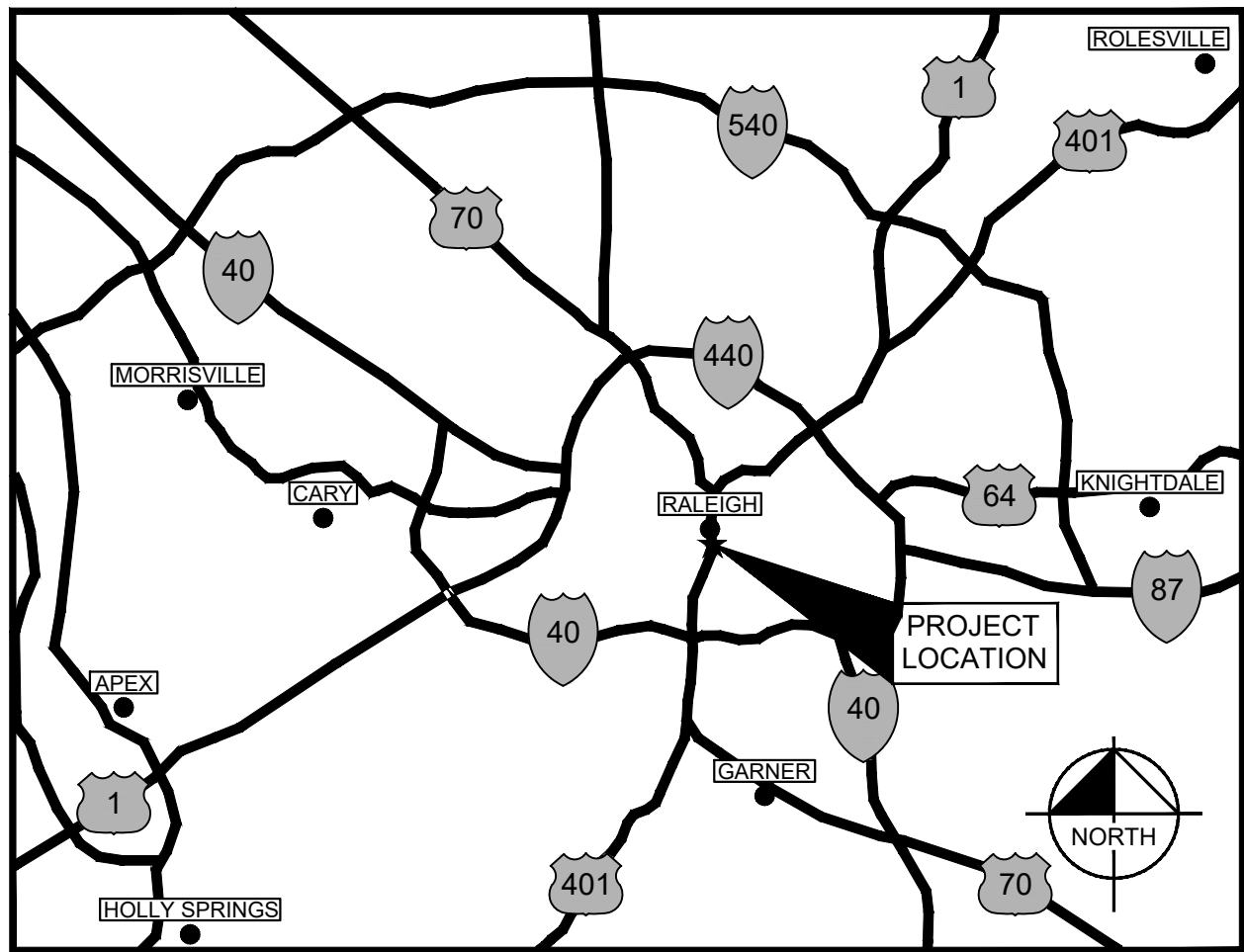
Signature:



Date:

Printed Name:

Plotted By:McCarthy, Jacob Sheet Set:201 Hillsborough_Layout,C-001 COVER SHEET September 25, 2023 08:04:22am Kimley-Horn.com/C:\R\RAI\RAL-DEVD\16607000-201 Hillsborough_200 W Morgan\PTD-CAD Files\PlanSheets\C-001 COVER SHEET.dwg
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION MAP

SCALE: NOT TO SCALE

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- EXISTING INFORMATION TAKEN FROM AN ALTANSPS LAND SURVEY PROVIDED BY KCI ASSOCIATED OF NC, P.A., 4505 FALLS OF NEUSE ROAD, 4TH FLOOR, RALEIGH, NC 27609. PHONE: (919) 280-7944 AND DATED SEPTEMBER 21, 2023.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO: BERN, TOLLAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HANDICAP ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTIONS) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS, AND ADAG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI A117.1, ICCBC, AND ICC STANDARDS AND SPECIFICATIONS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC.) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- SEE SHEET C-101 FOR FULL SITE DATA TABLE.

RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD)
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - RALEIGH STREET DESIGN MANUAL (RSDM)
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

FIRE DEPARTMENT NOTES:

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFA 13R) OR 250 FEET (NFA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NFCF 503.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NFCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NFCF, SECTION 507.3.

PROJECT OWNERS & CONSULTANTS

OWNER/DEVELOPER

CONVEXITY PROPERTIES
540 W MADISON STREET, SUITE 2500
CHICAGO, IL 60661
CONTACT: CHRIS OAKLEY
EMAIL: COAKLEY@CONVEXITYPROPERTIES.COM

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST, SUITE 600
RALEIGH, NORTH CAROLINA 27601
CONTACT: JOHN KUZENSKI, P.E.
PHONE: (919) 653-2976
EMAIL: JOHN.KUZENSKI@KIMLEY-HORN.COM

ARCHITECT

VALERIO DEWALT TRAIN
500 N. DEARBORN ST, 9TH FLOOR
CHICAGO, ILLINOIS 60654
CONTACT: PETER WOJTCWICZ
PHONE: (773) 343-8402
EMAIL: PWJOTWICZ@BUILDORDIE.COM

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NORTH CAROLINA 27601
CONTACT: RICHARD BROWN, PLA
PHONE: (919) 653-2976
EMAIL: RICHARD.BROWN@KIMLEY-HORN.COM

SURVEYOR

KCI ASSOCIATES OF NC, P.A.
4505 FALLS OF NEUSE ROAD, 4TH FLOOR
RALEIGH, NORTH CAROLINA 27609
CONTACT: ROB BAUMGARTNER
PHONE: (919) 653-2990
EMAIL: ROB.BAUMGARTNER@KCI.COM

ADMINISTRATIVE SITE REVIEW APPLICATION PACKAGE 201 HILLSBOROUGH

200 W MORGAN STREET

RALEIGH, NC 27601

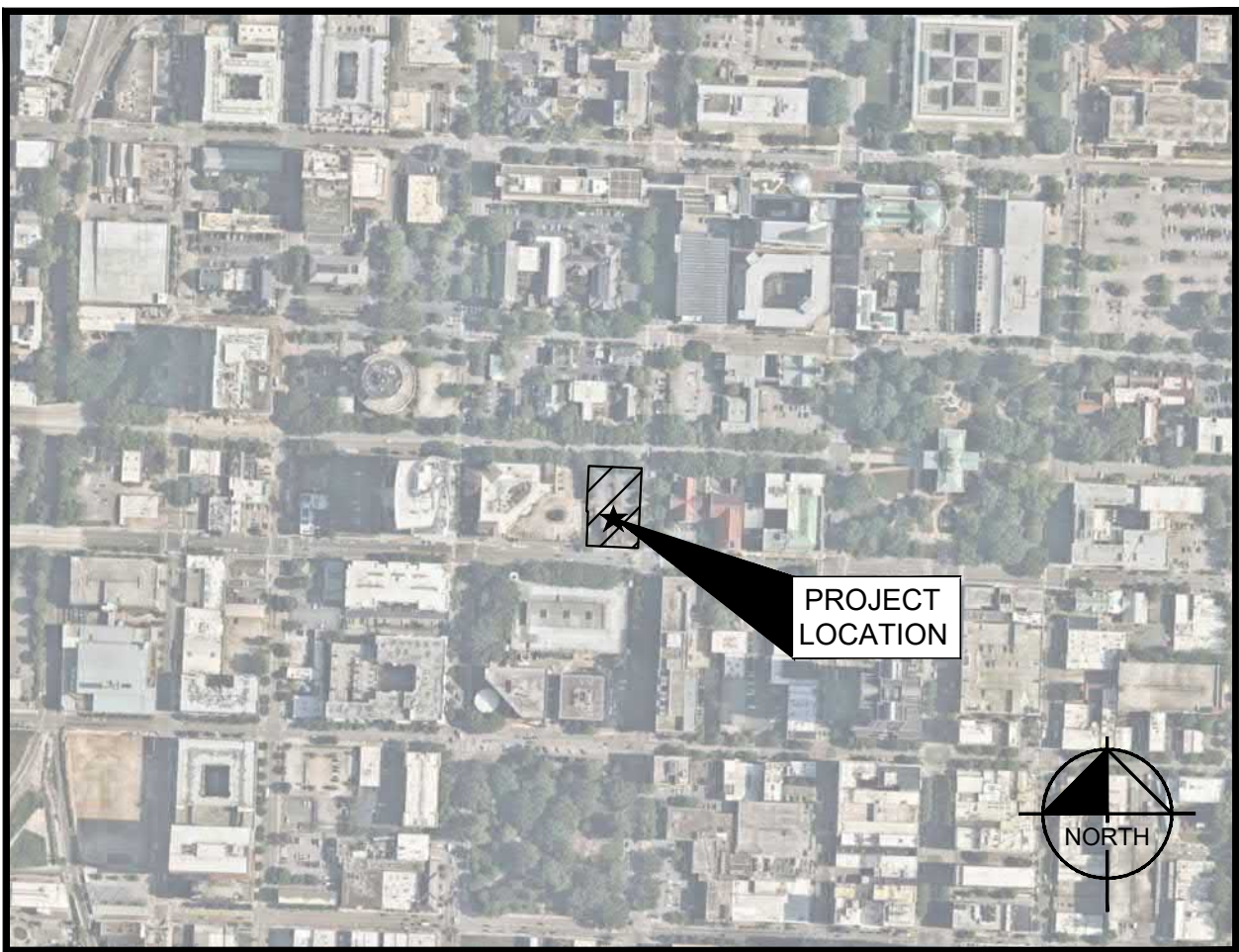
PREPARED FOR: CONVEXITY PROPERTIES, INC.



Administrative Site Review Application <small>Planning and Development Customer Service Center • One Exchange Place, Suite 400 • Raleigh, NC 27601 919-996-2000</small>		<small>Phone #: (919) 653-2976 Email: richard.brown@kimley-horn.com</small> <small>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</small> <small>Developer Contact: Chris Oakley</small> <small>Company: 200 W Morgan, LLC Title: Developer/Owner</small> <small>Address: 540 W Madison St, Ste 2500, Chicago, IL 60661</small> <small>Phone #: (312) 542-3123 Email: coakley@convexityproperties.com</small> <small>Applicant Name: Richard Brown</small> <small>Company: Kimley-Horn and Associates Address: 421 Fayetteville St, Ste 600, Raleigh, NC 27601</small> <small>Phone #: (919) 653-2976 Email: richard.brown@kimley-horn.com</small>	
<small>This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.</small>			
<small>Office Use Only: Case #:</small>		<small>Planner (print):</small>	
<small>Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)</small>			
Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>			
Building and Development Type <small>(Check all that apply)</small>		Site Transaction History	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot		<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	
		Subdivision case #: Scoping/sketch plan case #: <u>SCOPE-0037-2023</u> Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: <u>Z-38-12</u> Design Alternate #:	
GENERAL INFORMATION			
Development name: 201 Hillsborough			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): 200 W Morgan St			
Site P.I.N.(s): 1703691063			
<small>Please describe the scope of work, include any additions, expansions, and uses (UDO 6.1.4). Demolition of all existing structures and pavement on property. Construction of a 20-story mixed use building with a parking deck and other associated amenities. Ground floor will be a mix of retail space and residential lobby, with most of the upper floors being parking and residential uses.</small>			
Current Property Owner(s): 200 W MORGAN, LLC			
Company: 200 W Morgan, LLC		Title: Site Developer	
Address: 540 W Madison St, Ste 2500, Chicago, IL 60661			
Phone #: (312) 542-3123		Email: coakley@convexityproperties.com	
Applicant Name (if different from owner, See "who can apply" in instructions): Richard Brown			
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder			
Company: Kimley-Horn		Address: 421 Fayetteville St, Ste 600, Raleigh, NC 27601	
Page 1 of 3		revision 1.23.23 raleighnc.gov	

DEVELOPMENT TYPE + SITE DATE TABLE <small>(Applicable to all developments)</small>	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): DX-20-UO Gross site acreage: 0.66 AC # of parking spaces proposed: 332 Max # parking permitted (7.1.2.C): 515 Max. Overlay District (if applicable): n/a Existing use (UDO 6.1.4): Religious center Proposed use (UDO 6.1.4): Mixed-use development	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 20,613 sf New gross floor area: 216,455 SF Total of gross to be demolished and new: 216,455 SF Proposed # of buildings: 1 Proposed # of stories for each: 20 Proposed # of basement levels (UDO 1.5.7.A.6): 0
STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) 25,140 Proposed total (sf) 25,420 Imperious Area for Compliance (includes ROW): Existing (sf) 33,056 Proposed total (sf) 33,052	
RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 279 # of bedroom units: 1br 223 2br 50 3br 6 4br or more: 0 # of lots: 1 Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No	
Continue to Applicant Signature Block on Page Three.	
Page 2 of 3 revision 1.23.23 raleighnc.gov	

APPLICANT SIGNATURE BLOCK	
<small>Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.</small>	
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Signature:	Date: 9-25-2023
Printed Name: Richard Brown	
Page 3 of 3 revision 1.23.23 raleighnc.gov	



VICINITY MAP

SCALE: 1" = 500'

Sheet List Table

Sheet Number	Sheet Title
C-001	COVER SHEET
C-003	EXISTING CONDITIONS PLAN
C-004	DEMOLITION PLAN
C-101	SITE PLAN
C-201	GRADING AND DRAINAGE PLAN
C-401	UTILITY PLAN
L-101	STREETSCAPE AND LANDSCAPE PLAN
A1-01	FLOOR PLANS
A1-02	FLOOR PLANS
A2-01	BUILDING ELEVATIONS
A2-02	BUILDING ELEVATIONS
A2-03	BUILDING ELEVATIONS
A2-04	BUILDING ELEVATIONS

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

**NOT PRELIMINARY
FOR CONSTRUCTION**

KHA PROJECT
016607000
DATE
09/25/2023
SCALE
AS SHOWN
DESIGNED BY
SRH
DRAWN BY
JOM
CHECKED BY
JDK

COVER SHEET

201 HILLSBOROUGH
PREPARED FOR
CONVEXITY PROPERTIES

NORTH CAROLINA

RALEIGH

SHEET NUMBER
C-001

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A PRELIMINARY ALTANSPS LAND SURVEY OBTAINED ON 9/21/2023 BY KCI ASSOCIATES OF NC, P.A., 4505 FALLS OF NEUSE ROAD, 4TH FLOOR, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



Know what's below.
Call before you dig.

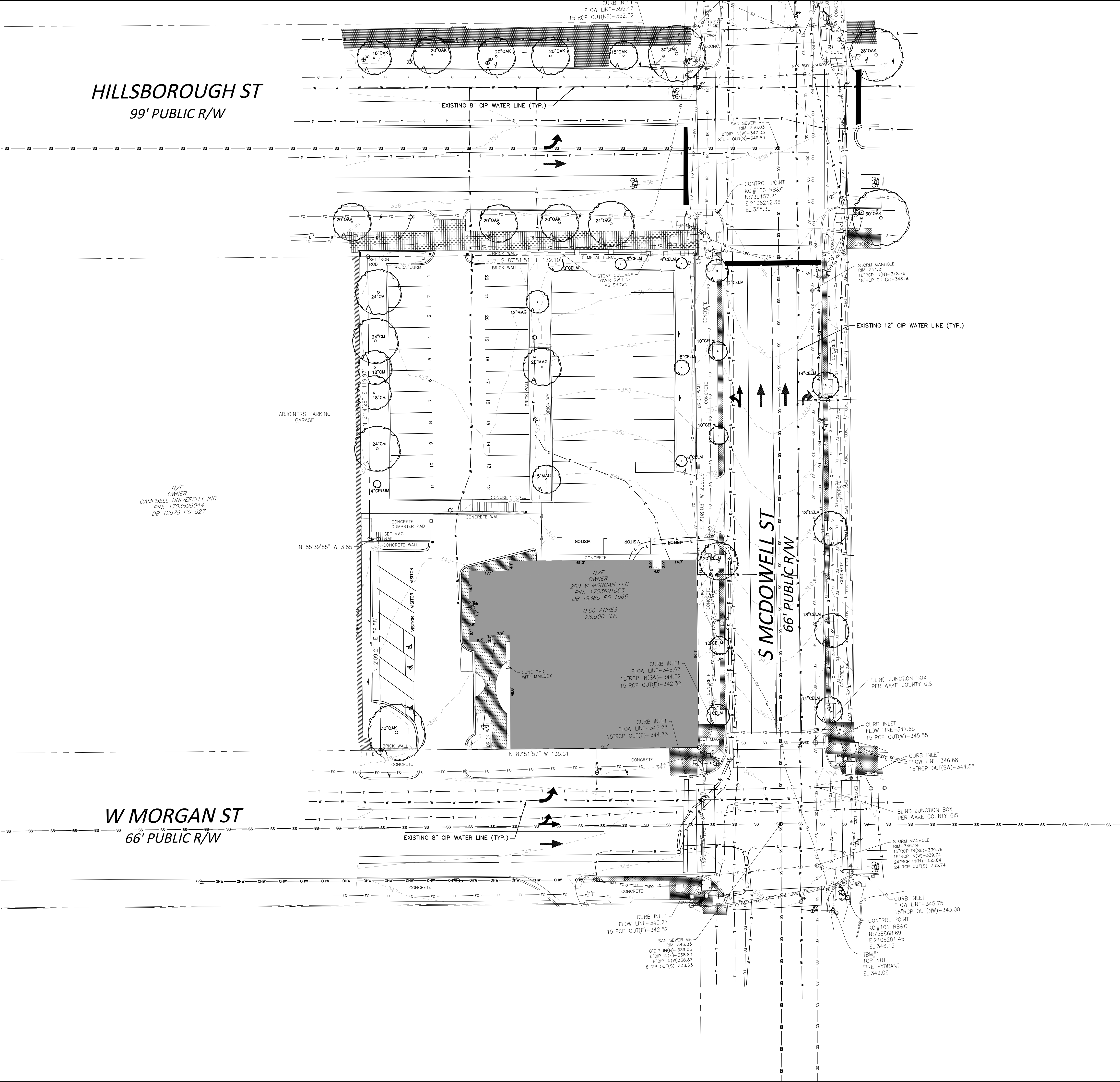
PREPARED IN THE OFFICE OF:

Kimley»Horn

© 2023 Kimley-Horn and Associates, Inc.
421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000 NC CERTIFICATE OF AUTHORIZATION: F-0102

HILLSBOROUGH ST
99' PUBLIC R/W


W MORGAN ST
66' PUBLIC R/W



LEGEND

EXISTING IRON PIPE	EP	WATER VALVE	
FOUND PK. HAIL	FPK	FIRE HYDRANT	
FOUND DRILL HOLE	FDH		
SET POINT	○	WATER METER	
BOUNDARY MONUMENT	●	GAS VALVE	
BOLLARD	●	FIBER MARKER	
STORM INLETS	⊗	SIGN	
STORM MANHOLE	⊗	HANDICAP	
CLEANOUT	⊗	TREE SYMBOLS + SIZE	
TRAFFIC HANDHOLE		SHRUB/BUSH	
ELEC. OUTLET		FENCE	
ELEC. BOX		STORM DRAIN PIPE	
ELEC. HANDHOLE		SEWER SANITARY SEWER PIPE	
HANDHOLE		GAS LINE	
LIGHT POLE		POWER LINE	
UTILITY POLE		TELEPHONE LINE	
SIGNAL POLE		IRRIGATION LINE	
COMMUNICATIONS MANHOLE		UNKNOWN UTILITY	
SEWER MANHOLE		OVERHEAD WIRE	
ELECTRIC MANHOLE		TV FIBER OPTIC LINE	
MANHOLE		TELEPHONE FIBER OPTIC LINE	
WATER MANHOLE		FIBER OPTIC LINE	
TELEPHONE PED		WATER LINE	
GUY WIRE		CHILLED WATER LINE	
		CABLE TV LINE	

LINETYPE LEGEND:

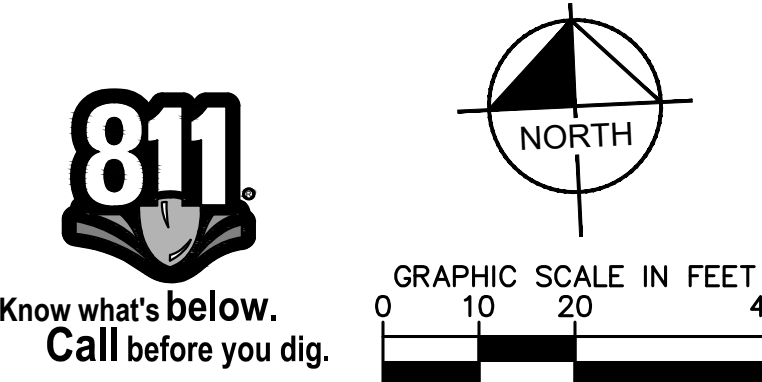
 SUBJECT PROPERTY LINE

 ADJOINER PROPERTY LINE

 EXISTING APPARENT RIGHT-OF-WAY

SURVEYOR'S NOTES

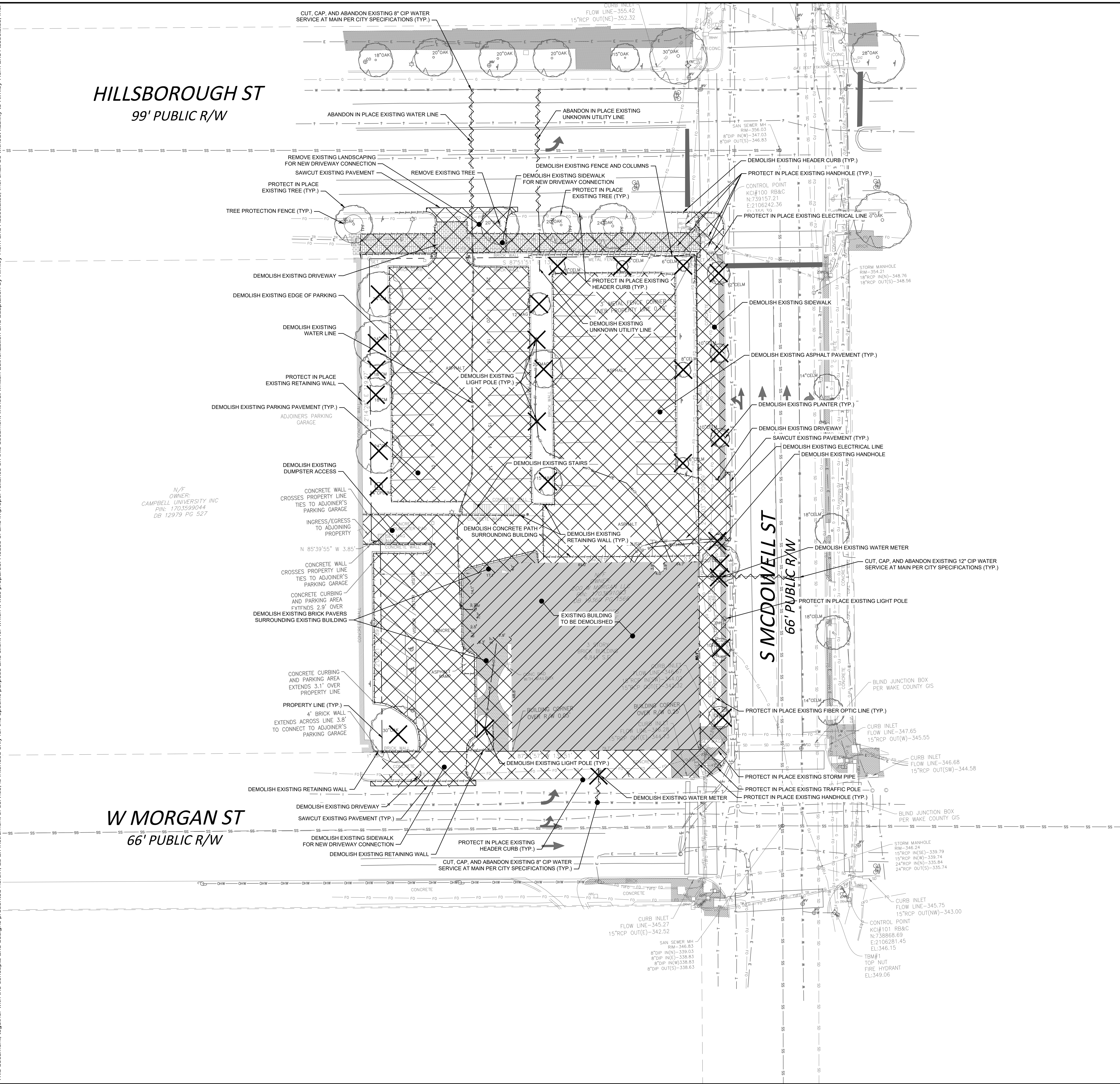
1. THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH CAROLINA STATE PLAIN GRID (NAD83/2011) BASED ON REAL TIME KINEMATIC GPS OBSERVATIONS (VRS) TAKEN IN SEPTEMBER 2023.
2. UTILITY OF THE UNDERGROUND UTILITIES SHOWN HAS BEEN LOCATED FROM VISIBLE FIELD SURVEY INFORMATION.
3. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF NORTH CAROLINA.
4. THIS SURVEY WAS MADE WITH THE BENEFIT OF A REPORT OF TITLE.
5. SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ON FLOOD INSURANCE RATE MAP NO. 17270-01-0001 WITH AN EFFECTIVE DATE OF JULY 19, 2022.
6. THE PROPERTY HAS DIRECT ACCESS HILLSBOROUGH STREET (PUBLIC RIGHT OF WAY), S. McDOWELL STREET (PUBLIC RIGHT OF WAY), AND W. MORGAN STREET (PUBLIC RIGHT OF WAY).
7. THERE IS NO EVIDENCE OF EARTH MOVING WORK OR CONSTRUCTION ON THE SUBJECT SITE.
8. THERE IS NO EVIDENCE OF CHANGING THE CHARACTER OF THE PROPERTY OR THE LINES.
9. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, PUMP, OR SANITARY LANDFILL.
10. AREA COMPLETED BY COORDINATE METHOD.
11. ZONING: DX-20-UG DOWNTOWN MIXED USE PER CITY OF RALEIGH PLANNING.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
PRELIMINARY ALTA/NPS LAND SURVEY OBTAINED ON 9/21/2023 BY
KCI ASSOCIATES OF NC, P.A., 4505 FALLS OF NEUSE ROAD, 4TH
FLOOR, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR
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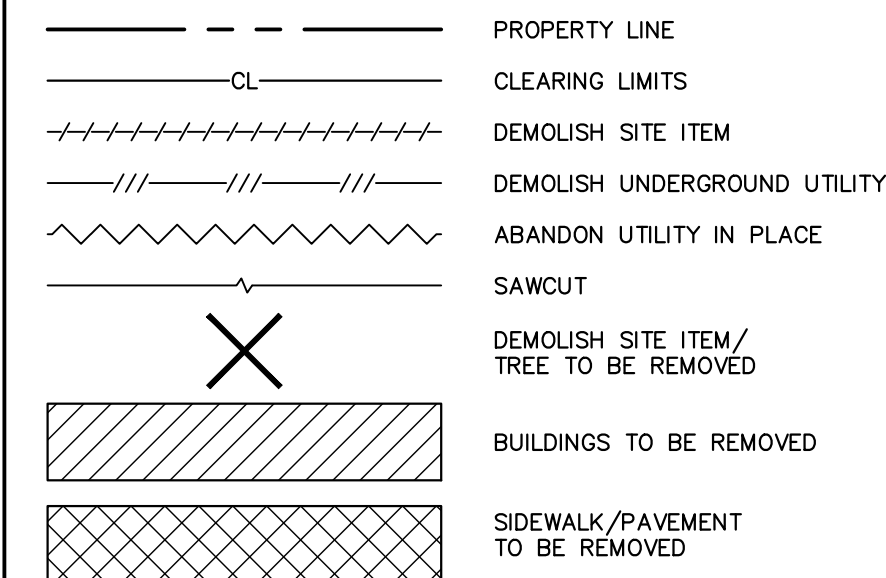
SHEET NUMBER C-003		201 HILLSBOROUGH PREPARED FOR CONVEXITY PROPERTIES		RALEIGH		NORTH CAROLINA											
EXISTING				CONDITIONS PLAN													
KHA PROJECT 016607000		DATE 09/25/2023		SCALE AS SHOWN		DESIGNED BY SRH											
				DRAWN BY JOM		CHECKED BY JDK											
<div>NOT FOR CONSTRUCTION</div> <div>PRELIMINARY</div>				<div>Kimley»»Horn</div> <div>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-877-2000 FAX: 919-877-2050 421 FAYETTEVILLE STREET, SUITE 800, RALEIGH, NC 27601</div>				No.		REVISIONS		DATE		BY			
								1									
								2									
								3									
								4									
5																	
6																	
7																	

HILLSBOROUGH ST
99' PUBLIC R/W



W MORGAN ST
66' PUBLIC R/W

DEMOLITION LEGEND



DEMOLITION NOTES

1. THE ITEMS IDENTIFIED FOR DEMOLITION ARE INTENDED TO AID THE CONTRACTOR. THE ITEMS IDENTIFIED MAY NOT INCLUDE ALL ASPECTS OF DEMOLITION REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY DEMOLITION TO CONSTRUCT THE PROPOSED IMPROVEMENTS.
2. CLEAR VEGETATION TO LIMITS SHOWN ON PLAN.
3. THE LOCATIONS OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES, AND OTHER ABOVE AND BELOW GRADE APPURTENANCES ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, AND INVERT ELEVATIONS OF SUCH PRIOR TO BEGINNING CONSTRUCTION.

Kimley»»Horn

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HF-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT	DATE
016607000	09/25/2023
SCALE AS SHOWN	
DESIGNED BY SRH	
DRAWN BY JOM	
CHECKED BY	

DEMOLITION PLAN

201 HILLSBOROUGH
PREPARED FOR
CONVEXITY PROPERTIES

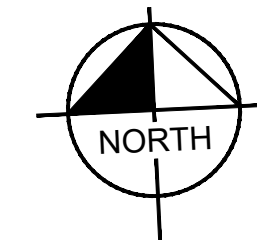
NORTH CAROLINA

BAI EICH

SHEET NUMBER
C-004



Know what's below.
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GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments: 0-10 is white, 10-20 is black, 20-30 is white, and 30-40 is black.

W MORGAN ST
66' PUBLIC R/W

GRAPHIC SCALE IN FEET

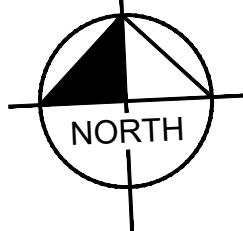
0 10 20 40

SITE DATA TABLE	
SITE ADDRESS	201 HILLSBOROUGH STREET, RALEIGH, NC 27603
SITE PIN	1703691063
FEMA DIGITAL FLOOD INSURANCE MAP	DFIRM PANEL 3720170300K (EFFECTIVE JULY 19, 2022)
EXISTING ZONING	DX-20-UG
EXISTING USE	OFFICE
PROPOSED USE	MIXED-USE
FRONTAGE TYPE	URBAN GENERAL (UG)
GROSS SITE AREA	0.66 AC. (28,960 SF)
SETBACKS	BUILDING: PRIMARY AND SIDE STREET - 3' SIDE/REAR LOT LINE - 0 OR 6' ALLEY - 5' PARKING: PRIMARY AND SIDE STREET - 10' SIDE/REAR LOT LINE - 0' ALLEY - 5'
PROPOSED BUILDING HEIGHT	MAXIMUM HEIGHT: 20 STORIES BUILDING: 20 STORIES
BUILDING SQUARE FOOTAGE(S)	MULTI-USE LIVING: 219,100 SF RETAIL/RESTAURANT/BAR: 6,485 SF TOTAL: 221,530 SF
MAXIMUM ALLOWED VEHICLE PARKING	MULTI-USE LIVING: 2 SPACES PER DWELLING UNIT (1.5 SPACES PER STUDIO OR ONE BEDROOM UNIT) RESTAURANT/BAR: 1 SPACE PER 100 SF GFA RETAIL: 1 SPACE PER 200 SF GFA PLUS 1.5 SPACES PER 600 SF OUTDOOR DISPLAY AREA 513 SPACES (448 MULTI-USE LIVING, 65 RESTAURANT/RETAIL)
PARKING PROVIDED	332 SPACES (230 STANDARD, 94 COMPACT, 8 ACCESSIBLE)
SHORT-TERM BICYCLE PARKING REQUIRED (MINIMUM)	MULTI-UNIT LIVING: 1 SPACE PER 20 UNITS (4 MIN) RESTAURANT/BAR: 1 SPACE PER 50,000 SF GFA (4 MIN) RETAIL: 1 SPACE PER 5,000 SF GFA (4 MIN) 18 SPACES (14 MULTI-UNIT, 4 RESTAURANT/RETAIL)
SHORT-TERM BICYCLE PARKING PROVIDED	18 SPACES PROVIDED
LONG-TERM BICYCLE PARKING REQUIRED (MINIMUM)	MULTI-UNIT LIVING: 1 SPACE PER 7 BEDROOMS RESTAURANT/BAR: 1 SPACE PER 25,000 SF GFA (4 MIN) RETAIL: NONE 52 SPACES (48 MULTI-UNIT, 4 RESTAURANT)
LONG-TERM BICYCLE PARKING PROVIDED	52 SPACES
OUTDOOR AMENITY AREA REQUIRED:	10% OF NET SITE AREA; 10% X 0.66 AC (28,750 SF) = 0.066 AC (2,875 SF)
OUTDOOR AMENITY AREA PROVIDED:	3,600 SF

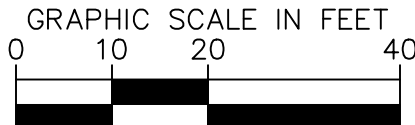
SHEET NUMBER C-101		201 HILLSBOROUGH PREPARED FOR CONVEXITY PROPERTIES		RALEIGH NORTH CAROLINA		SITE PLAN		<div>KHA PROJECT 016607000</div> <div>DATE 09/25/2023</div> <div>SCALE AS SHOWN</div> <div>DESIGNED BY SRH</div> <div>DRAWN BY JOM</div> <div>CHECKED BY JDK</div>		<div>NOT PRELIMINARY FOR CONSTRUCTION!</div>		<div>Kimley»»Horn</div> <div>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-477-2000 FAX: 919-477-2050 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601</div>		<div><div>1</div><div>2</div><div>3</div><div>4</div><div>5</div><div>6</div><div>7</div><div>8</div><div>9</div><div>10</div><div>11</div><div>12</div><div>13</div><div>14</div><div>15</div><div>16</div><div>17</div><div>18</div><div>19</div><div>20</div><div>21</div><div>22</div><div>23</div><div>24</div><div>25</div><div>26</div><div>27</div><div>28</div><div>29</div><div>30</div><div>31</div><div>32</div><div>33</div><div>34</div><div>35</div><div>36</div><div>37</div><div>38</div><div>39</div><div>40</div><div>41</div><div>42</div><div>43</div><div>44</div><div>45</div><div>46</div><div>47</div><div>48</div><div>49</div><div>50</div><div>51</div><div>52</div><div>53</div><div>54</div><div>55</div><div>56</div><div>57</div><div>58</div><div>59</div><div>60</div><div>61</div><div>62</div><div>63</div><div>64</div><div>65</div><div>66</div><div>67</div><div>68</div><div>69</div><div>70</div><div>71</div><div>72</div><div>73</div><div>74</div><div>75</div><div>76</div><div>77</div><div>78</div><div>79</div><div>80</div><div>81</div><div>82</div><div>83</div><div>84</div><div>85</div><div>86</div><div>87</div><div>88</div><div>89</div><div>90</div><div>91</div><div>92</div><div>93</div><div>94</div><div>95</div><div>96</div><div>97</div><div>98</div><div>99</div><div>100</div></div>		No.	REVISIONS	DATE	BY
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W MORGAN ST
66' PUBLIC R/W



Know what's below.
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PRELIMINARY
NOT FOR CONSTRUCTION

GRADING AND DRAINAGE PLAN

201 HILLSBOROUGH
PREPARED FOR
CONVEXITY PROPERTIES

SHEET NUMBER
C-201

Plotted By:McCarthy, Jacob Sheet Set:201 Hillsborough Layout:C-401 UTILITY PLAN September 25, 2023 08:05:30pm \\kimley-horn.com\CL_RAL\RAL_LDE\016607000-201 Hillsborough Layout:C-401 UTILITY PLAN.dwg
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HILLSBOROUGH ST
99' PUBLIC R/W

W MORGAN ST
66' PUBLIC R/W

N/E
OWNER:
CAMPBELL UNIVERSITY INC.
PIN: 1703599044
DB 12979 PG 527

EXISTING TELECOMMUNICATIONS LINE (TYP.)

EXISTING FIBER OPTIC LINE (TYP.)

POTENTIAL LOCATION OF GAS METERS,
CONNECTION TO BE DETERMINED

ELECTRICAL DUCT BANK TO CONNECT TO MAIN
ELECTRICAL ROOM. SIZE AND LOCATION TO BE
DETERMINED WITH DUKE ENERGY

PROPOSED TRANSFORMER PAD

HOSE LAY (228")

CONNECTIONS FROM TRANSFORMER
PADS TO MAIN ELECTRICAL AREA

PROPERTY LINE (TYP.)

ADJOINERS PARKING
GARAGE

HOSE LAY (428")

EXISTING 6" VCP SEWER LINE

EXISTING 8" CIP WATER LINE

EXISTING FIRE HYDRANT

CURB INLET
FLOW LINE-355.42
15"RCP OUT(NE)-352.32

EXISTING 6" VCP SEWER LINE

EXISTING SANITARY
SEWER MANHOLE

MAINTAIN EXISTING FIBER OPTIC AND ELECTRICAL INFRASTRUCTURE

MAINTAIN EXISTING UNDERGROUND ELECTRIC LINE

PROPOSED BUILDING MOUNTED FIRE
DEPARTMENT CONNECTION (FDC)

PROPOSED 6" DIP DOMESTIC WATER METER VAULT

EXISTING 8" VCP SEWER LINE

PROPOSED 8" DIP WATER LINE TO SERVICE BUILDING

PROPOSED 12"X12"X8" TAPING
SLEEVE AND VALVE

PROPOSED 8" PVC SEWER
LINE TO SERVICE BUILDING

PROPOSED 8" DIP WATER LINE TO SERVICE BUILDING

PROPOSED 8" DIP WATER LINE TO SERVICE BUILDING

PROPOSED 8" DIP WATER LINE TO SERVICE BUILDING

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UTILITY LEGEND

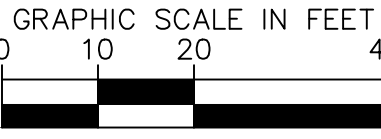
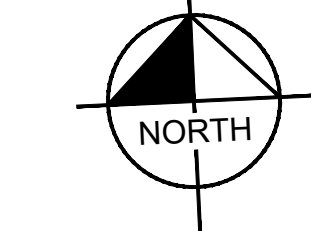
---	PROPERTY LINE
---	WATER LINE
---	FIRE LINE
---	SANITARY SEWER LINE
---	ELECTRIC
---	FIBER OPTIC
---	GAS
---	POWER
---	TELECOMMUNICATION
---	CABLE
---	LIGHT POLE
---	WATER METER
---	GATE VALVE
---	POINT OF CONNECTION
---	BACKFLOW PREVENTOR
---	PIPE TEE/BENDS
---	REDUCER
---	FIRE HYDRANT (FH)
---	FIRE DEPARTMENT CONNECTION (FDC)
---	SANITARY SEWER CLEANOUT (SSCO)
---	SANITARY SEWER MANHOLE (SSMH)
---	SANITARY SEWER GREASE TRAP

NOTE:
- A SEWER CAPACITY ANALYSIS MAY BE REQUIRED TO DETERMINE IF CAPACITY OF
EXISTING LINE IS SUFFICIENT FOR ADDITIONAL DEMAND.

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-9923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CONTRACTORS ABANDONING WATER SERVICES SHALL REMOVE THE ENTIRE SERVICE STUB. WHEN AVAILABLE, A MECHANICAL PLUG SHALL BE USED TO ABANDON THE CORPORATION COCK. IF EQUIPMENT NECESSARY TO PLUG THE MAIN IS NOT AVAILABLE, THE CORPORATION STOP SHALL BE TURNED OFF AND CAPPED. A 1/2" PVC PIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE CAPPED CORPORATION STOP, WRAPPED AT LEAST 3 TIMES WITH CAUTION TAPE TO IDENTIFY AN ABANDONED TAP. ALL REMAINING PORTIONS OF THE SERVICE STUB SHALL BE REMOVED FROM THE MAIN TO THE RIGHT OF WAY LINE AND SHALL BE DISPOSED OF PROPERLY. WATER MAIN ABANDONMENT MUST BE PERFORMED IN ACCORDANCE WITH A PLAN APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. SERVICE AND MAIN ABANDONMENT REQUIRES A STUB PERMIT FOR INSPECTION BY THE PUBLIC WORKS DEPARTMENT AT 919-996-2409 OR A PUBLIC UTILITIES INSPECTOR AT 919-996-2737, IN THE MERGER AREAS.
- ADJUST ALL EXISTING UTILITY RIMS TO PROPOSED GRADES.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A
PRELIMINARY ALTA/SPS LAND SURVEY OBTAINED ON 9/21/2023 BY
KCI ASSOCIATES OF NC, P.A., 4505 FALLS OF NEUSE ROAD, 4TH
FLOOR, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR
SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION,
DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT
POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



Kimley»Horn

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#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY
NOT FOR CONSTRUCTION

KHA PROJECT	016607000
DATE	09/25/2023
SCALE	AS SHOWN
DESIGNED BY	SRH
DRAWN BY	JOM
CHECKED BY	JDK

UTILITY PLAN

201 HILLSBOROUGH
PREPARED FOR
CONVEXITY PROPERTIES

RALEIGH NORTH CAROLINA

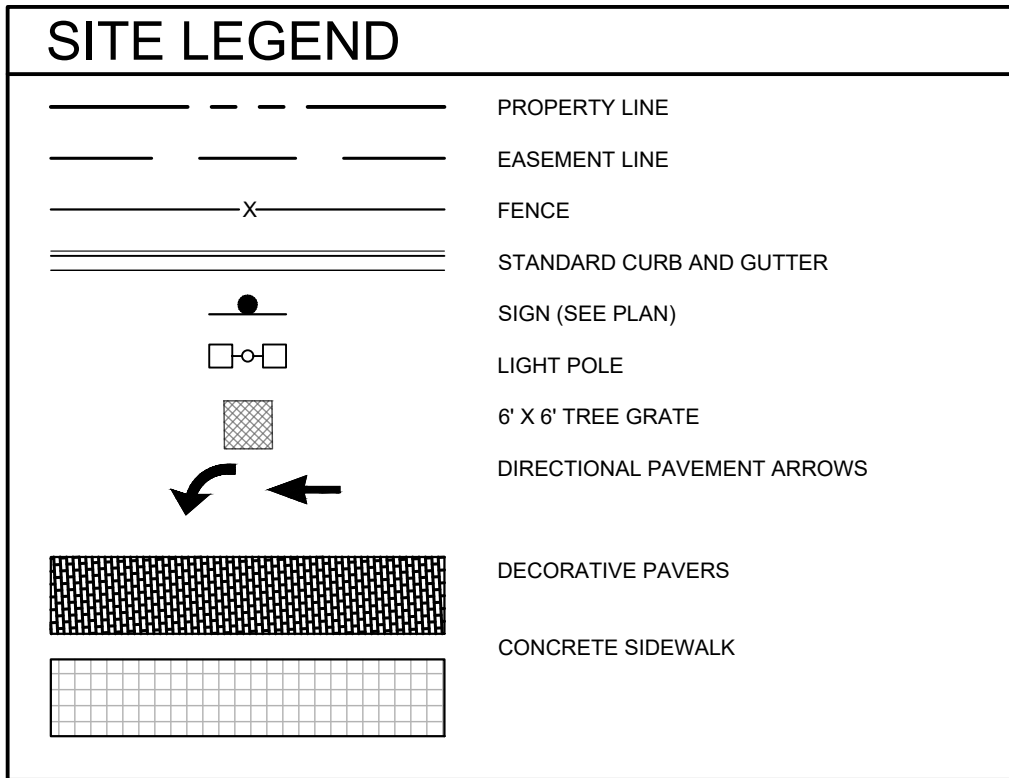
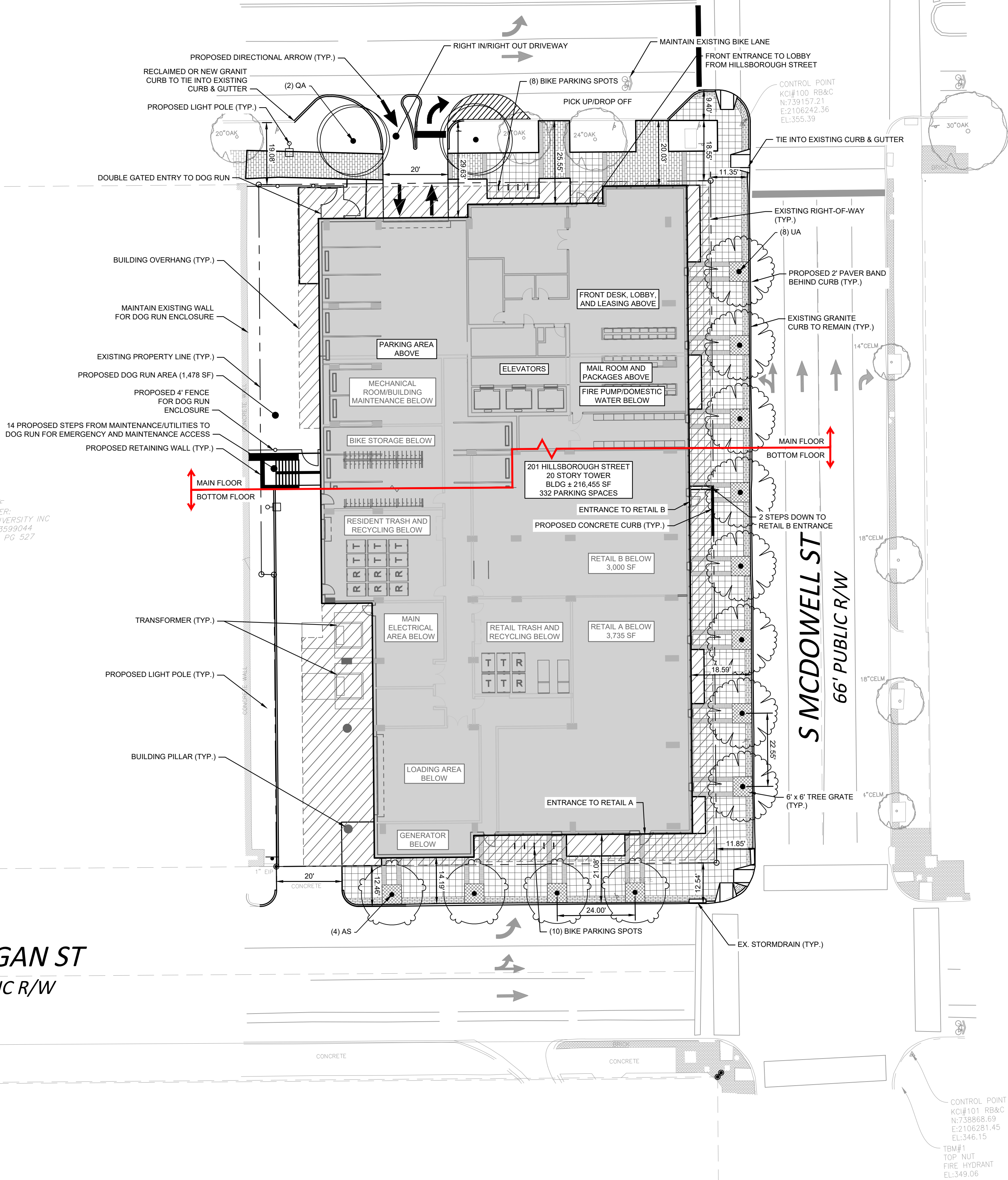
SHEET NUMBER
C-401

Plotted By:McCarthy, Jacob Sheet Set:201 Hillsborough Layout:1-101 STREETSCAPE AND LANDSCAPE PLAN September 25, 2023 06:05:41pm \\kimleyhorn.com\CL_RAL\1RAL_LDE\016607000-201 Hillsborough (200 W Morgan)\P10_CAD Files\Sheets\1-101 STREETSCAPE PLAN.dwg
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HILLSBOROUGH ST
99' PUBLIC R/W

W MORGAN ST
66' PUBLIC R/W

N/F
OWNER:
CAMPBELL UNIVERSITY INC
P/N: 1703539044
DB 12979 PG 527



STREETSC

- ALL MATERIALS & FINISHES SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS.
- NC DOT ENCROACHMENT AGREEMENT IS REQUIRED FOR ANY WORK WITHIN STATE ROW PRIOR TO CONSTRUCTION. MAJOR ENCROACHMENT AGREEMENTS WITH THE CITY OF RALEIGH WILL BE REQUIRED PRIOR TO CONSTRUCTION OF STREETSCAPE IMPROVEMENTS.
- SCHEMATIC STREETSCAPE PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE PENDING OWNER-MUNICIPAL REVIEW.
- ALL STREETSCAPE ELEMENTS NOTED HAVE BEEN OFFSET FROM EXISTING BACK OF CURB AS LOCATED IN THE SURVEY RECEIVED FROM OTHERS ON 09-21-2023.
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
- ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/2011).

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	HEIGHT
	AS	4	ACER BUERGERIANUM 'STREETWISE'	STREETWISE® TRIDENT MAPLE	B&B	3" CAL.	10-12' MIN
	QA	2	QUERCUS PHELLOS 'QPSTJ'	ASCENDOR® WILLOW OAK	B&B	3.5" CAL.	10-12' MIN
	UA	8	ULMUS PARVIFOLIA 'ALLEE'	ALLEE® LACEBARK ELM	B&B	3" CAL.	10-12' MIN

LANDSCAPE REQUIREMENTS & CALCULATIONS

City of Raleigh UDO

STREET TREES

AREA TO BE LANDSCAPED	CODE REQUIREMENT	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
HILLSBOROUGH ST.	4 DEC. CANOPY TREE PER 100 LF	99 LF (LESS 40' FROM DRIVEWAY & INTERSECTION)	(119 / 100) x4 = 4 DEC. CANOPY TREES	2 DEC. CANOPY TREES + 2 EXISTING DEC. CANOPY TREES
S. MCDOWELL ST.	4 DEC. CANOPY TREE PER 100 LF	199 LF (LESS 20' FROM INTERSECTIONS)	(209 / 100) x4 = 8 DEC. CANOPY TREES	8 DEC. CANOPY TREES
W. MORGAN ST.	4 DEC. CANOPY TREE PER 100 LF	95 LF (LESS 40' FROM DRIVEWAY & INTERSECTION)	(115 / 100) x4 = 4 DEC. CANOPY TREES	4 DEC. CANOPY TREES

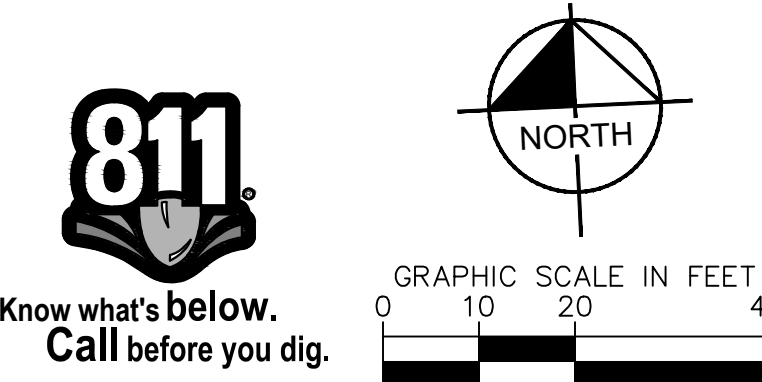
AMENITY AREA

City of Raleigh UDO

CODE REQUIREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
PROVIDE 10% OF SITE FOR AMENITY AREA (MIN. 50% OF AMENITY AREA WILL BE ACCESSIBLE TO SITE USERS)	28,960 SF X 10% = 2,896 SF SF X 50% = *1,448 SF	1,478 SF

NOTE: SEE SHEET C 101 FOR SITE AREA CALCULATIONS AND REQUIREMENTS.
* CALCULATIONS ONLY INCLUDE 50% OF REQUIRED AMENITY AREA ON STREET LEVEL.

SURVEY NOTE:
EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A PRELIMINARY ALTIMETERS LAND SURVEY OBTAINED ON 9/21/2023 BY KCI ASSOCIATES OF NC, P.A., 4505 FALLS OF NEUSE ROAD, 4TH FLOOR, RALEIGH, NC 27609. PHONE: (919) 280-7944. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION, DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



7

6

5

4

3

2

1

No.

DATE

REVISIONS

BY

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

NOT FOR CONSTRUCTION

PRELIMINARY

KHA PROJECT
016607000

DATE
09/25/2023

SCALE AS SHOWN

DESIGNED BY
SRH

DRAWN BY
JOM

CHECKED BY
JDK

STREETSCAPE AND LANDSCAPE PLAN

201 HILLSBOROUGH
PREPARED FOR
CONVEXITY PROPERTIES

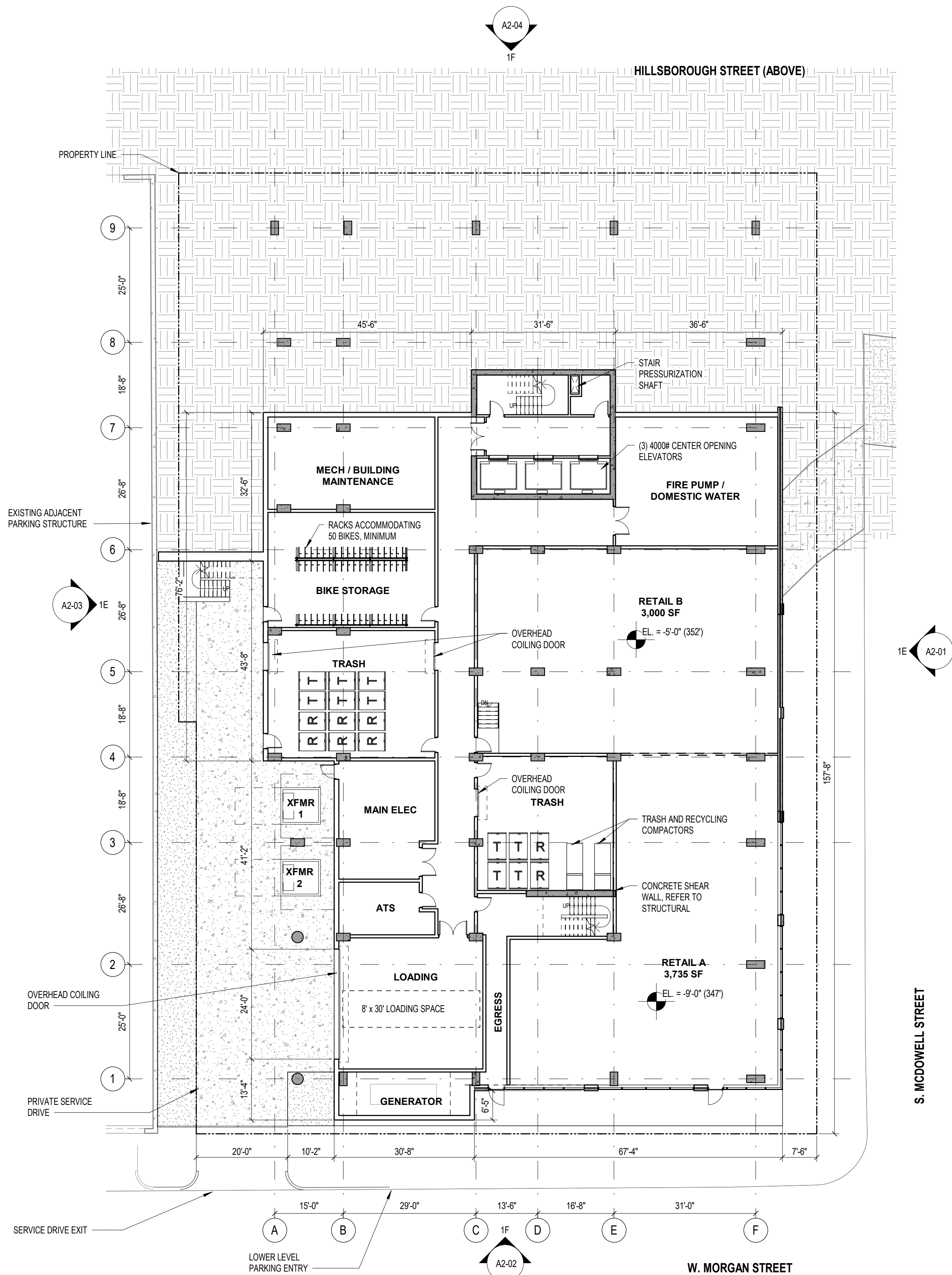
NORTH CAROLINA
RALEIGH

SHEET NUMBER
L-101

9/22/2023 7:44:55 AM

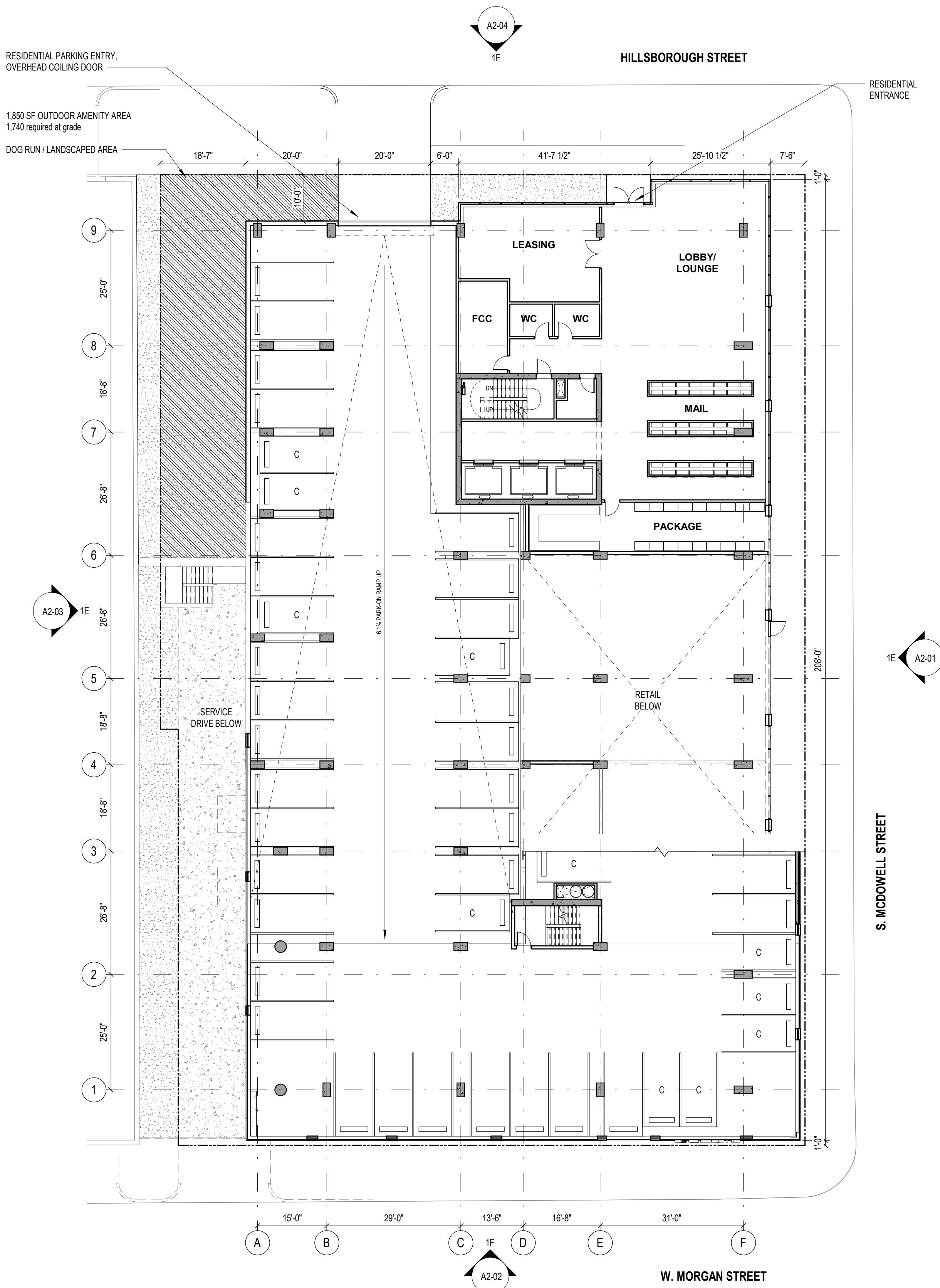
1A LOWER LEVEL - MORGAN PLAN

SCALE: 1/16" = 1'-0"



1F LEVEL 1 - HILLSBOROUGH PLAN

SCALE: 1/16" = 1'-0"



CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC

Project Address

201 HILLSBOROUGH
RALEIGH, NC 27601
Project Number

22084.00

Architect

VALERIO DEWALT TRAIN

500 North Dearborn Street
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312.260.7300

Project Team

Architect's Stamp

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PETER WOJCIOWICZ
NOAH BENTLEY
HANS KOESTERS

Consultant

Consultant Project Number

Issuances

No.	Revision Description	Date
1	CONCEPT DESIGN	08/11/2023

Preliminary Documents

NOT FOR CONSTRUCTION

Sheet Name

FLOOR PLANS

Sheet Number

A1-01

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PARKING SCHEDULE		
C	Compact Space: 8' X 16'	
S	Standard Space: 8.5' x 18'	
ADA	Accessible Space: 9' x 18' w/ 5' aisle	
LEVEL	TYPE	QTY
LEVEL 1	C	5
LEVEL 1	S	21
26		
LEVEL 2	ADA	2
LEVEL 2	C	21
LEVEL 2	S	50
73		
LEVEL 3	ADA	2
LEVEL 3	C	21
LEVEL 3	S	50
73		
LEVEL 4	ADA	2
LEVEL 4	C	21
LEVEL 4	S	50
73		
LEVEL 5	ADA	2
LEVEL 5	C	26
LEVEL 5	S	59
87		
TOTAL PARKING COUNT: 332		

CONVEXITY - 201
HILLSBOROUGH,
RALEIGH, NC

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RALEIGH, NC 27601
Project Number
22084.00

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1	CONCEPT DESIGN	08/11/2023

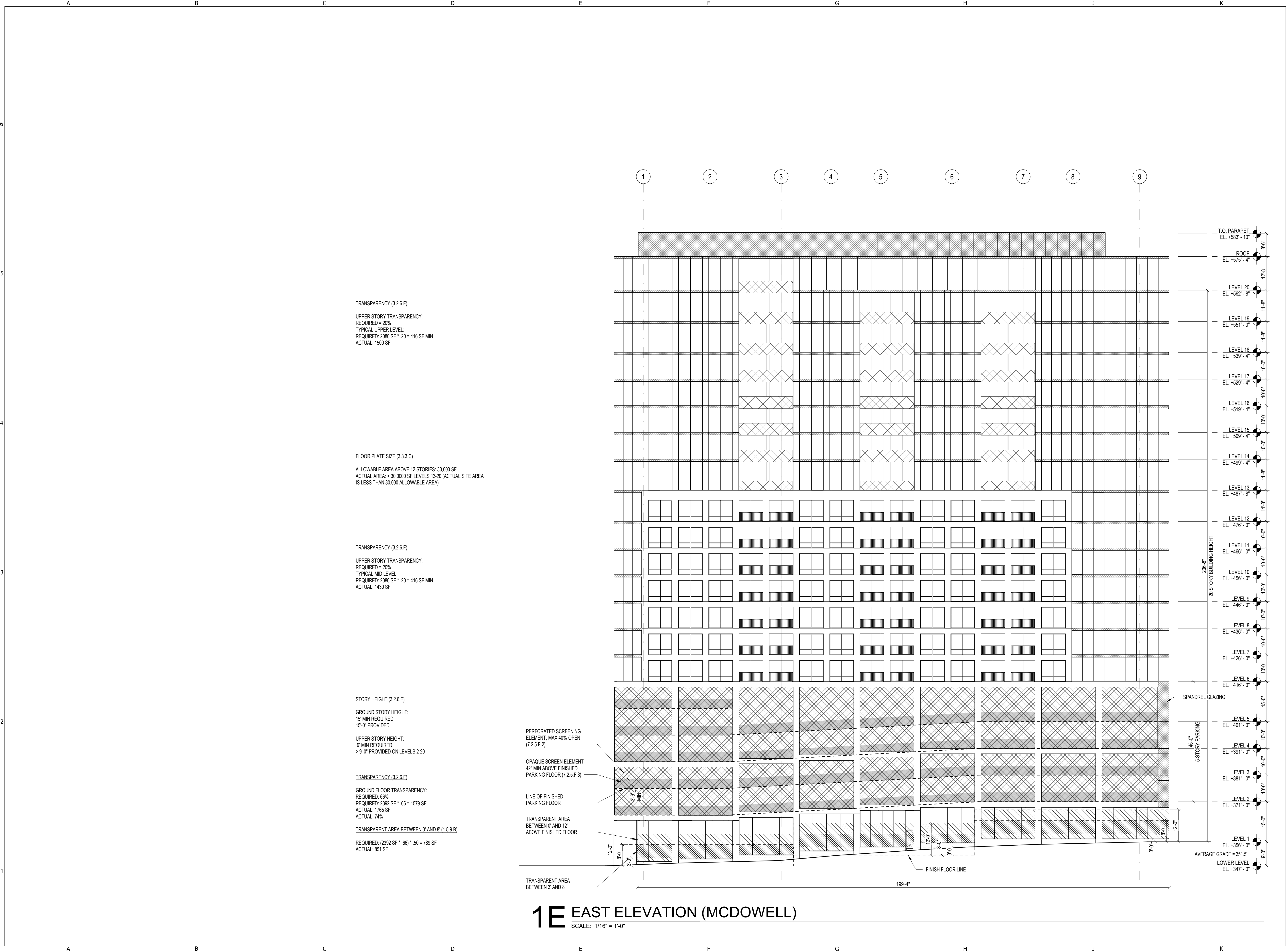
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Sheet Name
FLOOR PLANS

Sheet Number
A1-02

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CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC

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Issuances		
No.	Revision Description	Date
1	CONCEPT DESIGN	08/11/2023

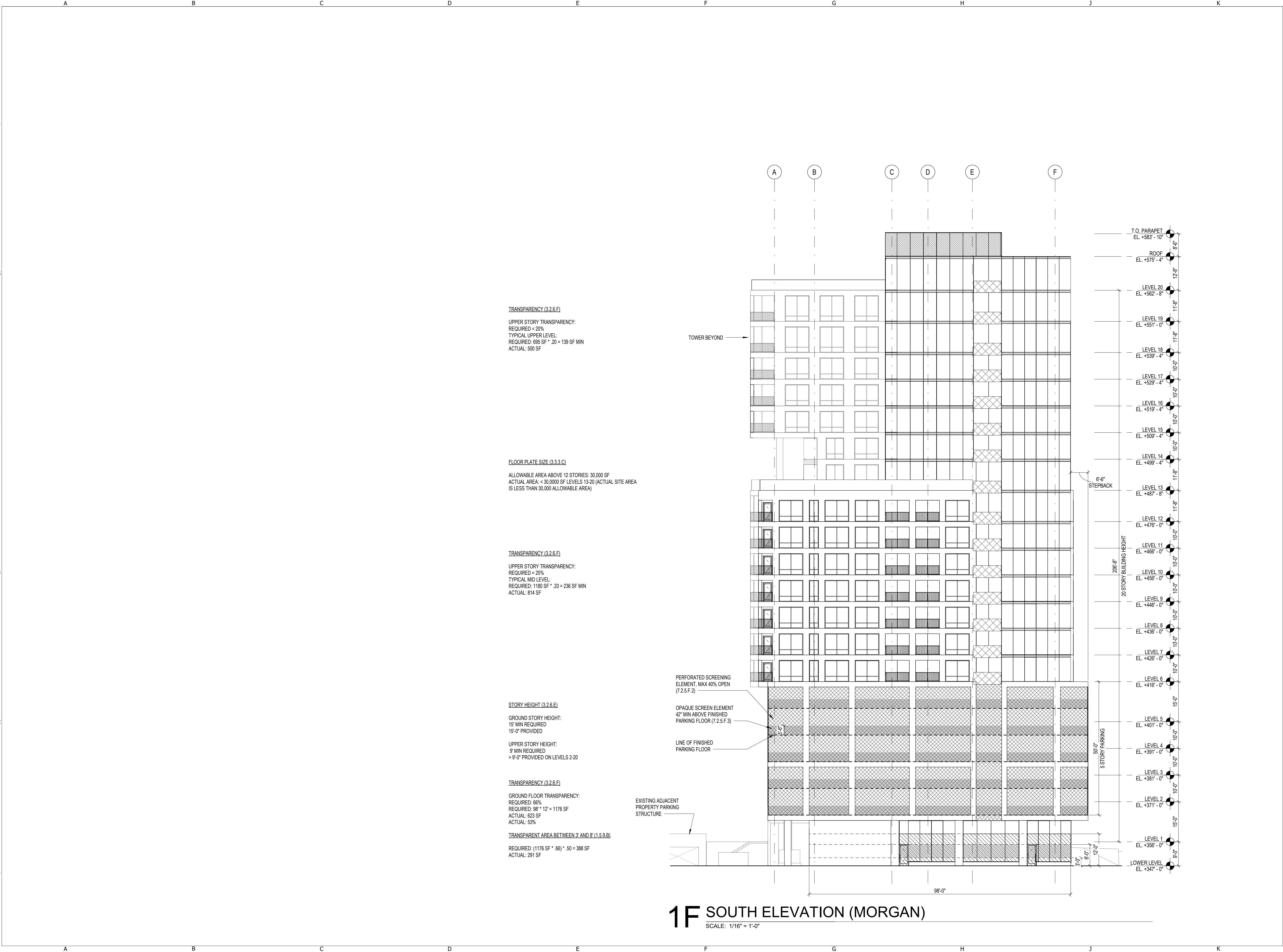
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Sheet Name
BUILDING ELEVATIONS

Sheet Number
A2-01

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CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC

Project Address
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22084.00

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Consultant Project Number

Issuances		
No.	Revision Description	Date
1	CONCEPT DESIGN	08/11/2023

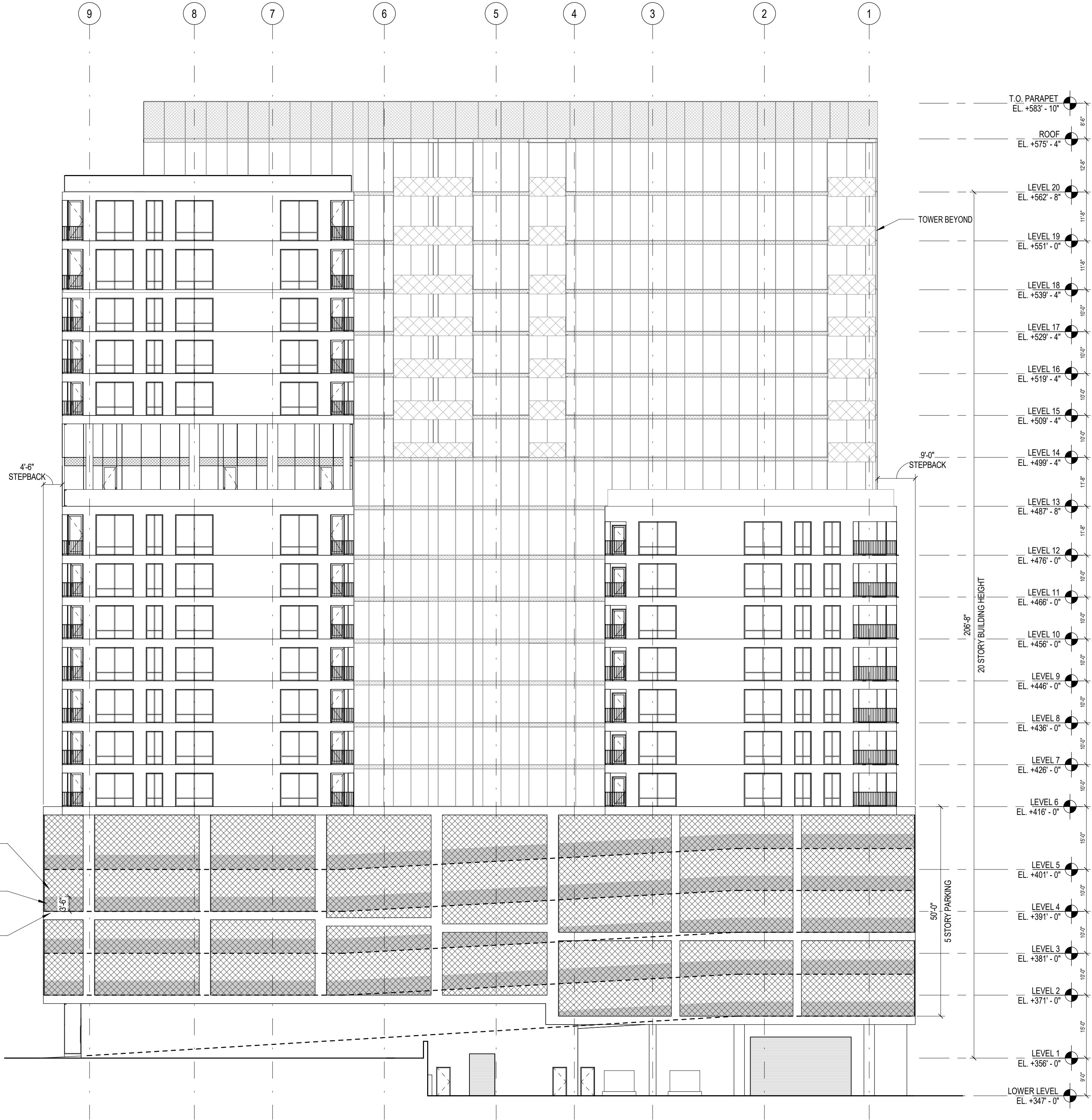
**Preliminary Documents
NOT FOR CONSTRUCTION**

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**BUILDING
ELEVATIONS**

Sheet Number
A2-02

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FLOOR PLATE SIZE (3.3.3.C)
ALLOWABLE AREA ABOVE 12 STORIES: 30,000 SF
ACTUAL AREA: < 30,000 SF LEVELS 13-20 (ACTUAL SITE AREA IS LESS THAN 30,000 ALLOWABLE AREA)

TRANSPARENCY (3.2.6.F)
UPPER STORY TRANSPARENCY:
N/A: NON STREET FRONTAGE FACADE

STORY HEIGHT (3.2.6.E)
GROUND STORY HEIGHT:
15' MIN REQUIRED
15'-0" PROVIDED
UPPER STORY HEIGHT:
9' MIN REQUIRED
> 9'-0" PROVIDED ON LEVELS 2-20

TRANSPARENCY (3.2.6.F)
N/A: NON STREET FRONTAGE FACADE
TRANSPARENT AREA BETWEEN 3' AND 8' (1.5.9.B)
N/A: NON STREET FRONTAGE FACADE

PERFORATED SCREENING
ELEMENT, MAX 40% OPEN
(7.2.5.F.2)
OPAQUE SCREEN ELEMENT
42" MIN ABOVE FINISHED
PARKING FLOOR (7.2.5.F.3)
LINE OF FINISHED
PARKING FLOOR

1E WEST ELEVATION

SCALE: 1/16" = 1'-0"

CONVEXITY - 201
HILLSBOROUGH,
RALEIGH, NC

Project Address

201 HILLSBOROUGH
RALEIGH, NC 27601

Project Number

22084.00

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Consultant Project Number

Issuances

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Sheet Name

BUILDING
ELEVATIONS

Sheet Number

A2-03

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TRANSPARENCY (3.2.6.F)

UPPER STORY TRANSPARENCY:
REQUIRED = 20%
TYPICAL UPPER LEVEL:
REQUIRED: 1200 SF * 20 = 240 SF MIN
ACTUAL: 865 SF

FLOOR PLATE SIZE (3.3.3.C)

ALLOWABLE AREA ABOVE 12 STORIES: 30,000 SF
ACTUAL AREA: < 30,000 SF LEVELS 13-20 (ACTUAL SITE AREA
IS LESS THAN 30,000 ALLOWABLE AREA)

TRANSPARENCY (3.2.6.F)

UPPER STORY TRANSPARENCY:
REQUIRED = 20%
TYPICAL MID LEVEL:
REQUIRED: 1200 SF * 20 = 240 SF MIN
ACTUAL: 865 SF

STORY HEIGHT (3.2.6.E)

GROUND STORY HEIGHT:
15' MIN REQUIRED
15'-0" PROVIDED

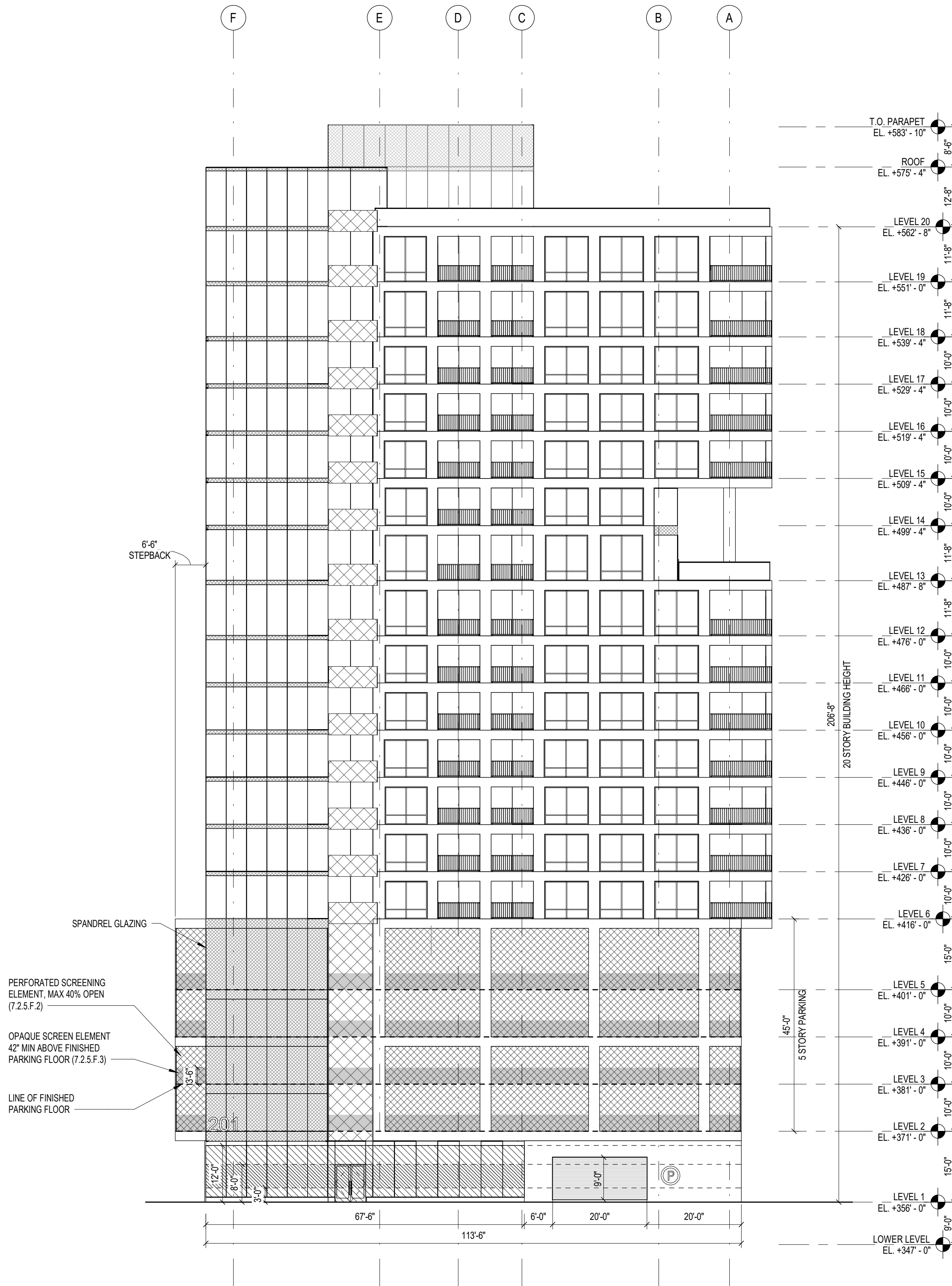
UPPER STORY HEIGHT:
9' MIN REQUIRED
> 9'-0" PROVIDED ON LEVELS 2-20

TRANSPARENCY (3.2.6.F)

GROUND FLOOR TRANSPARENCY:
REQUIRED: 66%
REQUIRED: 113.5' * 12' = 1362 SF
ACTUAL: 750 SF
ACTUAL: 55%

TRANSPARENT AREA BETWEEN 3' AND 8' (1.5.9.B)

REQUIRED: (1362 SF * .66) * .50 = 449 SF
ACTUAL: 338 SF



1F NORTH ELEV (HILLSBOROUGH)

SCALE: 1/16" = 1'-0"

CONVEXITY - 201
HILLSBOROUGH,
RALEIGH, NC

Project Address

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RALEIGH, NC 27601

Project Number

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Consultant Project Number

Issuances

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BUILDING
ELEVATIONS

Sheet Number

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