



# Administrative Approval Action

Case File / Name: ASR-0058-2023  
DSLCL - 201 Hillsborough

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:**

This 0.66 acre site zoned DX-20-UG is located on the west side of S. McDowell Street between Hillsborough Street and W. Morgan Street at 201 Hillsborough Street. There is a building and parking lot on the site which will be demolished.

**REQUEST:**

Construction of a 20-story mixed use building with a parking deck and other associated amenities. Ground floor will be a mix of retail space and residential lobby, with most of the upper floors being parking and residential uses. The building will have 279 dwelling units and will be 216,455 square feet in size.

DA-6-2024, Design Alternate - (1) to provide 714sf (59%) of transparency in the 0ft to 12ft zone in lieu of the minimum 792sf (66%) required, and a minimum 335sf (42%) of transparency in the 3ft to 8ft zone in lieu of the minimum 396sf (50%) required on the ground story of the south building facade per UDO Sections 3.2.6.F and 1.5.9; (2) to provide 744sf (54%) of transparency in the 0ft to 12ft zone in lieu of the minimum 908sf (66%) required, and a minimum 339sf (37%) of transparency in the 3ft to 8ft zone in lieu of the minimum 454sf (50%) required on the ground story of the north building facade per UDO Sections 3.2.6.F and 1.5.9; (3) for complete relief from the 12ft stepback requirement set forth in UDO Section 3.3.3 along Morgan Street; (4) for complete relief from the 12ft stepback requirement set forth in UDO Section 3.3.3 along McDowell Street; and (5) for complete relief from the 12ft stepback requirement set forth in UDO Section 3.3.3 along Hillsborough Street. All requests are in conjunction with construction of a mixed-use building on the approximately 0.6 acre property zoned DX-20-UG located at 200 W Morgan Street (ASR-0058-2023).

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:**

N/A

**FINDINGS:**

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 29, 2025 by Kimley-Horn.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

**General**

1. Please transpose the Will Serve Letter and this approval email to the cover of the plan or indicate in the Site Index where the Will Service, Collection Path Exhibit, and email approval is found in the plan. - COR Solid Waste



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2. As this is within an urban frontage, amenity areas need to show that the standards of 1.5.3 C are met, as well as Text Change 5-23 See Section 3, 1.5.3 C3 - FYI - Text change TC-5-23 was effective on 9/19/24. ( additional vegetation requirements for amenity area within urban plazas) As your submittal was accepted prior to this effective date, you have a choice. Please clarify your choice on the plan. Please demonstrate compliance on plan sheets.
3. The proposed plan shows the requirement to obtain a temporary construction easement from the adjacent property owner. This must be obtained and presented prior to SPR approval.
4. Demonstrate compliance with UDO Sections 3.2.4.B. and 7.2.5.F. related to parking structure design and screening for the west elevation.

## Engineering

5. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
6. An encroachment submittal for proposed stormwater improvements specific to the site drainage within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department. Additionally, the developer shall fully clarify the condition and location of the downstream drainage for confirmation of both positive drainage and no impact to public infrastructure.
7. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Public Utilities

8. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

## Stormwater

9. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
10. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
11. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## Engineering

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.

## Stormwater

3. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**The following items must be approved prior to the issuance of building permits:**

## General

1. A demolition permit shall be obtained.

## Engineering



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2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Stormwater

3. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes (2) street trees along W Morgan St, (4) street trees along Hillsborough St. and (5) street trees along S McDowell St. for a total of (11) street trees.
6. A public infrastructure surety for (11) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

### ***The following are required prior to issuance of building occupancy permit:***

#### General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

#### Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before

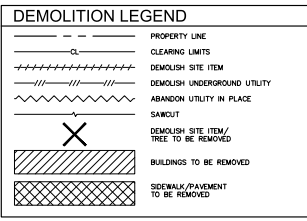
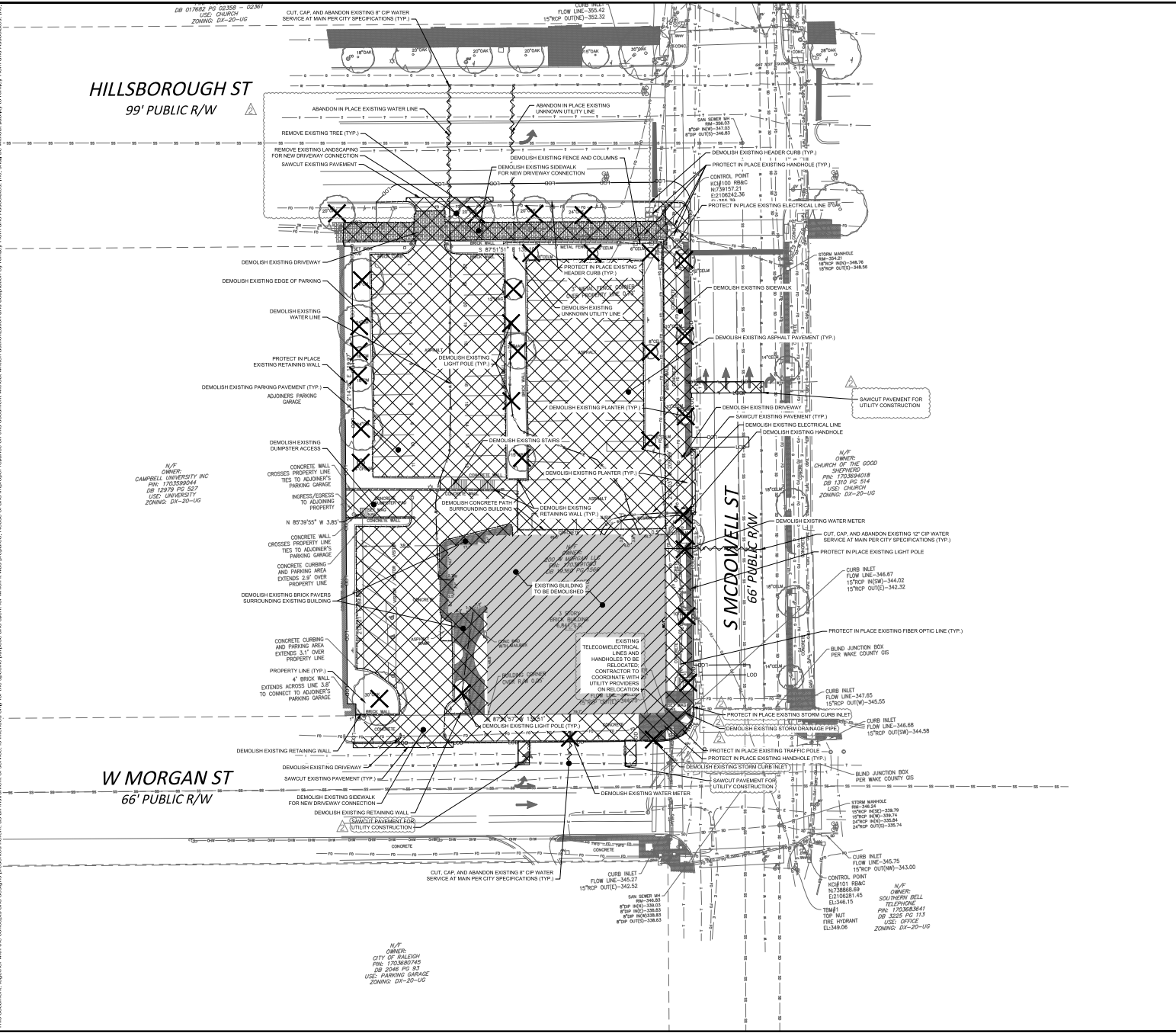








DB 017682 PG 02.550 - 02.561  
 USE: CHURCH  
 ZONING: DX-20-UG  
 N/E OWNER: CAMPBELL UNIVERSITY INC  
 P/N: 170359044  
 DB 12079 PG 027  
 USE: UNIVERSITY  
 ZONING: DX-20-UG  
 N/E OWNER: CITY OF RALEIGH  
 P/N: 1703680745  
 DB 2046 PG 81  
 USE: PARKING GARAGE  
 ZONING: DX-20-UG  
 SURVEY NOTE: EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A PRELIMINARY AT-TAMPS LAND SURVEY OBTAINED ON 02/10/2023 BY KCI ASSOCIATES OF NC, P.A., 4600 FALLS OF NEUSE ROAD, 4TH FLOOR, RALEIGH, NC 27609. PHONE: (919) 280-7344. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION. DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



- ### DEMOLITION NOTES
- THE ITEMS IDENTIFIED FOR DEMOLITION ARE INTENDED TO AID THE CONTRACTOR. THE ITEMS IDENTIFIED MAY NOT INCLUDE ALL ASPECTS OF DEMOLITION REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY DEMOLITION TO CONSTRUCT THE PROPOSED IMPROVEMENTS.
  - CLEAR VEGETATION TO LIMITS SHOWN ON PLAN.
  - THE LOCATIONS OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES, AND OTHER ABOVE AND BELOW GROUND APPEARANCES ARE APPROXIMATE AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, AND INVERT ELEVATIONS OF EACH PRIOR TO BEGINNING CONSTRUCTION.
  - PAVEMENT SAW CUTS AND REMOVAL RELATED TO PROPOSED UTILITY CONNECTIONS WITHIN THE PUBLIC RIGHT OF WAY TO BE COORDINATED AT TIME OF SPR WITH NCDOT.

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	01/20/2025
2	REVISIONS PER CITY COMMENTS	11/02/2024
3	REVISIONS PER CITY COMMENTS	11/02/2024
4	REVISIONS PER CITY COMMENTS	02/20/2024

**Kimley»Horn**

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 # 0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-877-2000  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY  
 NOT FOR CONSTRUCTION

PROJECT NO.	09/25/2023
DATE	AS SHOWN
SCALE	SCALE
DESIGNED BY	SRP
DRAWN BY	JDM
CHECKED BY	AMR

## DEMOLITION PLAN

201 HILLSBOROUGH  
 PREPARED FOR  
 CONVEXITY PROPERTIES  
 RALEIGH

SHEET NUMBER  
**C-004**

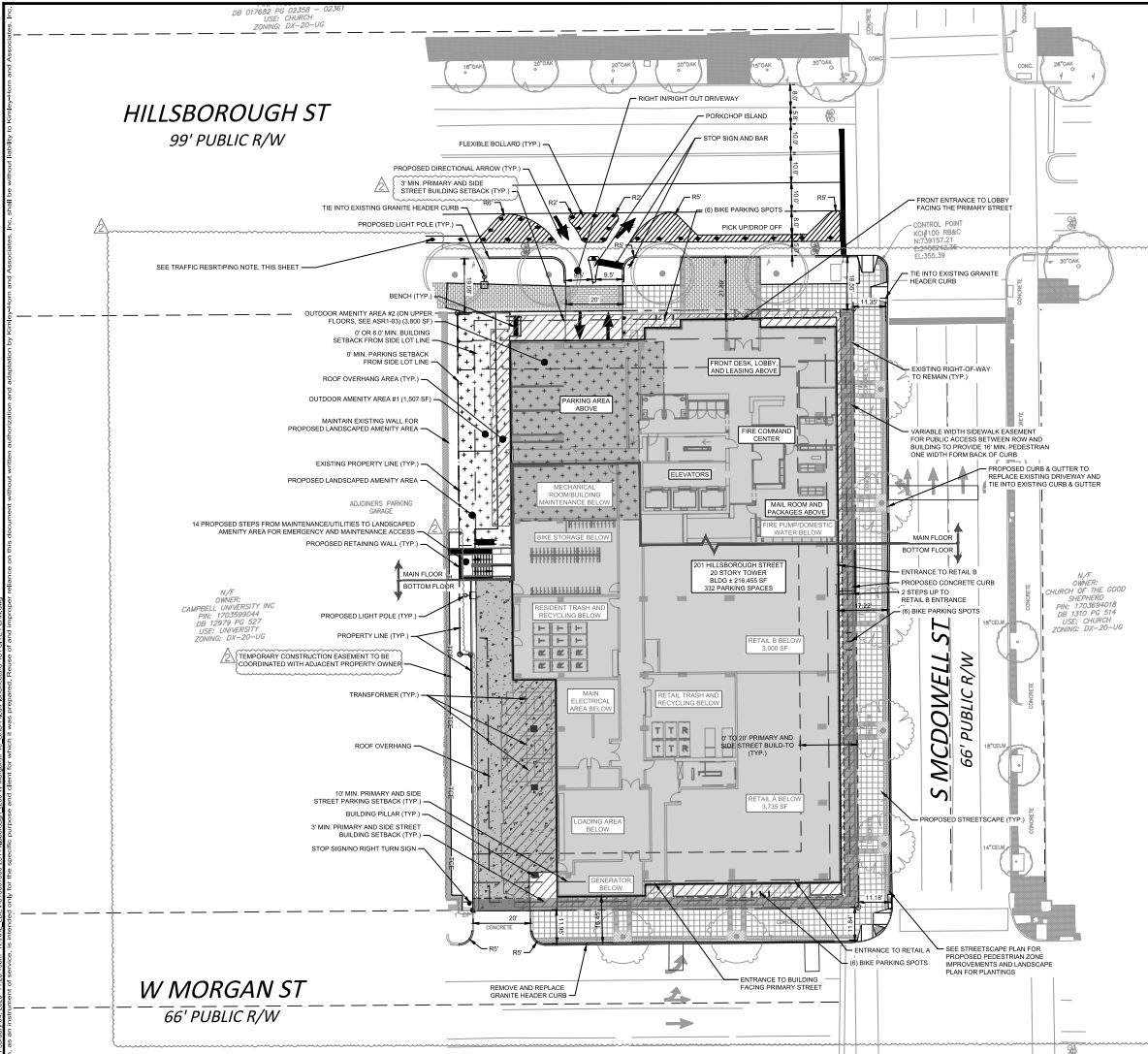
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811

Know what's below.  
Call before you dig.

NORTH

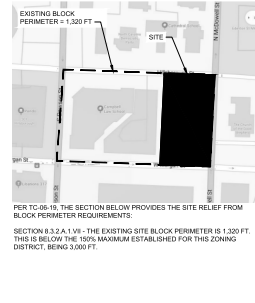
GRAPHIC SCALE IN FEET



**HILLSBOROUGH ST**  
99' PUBLIC R/W

**W MORGAN ST**  
66' PUBLIC R/W

**S MCDOWELL ST**  
66' PUBLIC R/W



**SITE LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- FENCE
- STANDARD CURB AND GUTTER
- SIGN (SEE PLAN)
- LIGHT POLE
- ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
- DIRECTIONAL PAVEMENT ARROWS
- HEAVY DUTY CONCRETE
- CONCRETE SIDEWALK
- OUTDOOR AMENITY AREA
- SIDEWALK EASEMENT

**SITE DATA TABLE**

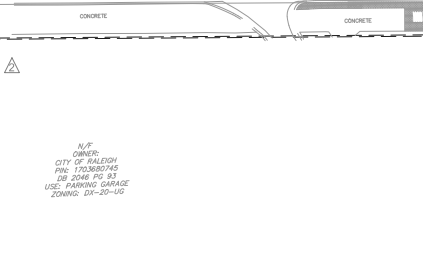
SITE ADDRESS	201 HILLSBOROUGH STREET, RALEIGH, NC 27603
SITE PIN	1703691063
FEMA DIGITAL FLOOD INSURANCE MAP	DFIRM PANEL 3720170300K (EFFECTIVE JULY 19, 2022)
EXISTING ZONING	DX-20-UG
EXISTING USE	OFFICE
PROPOSED USE	MIXED-USE
FRONTAGE TYPE	URBAN GENERAL (UG)
GROSS SITE AREA	0.66 AC. (28,960 SF)
PRIMARY STREET	HILLSBOROUGH ST AND W MORGAN ST
SETBACKS	BUILDING: PRIMARY AND SIDE STREET - 3' SIDE/REAR LOT LINE - 0 OR 6' ALLEY - 5' PARKING: PRIMARY AND SIDE STREET - 10' SIDE/REAR LOT LINE - 0' ALLEY - 5'
BUILD-TO REQUIREMENTS	PRIMARY STREET BUILD-TO: 0' TO 20' AT LEAST 70% OF BUILDING WIDTH IN BUILD-TO RANGE SIDE STREET BUILD-TO: 0' TO 20', AT LEAST 35% OF BUILDING WIDTH IN BUILD-TO RANGE
BUILD-TO PROVIDED	PRIMARY STREET (HILLSBOROUGH ST): 126/1136' = 90.6% PRIMARY STREET (W MORGAN ST): 209/210' = 99.5% SIDE STREET (S MCDOWELL ST): 209/210' = 99.5%
PROPOSED BUILDING HEIGHT	MAXIMUM HEIGHT: 20 STORIES BUILDING: 20 STORIES
BUILDING SQUARE FOOTAGE(S)	MULTI-USE LIVING: 286,895 SF RETAIL/RESTAURANT/BAR: 6,740 SF TOTAL: 293,435 SF
MAXIMUM ALLOWED VEHICLE PARKING	MULTI-USE LIVING: 2 SPACES PER DWELLING UNIT (1.5 SPACES PER STUDIO OR ONE BEDROOM UNIT) RESTAURANT/BAR: 1 SPACE PER 100 SF GFA RETAIL: 1 SPACE PER 200 SF GFA PLUS 1.5 SPACES PER 600 SF OUTDOOR DISPLAY AREA 513 SPACES (448 MULTI-USE LIVING, 65 RESTAURANT/RETAIL)
PARKING PROVIDED	330 SPACES (246 STANDARD, 74 COMPACT, 8 ACCESSIBLE)
SHORT-TERM BICYCLE PARKING REQUIRED (MINIMUM)	MULTI-UNIT LIVING: 1 SPACE PER 20 UNITS (4 MIN) RESTAURANT/BAR: 1 SPACE PER 50,000 SF GFA (4 MIN) RETAIL: 1 SPACE PER 5,000 SF GFA (4 MIN) 18 SPACES (14 MULTI-UNIT, 4 RESTAURANT/RETAIL)
SHORT-TERM BICYCLE PARKING PROVIDED	18 SPACES PROVIDED
LONG-TERM BICYCLE PARKING REQUIRED (MINIMUM)	MULTI-UNIT LIVING: 1 SPACE PER 7 BEDROOMS RESTAURANT/BAR: 1 SPACE PER 25,000 SF GFA (4 MIN) RETAIL: NONE
LONG-TERM BICYCLE PARKING PROVIDED	52 SPACES
OUTDOOR AMENITY AREA REQUIRED:	10% OF NET SITE AREA; 10% X 0.66 AC (28,750 SF) = 0.066 AC (2,875 SF)
OUTDOOR AMENITY AREA PROVIDED:	5,307 SF (1,507 SF + 3,800 SF)

**PRIMARY STREET DETERMINATION TABLE**

FOR THE PURPOSES OF DETERMINING SETBACKS, BUILD-TO LINES, AND OTHER REGULATIONS, A MULTIPLE STREET FRONTAGE SITE OR LOT OVERHANG MUST DESIGNATE AT LEAST ONE PRIMARY STREET PRIOR TO DEVELOPMENT. NOT TO INCLUDE ADDITIONS, A LOT MAY HAVE MORE THAN ONE PRIMARY STREET. A LOT DEVELOPED WITH APARTMENT GENERAL, MIXED-USE OR CIVIC BUILDING TYPES SHALL DESIGNATE ITS PRIMARY STREET USING THE CRITERIA SHOWN IN (A) THROUGH (D) BELOW. IF ONE STREET MEETS ANY OF THE CRITERIA (A) THROUGH (D), IT WILL BE DESIGNATED PRIMARY. IF TWO STREETS MEET ANY OF THE CRITERIA (A) THROUGH (D), BOTH WILL BE DESIGNATED PRIMARY. IF THREE OR FOUR STREETS MEET ANY OF THE CRITERIA (A) THROUGH (D), THE APPLICANT MAY CHOOSE THE TWO STREETS DESIGNATED AS PRIMARY. IF THEY MEET THE SAME NUMBER, THEN THE APPLICANT MAY CHOOSE THE TWO STREETS DESIGNATED AS PRIMARY.

	HILLSBOROUGH ST	S MCDOWELL ST	W MORGAN ST
(A) STREET WITH TRANSIT SERVICE	YES	YES	YES
(B) ANY STREET DESIGNATED AS A MAIN STREET OR URBAN THROUGHFARE ON THE URBAN FORM MAP	NO	NO	NO
(C) ANY STREET DESIGNATED AS A RETAIL STREET IN THE DOWNTOWN SECTION OF THE COMPREHENSIVE PLAN	NO	NO	NO
(D) THE STREET DESIGNATED AS A MIXED-USE STREET ON THE RALEIGH STREET PLAN	YES	NO	NO

PRIMARY OR SECONDARY? PRIMARY USE SECONDARY USE  
CONCLUSION: HILLSBOROUGH ST AND W MORGAN ST ARE PRIMARY. S MCDOWELL ST IS A SIDE STREET AS W MORGAN ST AND S MCDOWELL ST MEET THE SAME NUMBER BETWEEN (A) AND (D). THE APPLICANT HAS CHOSEN W MORGAN ST AS THE SECOND PRIMARY STREET.



**TRAFFIC RESTRIPING NOTE:**  
THE PROPOSED EXTENSION OF TRAFFIC RESTRIPING FOR PARKING, PROTECTED BIKE LANE AND FLEXIBLE BOLLARDS DOWN THE LENGTH OF THE SOUTHERN SIDE OF HILLSBOROUGH ST FROM THE INTERSECTION OF S MCDOWELL TO W MORGAN ST TO BE COORDINATED AT TIME OF IMP. EXTENDED TRAFFIC IMPROVEMENTS WILL NOT IMPACT EXISTING ROADWAY WIDTH, DRIVEWAY LOCATIONS, CURB AND GUTTER LOCATIONS OR SIDEWALK LOCATIONS ALONG ADJACENT NEIGHBORING BLOCK FRONTAGE.

**811**  
Know what's below. Call before you dig.

**GRAPHIC SCALE IN FEET**  
0 10 20 40

**NORTH**

**Kimley Horn**  
PRELIMINARY NOT FOR CONSTRUCTION

**SITE PLAN**

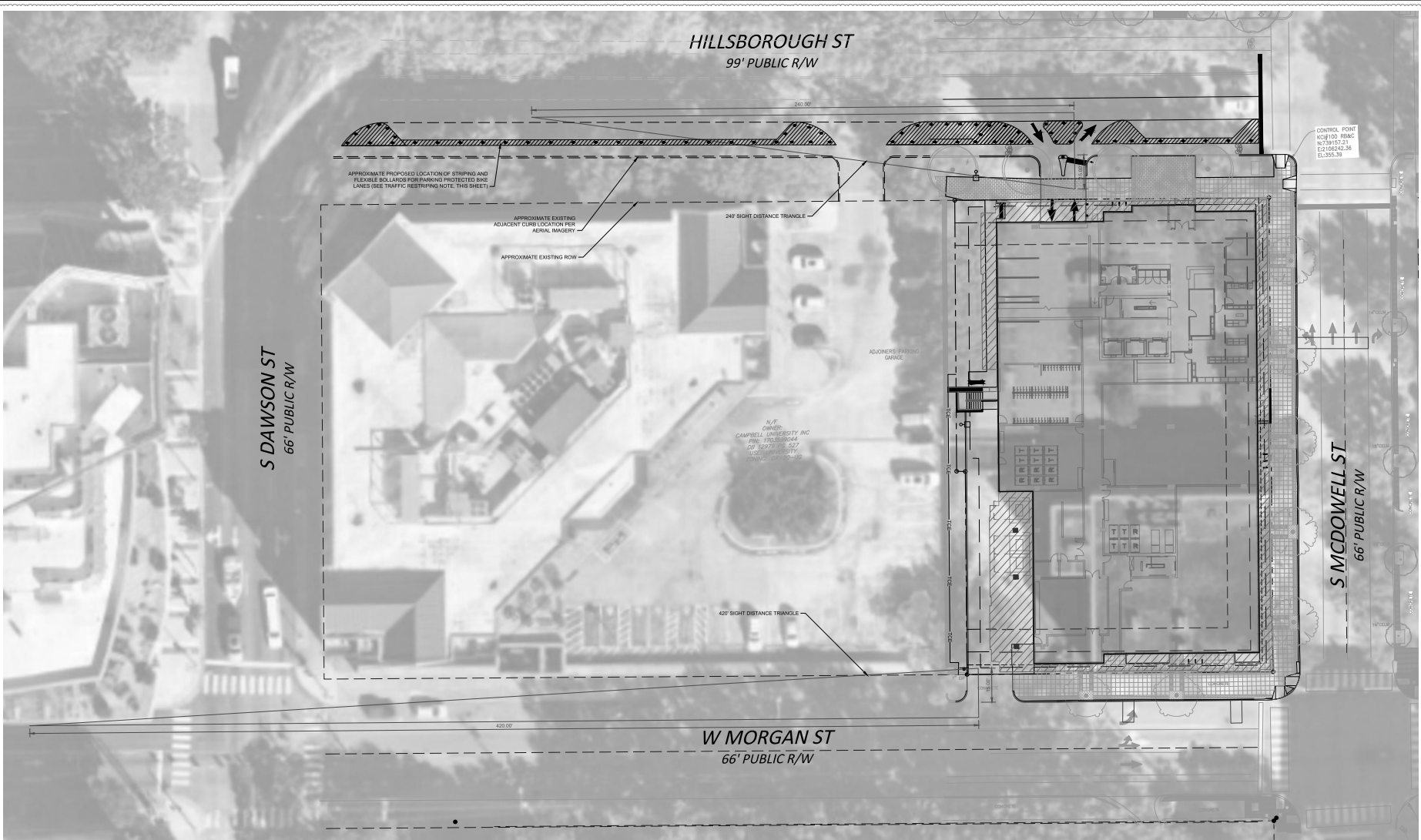
**201 HILLSBOROUGH**  
PREPARED FOR  
**CONVEXY PROPERTY PROPERTIES**  
RALEIGH

PROJECT NO: 2023-001  
DATE: 09/25/2023  
SCALE: AS SHOWN  
DESIGNED BY: SHW  
DRAWN BY: AMF  
CHECKED BY: AMF

SHEET NUMBER  
**C-101**

NO.	REVISIONS	DATE
1	ISSUED PER CITY COMMENTS	11/02/2023
2	REVISED PER CITY COMMENTS	11/02/2024
3	REVISED PER CITY COMMENTS	02/02/2024

201 HILLSBOROUGH PREPARED FOR CONVEXITY PROPERTIES RALEIGH NORTH CAROLINA  
 PROJECT NO. 201HS-2023-01 DATE 09/25/2023 SCALE AS SHOWN DESIGNED BY BRP DRAWN BY AMF CHECKED BY AMF  
 811 CALL BEFORE YOU DIG  
 THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE HEREOF. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION AND SIGNATURE OF KIMLEY-HORN AND ASSOCIATES, INC. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORTING ANY POTENTIAL CONFLICTS TO OWNER AND ENGINEER.



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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SIGN (SEE PLAN)
	LIGHT POLE
	4' X 8' TREE GRATE
	DIRECTIONAL PAVEMENT ARROWS

**SURVEY NOTE**  
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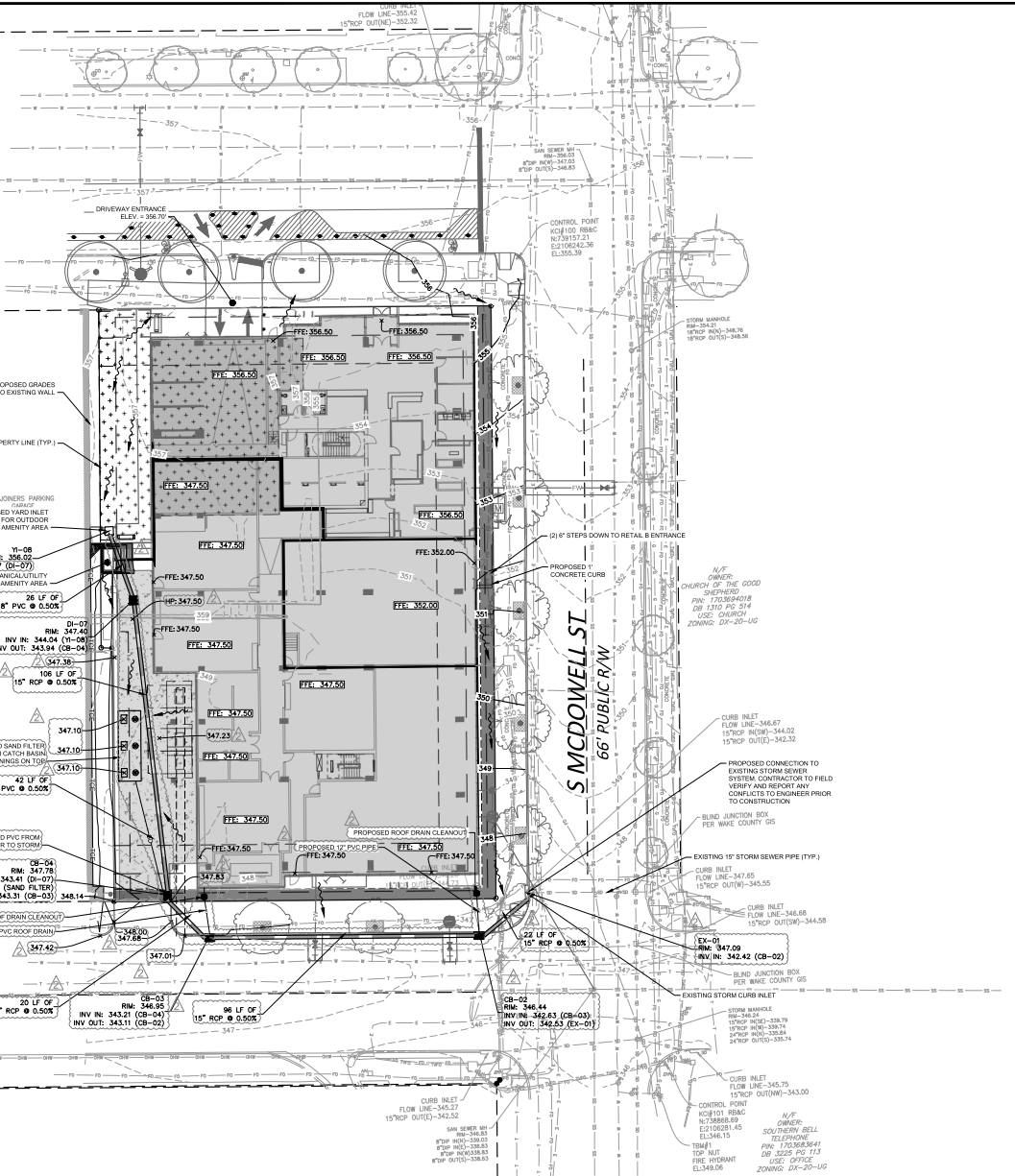
GRAPHIC SCALE IN FEET  
 0 10 20 40

<b>Kimley-Horn</b> © 2024 KIMLEY-HORN AND ASSOCIATES, INC. # 0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2000 421 FAYETTEVILLE STREET SUITE 600, RALEIGH, NC 27601	
<b>PRELIMINARY NOT FOR CONSTRUCTION</b>	
HMA PROJECT DATE 09/25/2023 SCALE AS SHOWN DESIGNED BY BRP DRAWN BY AMF CHECKED BY AMF	REVISIONS PER CITY COMMENTS 01/09/2025 JAK 11/09/2024 AMR 02/09/2024 BRP
<b>201 HILLSBOROUGH PREPARED FOR CONVEXITY PROPERTIES RALEIGH</b>	NORTH CAROLINA SHEET NUMBER <b>C-102</b>

DRAWN BY: JIMMY B. SMITH, P.E., 1000 W. GARDEN ST., SUITE 200, RALEIGH, NC 27603, PHONE: (919) 286-7444, FAX: (919) 286-7444, WWW.KIMLEY-HORN.COM  
 CHECKED BY: JIMMY B. SMITH, P.E., 1000 W. GARDEN ST., SUITE 200, RALEIGH, NC 27603, PHONE: (919) 286-7444, FAX: (919) 286-7444, WWW.KIMLEY-HORN.COM  
 PROJECT NO.: 201 HILLSBOROUGH CONVEXY PROPERTIES  
 SHEET NO.: C-201  
 DATE: 09/25/2023

HILLSBOROUGH ST  
99' PUBLIC R/W

W MORGAN ST  
66' PUBLIC R/W



GRADING AND DRAINAGE LEGEND	
—	PROPERTY LINE
—	TEMPORARY CONSTRUCTION EASEMENT
—	STORM DRAIN (> 12 INCH)
—	STORM DRAIN (< 12 INCH)
—	ROOF DRAIN
—	UNDER DRAIN
—	CURB AND GUTTER
—	SPILL CURB AND GUTTER
—	CLEARING LIMITS
—	EXISTING CONTOUR
—	PROPOSED CONTOUR
—	SPOT ELEVATION
—	CATCH BASIN (CB)
—	MANHOLE (SMH)
—	CLEANOUT (SDCO)
—	DROP INLET (DI)
—	AREA DRAIN (AD)
—	CONTROL STRUCTURE (CS)
—	FLARED END SECTION (FES)
—	CONCRETE HEADWALL (HW)
—	RP-RAP APRON
—	FLOW ARROW
—	TOP OF WALL (GRADE ELEV.)
—	BOTTOM OF WALL (GRADE ELEV.)
—	TOP OF PAVEMENT (GRADE ELEV.)
—	TOP OF CURB (GRADE ELEV.)
—	FLUSH CURB (GRADE ELEV.)
—	WATER TIGHT JOINTS (WT)

**Kimley Horn**

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 # 0102 WWW.KIMLEY-HORN.COM PHONE: 919-286-7444 FAX: 919-286-7444  
 421 FAYETTEVILLE STREET SUITE 600, RALEIGH, NC 27601

PRELIMINARY  
 NOT FOR CONSTRUCTION

NO.	DATE	BY	REVISIONS
1	01/20/2025	JAA	REVISIONS PER CITY COMMENTS
2	11/09/2024	JAA	REVISIONS PER CITY COMMENTS
3	02/09/2024	SRH	REVISIONS PER CITY COMMENTS

NO.	DATE	BY	REVISIONS

GRADING AND DRAINAGE PLAN

201 HILLSBOROUGH CONVEXY PROPERTIES

NORTH CAROLINA

**SURVEY NOTE:**  
 EXISTING TOPOGRAPHICAL INFORMATION IS BASED ON A PRELIMINARY A/T TAMPERS LAND SURVEY OBTAINED ON 02/10/2023 BY KCI ASSOCIATES OF NC, P.A., 4600 FALLS OF NEUSE ROAD, 4TH FLOOR, RALEIGH, NC 27609, PHONE: (919) 280-7344. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING INFORMATION. DEPICTED OR NOT, PRIOR TO CONSTRUCTION AND REPORT ANY POTENTIAL CONFLICTS TO OWNER AND ENGINEER.

811

Know what's below.  
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NORTH

GRAPHIC SCALE IN FEET

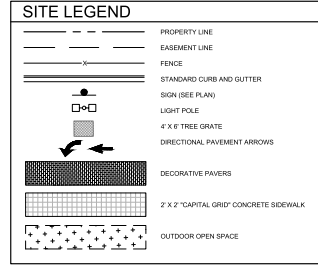
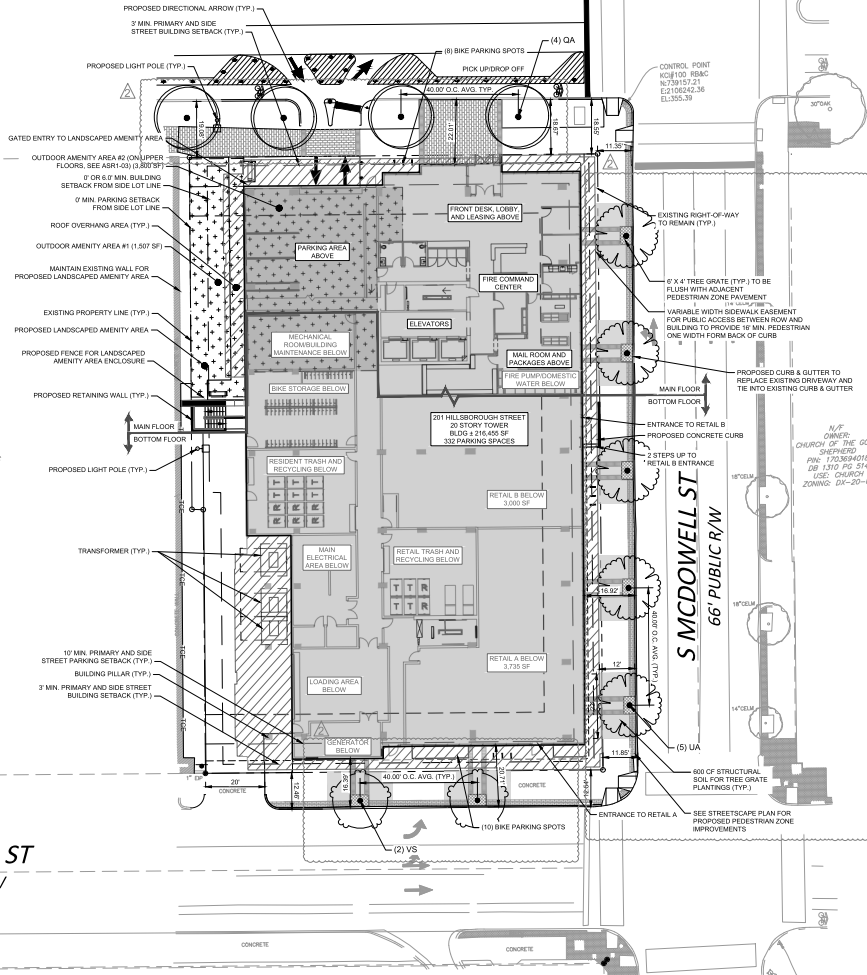






HILLSBOROUGH ST  
99' PUBLIC R/W

W MORGAN ST  
66' PUBLIC R/W



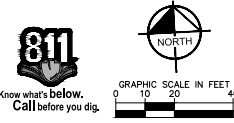
**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	HEIGHT
QA	4	4	QUERCUS PHELLOES 'QPST' SINGLE STEM	ASCENDOR® MELLOW OAK	848	3/8" CAL	10-12' MIN
UA	5	5	LAMUS AMERICANA 'PRINCETON SINGLE STEM'	PRINCETON ELM	848	3" CAL	10-12' MIN
YS	2	2	RENOVA SERRATA 'GREEN VASE' SINGLE STEM	GREEN VASE ZELKOVA	848	3" CAL	10-12' MIN

**LANDSCAPE REQUIREMENTS & CALCULATIONS**  
City of Raleigh UDO

AREA TO BE LANDSCAPED	CODE REQUIREMENT	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
HILLSBOROUGH ST.	40' O.C. AVG (AVENUE 3-LANE, PARALLEL PARKING)	99 LF (LESS 20' FROM DRIVEWAY & INTERSECTION)	99 / 40 = 2 DEC. CANOPY TREES	2 DEC. CANOPY TREES + 2 REPLANTED TREES	8.5.5.C
S. MCDOWELL ST.	40' O.C. AVG (AVENUE 6-LANE, DIVIDED)	199 LF (LESS 20' FROM INTERSECTIONS)	199 / 40 = 5 DEC. CANOPY TREES	5 DEC. CANOPY TREES	8.5.6.C
W. MORGAN ST.	40' O.C. AVG (AVENUE 4-LANE, PARALLEL PARKING)	95 LF (LESS 20' FROM DRIVEWAY & INTERSECTION)	95 / 40 = 2 DEC. CANOPY TREES	2 DEC. CANOPY TREES	8.5.6.A

**SURVEY NOTE**  
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NO.	DATE	REVISIONS	BY
1	01/20/2025	ISSUE FOR PERMITS	AMR
2	11/09/2024	REVISIONS PER CITY COMMENTS	AMR
3	02/20/2024	REVISIONS PER CITY COMMENTS	AMR

**Kimley Horn**  
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#6102 WWW.KIMLEYHORN.COM PHONE: 919-677-2000 FAX: 919-677-2000  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

PRELIMINARY  
NOT FOR CONSTRUCTION

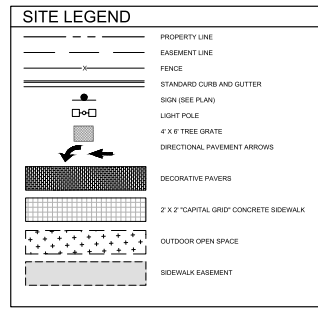
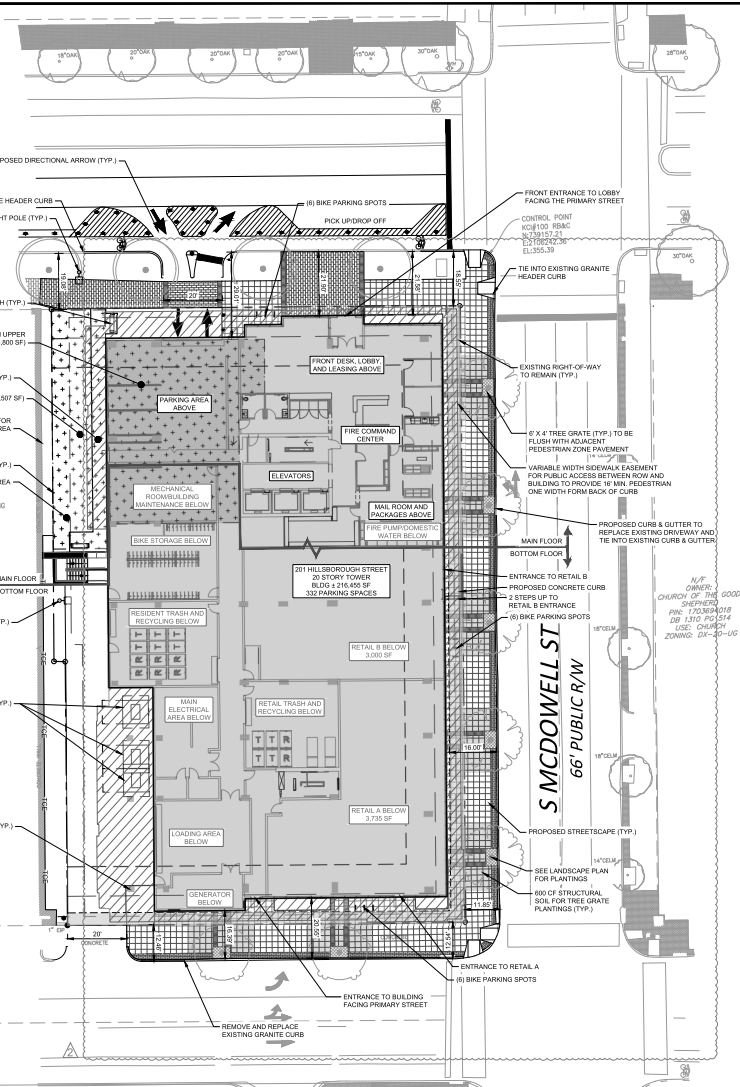
**LANDSCAPE PLAN**

201 HILLSBOROUGH  
PREPARED FOR  
CONVEXITY PROPERTIES  
RALEIGH  
NORTH CAROLINA

SHEET NUMBER  
L-101

HILLSBOROUGH ST  
99' PUBLIC R/W

W MORGAN ST  
66' PUBLIC R/W



**STREETSCAPE NOTES:**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS.
2. NCDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY WORK WITHIN STATE ROW PRIOR TO CONSTRUCTION. MAJOR ENCROACHMENT AGREEMENTS WITH THE CITY OF RALEIGH WILL BE REQUIRED PRIOR TO CONSTRUCTION OF STREETSCAPE IMPROVEMENTS.
3. SCHEMATIC STREETSCAPE PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE PENDING OWNER/MUNICIPAL REVIEW.
4. ALL STREETSCAPE ELEMENTS NOTED HAVE BEEN OFFSET FROM EXISTING BACK OF CURB AS LOCATED IN THE SURVEY RECEIVED FROM OTHERS ON 09-21-2023.
5. ALL DISTANCES SHOWN ARE HORIZONTAL, GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED).
6. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/2011).
7. SEE SHEET L-200 LANDSCAPE DETAILS FOR APPLICABLE LANDSCAPE INSTALLATION DETAILS AND NOTES.
8. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD DETAIL TP-03 (SEE SHEET L-200) AND THE REQUIREMENTS OF CHAPTER 21C OF THE CITY TREE MANUAL.
9. STREET IMPROVEMENTS ON HILLSBOROUGH STREET WILL REQUIRE ON-SITE FIELD LOCATION PRIOR TO CONSTRUCTION.

NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMITS	01/20/2025	JAK
2	REVISIONS PER CITY COMMENTS	11/09/2024	AMR
3	REVISIONS PER CITY COMMENTS	02/09/2024	SRH

**Kimley»Horn**  
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 #6102 WWW.KIMLEYHORN.COM PHONE: 919-977-2000 FAX: 919-977-2000

**PRELIMINARY NOT FOR CONSTRUCTION**

**STREETSCAPE PLAN**

**201 HILLSBOROUGH CONVENITY PROPERTIES**  
 NORTH CAROLINA RALEIGH

**SURVEY NOTE:**  
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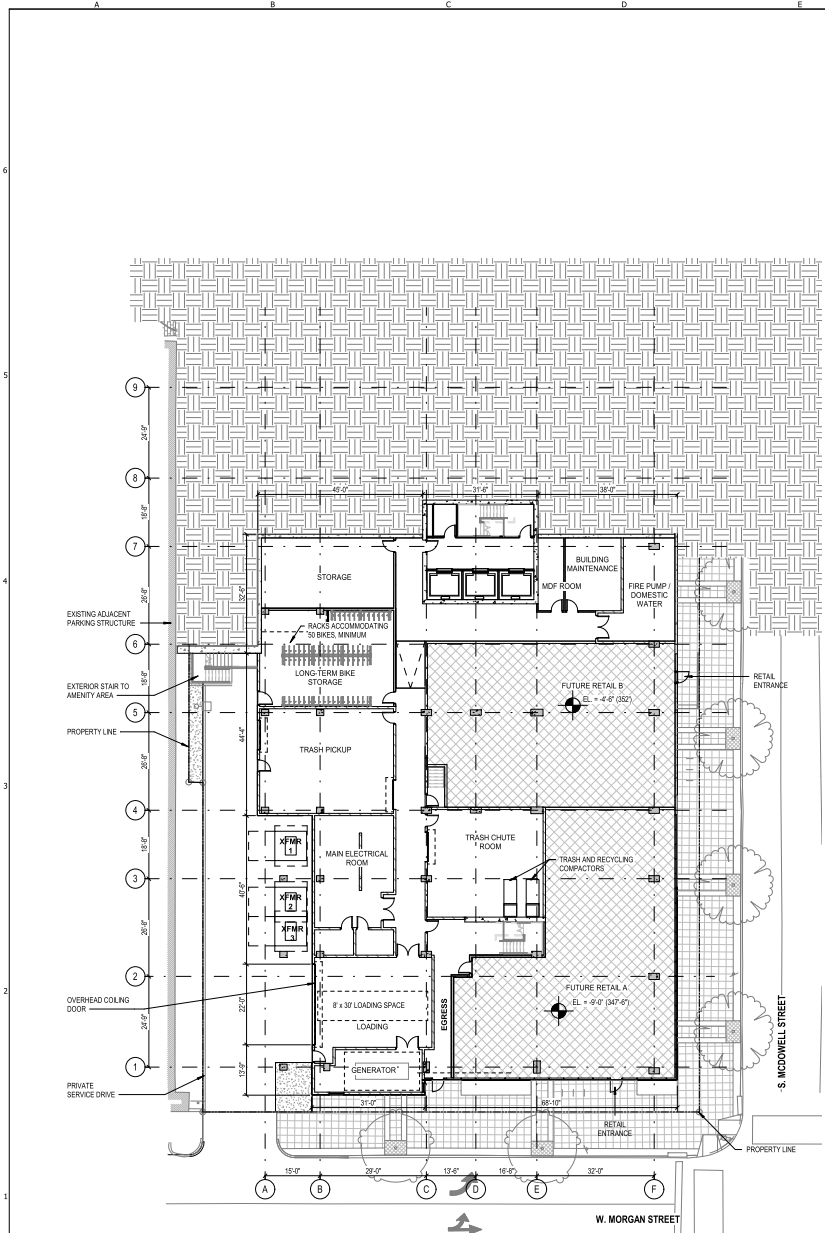
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 Know what's below. Call before you dig.

**GRAPHIC SCALE IN FEET**  
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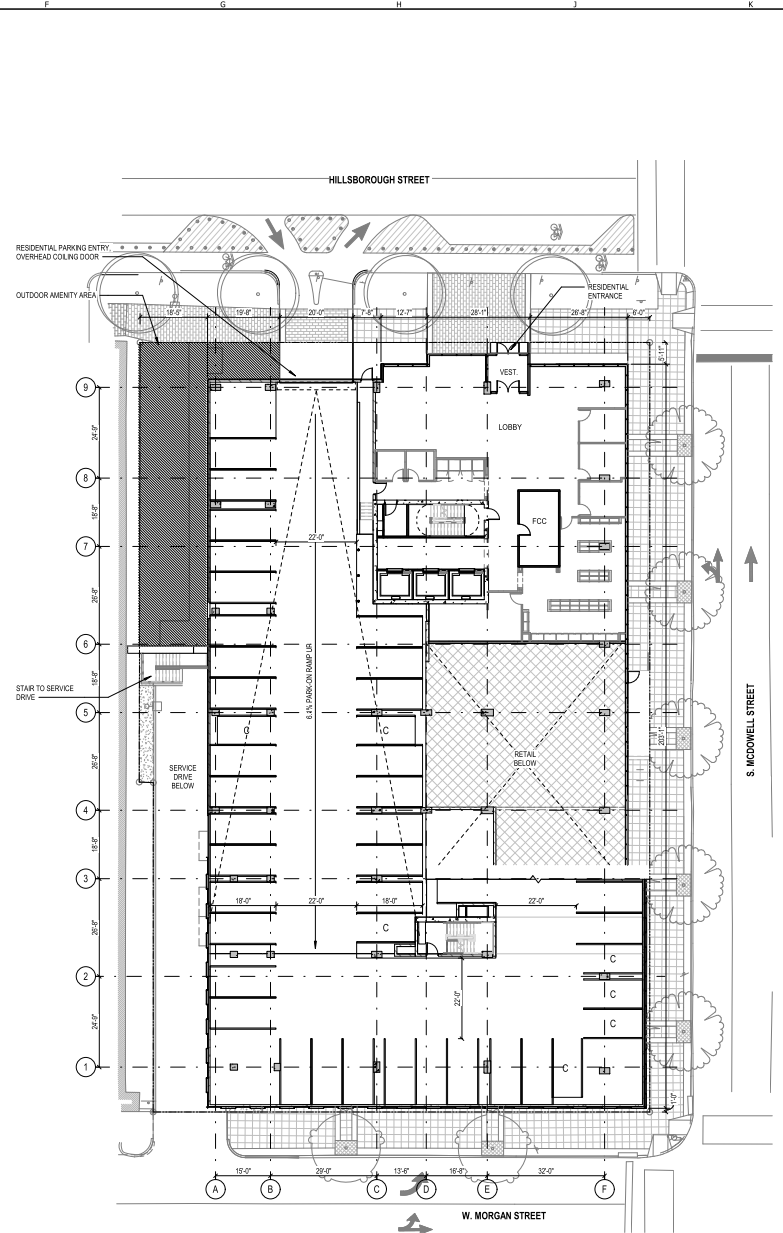
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10/31/2024 4:32:30 PM



**1A ASR LEVEL 0 - MORGAN PLAN**  
SCALE: 1/16" = 1'-0"



**1F ASR LEVEL 1 - HILLSBOROUGH PLAN**  
SCALE: 1/16" = 1'-0"

**CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC**

Project Address  
201 HILLSBOROUGH  
RALEIGH, NC 27601  
Project Number  
22084.00  
Architect

**VALERIO DEWALT TRAIN**

500 North Dearborn Street  
Suite 900  
Chicago, Illinois 60654  
312.260.7300  
Project Team Architect's Stamp  
DAVID JENNERIAHN  
STEVE DROUL  
PETER WOJCIWICZ

Consultant

Consultant Project Number

Issuances		
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2.	ASR REVISIONS PER CITY COMMENT	10.31.2024

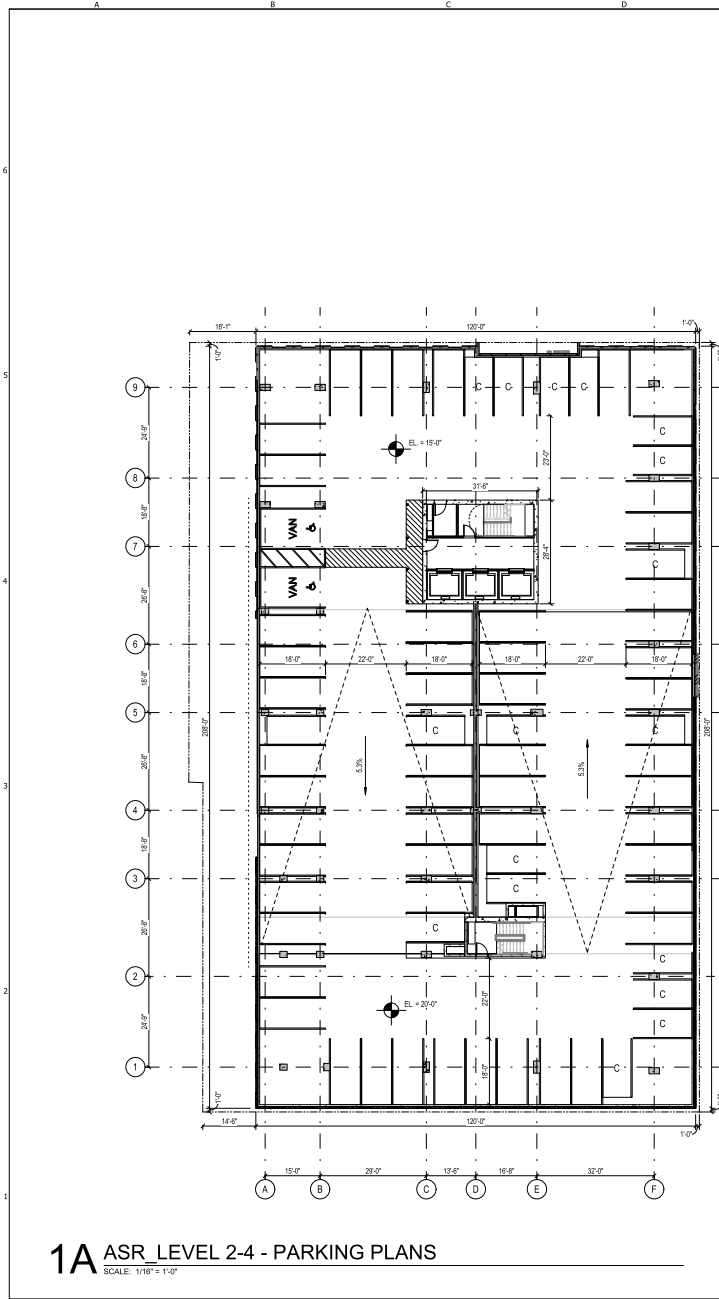
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Sheet Name  
**FLOOR PLANS**

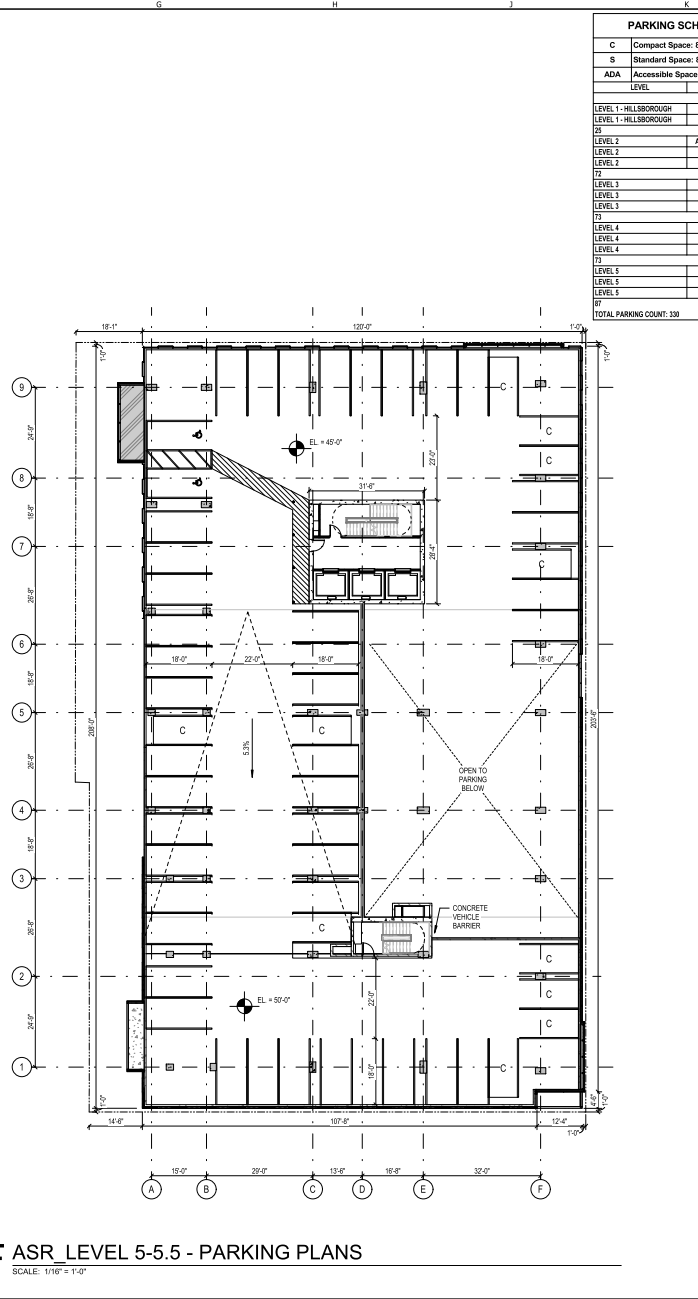
Sheet Number  
**ASR1-01**

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**1A ASR LEVEL 2-4 - PARKING PLANS**  
SCALE: 1/16" = 1'-0"



**1F ASR LEVEL 5-5.5 - PARKING PLANS**  
SCALE: 1/16" = 1'-0"

PARKING SCHEDULE		
LEVEL	TYPE	QTY
LEVEL 1, HILLSBOROUGH	C	3
LEVEL 1, HILLSBOROUGH	S	22
LEVEL 2	ADA-VAN	2
LEVEL 2	C	19
LEVEL 2	S	52
LEVEL 3	ADA	2
LEVEL 3	C	19
LEVEL 3	S	56
LEVEL 4	ADA	2
LEVEL 4	C	19
LEVEL 4	S	56
LEVEL 5	ADA	2
LEVEL 5	C	19
LEVEL 5	S	66
TOTAL PARKING COUNT: 330		

**CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC**

Project Address  
201 HILLSBOROUGH RALEIGH, NC 27601  
Project Number  
22084.00

Architect  
**VALERIO DEWALT TRAIN**

500 North Dearborn Street  
Suite 900  
Chicago, Illinois 60654  
312.260.7300  
Project Team Architect's Stamp  
DAVID JENNERJAHN  
STEVE DRULL  
PETER WOJCIOWICZ

Consultant

Consultant Project Number

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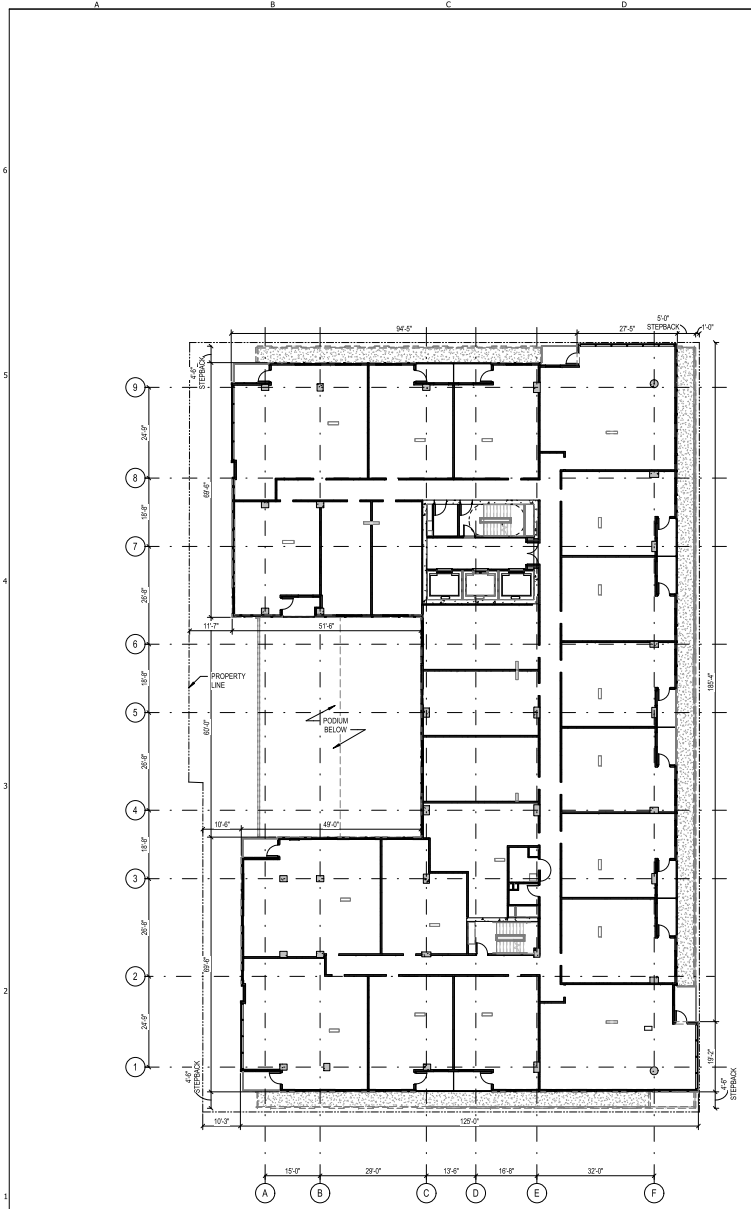
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Sheet Name  
**FLOOR PLANS**

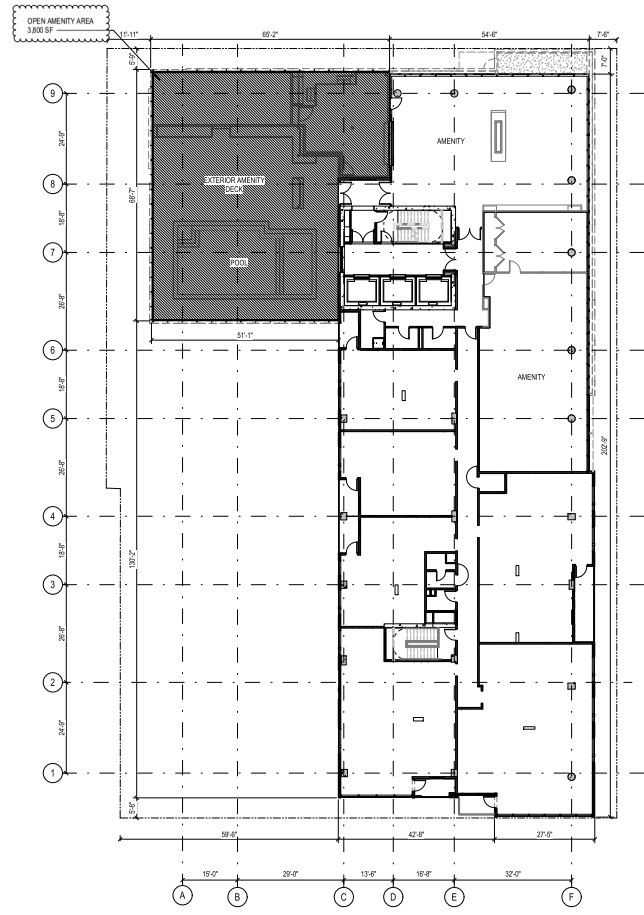
Sheet Number  
**ASR1-02**

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**1A** ASR\_TYP LOWER TOWER FLOOR PLAN (6-12)  
SCALE: 1/16" = 1'-0"



**1F** ASR\_LEVEL 20 - FLOOR PLAN  
SCALE: 1/16" = 1'-0"

**CONVEXITY - 201  
HILLSBOROUGH,  
RALEIGH, NC**

Project Address  
201 HILLSBOROUGH  
RALEIGH, NC 27601  
Project Number  
22084.00

Architect  
**VALERIO  
DEWALT  
TRAIN**

500 North Dearborn Street  
Suite 900  
Chicago, Illinois 60654  
312.260.7300  
Project Team Architect's Stamp  
DAVID JENNERJAHN  
STEVE DROUL  
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Consultant

Consultant Project Number

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Preliminary Documents  
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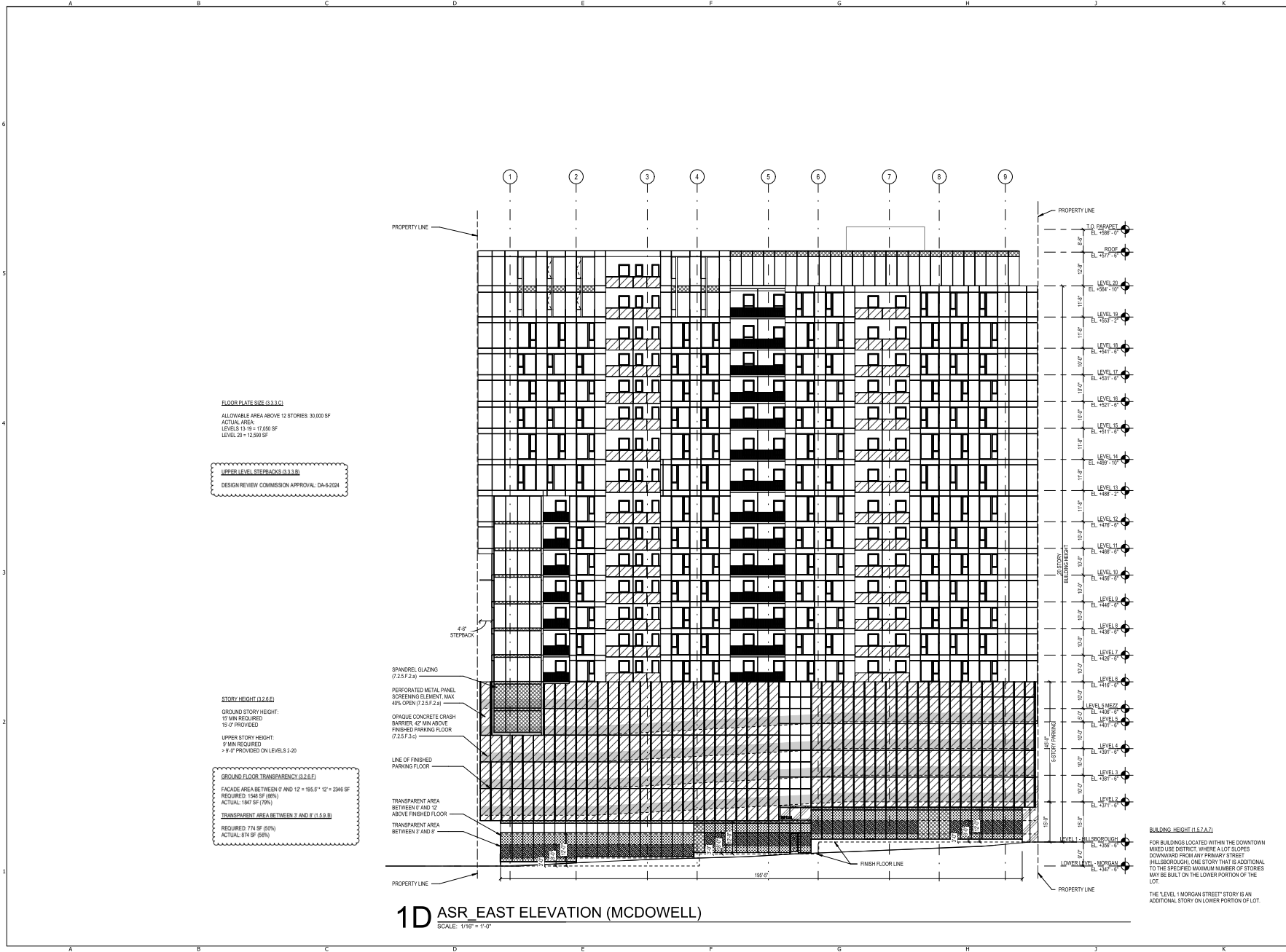
Sheet Name  
**FLOOR PLANS**

Sheet Number

**ASR1-03**

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**FLOOR PLATE SIZE (1.3.3.C)**  
 ALLOWABLE AREA ABOVE 12 STORES: 30,000 SF  
 ACTUAL AREA:  
 LEVELS 13-19 = 17,000 SF  
 LEVEL 20 = 12,500 SF

**UPPER LEVEL STEPBACKS (1.3.3.B)**  
 DESIGN REVIEW COMMISSION APPROVAL DA-8-2024

**STORY HEIGHT (1.2.4.B)**  
 GROUND STORY HEIGHT:  
 12' MIN REQUIRED  
 15'-0" PROVIDED

UPPER STORY HEIGHT:  
 12' MIN REQUIRED  
 9'-0" PROVIDED ON LEVELS 1-20

**GROUND FLOOR TRANSPARENCY (1.2.4.E)**  
 FACADE AREA BETWEEN 0' AND 12' = 195.5' x 12' = 2346 SF  
 REQUIRED: 1548 SF (66%)  
 ACTUAL: 1947 SF (79%)

**TRANSPARENT AREA BETWEEN 7' AND 12' (1.2.4.F)**  
 REQUIRED: 774 SF (60%)  
 ACTUAL: 874 SF (90%)

**1D ASR EAST ELEVATION (MCDOWELL)**  
 SCALE: 1/16" = 1'-0"

**CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC**

Project Address  
 201 HILLSBOROUGH  
 RALEIGH, NC 27601  
 Project Number  
 22084.00  
 Architect

**VALERIO DEWALT TRAIN**

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 312.260.7300  
 Project Team Architect's Stamp

DAVID JENNERJAHN  
 STEVE DRULL  
 PETER WOJCIWICZ

Consultant

Consultant Project Number

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1.	ASR REVISIONS PER CITY COMMENT	02.09.2024
2.	ASR REVISIONS PER CITY COMMENT	10.31.2024

Preliminary Documents  
**NOT FOR CONSTRUCTION**

**BUILDING ELEVATIONS**

Sheet Number

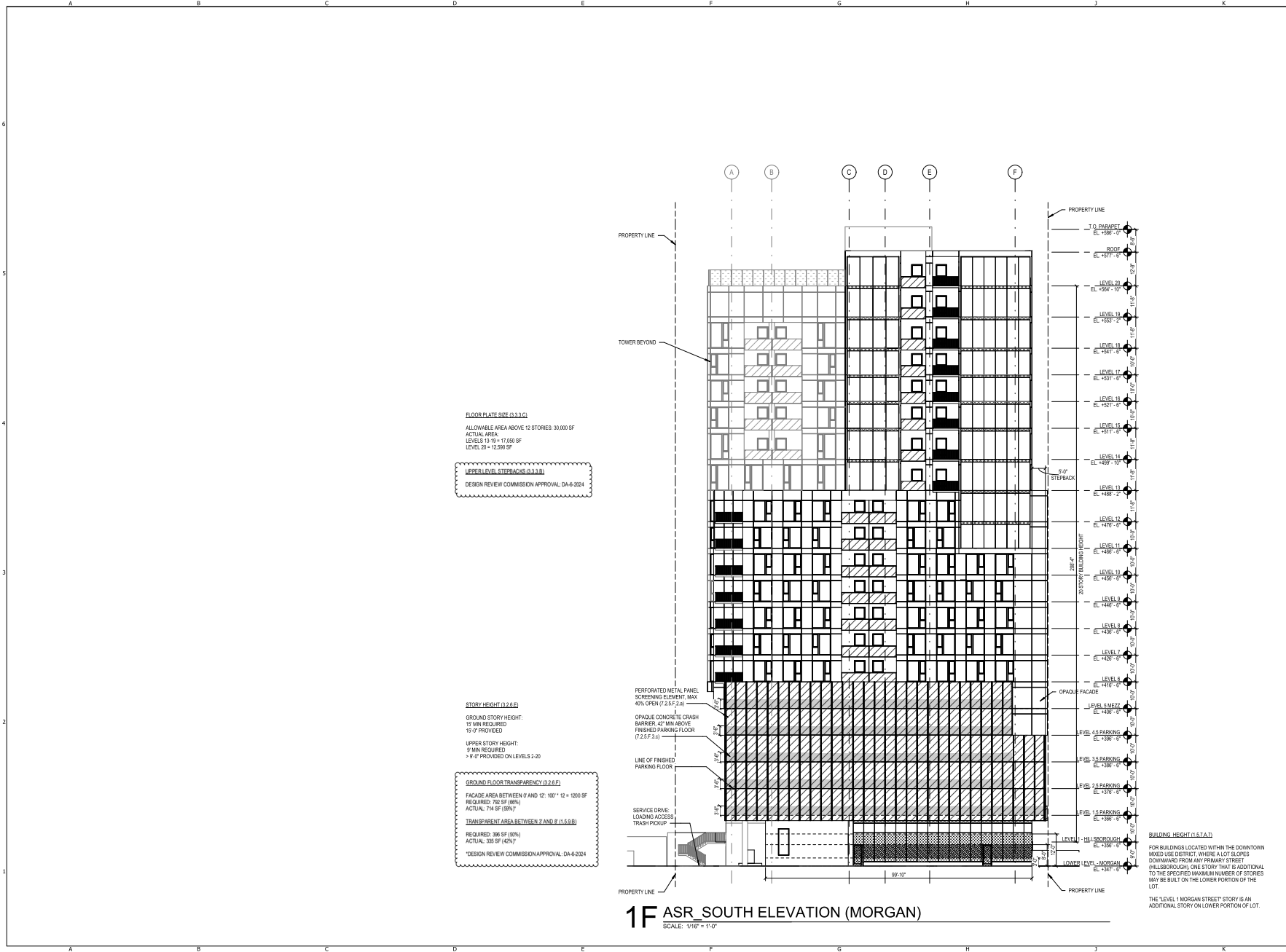
**ASR2-01**

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**BUILDING HEIGHT (1.5.2.A.1)**  
 FOR BUILDINGS LOCATED WITHIN THE DOWNTOWN  
 MIXED-USE DISTRICT, WHERE A LOT SLOPES  
 DOWNWARD FROM ANY PRIMARY STREET  
 HILLSBOROUGH, ONE STORY THAT IS ADDITIONAL  
 TO THE SPECIFIED MAXIMUM NUMBER OF STORES  
 MAY BE BUILT ON THE LOWER PORTION OF THE  
 LOT.  
 THE 'LEVEL 1 MORGAN STREET' STORY IS AN  
 ADDITIONAL STORY ON LOWER PORTION OF LOT.



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**FLOOR PLATE SIZE (3.3.3.C)**  
 ALLOWABLE AREA ABOVE 12 STORIES: 30,000 SF  
 ACTUAL AREA:  
 LEVELS 13-19 = 11,550 SF  
 LEVEL 20 = 12,500 SF

**UPPER LEVEL STEPPACKS (3.3.3.B)**  
 DESIGN REVIEW COMMISSION APPROVAL: DA-6-2024

**STORY HEIGHT (3.2.6.E)**  
 GROUND STORY HEIGHT:  
 15' MIN REQUIRED  
 15'0" PROVIDED

UPPER STORY HEIGHT:  
 9' MIN REQUIRED  
 9'0" PROVIDED ON LEVELS 3-20

**GROUND FLOOR TRANSPARENCY (3.2.6.F)**  
 FACADE AREA BETWEEN G AND 12: 100' x 12 = 1200 SF  
 REQUIRED: 702 SF (58%)  
 ACTUAL: 714 SF (59%)

TRANSPARENT AREA BETWEEN Y AND Z (1.5.5.B)  
 REQUIRED: 306 SF (50%)  
 ACTUAL: 335 SF (42%)

\*DESIGN REVIEW COMMISSION APPROVAL: DA-6-2024

**1F ASR SOUTH ELEVATION (MORGAN)**  
 SCALE: 1/16" = 1'-0"

**BUILDING HEIGHT (3.5.2.A.7)**  
 FOR BUILDINGS LOCATED WITHIN THE DOWNTOWN MIXED USE DISTRICT, WHERE A LOT SLOPES DOWNWARD FROM ANY PRIMARY STREET (HILLSBOROUGH), ONE STORY THAT IS ADDITIONAL TO THE SPECIFIED MAXIMUM NUMBER OF STORIES MAY BE BUILT ON THE LOWER PORTION OF THE LOT.  
 THE LEVEL 1 MORGAN STREET STORY IS AN ADDITIONAL STORY ON LOWER PORTION OF LOT.

**CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC**

Project Address  
 201 HILLSBOROUGH RALEIGH, NC 27601  
 Project Number  
 22084.00  
 Architect

**VALERIO DEWALT TRAIN**

500 North Dearborn Street  
 Suite 900  
 Chicago, Illinois 60654  
 Project Team Architect's Stamp

DAVID JENNERJAHN  
 STEVE DRULL  
 PETER WOJCIOWICZ

Consultant

Consultant Project Number

**Issuances**

No.	Revision Description	Date
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2.	ASR REVISIONS PER CITY COMMENT	10.31.2024

Preliminary Documents  
**NOT FOR CONSTRUCTION**

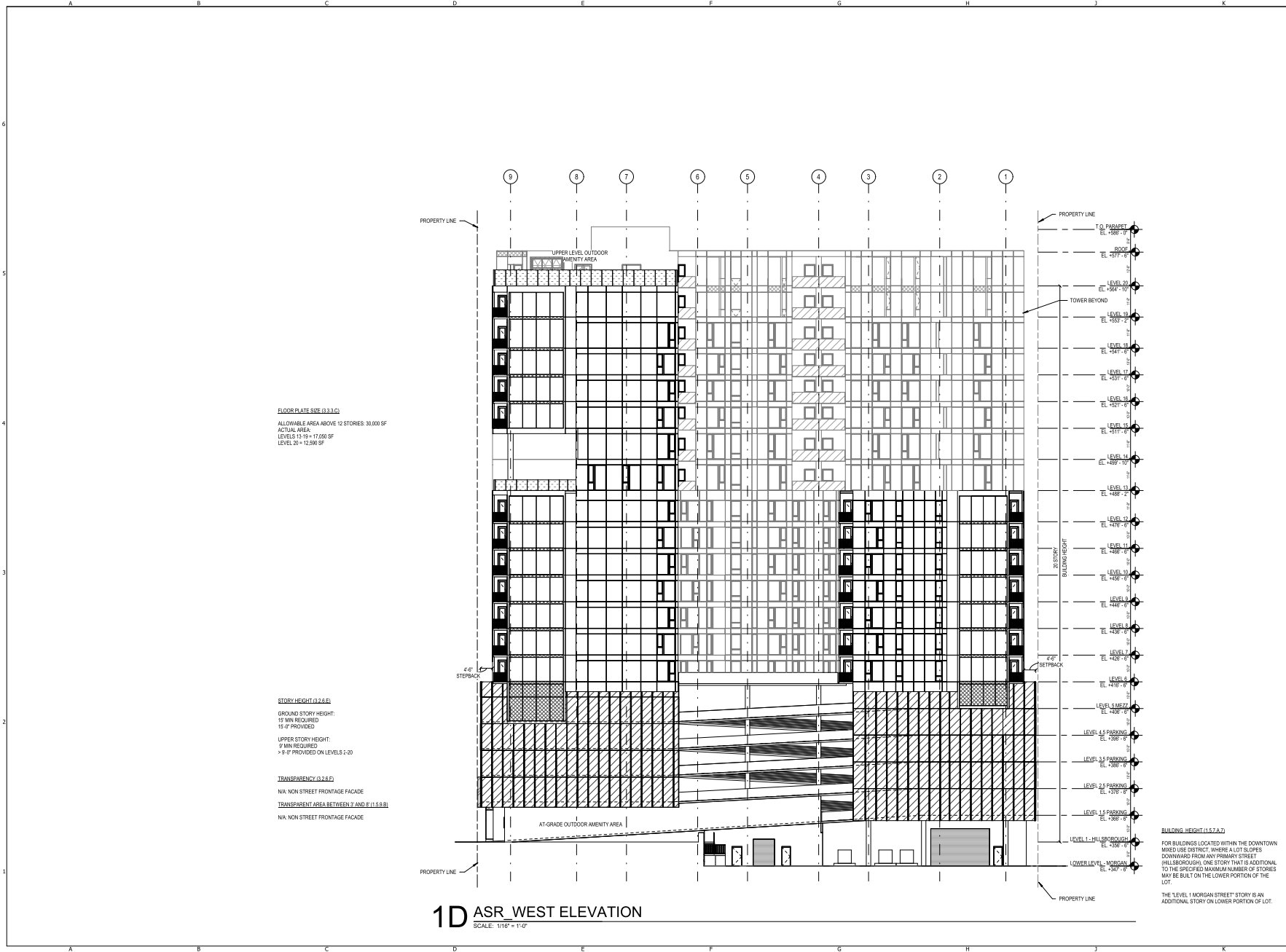
Sheet Name  
**BUILDING ELEVATIONS**

Sheet Number

**ASR2-02**

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**FLOOR PLATE SCHEDULE (3.3.3.C)**  
 ALLOWABLE AREA ABOVE 12 STORES: 30,000 SF  
 ACTUAL AREA:  
 LEVELS 13-19 = 17,050 SF  
 LEVEL 20 = 12,900 SF

**STORY HEIGHT (3.2.6.E)**  
 GROUND STORY HEIGHT:  
 15' MIN REQUIRED  
 15' IF PROVIDED  
 UPPER STORY HEIGHT:  
 9' MIN REQUIRED  
 9' IF PROVIDED ON LEVELS 2-20

**TRANSPARENCY (3.2.6.F)**  
 NA, NON STREET FRONTAGE FACADE  
 TRANSPARENT AREA BETWEEN 'A' AND 'E' (11.5.9.B)  
 NA, NON STREET FRONTAGE FACADE

**1D ASR WEST ELEVATION**  
 SCALE: 1/16" = 1'-0"

**CONVEXITY - 201  
 HILLSBOROUGH,  
 RALEIGH, NC**

Project Address  
 201 HILLSBOROUGH  
 RALEIGH, NC 27601  
 Project Number  
 22084.00

Architect  
**VALERIO  
 DEWALT  
 TRAIN**

500 North Dearborn Street  
 Suite 900  
 Chicago, Illinois 60654

Project Team Architect's Stamp

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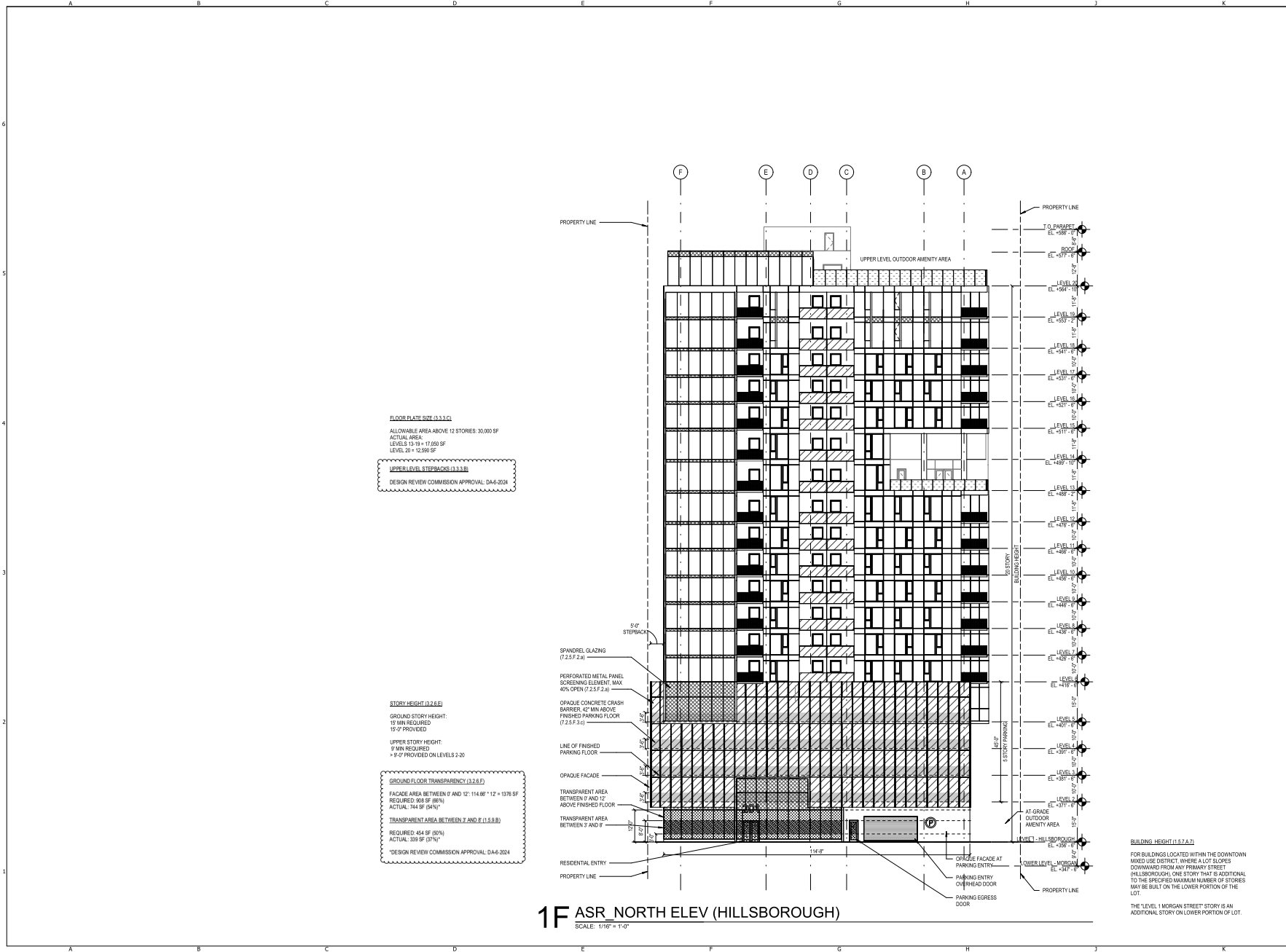
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**NOT FOR CONSTRUCTION**

Sheet Name  
**BUILDING  
 ELEVATIONS**

Sheet Number  
**ASR2-03**

**BUILDING HEIGHT (1.5.7.A.7)**  
 FOR BUILDINGS LOCATED WITHIN THE DOWNTOWN  
 MIXED USE DISTRICT, WHERE A LOT SLOPES  
 DOWNWARD FROM ANY PRIMARY STREET  
 (HILLSBOROUGH), ONE STORY THAT IS ADDITIONAL  
 TO THE SPECIFIED MAXIMUM NUMBER OF STORES  
 MAY BE BUILT ON THE LOWER PORTION OF THE  
 LOT.  
 THE 'LEVEL 1 MORGAN STREET' STORY IS AN  
 ADDITIONAL STORY ON LOWER PORTION OF LOT.

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1F ASR NORTH ELEV (HILLSBOROUGH)

SCALE: 1/16" = 1'-0"

FLOOR PLATE SIZE (3.3.3.D)  
 ALLOWABLE AREA ABOVE 12 STORES: 30,000 SF  
 ACTUAL AREA:  
 LEVELS 13-19 = 17,000 SF  
 LEVELS 20 = 12,900 SF

UPPER LEVEL STEPPACKS (3.3.3.B)  
 DESIGN REVIEW COMMISSION APPROVAL: DA-6-2024

STORY HEIGHT (3.2.2.E)  
 GROUND STORY HEIGHT:  
 19' MIN REQUIRED  
 12' PROVIDED

UPPER STORY HEIGHT:  
 9' MIN REQUIRED  
 >9' PROVIDED ON LEVELS 3-20

GROUND FLOOR TRANSPARENCY (3.2.2.F)  
 FACADE AREA BETWEEN 0' AND 12': 114.86' x 12' = 1378 SF  
 REQUIRED: 908 SF (66%)  
 ACTUAL: 744 SF (54%)

TRANSPARENT AREA BETWEEN 7' AND 12' ABOVE FINISHED FLOOR

TRANSPARENT AREA BETWEEN 7' AND 8' (1.5.3.B)  
 REQUIRED: 454 SF (60%)  
 ACTUAL: 339 SF (75%)

DESIGN REVIEW COMMISSION APPROVAL: DA-6-2024

BUILDING HEIGHT (1.5.7.A.7)  
 FOR BUILDINGS LOCATED WITHIN THE DOWNTOWN  
 MADO USE DISTRICT WHERE A LOT SLOPES  
 DOWNWARD FROM ANY PRIMARY STREET  
 (HILLSBOROUGH), ONE STORY THAT IS ADDITIONAL  
 TO THE SPECIFIED MAXIMUM NUMBER OF STORES  
 MAY BE BUILT ON THE LOWER PORTION OF THE  
 LOT.

THE LEVEL 1 MORGAN STREET STORY IS AN  
 ADDITIONAL STORY ON LOWER PORTION OF LOT.

# CONVEXITY - 201 HILLSBOROUGH, RALEIGH, NC

Project Address  
 201 HILLSBOROUGH  
 RALEIGH, NC 27601  
 Project Number  
 22084.00  
 Architect

# VALERIO DEWALT TRAIN

500 North Dearborn Street  
 Suite 900  
 Chicago, Illinois 60654  
 312.260.7300  
 Project Team Architect's Stamp

DAVID JENNERJAHN  
 STEVE DRULL  
 PETER WOJTCIOWICZ

Consultant

Consultant Project Number

ISSUANCES

No.	Revision Description	Date
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2.	ASR REVISIONS PER CITY COMMENT	10.31.2024

Preliminary Documents  
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## BUILDING ELEVATIONS

Sheet Number

# ASR2-04

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