

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input type="checkbox"/>
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Building and Development Type (Check all that apply)	Site Transaction History		
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top; padding: 5px;"> <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot </td> <td style="width: 50%; vertical-align: top; padding: 5px;"> <input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option </td> </tr> </table>	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option		

GENERAL INFORMATION

Development name:

Inside City limits? Yes <input type="checkbox"/> No <input type="checkbox"/>

Property address(es):

Site P.I.N.(s):

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company:	Title:
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Address:

Phone #:	Email:
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Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner’s authorized agent <input type="checkbox"/> Easement holder

Company:	Address:
----------	----------

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Amber Mason</i>	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

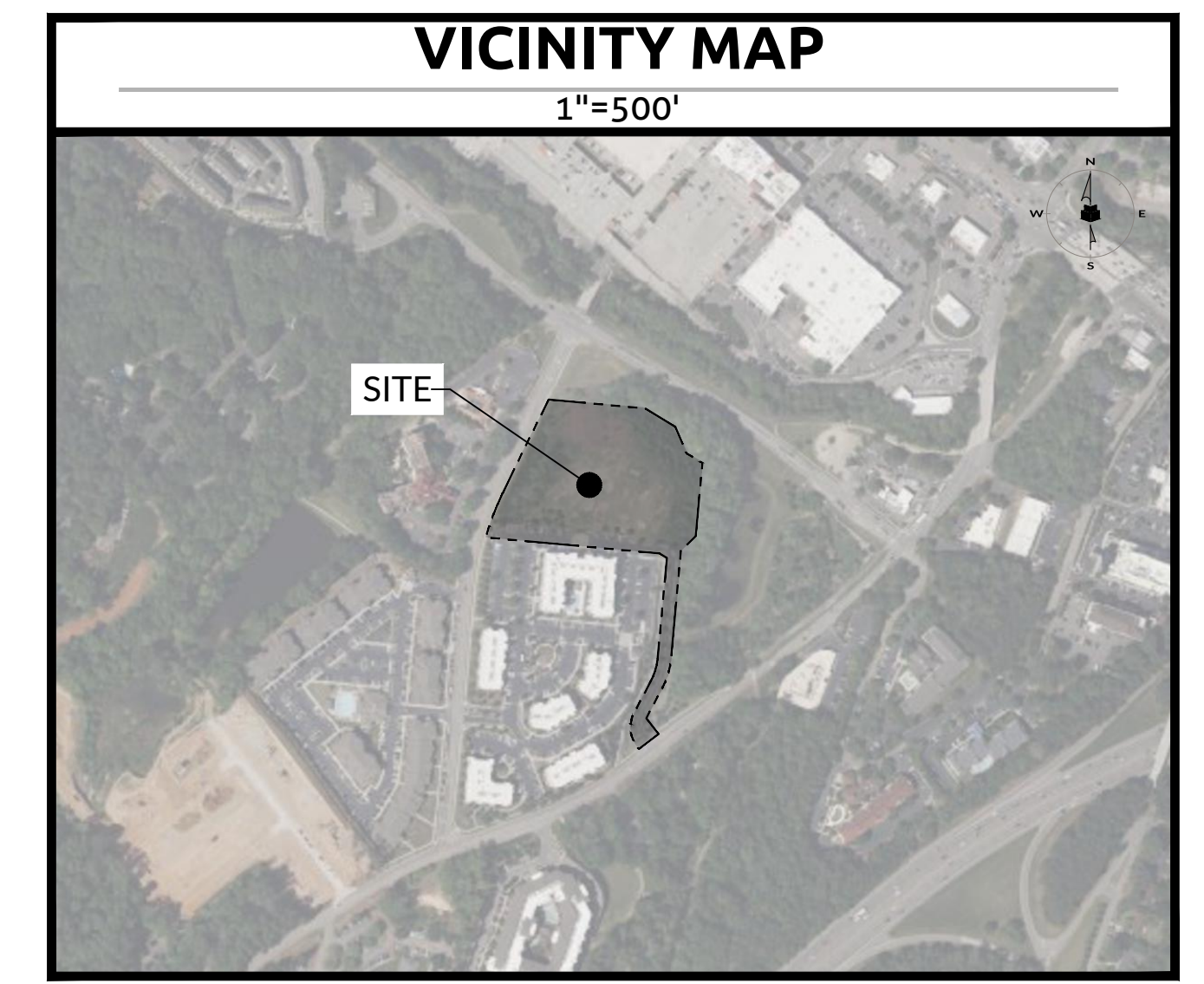
ADMINISTRATIVE SITE PLAN

CRABTREE VILLAGE

PHASE II

ASR-XXXX-2024

HOMWOOD BANKS DRIVE | RALEIGH, NC | WAKE COUNTY
1ST SUBMITTAL: AUGUST 13, 2024



SURVEY BENCHMARK

BENCHMARK IS LOCAL TO SITE.
SEE SHEET C1.00 FOR BENCHMARK INFORMATION.
VERTICAL DATUM BASED ON NAVD 88.

SITE DATA TABLE

MUNICIPAL PROJECT NO.	ASR-XXXX-2024
ASSOCIATED CASE NUMBERS	MP-1-12 TCZ-X-2024
SITE ADDRESS	5201 HOMWOOD BANKS DR 5301 HOMWOOD BANKS DR
PARCEL PIN NO.	0795-59-2600 0795-59-2353
DEED BOOK AND PAGE	DB 018162, PG 01286 DB 018162, PG 01286
ZONING	PD
EXISTING SITE AREA	LOT 2: 4.92 AC LOT 3: 0.85 AC TOTAL: 5.77 AC
PROPOSED SITE AREA	LOT 2: 5.65 AC LOT 3: 0.12 AC TOTAL: 5.77 AC
OVERLAY DISTRICT	N/A
EXISTING LAND USE	VACANT
PROPOSED USE	RESIDENTIAL TOWNHOMES
PROPOSED NUMBER OF UNITS	65
PROPOSED NUMBER OF BUILDINGS	14 (INCLUDING 1 CLUBHOUSE)
PROPOSED GROSS BUILDING SF	±115,465 SF
IMPERVIOUS AREA	±3.87 AC
LIMITS OF DISTURBANCE	±0.0 AC
EXISTING TCA	11.4% OF TOTAL SITE AREA (LOTS 1-4) 2.62 AC (114,151 SF) PROVIDED WITH PHASE 1
SETBACKS (PER MP-1-12):	
INTERNAL	0'
BLUE RIDGE ROAD	20'
HOMWOOD BANKS DRIVE	20'
CRABTREE VALLEY AVENUE	30'
AMENITY AREA:	
MINIMUM AMENITY AREA REQUIRED	10% (PER UDO SEC. 2.2.3)
PROPOSED AMENITY AREA	10.8%
PARKING:	
MINIMUM PARKING	1 SPACE PER DWELLING UNIT (PER MP-1-12) x 65 UNITS = 65 SPACES
PROVIDED PARKING	60 SURFACE SPACES (INCLUDING 1 ADA VAN) + 176 GARAGE/DRIVEWAY SPACES = 236 TOTAL SPACES

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached	Subdivision case #:
<input type="checkbox"/> Attached	Scoping/sketch plan case #:
<input checked="" type="checkbox"/> Townhouse	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	Board of Adjustment #:
<input type="checkbox"/> Tiny house	Zoning Case #, MP-1-12
<input type="checkbox"/> Open lot	Design Alternate #:
<input type="checkbox"/> General	
<input type="checkbox"/> Mixed use	
<input type="checkbox"/> Civic	
<input type="checkbox"/> Cottage Court	
<input type="checkbox"/> Frequent Transit Development Option	

GENERAL INFORMATION

Development name: Crabtree Village Phase 2

Inside City limits? Yes No

Property address(es): 5201 Homewood Banks Drive & 5301 Homewood Banks Drive

Site P.I.N.(s): 0795-59-2600; 0795-59-2353

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

65 Townhome units with a clubhouse and associated infrastructure

Current Property Owner(s): Well TP Crabtree Owner LP

Company: _____ Title: _____

Address: 4500 Dorr St Toledo, OH 43615

Phone #: _____ Email: _____

Applicant Name (if different from owner. See "who can apply" in instructions): _____

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: WithersRavenel Address: 137 S Wilmington St, Suite 200

Phone #: 919-238-0311 Email: amason@withersravenel.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Will Reid

Company: Pappas Properties Title: Investment Associate

Address: 4777 Sharon Road, Suite 550

Phone #: 704-302-5475 Email: wreid@pappasproperties.com

Applicant Name: Amber Mason, PE

Company: WithersRavenel Address: 137 S Wilmington St, Suite 200

Phone #: 919-238-0311 Email: amason@withersravenel.com

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 5.77	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 236	New gross floor area: 115,463
Max # parking permitted (7.1.2.C): N/A	Total sf gross (to remain and new): 115,463
Overlay District (if applicable): N/A	Proposed # of buildings: 14
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 2/3
Proposed use (UDO 6.1.4): Residential Townhomes	Proposed # of basement levels (UDO 1.5.7.A.6): 1

STORMWATER INFORMATION

Impervious Area on Parcel(s): _____

Existing (sf) 28,184 Proposed total (sf) 172,092

Impervious Area for Compliance (includes ROW): _____

Existing (sf) 28,188 Proposed total (sf) 172,092

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 65 Total # of hotel bedrooms: 0

of bedroom units: 1br 0 2br 34 3br 31 4br or more 0

of lots: 1 Is your project a cottage court? Yes No

A frequent transit development? Yes No

Continue to Applicant Signature Block on Page 4.

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Signature: Amber Mason Date: _____

Printed Name: _____ Date: _____

INDEX OF SHEETS

Sheet Number	Sheet Title
C0.00	COVER
C0.01	GENERAL NOTES AND LEGENDS
C0.02	COMPLIANCE TABLES AND CALCULATIONS
C1.00	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.10	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND DRAINAGE PLAN
C3.10	STORMWATER PLAN
C4.00	UTILITY PLAN
C4.10	UTILITY PLAN
C5.00	FIRE ACCESS PLAN
L1.00	LANDSCAPE PLAN
L2.00	LANDSCAPE DETAILS
L7.00	LIGHTING PLAN

SOLID WASTE INSPECTION STATEMENT

- ROLL OUT BINS TO BE STORED IN THE GARAGE EXCEPT ON PICK UP DAYS. INTERIOR UNITS WILL ROLL BINS TO A DESIGNATED CONCRETE PAD PICK UP AREA. UNITS ALONG THE EXTERIOR OF THE SITE WILL ROLL BINS OUT TO THE END OF DRIVEWAY. A PRIVATE VENDOR WILL BE UTILIZED FOR TRASH PICK UP. A WILL-SERVE WILL BE PROVIDED AT SITE PERMIT REVIEW.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 150 FEET (NO SPRINKLER SYSTEM IS PROPOSED).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF, SECTION 507.3.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
 - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CONTACT LIST:

CIVIL ENGINEER Amber Mason, PE WithersRavenel 137 S Wilmington Street, Suite 200 Raleigh, NC 27601 919-535-5200 amason@withersravenel.com	LANDSCAPE ARCHITECT Daniel Whitley, PLA WithersRavenel 137 S Wilmington Street, Suite 200 Charlotte, NC 28210 919-238-0312 dwhitley@withersravenel.com	DEVELOPER Will Reid Pappas Properties 4777 Sharon Road, Suite 550 Charlotte, NC 28210 704-302-5475 wreid@pappasproperties.com	OWNER Well TP Crabtree Owner LP 4500 Dorr St Toledo, OH 43615
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PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

WithersRavenel
137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

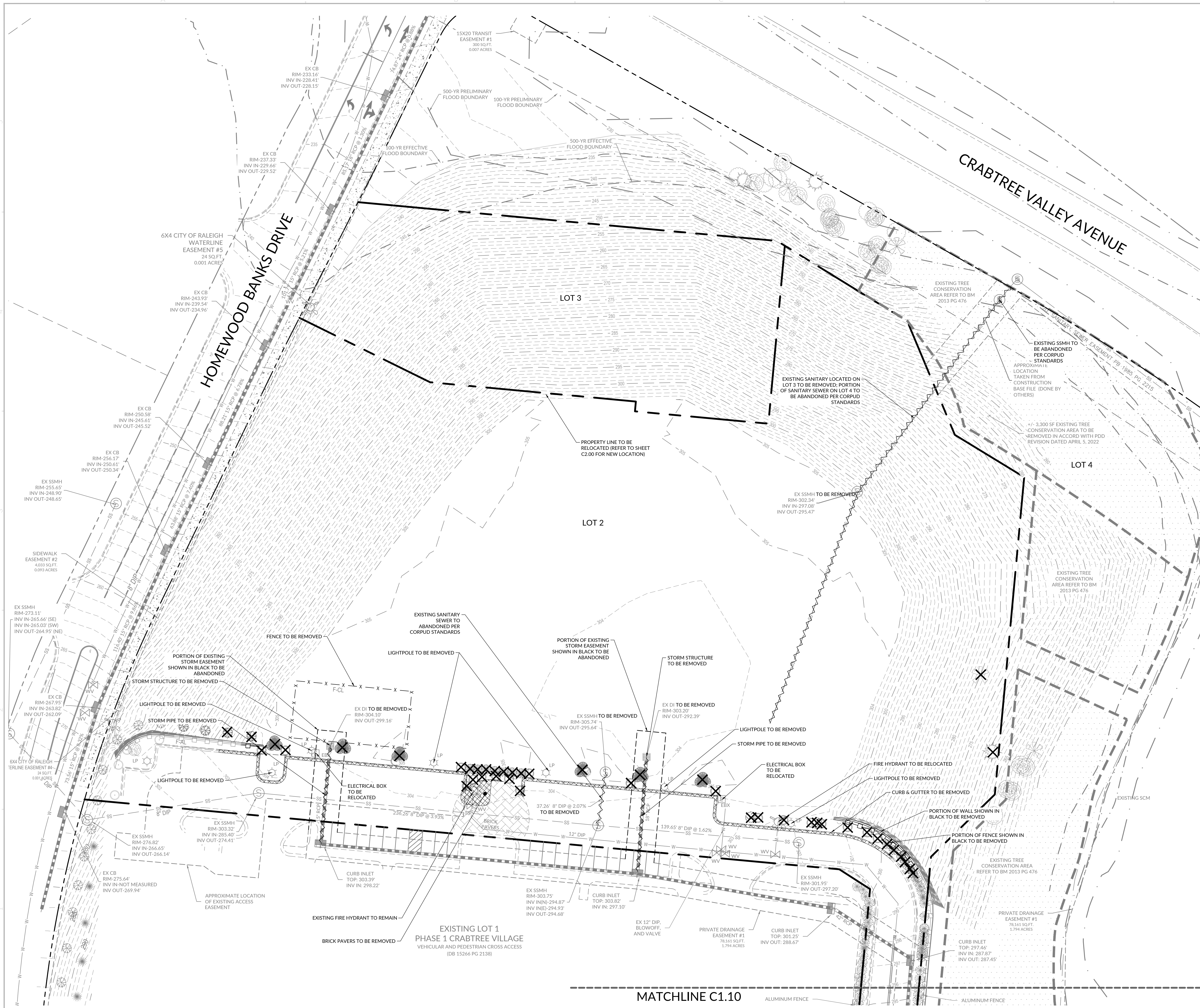
DEVELOPER:
PAPPAS PROPERTIES, LLC
4777 SHARON ROAD, SUITE 550
CHARLOTTE, NC 28210
PHONE #: 704-302-5475
ATTENTION: Will Reid

ADMINISTRATIVE SITE PLAN
CRABTREE VILLAGE
PHASE II
ASR-XXXX-2024
WR PROJECT NO. 09200673
CITY OF RALEIGH
MUNI PRO NO: ASR-XXXX-2024
INITIAL PLAN DATE: 08/13/2024

CRABTREE VILLAGE MASTER PLAN (MP-1-12) COMPLIANCE TABLE				
PLEASE NOTE: PLANNED DEVELOPMENT CRITERIA SPECIFIC TO PHASE 2 IS PROVIDED BELOW. WHERE APPLICABLE, CERTAIN CRITERIA AND CUMULATIVE PLANNED DEVELOPMENT REQUIREMENTS FOR BOTH PHASE 1 AND PHASE 2 ARE ALSO PROVIDED.				
	ITEM LISTED IN MASTER PLAN	REQUIREMENT	PROVIDED FOR PHASE 2 ONLY	PROVIDED FOR PHASE 1 AND 2 (WHERE APPLICABLE)
1	Total number of dwelling units	315 units max. (phase 1) 232 units max. (phase 2)	65 units	353 total (293 provided in phase 1)
2	Gross square footage of the uses	N/A	N/A	N/A
3	Open Space (Entire PD)	20% min.	N/A	31.8% (provided on lot 4)
4	Impervious Surface Area (Entire PD)	85% (19.48 AC) max.	N/A	51.6% (11.82 AC)
5	Impervious Surface Allocation (Phase 2)	229,997 SF max. (lots 2 and 3) 66,212 SF max. (lot 4)	181,705 SF (lots 2 and 3) 4,235 SF (lot 4)	N/A
6	Tree Conservation Area	10% min.	N/A	11.1% (provided on lot 4, see TCA calculations, this sheet)
7	Access Points	2 min.	0 driveways proposed	2 driveways total (2 driveways existing)
8	Road Improvements/Dedications	See PD Section 9.A.2	N/A	Provided with phase 1
9	Transit Easements	3 min.	N/A	3 provided with phase 1
10	Building Lot Coverage	70% max.	14.6%	11%
11	Building Height	200' max.	78' 4"	N/A
12	Fenestration (applicable to Crabtree Valley Avenue only)	20% min.	25%	N/A
13	Building Setbacks	Internal: 0' Blue Ridge Road: 20' Homewood Banks Drive: 20' Crabtree Valley Avenue: 30'	Internal: N/A Blue Ridge Road: N/A Homewood Banks Drive: 106' min. Crabtree Valley Avenue: 132' min.	N/A
14	Parking	1 space per dwelling unit	60 surface spaces 176 garage/driveway spaces	N/A
15	Bike Parking	SHORT TERM Residential: 1 space per 20 units Office: 1 space per 10,000 SF Retail: 1 space per 2,000 SF Hotel: 1 space per 10,000 SF LONG TERM Residential: None Office: 1 space per 5,000 SF Retail: None Hotel: 1 space per 5,000 SF	SHORT TERM Residential: None Office: N/A Retail: N/A Hotel: N/A LONG TERM Residential: None Office: N/A Retail: N/A Hotel: N/A	N/A
16	Sidewalk Width	Homewood Banks: 8' min. Internal to site: 5' min.	Homewood Banks: 8' provided Internal to site: 5' provided	N/A
17	Retaining wall distance from ROW	10' min.	10' min. provided	N/A
18	Retaining wall landscaping (applicable to Homewood Banks Drive only)	A landscaping area measuring at least ten (10) feet in width shall be provided between the public right-of-way and the retaining wall or building foundation wall, and such landscaping area shall be planted at a rate of three (3) shade trees, four (4) understory trees, and 15 shrubs per 100 linear feet, and all understory trees and shrubs shall be evergreen	Master plan requirements have been provided (see sheet LP1.00)	N/A
19	Site Lighting	Parking area and roadway lighting will have similar pole lights (20' maximum pole/fixture height) and fixtures. Sidewalk lighting will be decorative fixtures based on human scale. All fixtures will be consistent throughout the site. Building lighting will be provided where appropriate to highlight architectural features and landscape lighting will be focused on lighting of specimen trees at certain strategic locations.	Master plan requirements have been provided (see sheet SL1.0)	N/A
20	Trash/Recycle Station	Trash dumpster/compactors shall be enclosed within buildings.	N/A	N/A

SITE CALCULATIONS	
TOTAL PHASE 2 SITE AREA (LOTS 2 AND 3 ONLY): 5.77 AC (251,471 SF)	
AMENITY AREA	
TOTAL SITE AREA:	5.77 AC
AMENITY AREA REQUIRED:	10.0% OF SITE AREA = 0.58 AC (25,147 SF)
AMENITY AREA PROVIDED:	10.8% OF SITE AREA = 0.62 AC (27,104 SF) TOTAL
PARKING CALCULATIONS	
PHASE 2 REQUIRED:	1 SPACE PER UNIT (PER MP-1-12) (65 UNITS) X 1 SPACE PER UNIT = 65 SPACES TOTAL = 65 SPACES
PHASE 2 PROVIDED:	236 SPACES (60 SURFACE SPACES INCLUDING 1 VAN ADA-ACCESSIBLE SPACE, 176 GARAGE/DRIVEWAY SPACES)
PHASE 1 REQUIRED:	MULTI-UNIT LIVING 0-1 BEDROOM: 1 SPACE PER UNIT MULTI-UNIT LIVING 2 BEDROOMS: 1.5 SPACE PER UNIT (PER UDO) (192 0-1 BEDROOM) X 1 SPACE PER UNIT = 192 SPACES (100 2 BEDROOMS) X 1.5 SPACE PER UNIT = 150 SPACES TOTAL = 192 SPACES + 150 SPACES = 342 SPACES
PHASE 1 PROVIDED:	442 SPACES (16 ADA-ACCESSIBLE SPACES)
*NOTE: PHASE 1 PARKING SHOWN ON THESE PLANS CONSISTS OF LOT 1 ONLY AND IS SHOWN FOR REFERENCE ONLY	
BICYCLE PARKING CALCULATIONS	
REQUIRED:	LONG TERM: NONE SHORT TERM: NONE
PROVIDED:	LONG TERM: NONE SHORT TERM: NONE

UDO ARTICLE 1.5 MEASUREMENT, EXCEPTIONS & GENERAL RULES OF APPLICABILITY		
OUTDOOR AMENITY AREA (UDO 1.5.3)		
B. GENERAL REQUIREMENTS		
	REQUIREMENT	DESIGN STATUS
1	Where outdoor amenity area is required, it must be provided on-site and must be available for use by or as an amenity for the occupants, invitees and guests of the development.	MET
2	A minimum of 50% of the required outdoor amenity area must be usable to the pedestrians described in subsection 1. above. All areas usable to pedestrians must also be ADA accessible. Outdoor amenity areas required for existing buildings that do not have elevators or do not otherwise require them, may be located on upper levels as allowed by Sec. 1.5.3.C.1.	MET
3	Required outdoor amenity area may be met in 1 contiguous open area or in multiple open areas on the site; however, to receive credit, each area must be at least 10 feet in width and length.	MET
4	Required outdoor amenity area may be located at or above grade.	MET
5	Required outdoor amenity area cannot be parked or driven upon, except for emergency access and permitted temporary events.	MET
6	Required outdoor amenity area may be covered but cannot be enclosed however outdoor amenity areas within the DX-district that will be covered by structures with a clear height no less than 8' and less than the proposed minimum ground story height must account for no more than 50% of the required area. Perforated structures, where the sum area of the openings is greater than 50% or more of the surface area of the structure, shall not be considered covered for the purposes of this restriction.	MET
7	Green Stormwater Infrastructure (GSI) practices may be located within a required outdoor amenity area provided all other requirements of this subsection are met. Tree Conservation areas, stormwater detention wet ponds and dry ponds, slope/construction easements, riparian buffers, all protective yards, Zone A of neighborhood transitional protective yards and parking islands shall not be considered an outdoor amenity area.	MET
8	Sidewalk areas outside of the right-of-way, even if used to satisfy streetscape requirements, shall also be eligible to count towards outdoor amenity area requirements provided all other requirements of this subsection are met.	MET
9	Areas outside of the right-of-way required to be set aside for required street trees shall be eligible to count towards outdoor amenity area requirements provided all other requirements of this subsection are met.	N/A
10	Outdoor amenity areas meeting the requirements of Section 1.5.3, shall also be eligible to count towards required open space provided it also meets Article 2.5.	N/A



DEMOLITION LEGEND

SYMBOL	DESCRIPTION
[Cross-hatched box]	XXX AREAS TO BE REMOVED
[Dashed line]	STORM PIPE TO BE REMOVED
[Wavy line]	SEWER TO BE ABANDONED/REMOVED
[Stippled area]	WETLANDS TO BE IMPACTED
[Tree symbol]	TREE TO BE REMOVED

EXISTING CONDITIONS AND DEMOLITION NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCING WORK.
- SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES, INCLUDING BELOW GROUND, NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORE TO ORIGINAL CONDITION AS OF START OF WORK.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO 'CITY OF RALEIGH STREET DESIGN MANUAL' AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.966.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE 'RIGHT-OF-WAY CLOSURES' ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- CONTRACTOR IS EXPLICITLY ADVISED TO FIELD LOCATE AND VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS IS APPROXIMATE BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT/CIVIL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

ADMINISTRATIVE SITE PLAN

CRABTREE VILLAGE PHASE II

ASR-XXXX-2024

HOMWOOD BANKS DRIVE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

SCALE: 1" = 30' FT.

INITIAL PLAN DATE: 08/13/2024
REVISIONS:

WR JOB NUMBER: 09200673
DRN: WR DGN: WR CKD: WR

EXISTING CONDITIONS AND DEMOLITION PLAN

C1.00

WithersRavenel

137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

PAPPAS PROPERTIES

4777 SHARON ROAD, SUITE 550
CHARLOTTE, NC 28210

ADMINISTRATIVE SITE PLAN

CRABTREE VILLAGE PHASE II

ASR-XXXX-2024

HOMWOOD BANKS DRIVE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

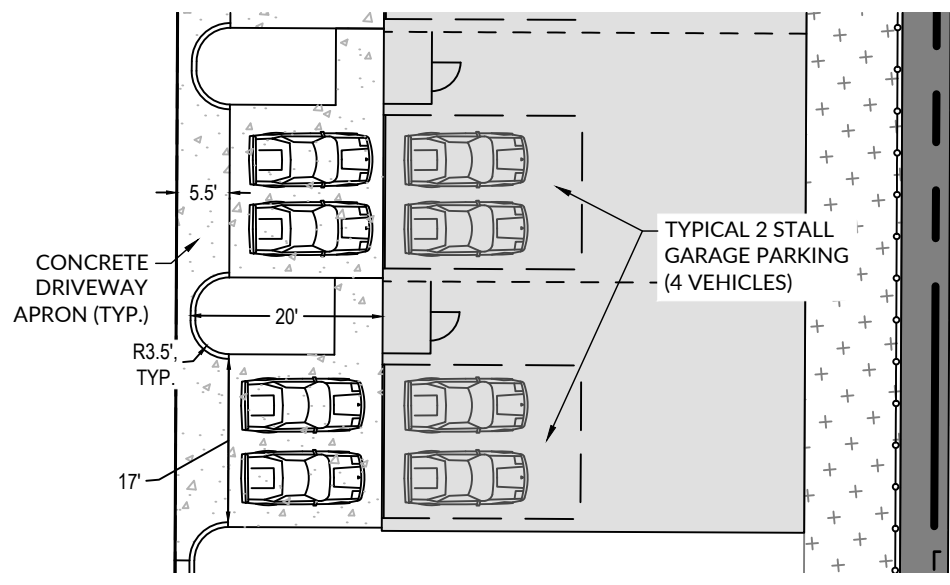
SCALE: 1" = 30' FT.

INITIAL PLAN DATE: 08/13/2024
REVISIONS:

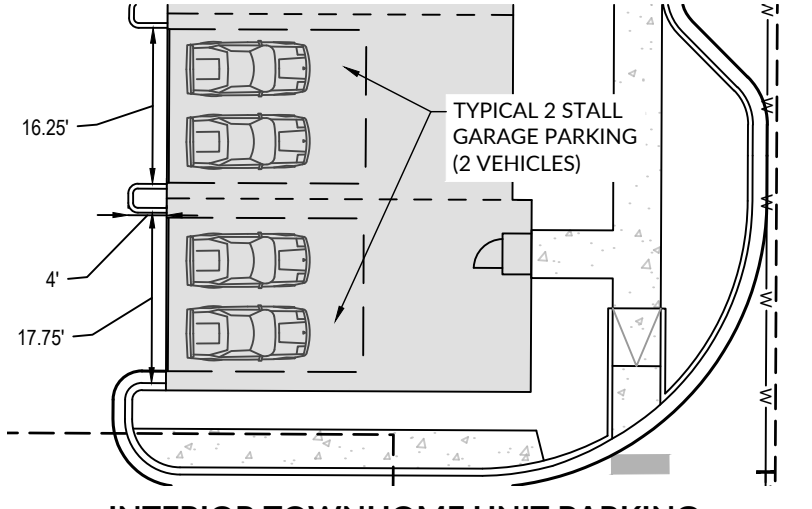
WR JOB NUMBER: 09200673
DRN: WR DGN: WR CKD: WR

EXISTING CONDITIONS AND DEMOLITION PLAN

C1.00

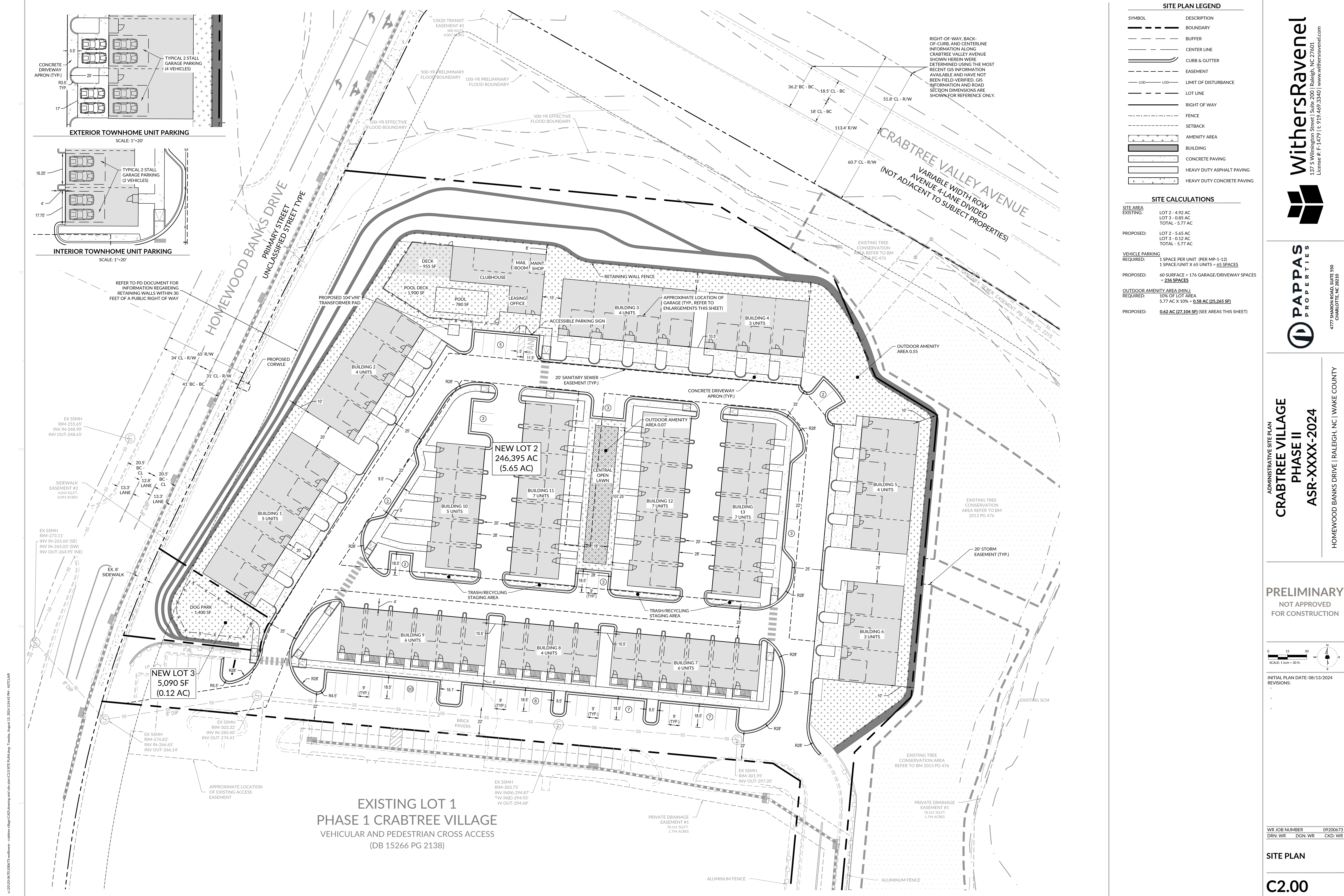


EXTERIOR TOWNHOME UNIT PARKING
SCALE: 1"=20'



INTERIOR TOWNHOME UNIT PARKING
SCALE: 1"=20'

REFER TO PD DOCUMENT FOR INFORMATION REGARDING RETAINING WALLS WITHIN 30 FEET OF A PUBLIC RIGHT OF WAY

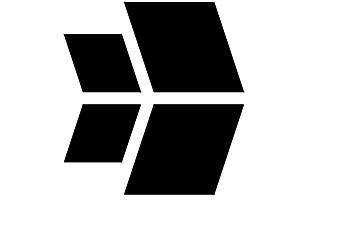


RIGHT-OF-WAY, BACK-OF-CURB AND CENTERLINE INFORMATION ALONG CRABTREE VALLEY AVENUE SHOWN HEREIN WERE DETERMINED USING THE MOST RECENT GIS INFORMATION AVAILABLE AND HAVE NOT BEEN FIELD-VERIFIED. GIS INFORMATION AND ROAD SECTION DIMENSIONS ARE SHOWN FOR REFERENCE ONLY.

SITE PLAN LEGEND	
SYMBOL	DESCRIPTION
	BOUNDARY
	BUFFER
	CENTER LINE
	CURB & GUTTER
	EASEMENT
	LIMIT OF DISTURBANCE
	LOT LINE
	RIGHT OF WAY
	FENCE
	SETBACK
	AMENITY AREA
	BUILDING
	CONCRETE PAVING
	HEAVY DUTY ASPHALT PAVING
	HEAVY DUTY CONCRETE PAVING

SITE CALCULATIONS	
SITE AREA	
EXISTING:	LOT 2 - 4.92 AC LOT 3 - 0.65 AC TOTAL - 5.57 AC
PROPOSED:	LOT 2 - 5.65 AC LOT 3 - 0.12 AC TOTAL - 5.77 AC
VEHICLE PARKING	
REQUIRED:	1 SPACE PER UNIT (PER MP-1-12) 1 SPACE/UNIT X 65 UNITS = 65 SPACES
PROPOSED:	60 SURFACE + 176 GARAGE/DRIVEWAY SPACES = 236 SPACES
OUTDOOR AMENITY AREA (MIN):	
REQUIRED:	10% OF LOT AREA 5.77 AC X 10% = 0.58 AC (25,265 SF)
PROPOSED:	0.62 AC (27,104 SF) (SEE AREAS THIS SHEET)

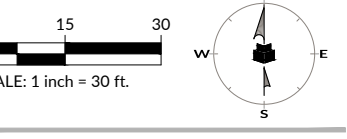
WithersRavenel
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SITE PLAN

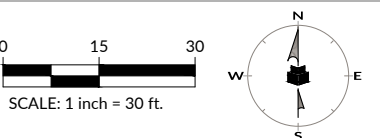
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GRADING AND DRAINAGE LEGEND

SYMBOL	DESCRIPTION
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	STORM PIPE
	TRENCH DRAIN
	CATCH BASIN (CB)
	FLARED END SECTION (FES)
	JUNCTION BOX (JB)
	RIP RAP DISSIPATER
	YARD INLET (YI)/DROP INLET (DI)

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION

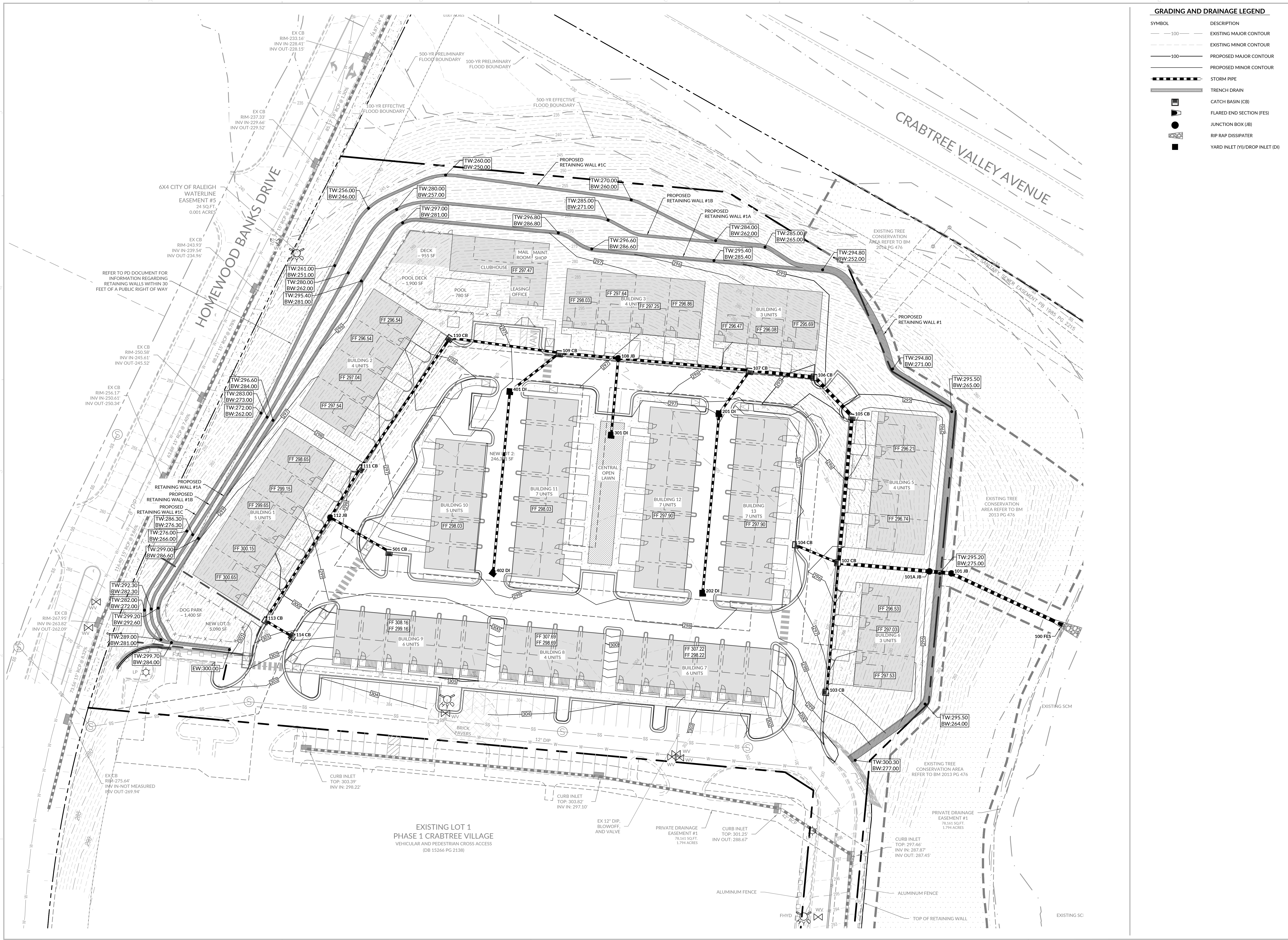


INITIAL PLAN DATE: 08/13/2024
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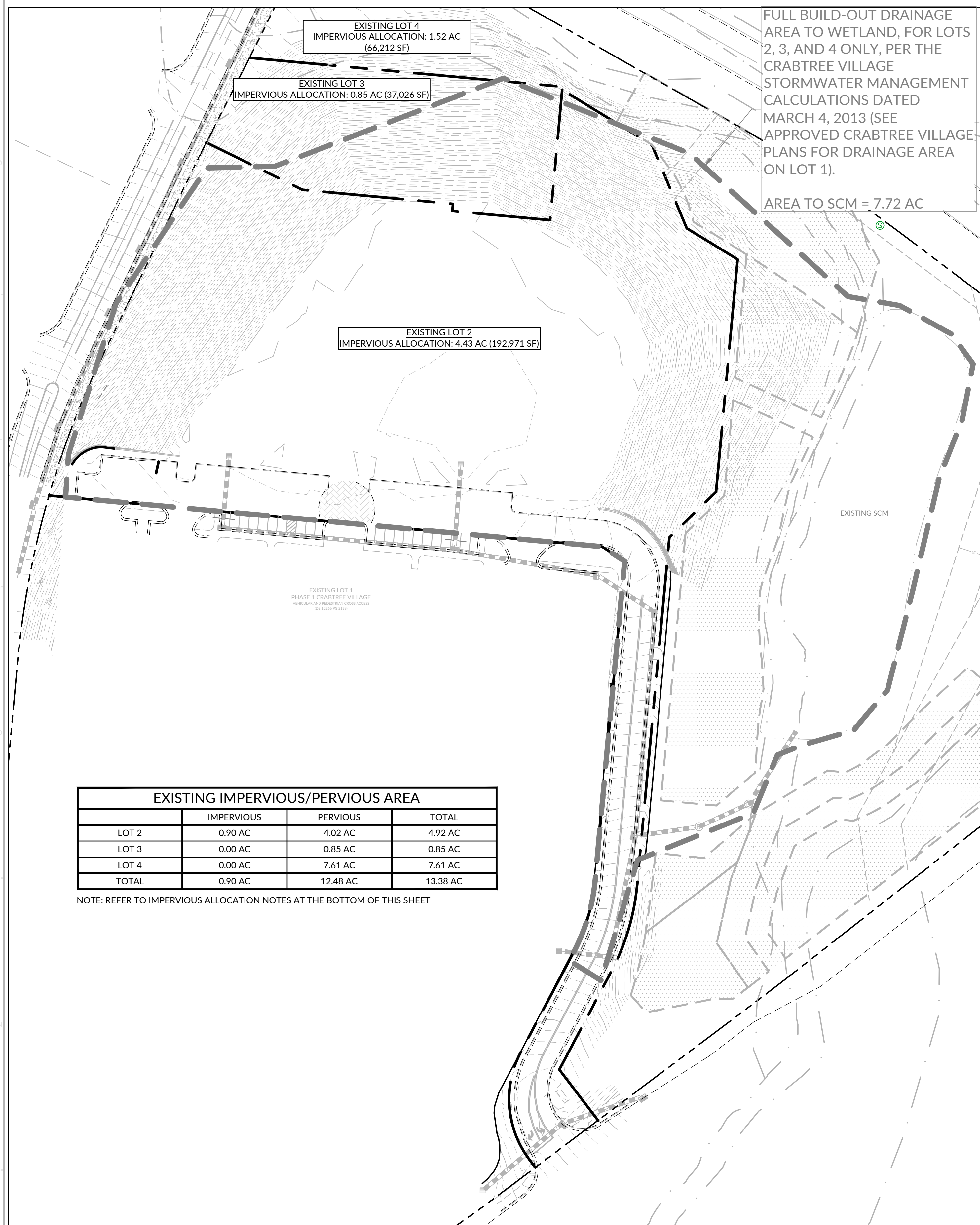
WR JOB NUMBER: 09200673
 DRN: WR DGN: WR CKD: WR

GRADING AND DRAINAGE PLAN

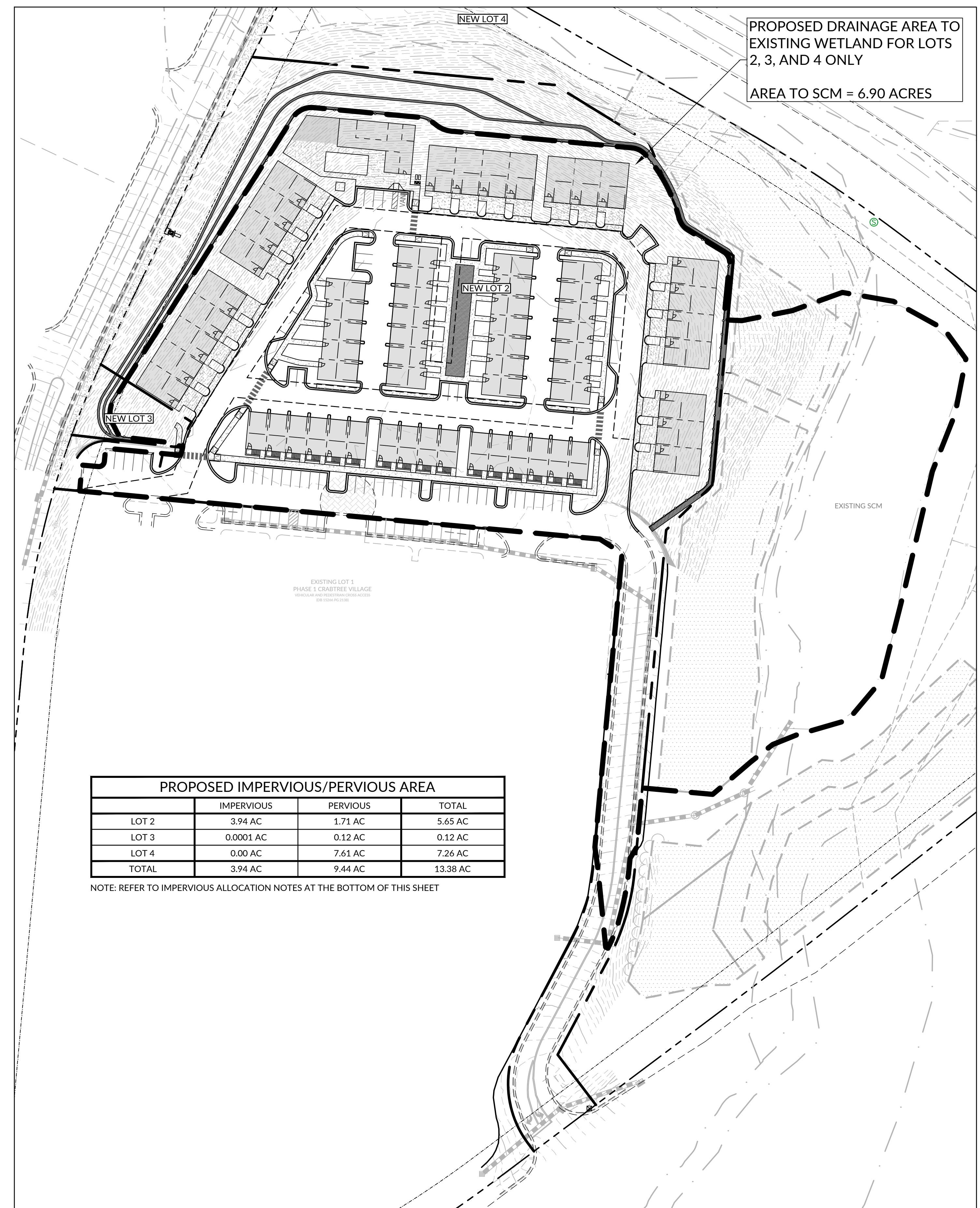
C3.00



U:\2024\ASR\2024-XXXX-2024\Drawings\ASR\ASR-C3.00\GRADING PLAN.dwg - Tuesday, August 13, 2024 3:26:29 PM - RCT/CLB



PRE-DEVELOPMENT



POST-DEVELOPMENT

EX SCM IMPERVIOUS ALLOCATIONS - LOT 2
PER BK 015085 PG 01322, LOT 2 HAS AN IMPERVIOUS ALLOCATION OF 192,971 SF (4.43 AC).

THE PROPOSED IMPERVIOUS AREA FOR LOT 2 IS 171,484 SF (3.94 AC), WHICH IS LESS THAN 192,971 SF (4.43 AC).

EX SCM IMPERVIOUS ALLOCATIONS - LOT 3
PER BK 015085 PG 01322, LOT 3 HAS AN IMPERVIOUS ALLOCATION OF 37,026 SF (0.85 AC).

THE PROPOSED IMPERVIOUS AREA FOR LOT 3 IS 608 SF (0.0001 AC), WHICH IS LESS THAN 37,026 SF (0.85 AC).

EX SCM IMPERVIOUS ALLOCATIONS - LOT 4
PER BK 015085 PG 01322, LOT 4 HAS AN IMPERVIOUS ALLOCATION OF 66,212 SF (1.52 AC).

THE IMPERVIOUS AREA PROPOSED ON LOT 4 IS 0 SF (0.0 AC), WHICH IS LESS THAN 66,212 SF (1.52 AC).

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CRABTREE VILLAGE PHASE II
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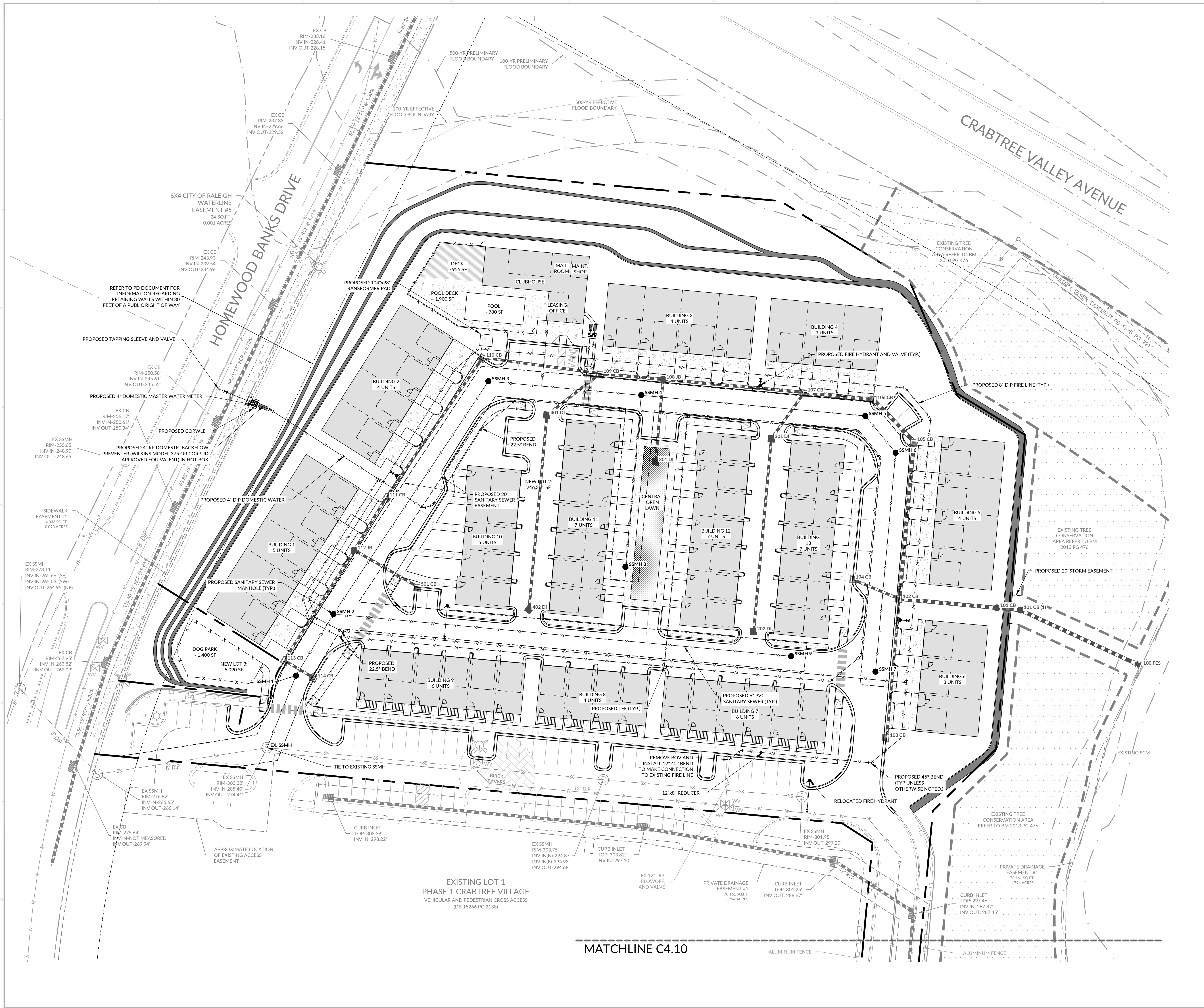
0 30 60
SCALE: 1 inch = 60 ft.

INITIAL PLAN DATE: 08/13/2024
REVISIONS:

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

STORMWATER PLAN

C3.10



UTILITY LEGEND	
SYMBOL	DESCRIPTION
FL	FIRE LINE
SS	SANITARY SEWER PIPE
W	WATER LINE
[Symbol]	BACKFLOW PREVENTER
[Symbol]	BLOW OFF
[Symbol]	FIRE DEPARTMENT CONNECTION (FDC)
[Symbol]	FIRE HYDRANT ASSEMBLY
[Symbol]	SEWER CLEANOUT
[Symbol]	SEWER MANHOLE
[Symbol]	WATER METER
[Symbol]	WATER VALVE

**COR APPENDIX D
STANDARD UTILITY NOTES**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

ADMINISTRATIVE SITE PLAN

CRABTREE VILLAGE PHASE II

ASR-XXXX-2024

WITHERSRAVENEL

137 S WILMINGTON STREET | SUITE 200 | RALEIGH, NC 27601

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PAPPAS PROPERTIES

4777 SHARON ROAD, SUITE 550

CHARLOTTE, NC 28210

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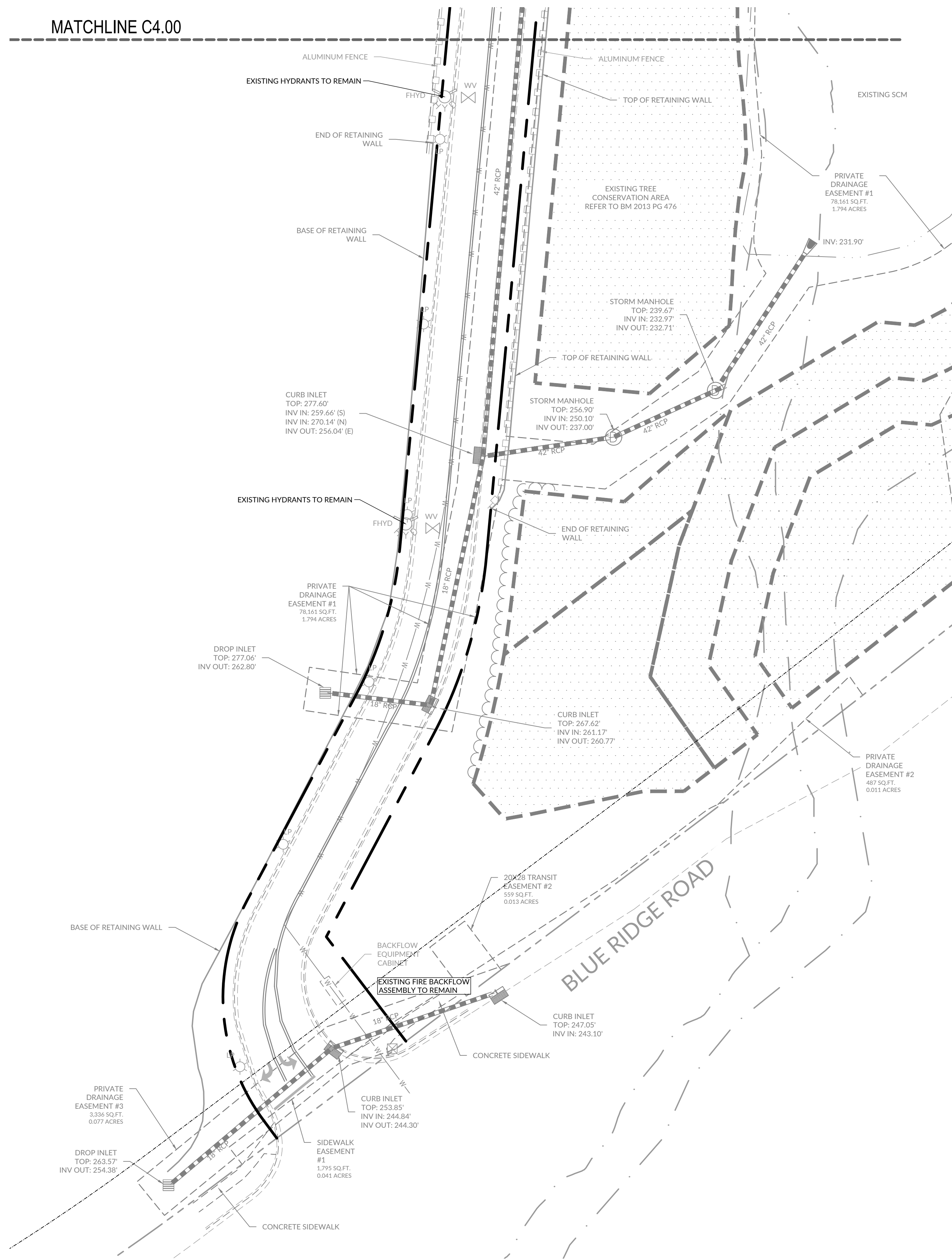
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WR JOB NUMBER 09200673
 DRN: WR DGN: WR CKD: WR

UTILITY PLAN

C4.00

MATCHLINE C4.00



**NOTE: THERE ARE NO
PROPOSED IMPROVEMENTS
SHOWN ON THIS SHEET**

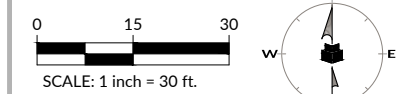
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SYMBOL	DESCRIPTION
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	BACKFLOW PREVENTER
	BLOW OFF
	FIRE DEPARTMENT CONNECTION (FDC)
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	SEWER MANHOLE
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- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMANS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
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- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

ADMINISTRATIVE SITE PLAN
**CRABTREE VILLAGE
PHASE II
ASR-XXXX-2024**

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION



INITIAL PLAN DATE: 08/13/2024
REVISIONS:

WR JOB NUMBER 09200673
DRN: WR DGN: WR CKD: WR

UTILITY PLAN

C4.10

WithersRavenel
137 S Wilmington Street | Suite 200 | Raleigh, NC 27601
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

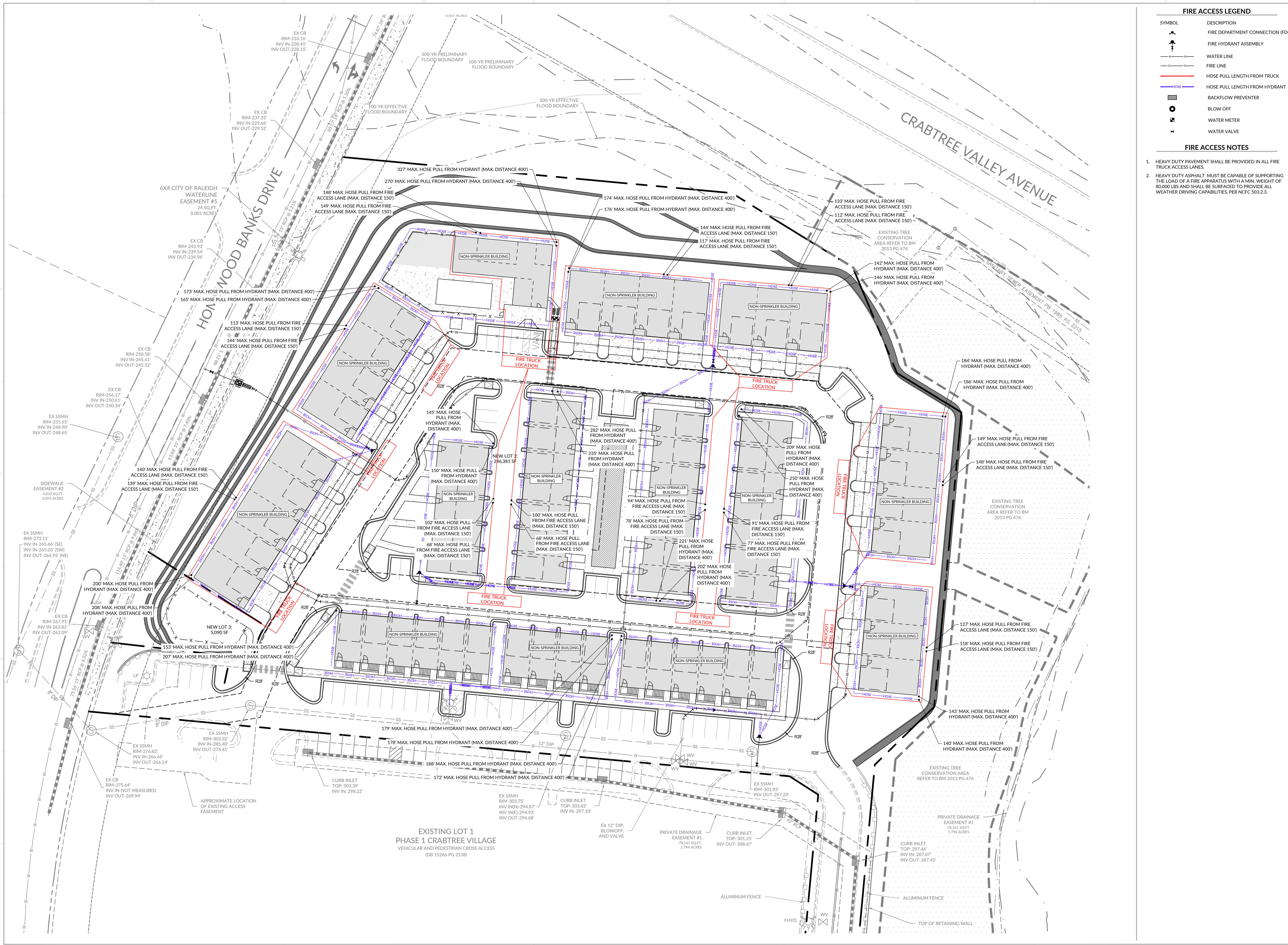
**PAPPAS
PROPERTIES**

4777 SHARON ROAD, SUITE 550
CHARLOTTE, NC 28210

HOMWOOD BANKS DRIVE | RALEIGH, NC | WAKE COUNTY

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EST 1969



FIRE ACCESS LEGEND

SYMBOL	DESCRIPTION
	FIRE DEPARTMENT CONNECTION (FDC)
	FIRE HYDRANT ASSEMBLY
	WATER LINE
	FIRE LINE
	HOSE PULL LENGTH FROM TRUCK
	HOSE PULL LENGTH FROM HYDRANT
	BACKFLOW PREVENTER
	BLOW OFF
	WATER METER
	WATER VALVE

- FIRE ACCESS NOTES**
- HEAVY DUTY PAVEMENT SHALL BE PROVIDED IN ALL FIRE TRUCK ACCESS LANES.
 - HEAVY DUTY ASPHALT MUST BE CAPABLE OF SUPPORTING THE LOAD OF A FIRE APPARATUS WITH A MIN. WEIGHT OF 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES, PER NCFC 503.2.3.

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ADMINISTRATIVE SITE PLAN
CRABTREE VILLAGE
PHASE II
ASR-XXXX-2024
 HOMEWOOD BANKS DRIVE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY
 NOT APPROVED
 FOR CONSTRUCTION

0 15 30
 SCALE: 1" = 30'

INITIAL PLAN DATE: 08/13/2024
 REVISIONS:

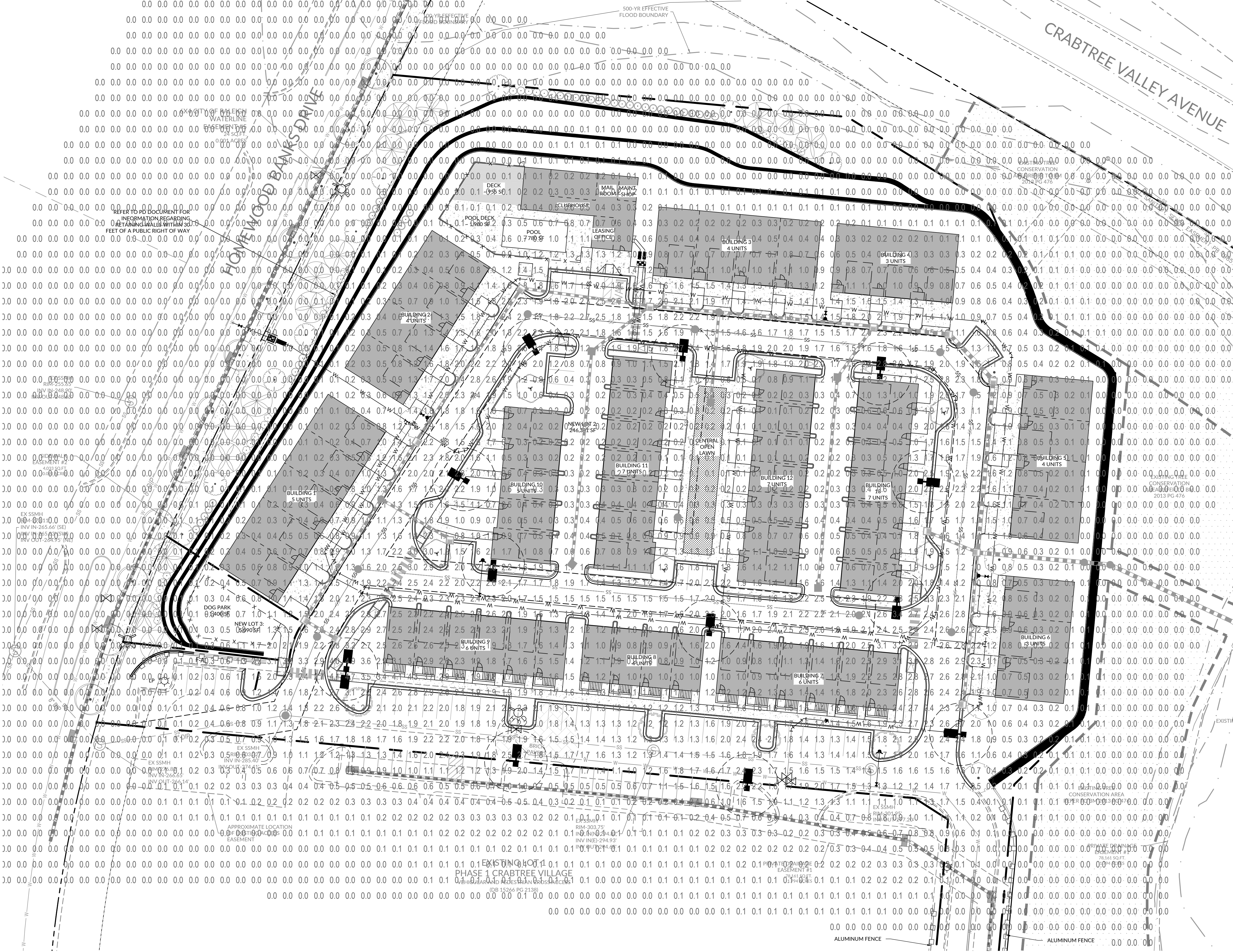
WR JOB NUMBER: 09200673
 DRN: WR DGN: WR CKD: WR

FIRE ACCESS PLAN

C5.00

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
SHBX		(48) 150W	GALLEON AREA AND ROADWAY LUMINAIRE(S) TO CR1 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	ELECTRONIC	30' POLE	EATON - STREETWORKS (FORMER COOPER LIGHTING), GAN-AF-05-LED-U-TW	120V 1P 2W	13

PARKING LOT SCHEDULE	
AVERAGE FOOT-CANDELS	1.82
MAXIMUM FOOT-CANDELS	3.4
MINIMUM FOOT-CANDELS	0.9
MINIMUM TO MAXIMUM FC RATIO	0.25
MAXIMUM TO MINIMUM FC RATIO	3.88
AVERAGE TO MINIMUM FC RATIO	2.11



Outdoor Lighting
Shoobox LED

The energy efficient Shoobox LED luminaire is available in 150, 200, 400, 500 watt LED (Light Emitting Diode) versions. The Shoobox LED provides excellent beam spread and uniformity of light. The Shoobox LED provides excellent beam spread and uniformity of light. The Shoobox LED provides excellent beam spread and uniformity of light.

Light source: LED (150, 200, 400, 500 watts)
Mounting height: 25', 30', 35'

Colors: Black, Bronze, White

Price: Call for pricing (1 of 10000 per unit)
Quantity: 13

Outdoor Lighting
Shoobox LED

Light source: LED (150, 200, 400, 500 watts)
Mounting height: 25', 30', 35'

Colors: Black, Bronze, White

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Quantity: 13

ADMINISTRATIVE SITE PLAN
**CRABTREE VILLAGE
PHASE II
ASR-XXXX-2024**

HOMECOMING BANKS DRIVE | RALEIGH, NC | WAKE COUNTY

PRELIMINARY
NOT APPROVED
FOR CONSTRUCTION

0 15 30
SCALE: 1 inch = 30 ft.

INITIAL PLAN DATE: 08/13/2024
REVISIONS:

WR JOB NUMBER: 09200673
DRN: WR DGN: WR CKD: WR

LIGHTING PLAN

L7.00

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