Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: Planner (print): Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.) Site Plan Tier: Tier Two Site Plan Tier Three Site Plan **Building and Development Type Site Transaction History** (Check all that apply) Detached General Subdivision case #: Scoping/sketch plan case #: Attached Mixed use Certificate of Appropriateness #: Townhouse Civic Board of Adjustment #: Apartment **Cottage Court** Zoning Case #: _____ Tiny house Frequent Transit Design Alternate #: _____ **Development Option** Open lot **GENERAL INFORMATION** Development name: Inside City limits? Yes No Property address(es): Site P.I.N.(s): Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). **Current Property Owner(s):** Title: Company: Address: Phone #: Email: Applicant Name (If different from owner. See "who can apply" in instructions): Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder Company: Address:

Phone #:	Email:			
NOTE: please attach purchase agreement	or contrac	t, lease or easement when submitting this form.		
Developer Contact:				
Company:		Title:		
Address:				
Phone #:	Email:			
Applicant Name:				
Company:	Address:			
Phone #:	Email:			
DEVE	DMENT T	VDE - OLTE DATE TABLE		
DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)				
SITE DATA		BUILDING DATA		
Zoning district(s) (please provide the acreage of each):		Existing gross floor area (not to be demolished):		
Gross site acreage:		Existing gross floor area to be demolished:		
# of parking spaces proposed:		New gross floor area:		
Max # parking permitted (7.1.2.C):		Total sf gross (to remain and new):		
Overlay District (if applicable):		Proposed # of buildings:		
Existing use (UDO 6.1.4):		Proposed # of stories for each:		
Proposed use (UDO 6.1.4):		Proposed # of basement levels (UDO 1.5.7.A.6)		
s	TORMWAT	ER INFORMATION		
Imperious Area on Parcel(s): Existing (sf) Proposed total (sf)		Impervious Area for Compliance (includes ROW):		
3, ,		Existing (sf) Proposed total (sf)		
DECIDENTIAL	OVERNIC	HIT LODGING DEVELORMENTS		
RESIDENTIAL & OVERNIGHT				
Total # of dwelling units: # of bedroom units: 1br 2br 3br		Total # of hotel bedrooms:		
# of bedroom units: 1br 2br # of lots:	_ 301 _	4br or more Is your project a cottage court? Yes No		
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Continue to Applicant Signature Block on Page 4.

A frequent transit development?

) No

) Yes

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Www Mason	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

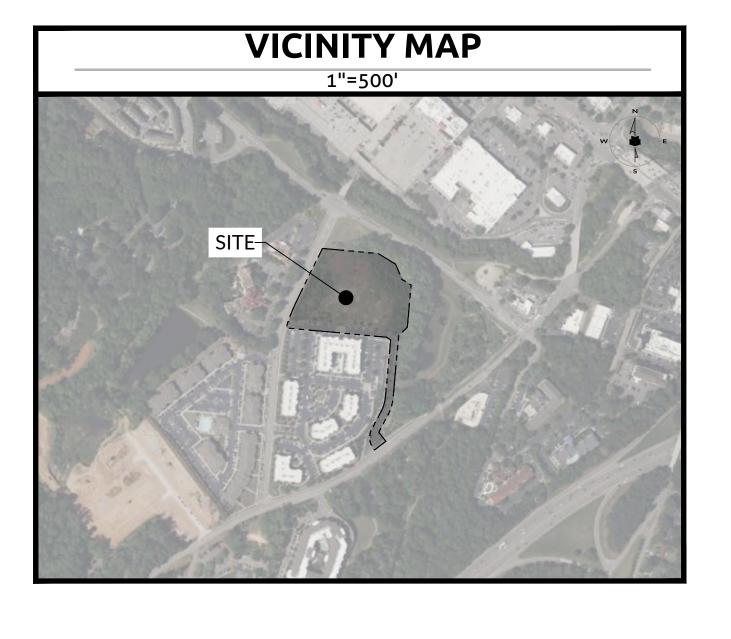
HOMEWOOD BANKS DRIVE | RALEIGH, NC | WAKE COUNTY

1ST SUBMITTAL: AUGUST 13, 2024

Email: amason@withersravenel.com

Administrative Site Review Application Developer Contact: Will Reid Company: Pappas Properties Title: Investment Associate Address: 4777 Sharon Road, Suite 550 This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section Email: wreid@pappasproperties.com 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting Applicant Name: Amber Mason, PE Company: Withers Ravene Address: 137 S Wilmington St. Suite 200 Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed Email: amason@withersravenel.com a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a Tier Three Site Plan √ **Site Transaction History** DEVELOPMENT TYPE + SITE DATE TABLE (Check all that apply) Scoping/sketch plan case #: Existing gross floor area (not to be demolished) Board of Adjustment #: Gross site acreage Existing gross floor area to be demolished Cottage Cour Zoning Case #: MP-1-12 Frequent Transit Design Alternate #: # of parking spaces proposed: 236 New gross floor area: 115,463 Open lot Max # parking permitted (7.1,2,C): N/A Total sf gross (to remain and new): 115.463 Overlay District (if applicable): N/A Proposed # of buildings: 14 Existing use (UDO 6.1.4): Vacant Proposed # of stories for each: 2 Development name: Crabtree Village Phase 2 Proposed use (UDO 6.1.4): Residential Townhomes | Proposed # of basement levels (UDO 1.5.7.A.6) 1 Property address(es): 5201 Homewood Banks Drive & 5301 Homewood Banks Drive Site P.I.N.(s): 0795-59-2600; 0795-59-2353 Imperious Area on Parcel(s): Impervious Area for Compliance (includes ROW): Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4) Existing (sf) 39,168 Proposed total (sf) 172,092 65 Townhome units with a clubhouse and associated infrastructure Current Property Owner(s): Well TP Crabtree Owner LP Is your project a cottage court? Address: 4500 Dorr St Toldedo, OH 43615 Applicant Name (If different from owner. See "who can apply" in instructions) Continue to Applicant Signature Block on Page 4. Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder Company: WithersRavenel Address: 137 S Wilmington St, Suite 200 Revision 03.01.24 raleighnc.gov raleighnc.gov

APPLICANT SIGNATURE BLOCK Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such developmen as is authorized by the easement Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request. By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall Signature: amou Muson Revision 03.01.24 raleighnc.gov



INDEX OF SHEETS

Sheet Number	Sheet Title
C0.00	COVER
C0.01	GENERAL NOTES AND LEGENDS
C0.02	COMPLIANCE TABLES AND CALCULATIONS
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.10	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C3.10	STORMWATER PLAN
C4.00	UTILITY PLAN
C4.10	UTILITY PLAN
C5.00	FIRE ACCESS PLAN
L1.00	LANDSCAPE PLAN
L2.00	LANDSCAPE DETAILS
L7.00	LIGHTING PLAN

SOLID WASTE INSPECTION STATEMENT

1. ROLL OUT BINS TO BE STORED IN THE GARAGE EXCEPT ON PICK UP DAYS. INTERIOR UNITS WILL ROLL BINS TO A DESIGNATED CONCRETE PAD PICK UP AREA. UNITS ALONG THE EXTERIOR OF THE SITE WILL ROLLS BINS OUT TO THE END OF DRIVEWAY. A PRIVATE VENDOR WILL BE UTILIZED FOR TRASH PICK UP. A WILL-SERVE WILL BE PROVIDED AT SITE PERMIT REVIEW.

FIRE DEPARTMENT NOTES

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NO SPRINKLER SYSTEM IS PROPOSED).
- 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION. 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.

TRAFFIC CONTROL AND PEDESTRIAN **PLAN (TCPED) NOTES**

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE
- DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. 2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS
- 3. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH
- PERMIT AND DEVELOPMENT PORTAL. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE
- 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT
 - LIMITED TO: MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);

DEVELOPER:

- AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
- RALEIGH STREET DESIGN MANUAL (RSDM). 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CONTACT LIST:

CIVIL ENGINEER Amber Mason, PE WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-535-5200 amason@withersravenel.com

LANDSCAPE ARCHITECT Daniel Whatley, PLA WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-238-0312 dwhatlev@withersravenel.com

DEVELOPER Pappas Properties 4777 Sharon Road, Suite 550 Charlotte, NC 28210 704-302-5475 wreid@pappasproperties.com

SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE. SEE SHEET C1.00 FOR BENCHMARK INFORMATION. VERTICAL DATUM BASED ON NAVD 88.

SITE DATA TABLE

MUNCIPAL PROJECT NO.

SITE ADDRESS

PARCEL PIN NO.

ZONING

DEED BOOK AND PAGE

EXISTING SITE AREA

PROPOSED SITE AREA

OVERLAY DISTRICT

EXISTING LAND USE

PROPOSED NUMBER OF UNITS

PROPOSED GROSS BUILDING SF

SETBACKS (PER MP-1-12):

HOMEWOOD BANKS DRIVE

CRABTREE VALLEY AVENUE

PROPOSED AMENITY AREA

MINIMUM AMENITY AREA REQUIRED

AMENITY AREA:

PARKING:

MINIMUM PARKING

PROVIDED PARKING

PROPOSED NUMBER OF BUILDINGS

PROPOSED USE

IMPERVIOUS AREA

EXISTING TCA

BLUE RIDGE ROAD

LIMITS OF DISTURBANCE

ASSOCIATED CASE NUMBERS

ASR-XXXX-2024

TCZ-X-2024

5201 HOMEWOOD BANKS DR

5301 HOMEWOOD BANKS DR

0795-59-2353

DB 018162, PG 01286

DB 018162, PG 01286

PD

LOT 2: 4.92 AC

LOT 3: 0.85 AC TOTAL: 5.77 AC

LOT 2: 5.65 AC

LOT 3: 0.12 AC

TOTAL: 5.77 AC

N/A

VACANT

RESIDENTIAL TOWNHOMES

65

14 (INCLUDING 1 CLUBHOUSE)

±115,465 SF

±3.87 AC

±0.0 AC

11.4% OF TOTAL SITE AREA (LOTS 1-4)

2.62 AC (114,151 SF) PROVIDED WITH PHASE 1

20'

30'

10% (PER UDO SEC. 2.2.3)

10.8%

1 SPACE PER DWELLING UNIT (PER MP-1-12) x 65 UNITS = 65

SPACES 60 SURFACE SPACES (INCLUDING 1 ADA VAN) +

176 GARAGE/DRIVEWAY SPACES =

236 TOTAL SPACES

Well TP Crabtree Owner LP 4500 Dorr St Toldedo, OH 43615

PRELIMINARY NOT APPROVED FOR CONSTRUCTION



PREPARED BY:

PRELIMINARY NOT APPROVED FOR CONSTRUCTION

ATTENTION: Will Reid

PAPPAS PROPERTIES, LLC PAPPAS 4777 SHARON ROAD, SUITE 550 CHARLOTTE, NC 28210 PHONE #: 704-302-5475



ADMINISTRATIVE SITE PLAN CRABTREE VILLAGE PHASE I ASR-XXXX-2024 WR PROJECT NO. 09200673 CITY OF RALEIGH: MUNI PRO NO: ASR-XXXX-2024 INITIAL PLAN DATE: 08/13/2024 NOTED IN THESE PLANS.

- 3. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL, COUNTY AND STATE REGULATIONS, AND O.S.H.A. STANDARDS, CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- 5. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL CALL "811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE FLEMENTS, INCLUDING BUT NOT LIMITED TO SIGNS, ROADWAYS, PATHS, STRUCTURES ELECTRICAL, COMMUNICATION, AND OTHER DRY UTILITIES, WET UTILITIES (SEWER, WATER, STORM SEWER), NATURAL VEGETATION, AND OTHER EXISTING PROPERTY ITEMS, DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING ITEMS DAMAGED DURING CONSTRUCTION.
- 7. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.
- 8. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THESE PLANS, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES." AND/OR AS FURTHER DIRECTED BY THE MUNICIPALITY AND/OR NCDOT
- 9. CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN SUITABLE BARRIERS, FENCES, SIGNS, FLAGMEN, WATCHMEN, AND OTHER ADEQUATE PROTECTION AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC AND THOSE ENGAGED IN THE CONSTRUCTION WORK. ALL SAFETY MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING THE PROGRESS OR TEMPORARY SUSPENSION OF WORK. CONSTRUCTION SIGNING SHALL BE CLEARLY LEGIBLE, PROMINENTLY DISPLAYED, AND IN ACCORDANCE WITH THE LATEST EDITION OF "CONSTRUCTION AND MAINTENANCE OPERATIONS SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", UNLESS OTHERWISE NOTED ON THE
- 10. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM INCONVENIENCE TO THE OWNER AND THE PUBLIC AND SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON TRAFFIC CONTROL PLANS.
- 11. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE AND IF APPLICABLE AT AN APPROVED DISPOSAL FACILITY.
- 12. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EASEMENTS ON THE
- 13. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACOE & NCEDNR-DWO.
- 14. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S.
- 15. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE FNGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOLIND RETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (LE. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.
- 16. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
- 17. TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LAB AND THE PAYMENT OF EACH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENT OF THE NCDOT AND MUNICIPAL SPECIFICATIONS

DEMOLITION NOTES

- 1. CONTRACTOR TO COORDINATE WITH THE OWNER TO PROPERLY MAINTAIN OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN
- 2. CONTRACTOR IS TO WALK THE SITE AND BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED. ALL DEMOLITION WORK REQUIRED TO CONSTRUCT NEW SITE IMPROVEMENTS WILL BE PERFORMED BY THE CONTRACTOR AND WILL BE UNCLASSIFIED EXCAVATION
- 3. DEMOLITION SHALL INCLUDE, BUT IS NOT LIMITED TO, THE EXCAVATION, HAULING AND OFFSITE DISPOSAL OF CONCRETE PADS. CONCRETE DITCHES, FOUNDATIONS, SLABS, STEPS, AND STRUCTURES: ABANDONED UTILITIES, BUILDINGS, PAVEMENTS AND ALL MATERIALS CLEARED AND STRIPPED TO THE EXTENT NECESSARY AS DIRECTED BY THE SOILS ENGINEER FOR THE INSTALLATION OF THE NEW IMPROVEMENTS AND WITHIN THE LIMITS OF CLEARING AND GRADING AND AS SHOWN ON THESE PLANS.
- 4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES ON THE PROPERTY NOT TO BE DEMOLISHED. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO COST
- 5. ELECTRIC, TELEPHONE, SANITARY SEWER, WATER AND STORM SEWER UTILITIES THAT SERVICE OFF-SITE PROPERTIES SHALL BE MAINTAINED DURING THE CONSTRUCTION PROCESS BY THE CONTRACTOR.
- 6. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING DEMOLITION.
- 7. ALL EXISTING IMPROVEMENTS INDICATED OR REQUIRED TO BE DEMOLISHED SHALL INCLUDE REMOVAL FROM THE PROPERTY AND PROPER
- 8. CONTRACTOR SHALL COORDINATE RELOCATION OF ALL EXISTING OVER HEAD AND UNDERGROUND UTILITIES INCLUDING CABLE, GAS, TELEPHONE AND ELECTRIC AND ANY OTHER UTILITIES THROUGH THE SITE WITH THE RESPECTIVE COMPANIES.
- 9. PROVIDE SMOOTH SAW CUT OF EXISTING PAVEMENTS, CURBS AND GUTTERS AND SIDEWALKS TO BE DEMOLISHED.
- 10. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AS WELL AS OSHA
- 11. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATIONS OF THE MAINS BY DIGGING TEST PITS BY HAND.

STORM DRAINAGE NOTES:

LOCATIONS OF THESE EXISTING FEATURES

- 1. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
- 2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER. 3. ALL RCP STORM SEWER SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE, UNLESS OTHERWISE NOTED
- 4. THE LOCATIONS OF STORM SEWER STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE. WHERE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS TO MATCH THE
- 5. UPON COMPLETION OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANTED. THE APPLICANT SHALL CERTIFY THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORMWATER MANAGEMENT PLANS AND DESIGNS. AND SHALL SUBMIT ACTUAL "AS BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED."
- 6. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2.4 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC AREAS,
- 7. ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 0.5 FOOT TO THE PIPE CROWN IN NON-TRAFFIC AREAS.
- 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE PIPE FLARED END SECTION UNLESS OTHERWISE SPECIFIED ON
- 9. EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
- 10. ALL CATCH BASINS SHALL BE PROTECTED WITH INLET PROTECTION DEVICES.

- 1. REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO
- 2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES, ROADWAYS, AND ENVIRONMENTALLY SENSITIVE
- 3. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
- 4. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE. REFER TO FINAL GEOTECHNICAL REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT, IF ANY.
- 5. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE FINAL GEOTECHNICAL REPORT RECOMMENDATIONS. AND SHALL AT A MINIMUM BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST AS SET OUT IN ASTM STANDARD D-1557.
- 6. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A CERTIFIED MATERIALS TESTING LABORATORY AND CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REPRESENTING THE LABORATORY.
- . RETAINING SYSTEMS PROVIDING A CUMULATIVE VERTICAL RELIEF GREATER THAN FIVE FEET IN HEIGHT WITHIN A HORIZONTAL DISTANCE OF 50 FEET OR LESS, INCLUDING RETAINING WALLS OR MECHANICALLY STABILIZED EARTH WALLS SHALL BE DESIGNED AND CONSTRUCTED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED PROFESSIONAL ENGINEER AND COMPLY IN ALL ASPECTS WITH THE NC BUILDING CODE SECTION 1610. RETAINING SYSTEMS MEETING THESE CRITERIA WILL REQUIRE A SEPARATE BUILDING PERMIT PRIOR TO THE START OF WORK.
- 8. ALL DEMOLITION DEBRIS AND OTHER EXCESS MATERIAL SHALL BE HAULED OFF-SITE.
- 9. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SUBGRADE
- 10. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS ARE TO BE USED IN CASE OF
- 11. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.

12. CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE

- 13. ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT ADA REQUIREMENTS. THE RUNNING
- SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:20 AND CROSS SLOPE OF WALKING SURFACES CANNOT BE STEEPER THAN 1:48. WHICH INCLUDES CROSSWALKS.

- 14. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES THE TOWN MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.
- 15. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. MASS GRADING AND CLEARING SHALL NOT EXCEED 20 ACRES PER PHASE INCLUDING GRADING NECESSARY FOR INFRASTRUCTURE, EXCEPT WHERE THE TECHNICAL REVIEW COMMITTEE APPROVES AN INCREASE SUBJECT TO REVIEW OF AN EROSION CONTROL PLAN SUBMITTED WITH
- 16. WETLANDS SHOWN WILL HAVE DEED RESTRICTION PROHIBITING GRADING OR FILLING OF LOTS UNLESS SPECIFICALLY PERMITTED BY THE USACOE & NCEDNR-DWQ.
- 17. DELINEATED WETLAND AREAS SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE U.S. ARMY CORPS OF ENGINEERS AND NCDENR-DWQ.
- 18. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (LE PAVEMENT WIDTHS CLIRR RADII RUII DING SETBACKS RUII DING FOOTPRINTS FTC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID
- 19. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND WIRE UTILITY STRUCTURES
- 20. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES
- 21. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED
- 22. ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 23. FILL SHALL BE PLACED AND COMPACTED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.

- 24. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5'. ALL JOINTS SHALL BE
- 25. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND
- 26. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT. FENCING SHALL NOT BE REQUIRED ADJACENT TO AREAS WITHOUT WOODED VEGETATION. FENCING SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO

EROSION & SEDIMENT CONTROL NOTES:

- 1. CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION CONTROL
- 2. CONTRACTOR SHALL CLEAR ONLY AS REQUIRED TO INSTALL EROSION AND SEDIMENT CONTROL MEASURES. CONTRACTOR SHALL INSTALL SILT FENCE, SEDIMENT BASINS, DIVERSION DITCHES, AND THEN BEGIN GRADING ROADWAYS
- 3. IF STORM CROSS DRAINAGE CAN NOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE SHALL BE USED TO CROSS WET WEATHER
- 4. CONTRACTOR SHALL ENSURE GRADING OPERATION IS CONDUCTED IN A MANNER THAT DOES NOT ALLOW ANY SEDIMENT INTO CREEKS.
- 5. ALL STORM DRAINAGE PIPE SHALL BE PROTECTED DURING CONSTRUCTION.
- 6. CONTRACTOR SHALL PROVIDE RIP RAP LINED TAIL DITCHES AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE
- TO AVOID SLOPE EROSION. CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAINS PER DETAIL AT LOCATIONS WHERE TEMPORARY DIVERSION DITCHES DISCHARGE INTO A SKIMMER BASIN.
- 8. SEDIMENT BASINS SHALL BE KEEP OUT OF WETLAND AREAS.
- 9. PERMANENT GROUND COVER SHALL BE ESTABLISHED PER NPDES LATEST REQUIREMENTS. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 SHALL BE PROVIDED GROUND COVER WITHIN 7 CALENDAR DAYS FROM THE LAST DISTURBANCE. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED GROUND COVER WITHIN 14 CALENDAR DAYS FROM THE LAST DISTURBANCE. TOPSOIL SHALL BE WASTED OFFSITE OR IN FILL AREAS AS SHOWN.
- 10. TEMPORARY DIVERSIONS ARE TO REMAIN IN PLACE UNTIL THE STORM DRAINAGE SYSTEM IS IN PLACE AND THE UPSTREAM AREA IS
- 11. FOREBAY WILL NOT BE REQUIRED WHILE SCM IS ACTING AS AN EROSION CONTROL DEVICE.
- 12. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE
- 13. A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH POINT OF CONSTRUCTION ACCESS.

LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.

- 14. ALL CATCH BASIN HOODS SHALL BE STAMPED "DRAINS TO RIVER" WITH 3/4" HIGH LETTERING.
- 15. THE CONTRACTOR SHALL MARK THE LIMITS OF THE BUFFER WITH ORANGE TREE PROTECTION FENCE WITH APPROPRIATE SIGNAGE. TREE PROTECTION FENCE SHALL BE INSTALLED ALONG THE OUTER ZONE OF ANY STREAM BUFFERS IF THERE IS ANY CONSTRUCTION WITHIN 50 FEET OF THE EDGE OF THE BUFFER. THIS MUST BE DONE PRIOR TO STARTING ANY CLEARING, AND MUST BE DONE TO OBTAIN A CERTIFICATE OF COMPLIANCE. IF THE DEVELOPER HAS RECEIVED APPROVAL TO WORK IN THE FIRST 20 FEET OF THE BUFFER, THEN THE LAST 30 FEET BOUNDARY SHALL BE MARKED IN THE AREA ADJACENT TO THIS WORK. OTHERWISE THE ENTIRE 50 FEET SHALL BE MARKED. THIS MARKING SHALL REMAIN IN PLACE UNTIL ALL ADJACENT DISTURBED AREAS HAVE BEEN COMPLETED AND STABILIZED.

- 1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE.
- . ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE. 3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS
- 4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS, PLANTS SHALL
- BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT. 5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL
- 6. PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670. PLANTING SEASON IS OCTOBER 15 MARCH 15. UNLESS OTHERWISE NOTED OR APPROVED BY NCDOT ENGINEER, ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED. AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS
- 8. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S P. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC
- ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS
- 10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL
- 11. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR
- 12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR
- 13. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. NO PINE STRAW IS PERMITTED. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- 14. FINISH OFF 2-4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT 15. MIXED GROUNDCOVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO
- PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED. 16 ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST.
- BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE TREES. 17. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.

AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY

- 18. ANY PLANT WHICH DIES. TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON, QUANTITY AND SIZE TO MEET PLAN SPECIFICATIONS.
- 19. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY LOCATIONS. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION. INCLUDING INFORMATION NOT SHOWN ON THE PLANS BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING. AT HIS OWN EXPENSE. AND TO THE SATISFACTION OF THE PROJECT OWNER AND THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- 20. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- 21. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE,
- 22. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH'S TREE MANUAL.

- 1. ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH 6' TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.
- 2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT

- ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.
- B. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
- 4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- 5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT
- 6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING
- TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER

UTILITIES NOTES:

BFV

C&G

CATV

C-C

CFS

CLR

CMP

CONC

DIA/Ø

DIP

EOP

FDC

FES

FFE

FGCL

FOC

GALV

GPE

GPM

HW

IN/"

INV

LONG

LPT

MGD

MIN

INVERT

LATITUDE

LINEAR FEET

LONGITUDE

LOW POINT

MAXIMUM

MANHOLE

MINIMUM

MANUFACTURER

MECHANICAL JOINT

JUNCTION BOX

LIMIT OF DISTURBANCE

MILLION GALLONS PER DAY

FT/'

CPP

- 1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES
- 2. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE.
- S. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN. [DG NOTE- DO WE EXPAND THIS TO INCLUDE ALL UTILITIES, OR JUST THE STORM SEWER?]
- I. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK. THERE WILL BE NO ADDITIONAL OR SEPARATE PAY ITEM FOR THIS WORK UNLESS SPECIFICALLY CALLED OUT IN THE BID FORM. ANY RELOCATION OF EXISTING UTILITIES MUST BE COORDINATED WITH THE AFFECTED UTILITY COMPANY
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND FEES FOR THE ABANDONMENT OF WELLS AND
- . ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NCDEQ WELL AND SEPTIC SYSTEM STANDARDS. AN ABANDONMENT PERMIT SHALL BE OBTAINED FROM THE COUNTY ENVIRONMENTAL HEALTH DIVISION PRIOR TO COMMENCING ABANDONMENT WORK.
- 7. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT (3") CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ANY HYDRANT, FDC OR OTHER FIRE DEPARTMENT EQUIPMENT
- 8. HYDRANTS MUST BE LOCATED WITHIN 8' OF THE CURB.
- 9. A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES. 10. NEW HYDRANTS MUST BE AVAILABLE FOR USE PRIOR TO CONSTRUCTION OF THE BUILDING(S).
- 11. CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION. 12. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- 13. ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRONICALLY SUPERVISED. PLEASE WORK WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.
- 14. ROADWAYS AND BUILDINGS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.
- 15. FIRE FLOW ANALYSIS MUST BE PROVEN AT TIME OF BUILDING PERMITS PER THE 2012 NCFPC, SECTION 507.3. THIS IS THE AVAILABLE FIRE FLOW FROM THE HYDRANT AND THE MINIMUM REQUIRED FIRE FLOW CALCULATION FROM 2012 NCFPC APPENDIX B OR OTHER APPROVED
- 16. PLANS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. 17. CONTRACTOR SHALL REPLACE WITH NEW ALL DRIVEWAY PIPES AND OTHER DRAINAGE PIPES/CULVERTS THAT ARE DISTURBED WHILE INSTALLING THE UTILITIES. ALL PIPE/CULVERTS SHALL MEET THE REQUIREMENTS OF NCDOT.
- 18. ALL ROADWAY DITCHES DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER AND CONFORM TO NCDOT REQUIREMENTS. ALL DITCHES SHALL BE LINED WITH EROSION CONTROL MATTING UNLESS OTHERWISE NOTED.
- 19. ALL EXCAVATED MATERIAL SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE DURING UTILITY INSTALLATION. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SEDIMENT AND EROSION CONTROL MEASURES TO CONTROL RUN-OFF. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF LEGALLY.

ABBREVIATIONS MAXIMUM WATER SURFACE ELEVATION NORTH AASHTO AMERICAN ASSOCIATION OF STATE HIGHWAY NORTH FAST AND TRANSPORTATION OFFICIALS NOT IN CONTRACT AGGREGATE BASE COURSE NO./# NUMBER ACRYLONITRILE BUTADIENE STYRENE NOT TO SCALE AMERICAN CONCRETE INSTITUTE NW NORTH WEST ARFA INI FT OC ON CENTER AMERICAN NATIONAL STANDARDS INSTITUTE **OUTSIDE DIAMETER** AIR RELEASE VALVE OVERHEAD UTILITY **ASTM** AMERICAN SOCIETY FOR TESTING AND OVERHEAD ELECTRICAL LINE MATERIALS OPEN SPACE AWWA AMERICAN WATER WORKS ASSOCIATION PLANTING AREA POUNDS PER CUBIC FOOT BACK TO BACK BASE FLOOD ELEVATION POLYETHYLENE BASEMENT FINISHED FLOOR ELEVATION PROPOSED GRADE BACK FLOW PREVENTER PGCL PROPOSED GRADE CENTERLINE BUTTERFLY VALVE PHASE **BOTTOM FACE OF WAL PUMP STATION** BENCHMARK POUNDS PER SQUARE INCH BLOW OFF ASSEMBLY POLYVINYL CHLORIDE PIPE BOTTOM OF BANK BACK OF CURB RIGHT OF WAY BUILDING RESTRICTION LINE REINFORCED CONCRETE BOX CULVERT RCBC CURB & GUTTER RCP REINFORCED CONCRETE PIPE COMMON ARFA RECP ROLLED EROSION CONTROL PRODUCT COARSE AGGREGATE BASE COURSE RGRCP RING-GASKETED REINFORCED CONCRETE PIPE COASTAL AREA MANAGEMENT ACT **RESTRAINED JOINT** CABLE TELEVISION RIGHT CATCH BASIN SOUTH CENTER TO CENTER STANDARD CURB CUBIC FOOT (FEET **SCHEDULE** CUBIC FEET PER SECOND SCM STORMWATER CONTROL MEASURE STANDARD DIMENSION RATIO CENTERLINE SDR CLEAR SPACE SOUTH EAST CORRUGATED METAL PIPE **SQUARE FEET** CONCRETE MASONRY UNIT SPILL CURB CLEAN OUT SSTL STAINLESS STEEL CONCRETE STA STATION CORRUGATED PLASTIC PIPE SOUTH WEST CUBIC YARD SQUARE YARD DROP INLET **TELEPHONE** TEMPORARY BENCHMARI DIAMETER DUCTILE IRON PIPE TCA TREE CONSERVATION AREA TEMPORARY DIVERSION DITCH TFW TOP FACE OF WALL TOP OF BANK TOB EXISTING GRADE TOC EXISTING GRADE CENTERLINE TOP OF CURB ELEVATION TOE TOE OF SLOPE ELECTRICAL TURF REINFORCEMENT MAT TYP **EDGE OF PAVEMENT TYPICAL** UNDERGROUND FXISTING FACE TO FACE UTILITY POLE FIRE DEPARTMENT CONNECTION USGS UNITED STATES GEOLOGICAL SURVEY FEDERAL EMERGENCY MANAGEMENT AGENCY VERT VERTICAL FLARED END SECTION WEST FINISHED FLOOR ELEVATION WITH FINISHED PAD ELEVATION WATER METER FINISHED GRADE WATER SURFACE ELEVATION FUTURE OR FINISHED GRADE CENTERLINE **WOVEN WIRE FABRIC** WWM WELDED WIRE MESH FIRE HYDRANT ASSEMBLY FLOW LINE ΥI YARD INLET FORCE MAIN **EASEMENTS:** FACE OF CURB FOOT/ FEET ACCESS EASEMENT (PUBLIC) GAUGE GALVANIZED ACCESS EASEMENT (PRIVATE) GARAGE FINISHED FLOOR ELEVATION CORUE CITY OF RALEIGH UTILITY EASEMENT GRADED PAD ELEVATION CORSSE CITY OF RALEIGH SANITARY SEWER EASEMENT GALLONS PER MINUTE DHMAE DRAINAGE AND HEADWALL MAINTENANCE AND GATE VALVE **ACCESS EASEMENT** DRAINAGE EASEMENT (PUBLIC) HORIZONTAL DIRECTIONAL DRILL DRAINAGE EASEMENT (PRIVATE PDE HIGH DENSITY POLYETHYLENE PIPE **GREENWAY EASEMENT (PUBLIC)** HORIZ HORIZONTAL GREENWAY EASEMENT (PRIVATE) PGE HIGH POINT MUPE MULTI-USE PATH EASEMENT (PUBLIC) HIGH PERFORMANCE POLYPROPYLENE PIPE PMUPE MULTI-USE PATH EASEMENT (PRIVATE) HEADWALL PSMAE PUMP STATION MAINTENANCE & ACCESS INCH

EXISTING CONDITIONS LEGEND SYMBOL DESCRIPTION — — — — — ADJOINER BOUNDARY ---- BUILDING ————— BUFFER ---- CONCRETE CURB LINE EASEMENT — — — — EDGE OF PAVEMENT — — — FO — — FIBER OPTIC LINE —— 500YR —— 500YR FLOOD LINE — — — FM — — — FORCEMAIN ---- GRAVEL — — – OHE — — OVERHEAD ELECTRIC PAVEMENT STRIPING RIGHT OF WAY — — — SS — — — SANITARY SEWER PIPE STORM PIPE . TREELINE TOP OF BANK — — — UGE — — UNDERGROUND ELECTRIC ——— — w ——— WATER MAIN WETLAND **BLOW OFF CATCH BASIN** CLEAN OUT CONTROL POINT DROP INLET FIBER OPTIC BOX FIRE HYDRANT FLARED END SECTION **GUY WIRE** LIGHT POLE **POWER POLE** SEWER MANHOLE STORM DRAINAGE MANHOLI

PROPOSED STORM DRAINAGE LEGEND SYMBOL DESCRIPTION STORM PIPE **SYMBOL** DESCRIPTION —— FL—— FL—— FIRE LINE ———FM ——— FORCEMAIN w WATER MAIN FIRE LANE WATER METER WATER VALVE SYMBOL DESCRIPTION TV PFDFSTAI UNDERGROUND TELEPHONE BOX TREE WATER METER WATER VALVE SITE PLAN LEGEND DESCRIPTION CURB & GUTTE RIGHT OF WAY SETBACK

SYMBOL BOUNDARY — — — — BUFFER —— – —— CENTER LINE — LIMIT OF DISTURBANCE — — — — LOT LINE PHASE LINI BUILDING **CONCRETE PAVING** HEAVY DUTY ASPHALT PAVING HEAVY DUTY CONCRETE PAVING

TRENCH DRAIN CATCH BASIN (CB) FLARED END SECTION (FES) HEAD WALL (HW) JUNCTION BOX (JB) RIP RAP DISSIPATER YARD INLET (YI)/DROP INLET (DI) PROPOSED UTILITIES LEGEND SANITARY SEWER PIPE —R——R——R——RECLAIMED WATER LINE BACKFLOW PREVENTER FIRE DEPARTMENT CONNECTION (FDC) FIRE HYDRANT ASSEMBLY SEWER CLEANOUT SEWER MANHOLE **DEMOLITION LEGEND** XXX AREAS TO BE REMOVED ←/×←/×←/×←/×←/×← FENCE TO BE REMOVED //////// STORM PIPE TO BE REMOVED WETLANDS TO BE IMPACTED TREE TO BE REMOVED SEWER STRUCTURE TO BE REMOVED // // // OVERHEAD POWER TO BE RELOCATED

PROPOSED GRADING LEGEND

DESCRIPTION

PROPOSED MINOR CONTOUR

EXISTING MINOR CONTOUR

---100 --- Existing major contour

SYMBOL

PRELIMINARY

NOT APPROVED

FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024

REVISIONS

DRN: WR DGN: WR CKD: WR

GENERAL NOTES AND LEGENDS

WR JOB NUMBER

EASEMENT

UDE

SANITARY SEWER EASEMENT (PRIVATE SDTE SIGHT DISTANCE EASEMENT (PUBLIC) STREET TREE EASEMENT (PUBLIC) UTILITY/DRAINAGE EASEMENT (PUBLIC PUDE UTILITY/DRAINAGE EASEMENT (PRIVATE) SCMMAE SCM MAINTENANCE AND ACCESS EASEMENT

TEMPORARY CONSTRUCTION EASEMENT

SANITARY SEWER EASEMENT (PUBLIC)

UTILITY EASEMENT (PUBLIC) UTILITY FASEMENT (PRIVATE) VARIABLE WIDTH DRAINAGE EASEMENT (PUBLIC)

PVWDE VARIABLE WIDTH DRAINAGE EASEMENT (PRIVATE)

NOT APPROVED

FOR CONSTRUCTION

WR JOB NUMBER 09200673 DRN: WR DGN: WR CKD: WR COMPLIANCE **TABLES AND CALCULATIONS**

C0.02

CRABTREE VILLAGE MASTER PLAN (MP-1-12) COMPLIANCE TABLE PLEASE NOTE: PLANNED DEVELOPMENT CRITERIA SPECIFIC TO PHASE 2 IS PROVIDED BELOW. WHERE APPLICABLE, CERTAIN CRITERIA AND CUMULATIVE PLANNED DEVELOPMENT REQUIREMENTS FOR BOTH PHASE 1 AND PHASE 2 ARE ALSO PROVIDED. PROVIDED FOR PHASE 1 AND ITEM LISTED IN MASTER PLAN REQUIREMENT PROVIDED FOR PHASE 2 ONLY (WHERE APPLICABLE) Total number of dwelling units 315 units max. (phase 1) 65 units 353 total (293 provided in phase 232 units max (phase 2) Gross square footage of the uses N/A N/A Open Space (Entire PD) 31.8% (provided on lot 4) 20% min. N/A Impervious Surface Area (Entire PD) 85% (19.48 AC) max. N/A 51.6% (11.82 AC) Impervious Surface Allocation (Phase 2) 229,997 SF max. (lots 2 and 3) 181,705 SF (lots 2 and 3) N/A 66,212 SF max. (lot 4) Tree Conservation Area 11.1% (provided on lot 4, see TC 10% min. N/A calculations, this sheet) Access Points 2 driveways total (2 driveways 2 min. O driveways proposed Road Improvements/Dedications See PD Section 9.A.2 Provided with phase 1 Transit Easements 3 provided with phase 1 Building Lot Coverage 14.6% 70% max. Building Height 200' max. 78' 4" N/A Fenestration (applicable to Crabtree Valley 25% N/A 20% min. Building Setbacks Internal: N/A Internal: 0' Blue Ridge Road: 20' Blue Ridge Road: N/A N/A Homewood Banks Drive: 106' min. Homewood Banks Drive: 20' Crabtree Valley Avenue: 30' Crabtree Valley Avenue: 132' min. Parking 60 surface spaces 1 space per dwelling unit N/A 176 garage/driveway spaces Bike Parking Residential: 1 space per 20 units Residential: None Office: 1 space per 10,000 SF Office: N/A Retail: 1 space per 5,000 SF Retail: N/A Hotel: 1 space per 10,000 SF Hotel: N/A N/A LONG TERM LONG TERM Residential: None Residential: None Office: 1 space per 5,000 SF Office: N/A Retail: N/A Retail: None Hotel: 1 space per 5,000 SF Hotel: N/A Homewood Banks: 8' provided Sidewalk Width Homewood Banks: 8' min. N/A Internal to site: 5' min. Internal to site: 5' provided Retaining wall distance from ROW N/A 10' min. 10' min. provided A landscaping area measuring at least ten (10) feet in Retaining wall landscaping (applicable to Homewood Banks Drive only) width shall be provided between the public right-ofway and the retaining wall or building foundation wall, Master plan requirements have and such landscaping area shall be planted at a rate of N/A been provided (see sheet LP1.00) three (3) shade trees, four (4) understory trees, and 15 shrubs per 100 linear feet, and all understory trees and shrubs shall be evergreen Parking area and roadway lighting will have similar pole lights (20' maximum pole/fixture height) and fixtures. Sidewalk lighting will be decorative fixtures based on human scale. All fixtures will be consistent Master plan requirements have been N/A throughout the site. Building lighting will be provided provided (see sheet SL1.0) where appropriate to highlight architectural features and landscape lighting will be focused on lighting of specimen trees at certain strategic locations.

Trash dumpster/compactors shall be enclosed

within buildings

N/A

B. GENERAL REQUIREMENTS

ec. 1.5.3.**C**.1.

N/A

DESIGN STATUS

MET

MET

MET

MET

MET

MET

MET

N/A

N/A

UDO ARTICLE 1.5 MEASUREMENT, EXCEPTIONS & GENERAL RULLES OF APPLICABILITY

OUTDOOR AMENITY AREA (UDO 1.5.3)

REQUIREMENT

Where outdoor amenity area is required, it must be provided

on-site and must be available for use by or as an amenity for the occupants, invitees and guests of the development.

A minimum of 50% of the required outdoor amenity area

above. All areas usable to pedestrians must also be ADA

accessible. Outdoor amenity areas required for existing

buildings that do not have elevators or do not otherwise

require them, may be located on upper levels as allowed by

Required outdoor amenity area may be met in 1 contiguous open area or in multiple open areas on the site ; however, to

Required outdoor amenity area may be located at or above

Required outdoor amenity area cannot be parked or driven

Required outdoor amenity area may be covered but cannot

be enclosed however outdoor amenity areas within the DX-

district that will be covered by structures with a clear height

no less than 8' and less than the proposed minimum ground story height must account for no more than 50% of the

required area. Perforated structures, where the sum area of the openings is greater than 50% or more of the surface area

of the structure, shall not be considered covered for the

located within a required outdoor amenity area provided all

Conservation areas, stormwater detention wet ponds and dry

ponds, slope/construction easements, riparian buffers, all

protective yards and parking islands shall not be considered

Sidewalk areas outside of the right-of way, even if used to satisfy streetscape requirements, shall also be eligible to

count towards outdoor amenity area requirements provided

Areas outside of the right-of-way required to be set aside for required street trees shall be eligible to count towards

Outdoor amenity areas meeting the requirements of Section 1.5.3. shall also be eligible to count towards required open

outdoor amenity area requirements provided all other

all other requirements of this subsection are met.

requirements of this subsection are met.

pace provided it also meets Article 2.5.

protective yards, Zone A of neighborhood transitional

an outdoor amenity area.

purposes of this restriction.

Green Stormwater Infrastructure (GSI) practices may be

other requirements of this subsection are met. Tree

upon, except for emergency access and permitted temporary

receive credit, each area must be at least 10 feet in width and

must be usable to the pedestrians described in subsection 1.

SITE CALCULATIONS

Trash/Recycle Station

TOTAL SITE AREA:

AMENITY AREA REQUIRED: 10.0% OF SITE AREA = 0.58 AC (25,147 SF) AMENITY AREA PROVIDED: 10.8% OF SITE AREA = 0.62 AC (27,104 SF) TOTAL

REQUIRED:

PROVIDED:

LONG TERM: NONE

SHORT TERM: NONE

LONG TERM: NONE SHORT TERM: NONE

TOTAL PHASE 2 SITE AREA (LOTS 2 AND 3 ONLY): 5.77 AC (251,471 SF) **AMENITY AREA** 5.77 AC PARKING CALCULATIONS PHASE 2 REQUIRED: 1 SPACE PER UNIT (PER MP-1-12) (65 UNITS) X 1 SPACE PER UNIT = 65 SPACES TOTAL = 65 SPACES 236 SPACES (60 SURFACE SPACES INCLUDING 1 VAN ADA-ACCESSIBLE SPACE, 176 GARAGE/DRIVEWAY SPACES) PHASE 2 PROVIDED: PHASE 1 REQUIRED*: MULTI-UNIT LIVING 0-1 BEDROOM: 1 SPACE PER UNIT MULTI-UNIT LIVING 2 BEDROOMS: 1.5 SPACE PER UNIT (PER UDO) (192 0-1 BEDROOM) X 1 SPACE PER UNIT = 192 SPACES (100 2 BEDROOMS) X 1.5 SPACE PER UNIT = 150 SPACES TOTAL = 192 SPACES + 150 SPACES = 342 SPACES 442 SPACES (16 ADA-ACCESSIBLE SPACES) PHASE 1 PROVIDED*: PHASE 1 PARKING SHOWN ON THESE PLANS CONSISTS OF LOT 1 *NOTE: ONLY AND IS SHOWN FOR REFERENCE ONLY BICYCLE PARKING CALCULATIONS

DEMOLITION LEGEND

DESCRIPTION

XXX AREAS TO BE REMOVED

STORM PIPE TO BE REMOVED

TREE TO BE REMOVED

EXISTING CONDITIONS

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- 4. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- . SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION. REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC
- CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- 12. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE " RIGHT-OF-WAY CLOSURES" ON <u>WWW.RALEIGHNC.GOV</u>. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 13. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE
- 14. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED
- 15. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF



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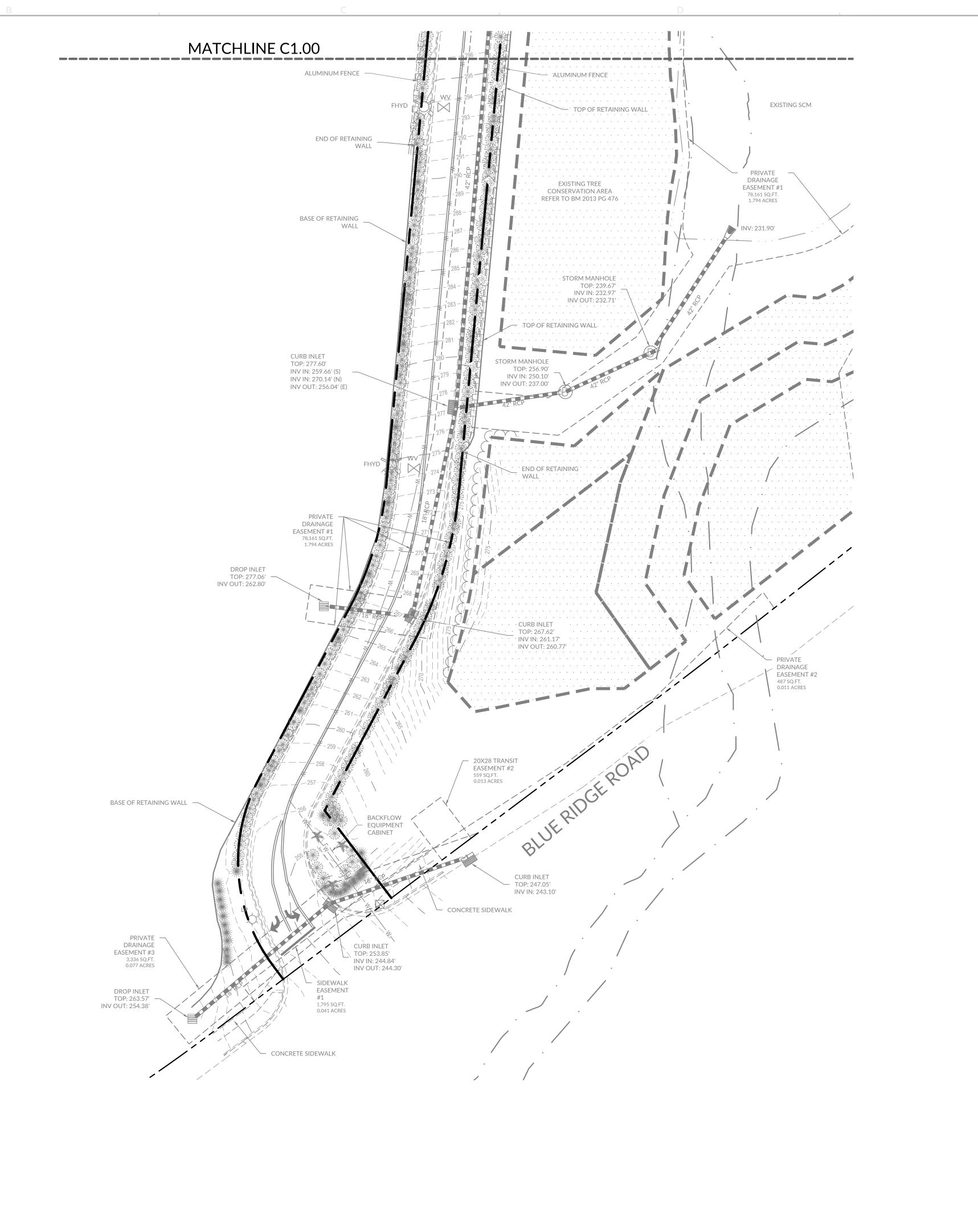
PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024 **REVISIONS:**

WR JOB NUMBER 09200673 DRN: WR DGN: WR CKD: WR **EXISTING** CONDITIONS AND **DEMOLITION PLAN**

C1.00



DEMOLITION LEGEND

SYMBOL

COMMENCING WORK.

XXX AREAS TO BE REMOVED

DESCRIPTION

XXX AREA:

FENCE TO BE REMOVED

STORM PIPE TO BE REMOVED

STORM PIPE TO BE REMOVED

WETLANDS TO BE IMPACTED

TREE TO BE REMOVED

EXISTING CONDITIONS AND DEMOLITION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO
- . SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- 4. TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- 5. SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- 6. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- 7. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- S. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
 THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE
- MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.

 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).

 12. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A
- MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "
 RIGHT-OF-WAY CLOSURES" ON <u>WWW.RALEIGHNC.GOV</u>.
 COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION
 PERMIT TO <u>RIGHTOFWAYSERVICES@RALEIGHNC.GOV</u>.
- 13. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE
- 14. CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- 15. CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

rsRaven





77 SHARON ROAD, SUITE 550

P R C
P R C
P R C
P R C
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CRABTREE VILLAGE
PHASE II
ASR-XXXX-2024

PRELIMINARY

NOT APPROVED FOR CONSTRUCTION



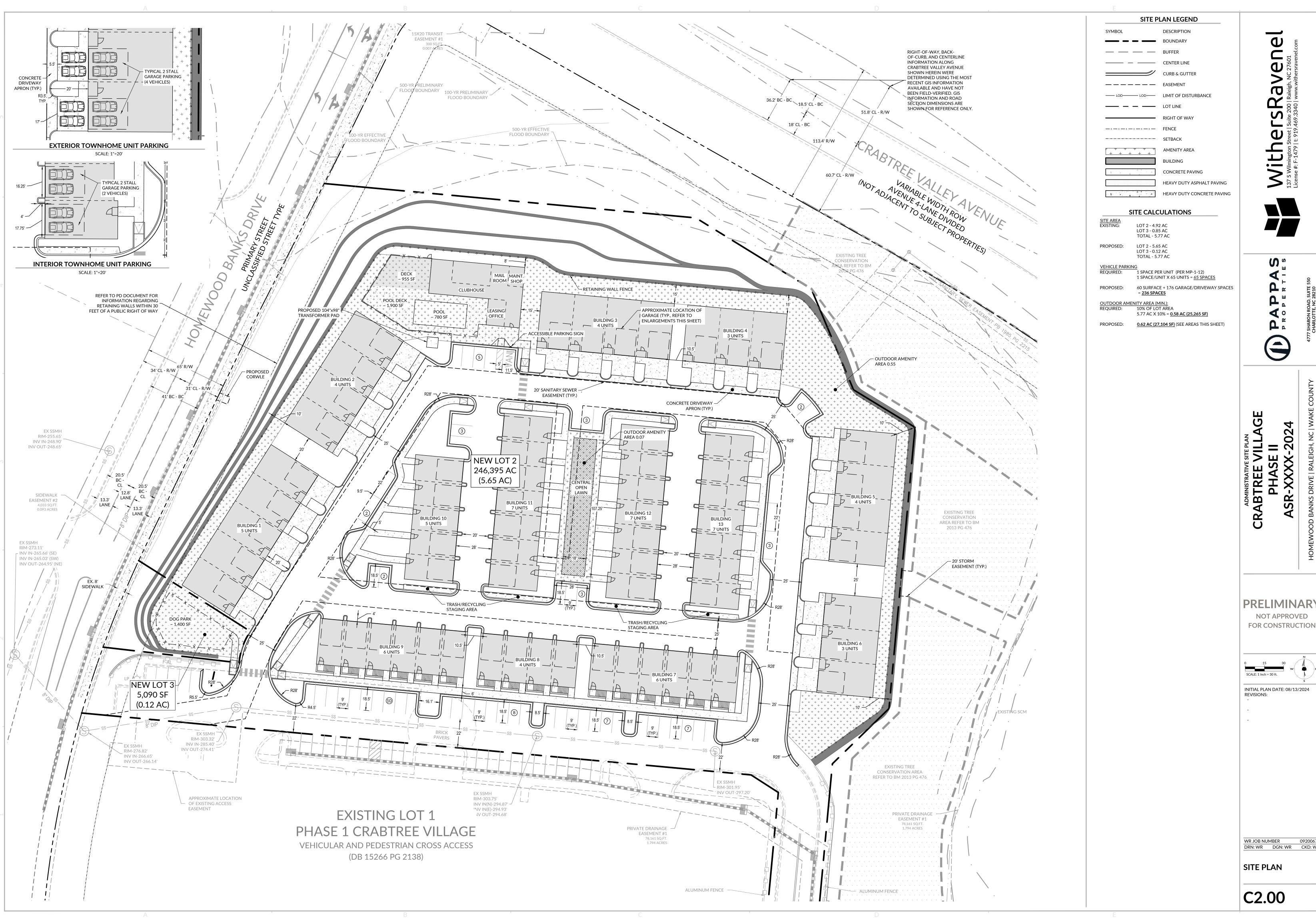
INITIAL PLAN DATE: 08/13/2024 REVISIONS:

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

EXISTING

CONDITIONS AND DEMOLITION PLAN

C1.10



7 With 137 S William



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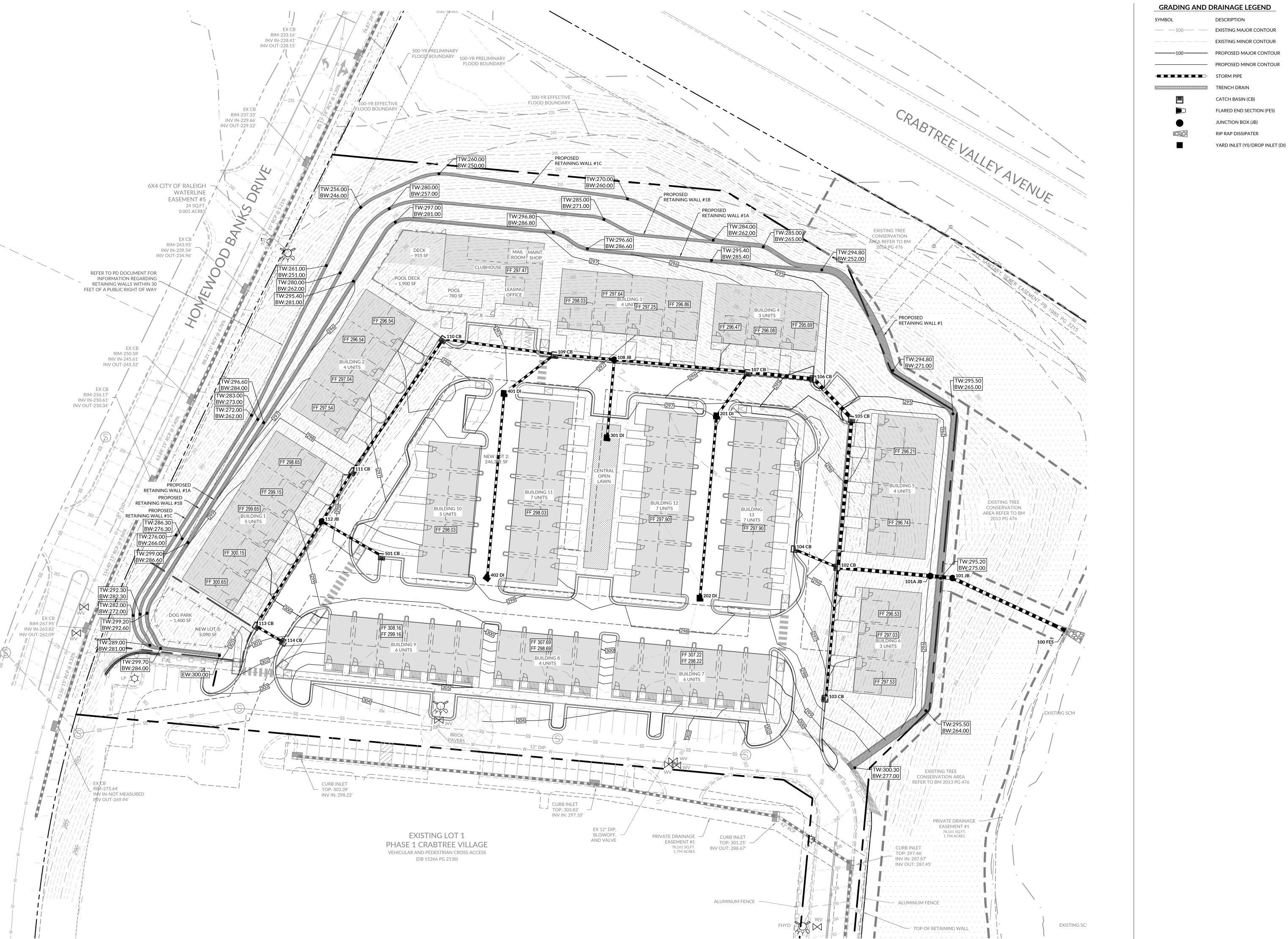
PRELIMINARY NOT APPROVED

INITIAL PLAN DATE: 08/13/2024 **REVISIONS:**

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

SITE PLAN

C2.00



7

CRABTRE PH

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PRELIMINARY NOT APPROVED

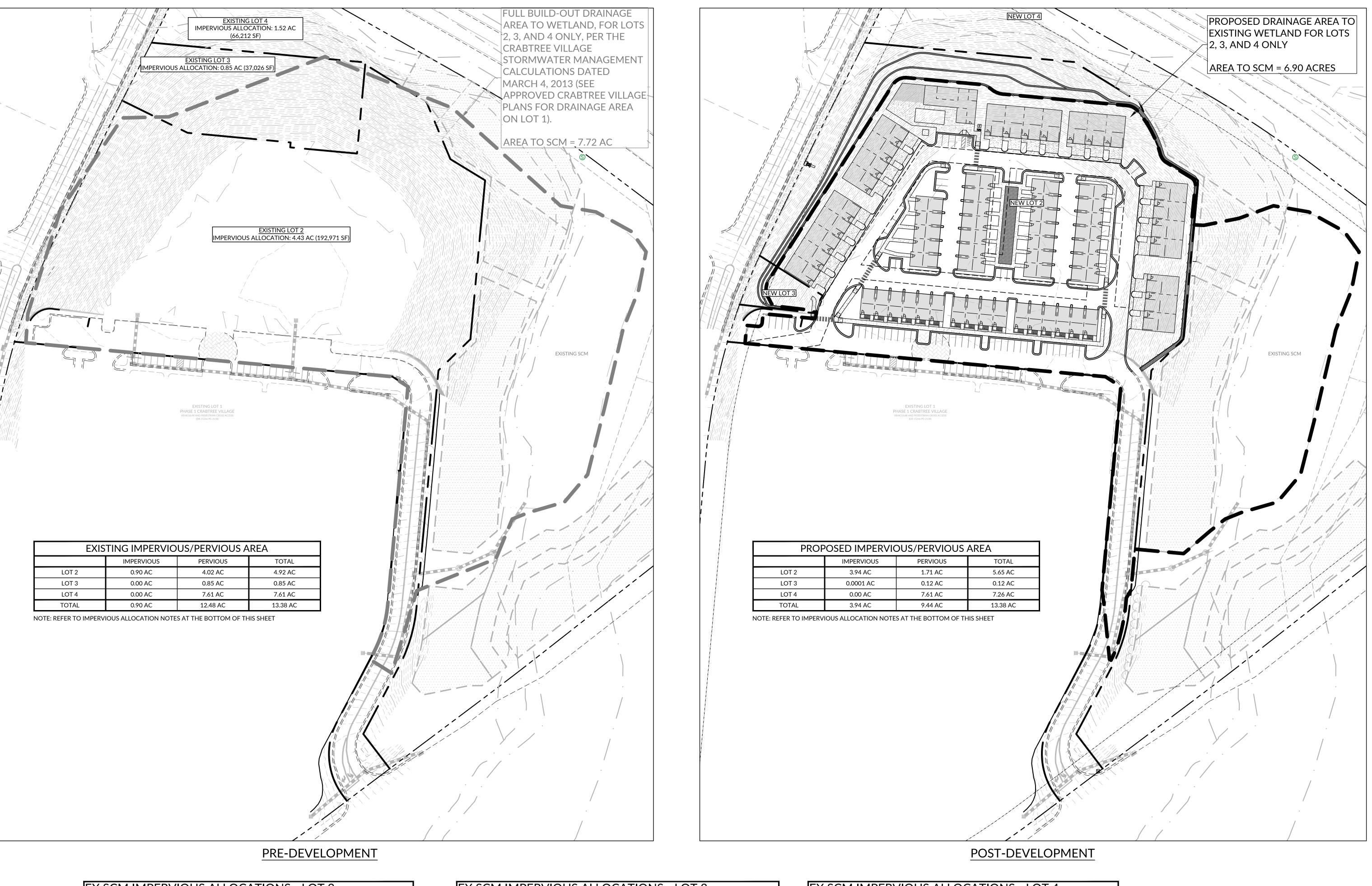
FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024 **REVISIONS:**

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

C3.00



EX SCM IMPERVIOUS ALLOCATIONS - LOT 2 PER BK 015085 PG 01322, LOT 2 HAS AN IMPERVIOUS ALLOCATION OF 192,971 SF (4.43 AC).

THE PROPOSED IMPERVIOUS AREA FOR LOT 2 IS 171,484 SF (3.94 AC), WHICH IS LESS THAN 192,971 SF (4.43 AC).

EX SCM IMPERVIOUS ALLOCATIONS - LOT 3 PER BK 015085 PG 01322, LOT 3 HAS AN IMPERVIOUS ALLOCATION OF 37,026 SF (0.85 AC).

THE PROPOSED IMPERVIOUS AREA FOR LOT 3 IS 608 SF (0.0001 AC), WHICH IS LESS THAN 37,026 SF (0.85 AC).

EX SCM IMPERVIOUS ALLOCATIONS - LOT 4 PER BK 015085 PG 01322, LOT 4 HAS AN IMPERVIOUS

THE IMPERVIOUS AREA PROPOSED ON LOT 4 IS 0 SF (0.0 AC), WHICH IS LESS THAN 66,212 SF (1.52 AC).

ALLOCATION OF 66,212 SF (1.52 AC).

With 137 S Wilmington C.



EEE / CRABTRE PH,

PRELIMINARY NOT APPROVED

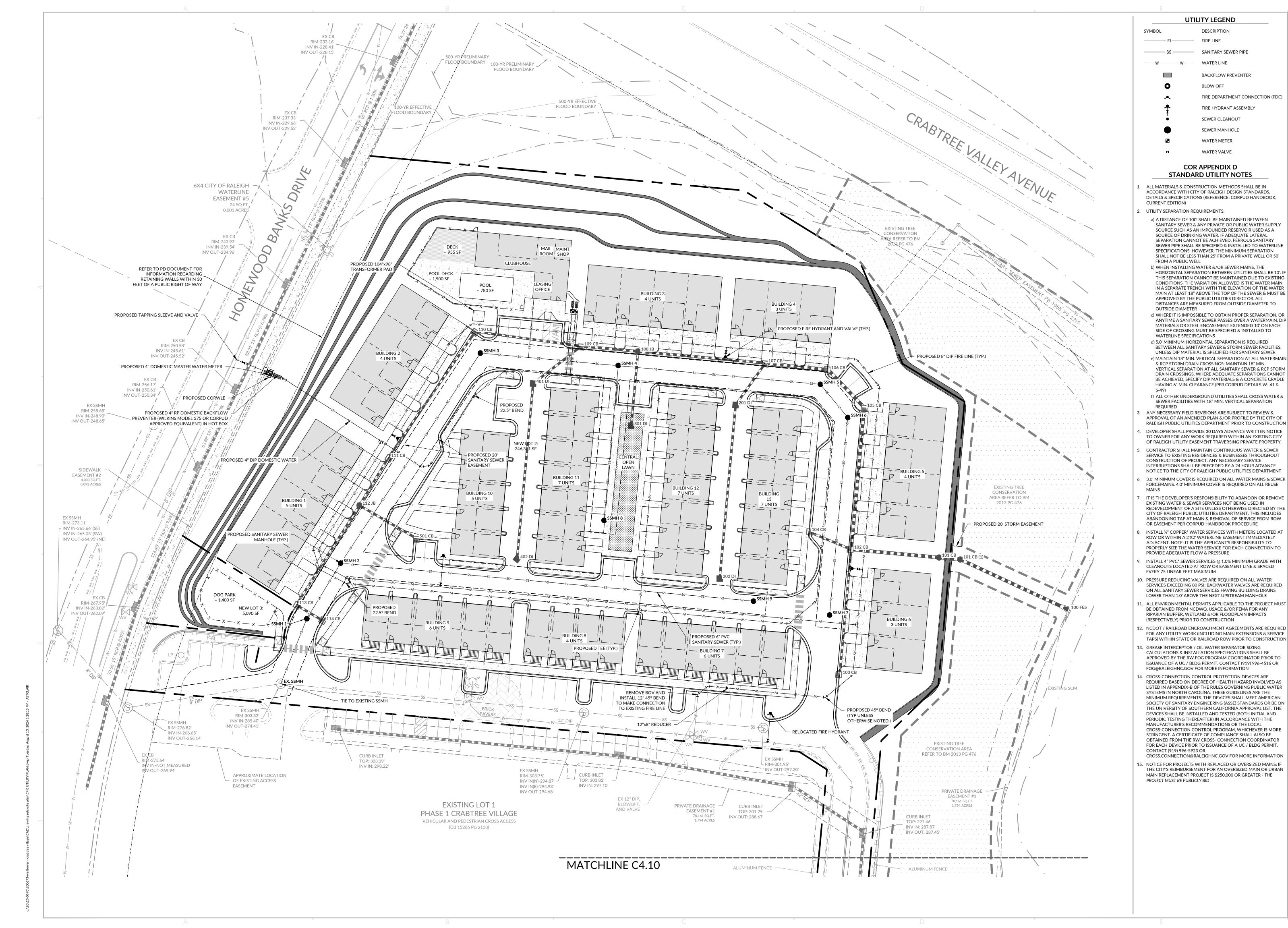
FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

STORMWATER PLAN

C3.10



N (FDC)

VitherSRaV(
7 S Wilmington Street | Suite 200 | Raleigh, NC;
ense #: F-1479 | t. 919.469.3340 | www.withers



ON ROAD, SUITE 550 OTTE, NC 28210

- NEW COLINEX

CRABTREE VILLAG
PHASE II
ASR-XXXX-2024

PRELIMINARY

NOT APPROVED

FOR CONSTRUCTION

15 30 W E: 1 inch = 30 ft.

INITIAL PLAN DATE: 08/13/2024 REVISIONS:

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

UTILITY PLAN

C4.00

SHOWN ON THIS SHEET

UTILITY LEGEND SYMBOL DESCRIPTION — FL— FIRE LINE SS — SANITARY SEWER PIPE — W— WATER LINE BACKFLOW PREVENTER **BLOW OFF** FIRE DEPARTMENT CONNECTION (FDC) FIRE HYDRANT ASSEMBLY SEWER CLEANOUT SEWER MANHOLE

COR APPENDIX D

ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, **CURRENT EDITION)**

UTILITY SEPARATION REQUIREMENTS:

a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL

b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS

BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W- 41 &

f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED

APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE

CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER

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RABTRI PH

PRELIMINARY

NOT APPROVED

FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024

NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT 6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE

EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE

ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE

INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM

LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE

BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION

TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE

4. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE

OBTAINED FROM THE RW CROSS- CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION 5. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF

STANDARD UTILITY NOTES

WATER METER

WATER VALVE

7

d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED

ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW &

RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY

SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE

IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE

INSTALL ¾" COPPER* WATER SERVICES WITH METERS LOCATED AT

10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS

. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST

2. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE

13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION

REVISIONS: STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE

THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

UTILITY PLAN

C4.10

FIRE DEPARTMENT CONNECTION (FDC)

HOSE PULL LENGTH FROM HYDRANT

BACKFLOW PREVENTER

- HEAVY DUTY PAVEMENT SHALL BE PROVIDED IN ALL FIRE
- HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL

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RATIVI CRABTRE PH.

PRELIMINARY NOT APPROVED

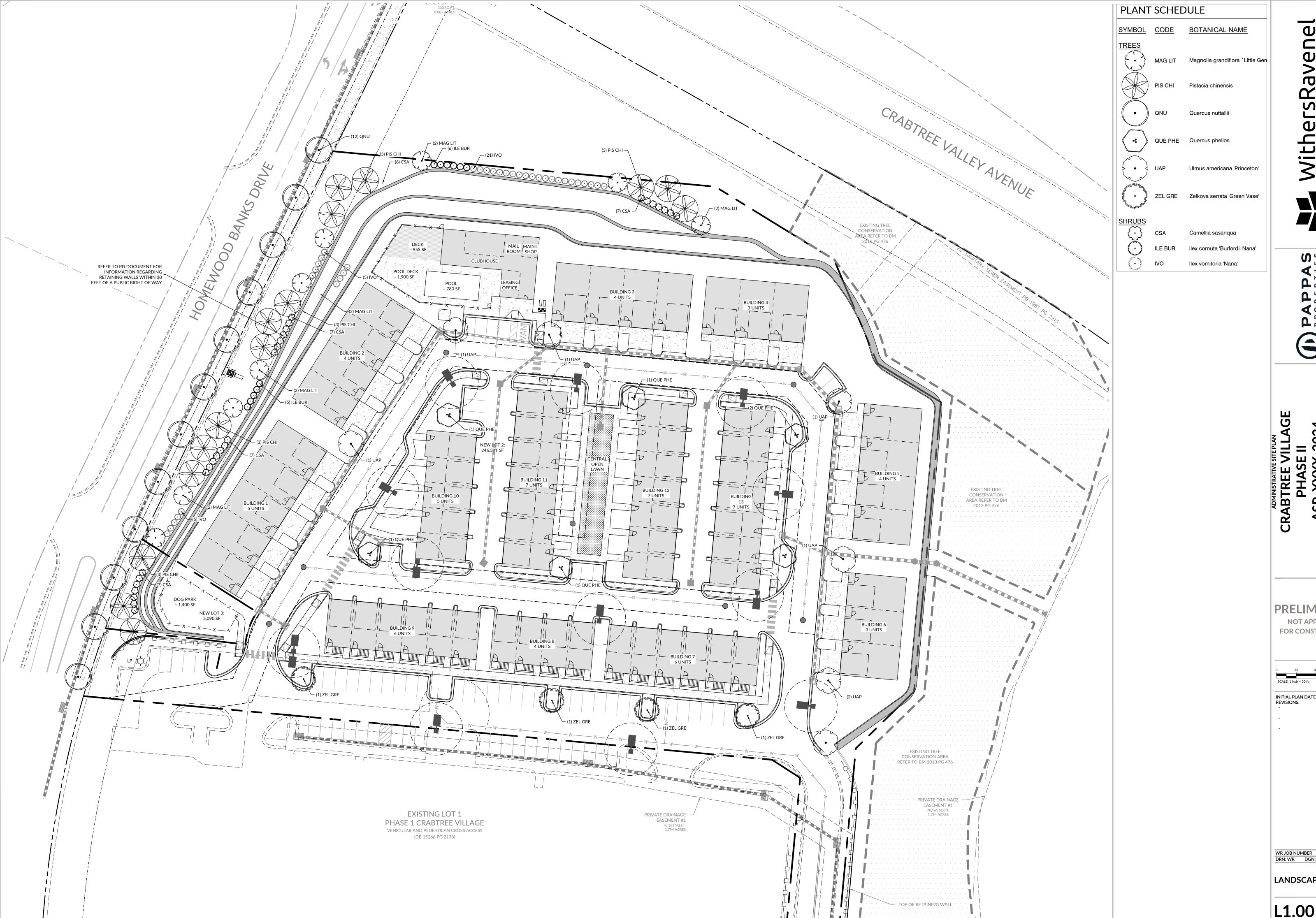
FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024 **REVISIONS:**

WR JOB NUMBER 09200673 DRN: WR DGN: WR CKD: WR

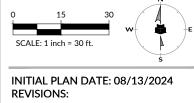
FIRE ACCESS PLAN

C5.00





PRELIMINARY NOT APPROVED FOR CONSTRUCTION



WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

LANDSCAPE PLAN

L1.00

- NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.
- NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
- 4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- 5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
- 6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING
- 7. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

PLANT SCHEDULE

SYMBOL | CODE | BOTANICAL / COMMON NAME

Pistacia chinensis / Chinese Pistache

Ulmus americana 'Princeton' / Princeton American Elm

Camellia sasanqua / Sasanqua Camellia

Ilex vomitoria 'Nana' / Dwarf Yaupon Holly

Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly

Zelkova serrata 'Green Vase' / Green Vase Japanese Zelkova

Quercus nuttallii / Nuttall Oak

QUE PHE Quercus phellos / Willow Oak

GENERAL LANDSCAPE NOTES

- 1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE.
- 2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- 3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING. GRADING. BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- 4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- 5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
- 6. [PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670. PLANTING SEASON IS OCTOBER 15 - MARCH 15, UNLESS OTHERWISE NOTED OR APPROVED BY NCDOT ENGINEER.] ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED. AS NEEDED. TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- 7. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
- 8. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- 9. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- 10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.

Magnolia grandiflora `Little Gem` / Little Gem Dwarf Southern Magnolia 3"CAL., 12' HT MIN

- 11. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION.
- 12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- 13. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. NO PINE STRAW IS PERMITTED. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- 14. FINISH OFF 2-4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
- 15. MIXED GROUNDCOVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED.
- 16. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST, AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE
- 17. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
- 18. ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON, QUANTITY AND SIZE TO MEET PLAN SPECIFICATIONS.
- 19. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY LOCATIONS. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON THE PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER AND THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- 20. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- 21. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.

CONTAINER QTY

3"CAL., 12' HT MIN B&B

CONT.

CONT.

CONT.

3" CAL MIN

18" MIN HT

18" MIN HT

18" MIN HT

PREPARATION FOR PLANTED AREAS (ORNAMENTAL PLANT BEDS):

- 1. PERFORM SOIL TESTS FROM EVENLY SPACED SAMPLES IN ORDER TO CALIBRATE FERTILIZER AND LIME NEEDS. 2. RIP AND LOOSEN SUBGRADE OF PLANTED AREAS TO A
 - MINIMUM OF DEPTH OF 18". REMOVE STONES AND ANY OTHER DEBRIS OVER 1 ½" IN ANY DIMENSION. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.
- INCORPORATE 6 INCHES OF \$\frac{50}{50}\$ BLENDED SOIL INTO THE AREAS TO BE PLANTED. PLACE ½ " DEPTH OF ₩ SOIL OVER THE AREA AND WORK IT INTO THE TOP OF THE LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE ANOTHER ¹/₂" DEPTH OF 50/50 SOIL.
- 3. SPREAD AMENDMENTS BASED ON SOIL SAMPLE RESULTS INCLUDING SLOW RELEASE NITROGEN AND TRIPLE SUPERPHOSPHATE FERTILIZER, LIME, AND ORGANIC MATTER. 4. IN HEAVY CLAY SOILS WITH LOW CEC PROVIDE HUMIIC ACID OR A COMPARABLE PRODUCT TO INCREASE CATION
- EXCHANGE CAPACITY OF THE SOIL. 5. IN HEAVY CLAY SOILS ADD 1 INCH OF STALITE AND INCORPORATE INTO THE TOP 4 INCHES OF SOIL 6. GRADE AREAS TO A SMOOTH AND EVEN SURFACE WITH
- LOOSE, UNIFORMLY FINE TEXTURE. RAKE, REMOVE RIDGES. AND FILL DEPRESSIONS, AS REQUIRED. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED IMMEDIATELY. LIMIT FOOT TRAFFIC.

PREPARATION FOR INSTALLATION OF LAWNS:

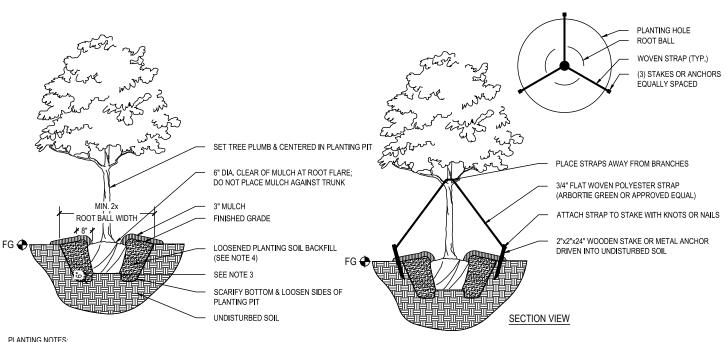
- 1. PERFORM SOIL TESTS FROM EVENLY SPACED SAMPLES IN ORDER TO CALIBRATE FERTILIZER AND LIME NEEDS.
- 2. RIP AND LOOSEN SUBGRADE OF LAWN AREAS TO A MINIMUM OF DEPTH OF 6". REMOVE STONES AND ANY OTHER DEBRIS OVER $1\frac{1}{2}$ IN ANY DIMENSION. LIMIT PREPARATION TO AREAS
- WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION. 3. PLACE \(\frac{1}{2}\)" DEPTH OF SCREENED TOP SOIL OVER THE LAWN AREA AND WORK IT INTO THE TOP OF THE LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER AND THEN PLACE ANOTHER 3 " DEPTH OF SCREENED TOP SOIL.
- 4. SPREAD AMENDMENTS BASED ON SOIL SAMPLE RESULTS INCLUDING FERTILIZER, LIME, AND ORGANIC MATTER.
- 5. IN HEAVY CLAY SOILS WITH LOW CEC PROVIDE HUMIC ACID OR A COMPARABLE PRODUCT TO INCREASE CATION EXCHANGE CAPACITY OF THE SOIL.
- 6. ALLOW FOR SOD THICKNESS WHEN FINE GRADING. 7. GRADE LAWN AREAS TO A SMOOTH AND EVEN SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL, RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS, AS REQUIRED. LIMIT FINE GRADING TO AREAS THAT CAN BE PLANTED
- IMMEDIATELY. LIMIT FOOT TRAFFIC. 8. MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING LAWNS. AVOID CREATING MUDDY
- CONDITIONS. 9. INSTALL FRESH CUT SOD IN LAWN AREAS SPECIFIED IN THE LANDSCAPE PLAN TO BE SODDED.
- 10. SOD TO BE INSTALLED IN STRAIGHT LINES WITH SHOVED JOINTS BETWEEN EACH PIECE. GAPS SHALL BE 1 OR LESS.
- 11. SOD ON SLOPE TO BE INSTALLED PERPENDICULAR TO THE SLOPE.
- 12. WATER SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.
- 13. WATER NEWLY SODDED AREAS AND KEEP MOIST UNTIL NEW GRASS IS ESTABLISHED

SEEDING NEW LAWN AREAS AND DAMAGED **EXISTING LAWNS:**

- 14. PERFORM SOIL TESTS FROM EVENLY SPACED SAMPLES IN ORDER TO CALIBRATE FERTILIZER AND LIME NEEDS. 15. RAKE SEED LIGHTLY INTO TOP $\frac{1}{8}$ " OF SOIL, ROLL LIGHTLY AND
- WATER WITH FINE SPRAY. 16. PROTECT SEEDED AREAS BY LIGHTLY SPREADING WHEAT
- STRAW MULCH, SPREAD BY HAND, BLOWER OR OTHER SUITABLE EQUIPMENT TO FORM A CONTINUOUS BLANKET IN LOOSE THICKNESS OVER SEEDED AREAS.
- 17. ANCHOR STRAW MULCH BY CRIMPING INTO SOIL WITH
- SUITABLE MECHANICAL EQUIPMENT. 18. ANCHOR STRAW MULCH WITH NETTING FOR SLOPES.
- 19. WATER SEED THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING. 20. WATER NEWLY SEEDED AREAS AND KEEP MOIST UNTIL NEW GRASS IS ESTABLISHED.

GENERAL MAINTENANCE OF LANDSCAPING AND

- 21. THE PROPERTY OWNER, INCLUDING SUBSEQUENT OR SUCCESSOR OWNER, AND THEIR AUTHORIZED AGENTS ARE JOINTLY AND SEVERALLY RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING ON THE PROPERTY ON A CONTINUING BASIDS FOR THE LIFE OF THE DEVELOPMENT. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING WEEDING AND OTHER ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.
- 22. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER MATERIALS OR PLANTS NOT A PART OF THE LANDSCAPING.
- 23. REQUIRED LANDSCAPING SHALL BE MAINTAINED IN PERPETUITY. AFTER INITIAL INSTALLATION, THE OWNER OF THE PROPERTY UPON WHICH THE LANDSCAPING IS INSTALLED SHALL MAINTAIN ALL REQUIRED PLANTINGS IN A HEALTHY, VIGOROUS AND ATTRACTIVE STATE.
- 24. ALL REQUIRED PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON. PLANT MATERIALS WHICH EXHIBIT EVIDENCE OF INSECT PESTS, DISEASE AND/OR DAMAGE SHALL BE APPROPRIATELY TREATED. DEAD PLANTS SHALL BE PROMPTLY REMOVED AND REPLACED WITHIN THE NEXT PLANTING SEASON AFTER REMOVAL. IF REPLACEMENT IS NECESSARY, ALL PLANTS AND OTHER NON-LIVING LANDSCAPE MATERIALS SHALL BE EQUAL IN SIZE, DENSITY AND APPEARANCE AS ORIGINALLY REQUIRED AT THE TIME OF THE APPROVAL OF THE DEVELOPMENT PERMIT.

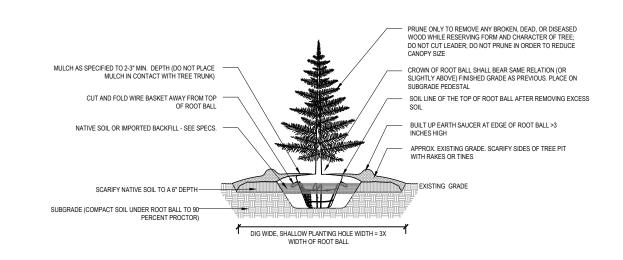


PLANTING NOTES:

1. FOR CONTAINER PLANTS, REMOVE CONTAINER & SCARIFY ROOT MASS PRIOR TO PLANTING. FOR B&B PLANTS, COMPLETELY REMOVE TOP HALF OF WIRE BASKET AND BURLAP MATERIAL; REMOVE ALL TWINE, ROPE AND WIRE FROM ROOT BAL SET ROOT BALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 2-3" ABOVE FINISHED GRADE. TAMP SOIL FIRMLY AROUND BOTTOM OF ROOT BALL TO SET TREE

- 4. DIG & TURN PLANTING SOIL TO REDUCE COMPACTION. LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE THE TREE. DO NOT OVER-COMPACT. MIX COMPOST INTO EACH LIFT OF BACKFILL AS RECOMMENDED IN SOIL REPORT. POUR WATER AROUND ROOT BALL TO SETTLE SOIL, AND BACKFILL AS REQUIRED TO MEET REQUIRED FINISHED GRADE
- A 3" HIGH x 8" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE PRUNE TREES ONLY AS NEEDED TO REMOVE DEAD OR BROKEN BRANCHE
- TREES IN WINDY LOCATIONS OR ON STEEP SLOPES ARE TO BE ANCHORED PER DETAILS ABOVE AND PER DIRECTION FROM LANDSCAPE ARCHITECT.

TYPICAL SINGLE-STEM TREE PLANTING DETAIL



IF TREES SETTLE OR ARE BLOWN OUT OF PLUMB POSITION, THEY SHOULD BE STRAIGHTENED BY MAKING ADJUSTMENTS TO THE POSITION OF THE ROOTBALL - NOT BY PUSHING ON THE TRUNK AND/OR TIGHTENING THE GUY WIRE. TREES SHALL BE STRAIGHTENED DURING THE LIFE OF THE PROJECT AS THEY GET OUT OF PLUMB, NOT JUST AT THE END OF THE PROJECT BALL DEPTHS ON SOME TREES IN A SINGLE GROUP MAY VARY. IF DEPTHS VARY, ALL TREES IN A GROUP SHOULD BE SET SO THAT THE BASE OF THE TRUNKS WILL APPEAR TO BE AT THE

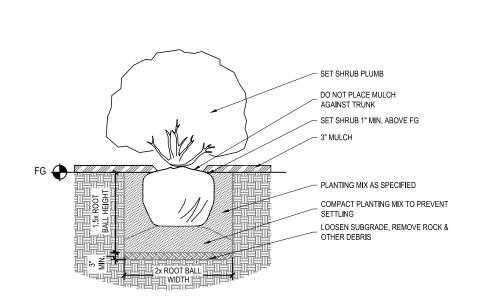
NO EVERGREEN TREES WILL BE ACCEPTED IF THERE IS MORE THAN ONE LEADER.

CONTRACTOR TO VERIFY THAT ADEQUATE DRAINAGE EXISTS PRIOR TO PLANTING.

STAKING OF EVERGREEN TREES IS OPTIONAL, AND TO BE DETERMINED BY THE OWNER. IF STAKING IS DONE, FLEXIBLE STRAPS - NOT HOSE AND WIRE - SHOULD BE USED AND MUST BE REMOVED AT APPROPRIATE TIME. PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF DESTROYED OR DAMAGED TREES.
ALL TREES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT EDITION (2004 OR LATER) OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY A.N.L.A.

A ROOT COLLAR EXCAVATION FOR ALL TREES SPECIFIED WILL BE DONE BY THE TOWN ARBORIST TO ENSURE THAT TREES WERE PLANTED/GROWN TOO DEEPLY BY THE SOURCE (NURSERY). LANDSCAPE CONTRACTOR SHALL HAVE SUPPLIER MARK GROUND LEVEL LINE ABOVE ROOTBALL. IF TOWN ARBORIST DETERMINES THAT THERE IS EXCESSIVE SOIL OVER ROOT CROWN, THESE TREES WILL BE REJECTED.

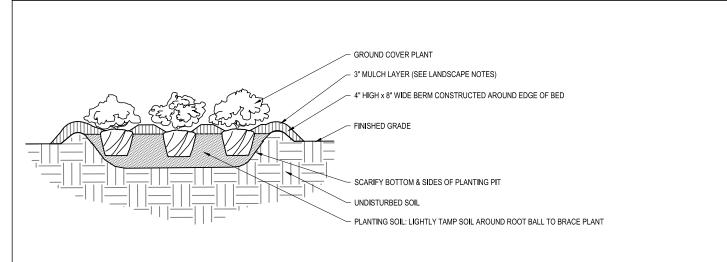
TYPICAL EVERGREEN TREE PLANTING DETAIL



PLANTING NOTES:
1. FOR CONTAINER PLANTS, SPLIT THE ROOT BALL WITH 4 EQUALLY SPACED VERTICAL CUTS & SCARIFY ROOT MASS PRIOR TO PLANTING. 2. FOR B&B PLANTS, REMOVE ALL TWINE, ROPE, WIRE & BURLAP FROM ROOT BALL

- A 3" HIGH x 8" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE. PLANTING AREAS WITH MULTIPLE SHRUBS ARE TO BE SIZED SO THAT THE OUTER EDGE OF PLANTING SOIL IS 8" MIN. FROM THE NEAREST SHRUB SHRUBS ARE TO BE LOCATED SUCH THAT MATURE CANOPY IS 5'MIN. FROM FIRE HYDRANTS AND 24'MIN. FROM CURB LINE SHRUBS ARE TO BE LOCATED WITH TRIANGULAR SPACING (SEE DETAIL) UNLESS OTHERWISE SHOWN ON THE PLANS.
- PRUNE SHRUBS ONLY AS NEEDED TO REMOVE DEAD OR BROKEN BRANCHE

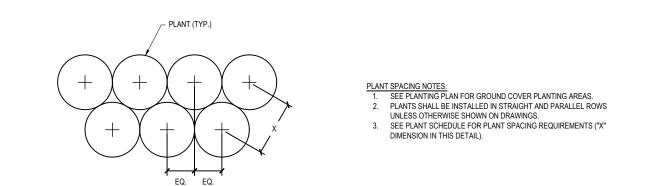
TYPICAL SHRUB PLANTING NTS



PLANTING NOTES:

1. SPLIT PLANT ROOTS WITH 2-3 EQUALLY-SPACED VERTICAL CUTS. TYPICAL GROUNDCOVER PLANTING

PLANT SPACING



LANDSCAPE

L2.00

WR JOB NUMBER DRN: WR DGN: WR CKD: WR

DETAILS

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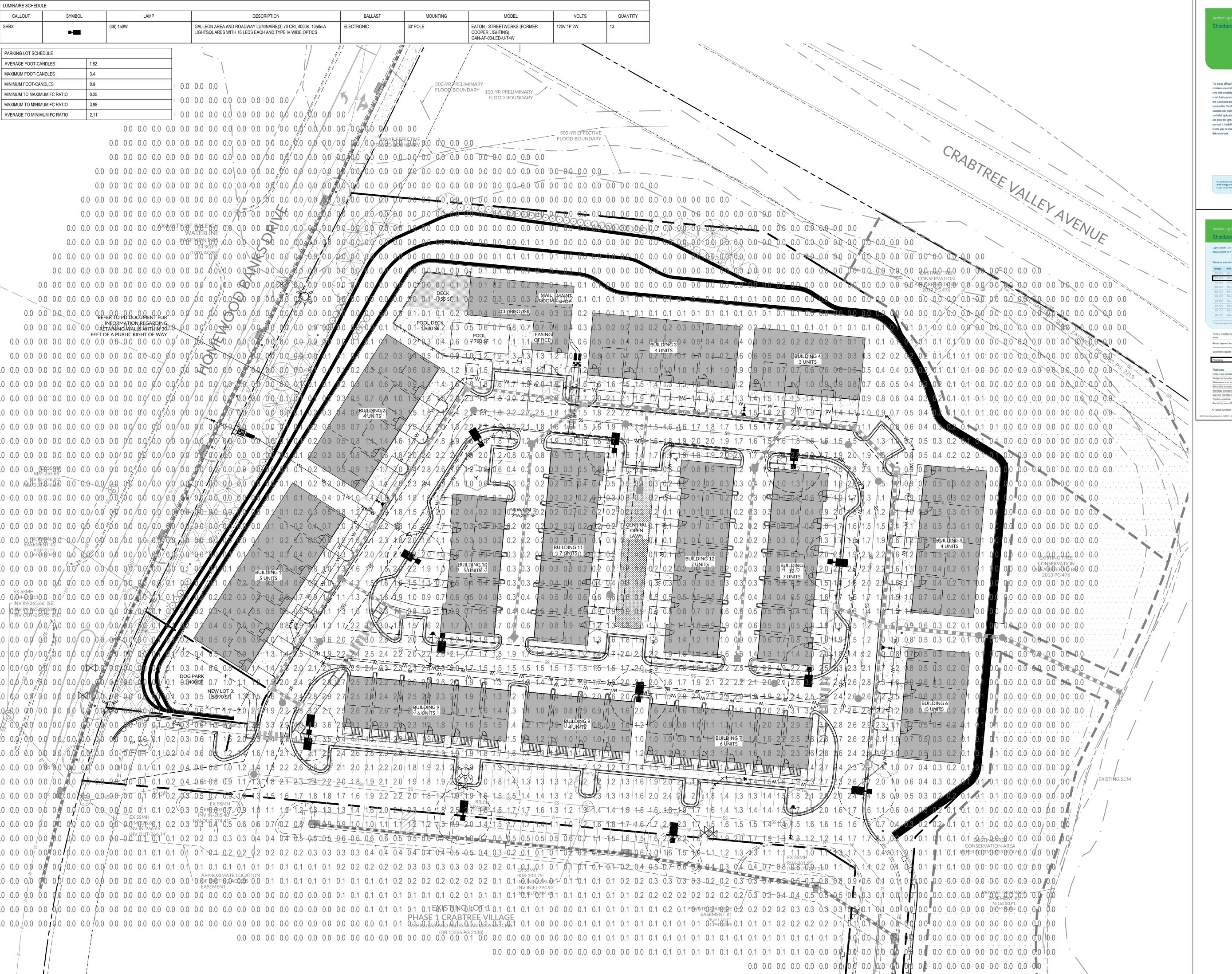
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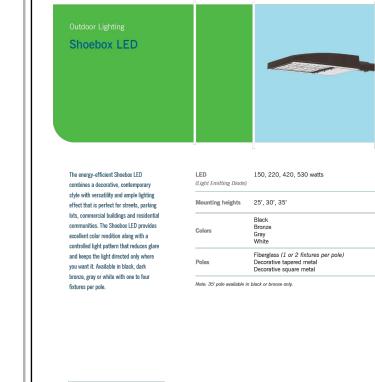
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FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024

REVISIONS:





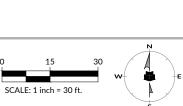


137 SWII

DUKE ENERGY. PROGRESS BUILDING A SMARTER ENERGY FUTURE®

CRABTREE VILLAGE
PHASE II
ASR-XXXX-2024

PRELIMINARY



NOT APPROVED FOR CONSTRUCTION

INITIAL PLAN DATE: 08/13/2024

REVISIONS: --

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

LIGHTING PLAN

L7.00