

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>ASR-0059-2019</u>		Planning Coordinator: <u>BRIVIN</u>	
Building Type		Site Transaction History	
☐ Detached	☐ General	Subdivision transaction #: <u>N/A</u>	
☐ Attached	☒ Mixed use	Sketch transaction #: <u>N/A</u>	
☐ Apartment	☐ Open lot	Certificate of Appropriateness #: <u>N/A</u>	
☐ Townhouse	☐ Civic	Board of Adjustment #: <u>N/A</u>	
		Zoning Case #: <u>N/A</u>	
		Administrative Alternate #: <u>N/A</u>	
GENERAL INFORMATION			
Development name: <u>North Hills Expansion</u>			
Inside City limits? ☒ Yes ☐ No			
Property address(es): <u>4381 LASSITER MILL RD</u>			
Site P.I.N.(s): <u>1705597841</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. A redevelopment of an existing shopping center that includes a proposed underground parking deck, mixed use buildings with max heights of 12 stories, and necessary utility infrastructure to service the development.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: <u>NORTH HILLS OWNER LP</u>		Title: <u>Owner</u>	
Address: <u>STE 250, 4321 LASSITER AT NORTH HILLS AVE, RALEIGH, NC 27609</u>			
Phone #: <u>919-833-7755</u>		Email: <u>kwalker@kanerealtycorp.com</u>	
Applicant Name: <u>Chandler Turner</u>			
Company: <u>McAdams</u>		Address: <u>2905 Meridian Parkway</u>	
Phone #: <u>919-361-5000</u>		Email: <u>cturner@mcadamsco.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-12-UL	Existing gross floor area (not to be demolished): 773,935 (Total Site)
	Existing gross floor area to be demolished: 150,000
Gross site acreage: 30.63 (8.64 Project Area)	New gross floor area: 959,101
# of parking spaces required: 3,106 (Total Site)	Total sf gross (to remain and new): 1,583,036 (Total Site)
# of parking spaces proposed: 3,263 (Total Site)	Proposed # of buildings: 1 (all one building)
Overlay District (if applicable): N/A	Proposed # of stories for each: 12 (max)
Existing use (UDO 6.1.4): Mixed Use	
Proposed use (UDO 6.1.4): Mixed Use	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 27.92 Square Feet: 1,216,077	Proposed Impervious Surface: Acres: 28.90 Square Feet: 1,258,766
Is this a flood hazard area? ☐ Yes ☒ No	
If yes, please provide: Alluvial soils: N/A Flood stu: N/A FEMA Map Panel #: N/A	
Neuse River Buffer ☐ Yes ☒ No	Wetlands ☐ Yes ☒ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 426	Total # of hotel units: 229 (Existing)
# of bedroom units: 1br: 307 2br: 90 3br: 29 4br or more: 0	
# of lots: 1	Is your project a cottage court? ☐ Yes ☒ No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Chandler Turner to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 8/6/2019
Printed Name: John M. Kane	

Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- Yes, my project meets the mailed notification requirement and my letters are provided with this application.
The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	☒		☒	☐	
2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation	☒		☒	☐	
3. Demolition plan: Clearly indicate items to be removed	☒		☐	☐	
4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B)</i>)	☒		☒	☐	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	☒		☒	☐	
6. Proposed stormwater plan: include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	☒	☐	☒	☐	☐
7. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	☒	☐	☒	☐	☐
8. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	☒	☐	☒	☐	☐
9. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	☒	☐	☒	☐	☐
10. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	☒	☐	☒	☐	☐
11. Architectural Elevations showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	☒	☐	☒	☐	☐

NOTE: Revisions to previously approved site plans must contain the following minimum information:

REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	☐	☒	☐	☐	☐
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	☐	☒	☐	☐	☐
3. List date of previously approved site plan.	☐	☒	☐	☐	☐
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets	☐	☒	☐	☐	☐
5. Provide updated site data table including building square footages, parking calculations, etc.	☐	☒	☐	☐	☐
6. Provide documented history of impervious surfaces with dates	☐	☒	☐	☐	☐

NORTH HILLS EXPANSION

4381 LASSITER MILL ROAD
RALEIGH, NC 27609

ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH CASE#: XXXXXXX CITY OF RALEIGH TRANSACTION #: XXXXXX PROJECT NUMBER: KAN-19010 DATE: AUGUST 9, 2019

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS 1 OF 2
C1.01	EXISTING CONDITIONS 2 OF 2
C1.02	DEMOLITION PLAN
C1.03	TREE CONSERVATION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN - AREA 'A'
C2.02	SITE PLAN - AREA 'B'
C3.01	GRADING PLAN & STORM DRAINAGE PLAN AREA 'A'
C3.02	GRADING PLAN & STORM DRAINAGE PLAN AREA 'B'
C4.01	UTILITY PLAN AREA 'A'
C4.02	UTILITY PLAN AREA 'B'
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	STORM DETAILS
C8.04	SEWER DETAILS
C9.00	STORMWATER MANAGEMENT FACILITY DETAILS

SHEETS BY OTHERS

LS.00	LANDSCAPE PLAN AREA 'A'
LS.01	LANDSCAPE PLAN AREA 'B'
LP.00	LIGHTING PLAN AREA 'A'
LP.01	LIGHTING PLAN AREA 'B'
A1.01	PARKING LEVEL P1 AREA 'A'
A1.02	PARKING LEVEL P1 AREA 'B'
A2.01	PARKING LEVEL P2 AREA 'A'
A2.02	PARKING LEVEL P2 AREA 'B'
A3.01	PLAZA LEVEL AREA 'A'
A3.02	PLAZA LEVEL AREA 'B'
A500.1	COMPOSITE SITE ELEVATIONS
A500.2	COMPOSITE SITE ELEVATIONS
A501	ELEVATIONS - BUILDING P
A502	ELEVATIONS - BUILDING T & U
A503	ELEVATIONS - BUILDING V
A504	ELEVATIONS - BUILDING W
A505	ELEVATIONS - BUILDING X
A506	ELEVATIONS - BUILDING Y

PARKING NOTE:

- RETAIL, RESTAURANT AND BARS ARE TO BE INTERCHANGEABLE FOR PARKING CALCULATIONS DUE TO UDO SECTION 7.1.4.C.3 INDICATING NON RESIDENTIAL USES IN UL FRONTAGE DISTRICTS MAY BE PARKED AT THE LESSER OF 1 SPACE/500 SF OR WHAT IS SHOWN IN THE UDO PARKING TABLE.
- BICYCLE PARKING REQUIREMENTS FOR RETAIL, RESTAURANT AND BARS HAVE BEEN SHOWN USING THE MOST CONSERVATIVE REQUIREMENTS OF THE USES TO ENSURE FUTURE BUILD OUT COMPLIANCE.

SOLID WASTE COMPLIANCE STATEMENT:	
1.	THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2.	THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
3.	REFUSE WILL BE COLLECTED IN DUMPSTERS LOCATED ON SITE.
4.	NO DUMPSTERS WILL REQUIRE BACKING INTO THE PUBLIC RIGHT-OF-WAY FROM THE PROJECT SITE.

NOTES

- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE RADIUS CURVATURE OR 20' FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. NO DRIVEWAYS OR PARKING SPACES SHALL ENCRATCH ON THIS MINIMUM CORNER CLEARANCE.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- TRACT E MAY BE DEVELOPED FOR UP TO 100,000 SQUARE FEET OF RETAIL AND 325 LODGING UNITS AND EITHER (i) 350 RESIDENTIAL DWELLING UNITS AND 500,000 SQUARE FEET OF OFFICE; (ii) 1,800 RESIDENTIAL DWELLING UNITS; OR (iii) 800 RESIDENTIAL DWELLING UNITS AND 300,000 SQUARE FEET OF OFFICE. OPEN SPACE AND/OR RECREATIONAL USES SHALL BE PERMITTED.

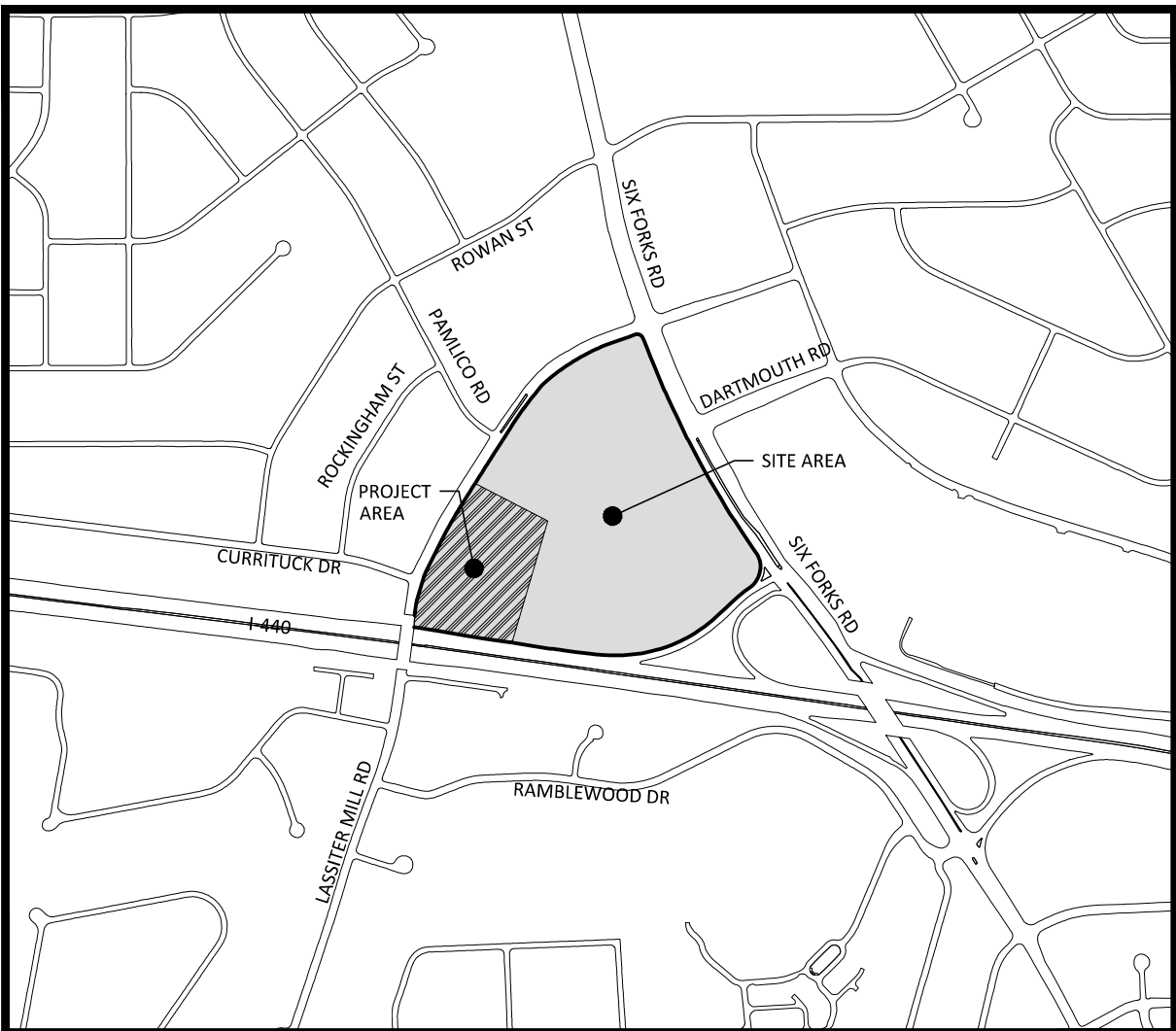
ALL CONSTRUCTION SHALL CONFORM WITH THE
LATEST VERSION OF THE CITY OF RALEIGH AND
NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug, have Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



VICINITY MAP
N.T.S.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2406



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
Building Type		Site Transaction History	
☐ Detached	☐ General	Subdivision transaction #: <u>N/A</u>	
☐ Attached	☒ Mixed use	Sketch transaction #: <u>N/A</u>	
☐ Apartment	☐ Open lot	Certificate of Appropriateness #: <u>N/A</u>	
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		Zoning Case #: <u>N/A</u>	
		Administrative Alternate #: <u>N/A</u>	
GENERAL INFORMATION			
Development name: <u>North Hills Expansion</u>			
Inside City limits? ☒ Yes ☐ No			
Property address(es): <u>4381 LASSITER MILL RD</u>			
Site P.I.N. (s): <u>1705597841</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. A redevelopment of an existing shopping center that includes a proposed underground parking deck, mixed use buildings with max heights of 12 stories, and necessary utility infrastructure to service the development.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: <u>NORTH HILLS OWNER LP</u>		Title: <u>Owner</u>	
Address: <u>STE 250, 4321 LASSITER AT NORTH HILLS AVE, RALEIGH, NC 27609</u>			
Phone #: <u>919-833-7755</u>		Email: <u>kwalker@kanerealtycorp.com</u>	
Applicant Name: <u>Chandler Turner</u>			
Company: <u>McAdams</u>		Address: <u>2905 Meridian Parkway</u>	
Phone #: <u>919-361-5000</u>		Email: <u>cturner@mcadamsco.com</u>	

Page 1 of 2

REVISION 05.01.19

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DEVELOPMENT TYPE • SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): <u>CX-12-UL</u>	Existing gross floor area (not to be demolished): <u>773,935 (Total Site)</u>
Gross site acreage: <u>30.63 (8.64 Project Area)</u>	Existing gross floor area to be demolished: <u>150,000</u>
# of parking spaces required: <u>3,106 (Total Site)</u>	New gross floor area: <u>959,101</u>
# of parking spaces proposed: <u>3,263 (Total Site)</u>	Total sq gross (to remain and new): <u>1,583,036 (Total Site)</u>
Overlay District (if applicable): <u>N/A</u>	Proposed # of buildings: <u>1 (all one building)</u>
Existing use (UDO 6.1.4): <u>Mixed Use</u>	Proposed # of stories for each: <u>12 (max)</u>
Proposed use (UDO 6.1.4): <u>Mixed Use</u>	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>27.92</u> Square Feet: <u>1,216,077</u>	Proposed Impervious Surface: Acres: <u>28.90</u> Square Feet: <u>1,258,766</u>
Is this a flood hazard area? ☐ Yes ☒ No	
If yes, please provide: Alluvial soils: <u>N/A</u> Flood stu: <u>N/A</u> FEMA Map Panel #: <u>N/A</u>	
Neuse River Buffer ☒ Yes ☐ No	Wetlands ☐ Yes ☒ No
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: <u>426</u>	Total # of hotel units: <u>229 (Existing)</u>
# of bedroom units: 1br: <u>307</u> 2br: <u>90</u> 3br: <u>29</u> 4br or more: <u>0</u>	
# of lots: <u>1</u>	Is your project a cottage court? ☐ Yes ☒ No
SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Chandler Turner</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>John M. Kane</u>	Date: <u>8/8/2019</u>
Printed Name: <u>John M. Kane</u>	

Page 2 of 2

REVISION 05.01.19

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McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CONTACT

CHANDLER TURNER
cturner@mcadamsco.com
PHONE: 919. 361. 5000 x279

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVE
SUITE 250
RALEIGH, NC 27609



PROJECT DIRECTORY

DEVELOPER
KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVE
SUITE 250
919. 833. 7755
RALEIGH, NC 27609

ARCHITECT
CJ DESIGN INC.
1000 LANCASTER STREET
SUITE 430
BALTIMORE, MD, 21202
PHONE: 410. 384. 4244

REVISIONS

NO. DATE

ADMINISTRATIVE SITE REVIEW FOR:

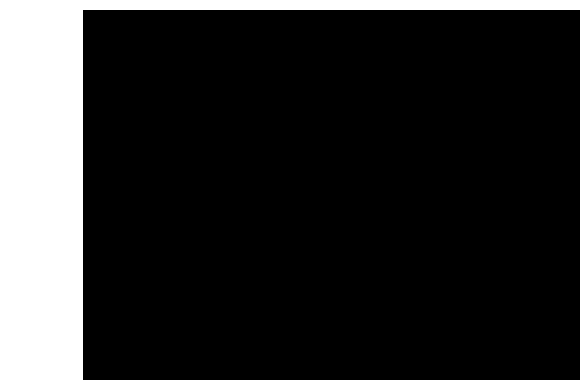
NORTH HILLS EXPANSION
RALEIGH, NC 27609
PROJECT NUMBER: KAN-19010

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609



**NORTH HILLS - JCPENNEY
REDEVELOPMENT
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA



REVISIONS

NO.	DATE
1	
2	

PLAN INFORMATION

PROJECT NO. KAN-19010
FILENAME KAN19010-C1
CHECKED BY RTF
DRAWN BY JBT
SCALE 1"=100'
DATE 06.15.2019

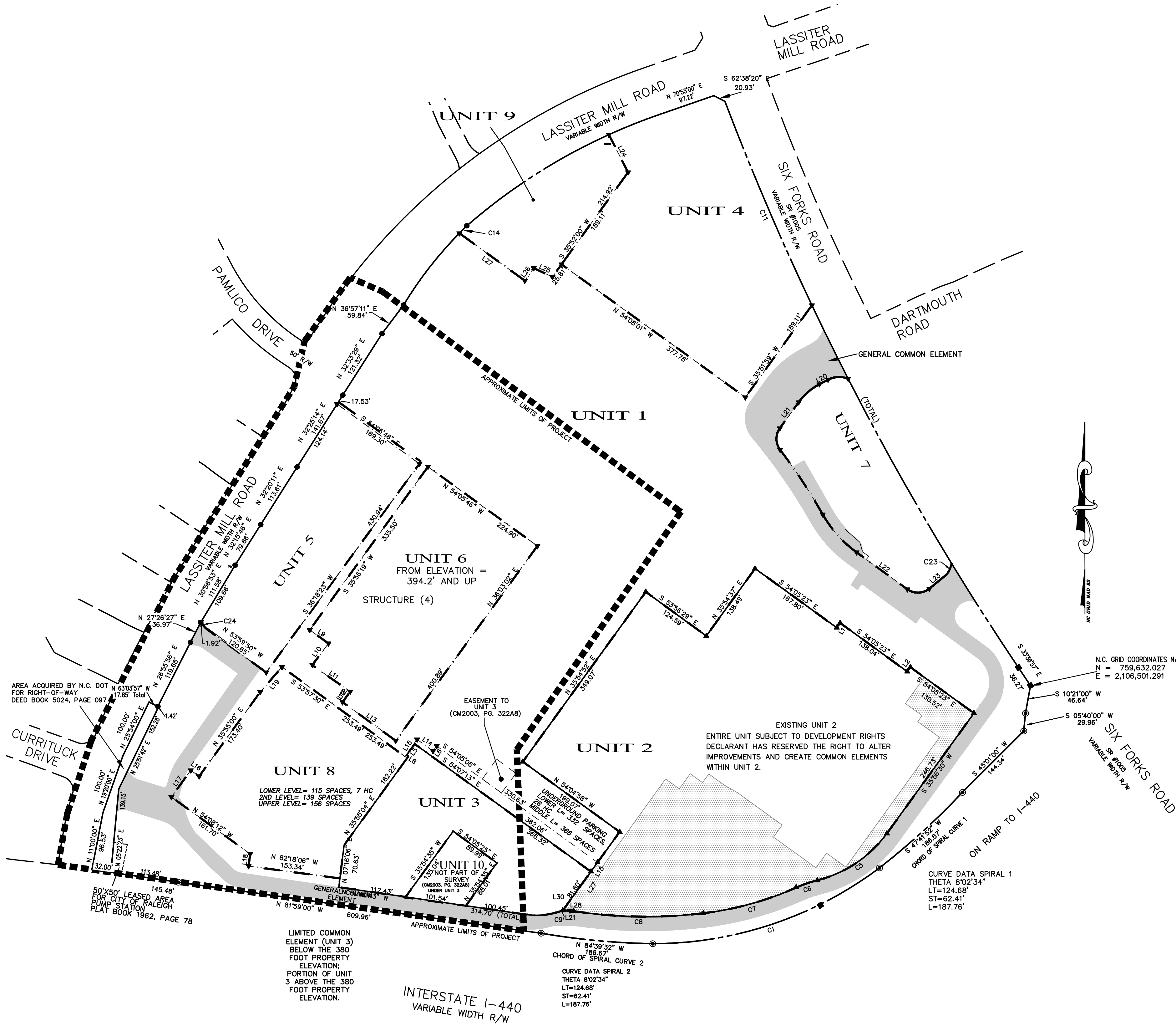
SHEET

EXISTING CONDITIONS

C1.01

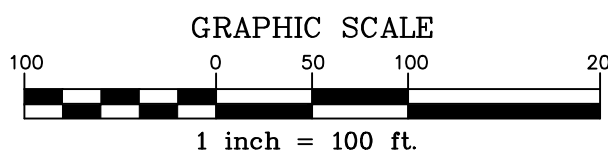
GENERAL NOTES:

- 1.) SEE SHEET C1.00 FOR GENERAL NOTES
- 2.) FOR BOUNDARY INFORMATION SEE THIS SHEET.



LINE	BEARING	LENGTH
L1	N35°54'37"E	9.69'
L2	N35°54'37"E	9.00'
L3	N54°11'30"W	26.53'
L4	N35°48'30"E	23.32'
L5	N35°53'24"E	23.00'
L6	S35°53'24"W	10.34'
L7	S54°11'29"E	38.82'
L8	N54°34'28"W	3.41'
L9	S54°21'43"E	38.50'
L10	S36°58'42"W	45.32'
L11	S55°13'40"E	77.10'
L12	S35°56'50"W	21.70'
L13	S54°03'10"E	109.36'
L14	S54°06'57"E	32.82'
L15	N35°01'26"E	34.85'
L16	S54°05'00"E	17.19'
L17	N35°55'00"E	54.90'
L18	N07°03'00"E	20.41'
L19	N41°03'09"E	55.14'
L20	N62°18'45"E	16.21'
L21	N35°54'52"E	53.46'
L22	N53°59'06"W	104.49'
L23	S50°38'38"W	37.13'
L24	S27°00'07"E	70.35'
L25	N64°45'54"W	34.39'
L26	S35°24'47"W	25.66'
L27	N54°04'57"W	134.61'

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	628.75'	405.07'	209.84'	398.10'	N 71°31'30" E	36°54'46"
C2	971.75'	371.45'	188.02'	369.19'	S 59°55'58" W	21°54'04"
C3	4628.45'	1063.79'	534.25'	1061.45'	S 27°24'45" E	13°10'07"
C5	203.69'	142.61'	74.37'	139.71'	N 55°58'28" E	40°06'52"
C6	212.00'	37.47'	18.78'	32.42'	S 70°58'06" W	1°03'736"
C7	534.22'	160.59'	80.91'	159.99'	N 74°31'00" E	17°13'25"
C8	801.26'	216.52'	108.93'	215.87'	S 89°07'47" E	15°28'59"
C9	124.00'	18.69'	9.36'	18.67'	N 85°42'21" W	08°38'06"
C10	658.90'	169.07'	85.00'	168.61'	S 38°36'49" W	14°42'07"
C11	4628.45'	368.99'	184.59'	368.89'	S 23°06'43" E	4°34'04"
C12	4628.45'	352.42'	176.29'	352.33'	S 29°15'53" E	4°21'45"
C13	658.90'	151.73'	76.20'	151.40'	S 37°51'35" W	13°11'39"
C14	658.90'	17.34'	8.67'	17.34'	N 45°12'39" E	1°30'28"
C15	971.75'	282.23'	142.11'	281.23'	N 57°18'08" E	16°38'26"
C16	971.75'	89.22'	44.64'	89.19'	S 68°15'11" W	5°15'39"
C17	40.00'	34.55'	18.44'	33.49'	N 87°03'23" E	49°29'16"
C18	100.00'	46.07'	23.45'	45.67'	N 49°06'48" E	26°23'53"
C19	30.00'	38.31'	22.27'	35.76'	N 00°40'17" W	73°10'18"
C20	958.40'	129.05'	64.62'	128.95'	N 33°23'59" W	7°42'53"
C21	200.00'	85.32'	43.32'	84.67'	N 41°45'49" W	24°26'33"
C22	30.00'	39.46'	23.17'	36.68'	S 88°19'46" W	75°22'16"
C23	37.29'	20.48'	10.50'	20.22'	S 23°58'29" W	31°27'43"
C24	31.50'	17.35'	8.90'	17.13'	S 38°15'37" E	31°33'17"



OUTDOOR AMENITY AREA REQUIREMENTS

PROPOSED PROJECT ACREAGE: 8.63 AC (376,078 SF)
OUTDOOR AMENITY REQUIRED: 376,078*10% = 51,260 SF
OUTDOOR AMENITY PROVIDED: 7,698 SF + 6,775 SF + 4,816 + 1,601, 12,005 + 4,963 = 37,858 SF

**SEE DIAGRAM FOR LOCATIONS (THIS SHEET)

SEATING REQUIRED: 1 LF/50 SF * 37,858 = 758 LF SEATING
SEATING PROVIDED: 758 LF SEATING MINIMUM

TREES REQUIRED: 1 LF/1,000 SF * 37,858 = 38 TREES
TREES PROVIDED: 38 TREES MINIMUM

NOTE: AMENITY AREA LOCATIONS SUBJECT TO CHANGE BASED ON FINAL SITE CONDITIONS

	AMENITY AREA CONTIGUOUS AND VISIBLE	AREA: 20,890 SF (55.2%)
	AMENITY AREA INTERNAL	AREA: 16,968 SF (44.8%)

PROPOSED PROJECT AREA BUILDING USE BREAKDOWN:

RESIDENTIAL USES: 511,260 GSF
OFFICE: 362,097 GSF
RETAIL/RESTAURANT: 124,174 GSF

TOTAL PROPOSED: 997,531 GSF

PERCENTAGE RESIDENTIAL: 511,260 / 997,531 = 51.3%*

*PER RALEIGH UDO SEC 1.5.3.D
WHEN A MIXED USE BUILDING IS GREATER THAN 50% RESIDENTIAL ONLY HALF THE AMENITY AREA MUST BE
CONTIGUOUS TO THE PUBLIC SIDEWALK AND VISUALLY PERMEABLE FROM THE PUBLIC RIGHT-OF-WAY.

PARCEL #	OWNER	PIN	EXISTING USE	ZONING
1	HARRIS, WENDY M	1705498421	SINGLE FAMILY	R-4
2	WALLACE, BRIAN E WALLACE, HELEN B	1705499600	SINGLE FAMILY	R-4
3	HUEBNER, JOHN B HUEBNER, CINDA NICOLE	1705499721	SINGLE FAMILY	R-4
4	IBRAHIM, SHERINE A	1705499841	SINGLE FAMILY	R-4
5	TALTON, ALFRED F TALTON, LEAH W	1705590847	SINGLE FAMILY	R-4
6	PASCHALOUIS, PANAGIOTIS PASCHALOUIS, TERESA	1705591905	SINGLE FAMILY	R-4
7	EVANS, KENNETH HEYWOOD	1706500096	SINGLE FAMILY	R-4
8	TOMA, SABAH TOMA, NISREN	1706501164	SINGLE FAMILY	R-4
9	ALEXAN OWNER LP LIMITED PARTNERSHIP	1706501878	COMM S/C	CX-5
10	LASSITER OWNER LP	1706506961	NBHD S/C	CX-5
11	FIRST CITIZENS BANK & TRUST COMPANY	1706601960	OFC GROSS	O&I-1
12	FIRST CITIZENS BANK & TRUST COMPANY	1706603584	HR OFFC	O&I-1
13	NORTH HILLS TOWER II LLC	1706604182	HR OFFC	O&I-1
14	NHE OVERLOOK PARK OWNER LP	1705695996	FASTFOOD	PD
15	PARK & MARKET OWNER LLC	1705790940	MIXED USE	SC
16	4208 SIX FORKS ROAD LLC	1705697712	HR OFFC	PD
17	TOWER 4 OWNER LLC	1705790316	XX	O&I-1
18	CITY OF RALEIGH	1705684882	XX	R-4
19	SARIR, AFSHIN JOHN SARIR, KAREN L	1705683881	SINGLE FAMILY	R-4
20	QUEEN, BRENT BAKER, MANDY RENEE	1705682789	SINGLE FAMILY	R-4
21	JORDAN, MICHAEL L JORDAN, SUSAN W	1705682708	SINGLE FAMILY	R-4
22	WILSON, WILLIAM HOOPER WILSON, JEAN G	1705681726	SINGLE FAMILY	R-4

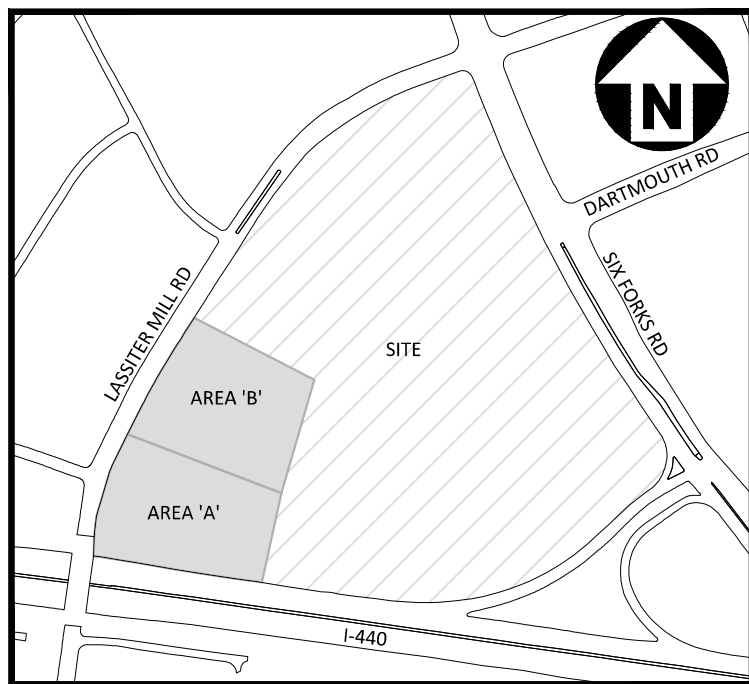
PARCEL #	OWNER	PIN	EXISTING USE	ZONING
23	BRINKLEY, DANIEL W W BRINKLEY, LINDA B	1705589831	SINGLE FAMILY	R-4
24	BEAVERS, KEVIN BEAVERS, KAYLA	1705588887	SINGLE FAMILY	R-4
25	WEATHERS, MARTY W	1705587888	SINGLE FAMILY	R-4
26	WYBEL, HOLLY D	1705586915	SINGLE FAMILY	R-4
27	JANDRAIN, JAY J JANDRAIN, LESLIE B	1705584981	SINGLE FAMILY	R-4
28	MCLARRY, LOUISE C	1705583889	SINGLE FAMILY	R-4
29	YANCEY, BRANDON J YANCEY, MARGARET L	1705582990	SINGLE FAMILY	R-4
30	SPARR, JULIE W SPARR, JAMES D	1705582911	SINGLE FAMILY	R-4
31	SCHROEDER, LINDA J TRUSTEE SCHROEDER, PAUL L TRUSTEE	1705581941	SINGLE FAMILY	R-4
32	CAMAK, STEPHEN N CAMAK, HOLLY BYRUM	1705580962	SINGLE FAMILY	R-4
33	SALLEEBY, TIMOTHY M SALLEEBY, JAMIE W	1705489977	SINGLE FAMILY	R-4
34	MAHMOUD, LORI D	1705487996	SINGLE FAMILY	R-4
35	TURNER, LINDA K TURNER, WILLIAM L	1705487917	SINGLE FAMILY	R-4

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	OUTSIDE PROJECT BOUNDARY

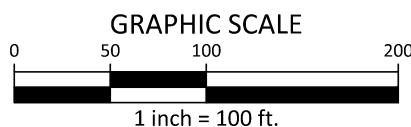
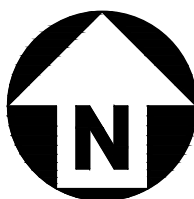
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE,
AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE
CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



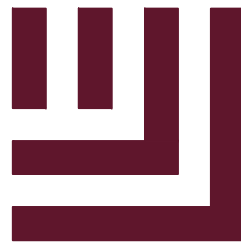
KEY MAP

N.T.S.



Line #/Curve #	Length	Direction/Delta	Radius
C1	1063.793	013.1687	4628.453
L1	20.927	N62° 38' 20.41"W	
L2	97.217	S70° 52' 59.30"W	
C2	371.450	021.9012	971.750
C3	169.073	014.7020	658.900
L3	59.842	S36° 57' 10.79"W	
L4	121.320	S32° 33' 28.69"W	
L5	17.528	S32° 25' 12.86"W	
L6	59.828	S32° 25' 12.86"W	
L7	285.499	S32° 08' 22.21"W	
C4	18.791	000.5788	1860.000
L8	39.740	S30° 56' 54.91"W	
C5	38.135	001.1747	1860.000
L9	23.945	S27° 26' 26.54"W	
L10	119.683	S26° 55' 55.11"W	
L11	1.416	S63° 03' 58.14"E	
L12	95.950	S25° 51' 40.86"W	
C6	114.903	014.3119	460.000
L13	3.393	S08° 02' 34.93"W	
L14	75.604	S05° 22' 21.86"W	
L15	113.483	S81° 48' 00.69"E	
L16	609.963	S81° 59' 00.70"E	
C7	186.863	008.9224	1199.946
C8	405.072	036.9127	628.752
C9	186.861	008.9223	1199.946
L17	144.344	N45° 00' 59.30"E	
L18	29.963	N05° 39' 59.31"E	
L19	46.643	N10° 20' 59.31"E	
L20	36.268	N33° 36' 57.42"W	

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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CLIENT

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4321 LASSITER AT NORTH HILLS AVE SUITE 250
RALEIGH, NC 27609



NORTH HILLS EXPANSION
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

REV

NO. DATE

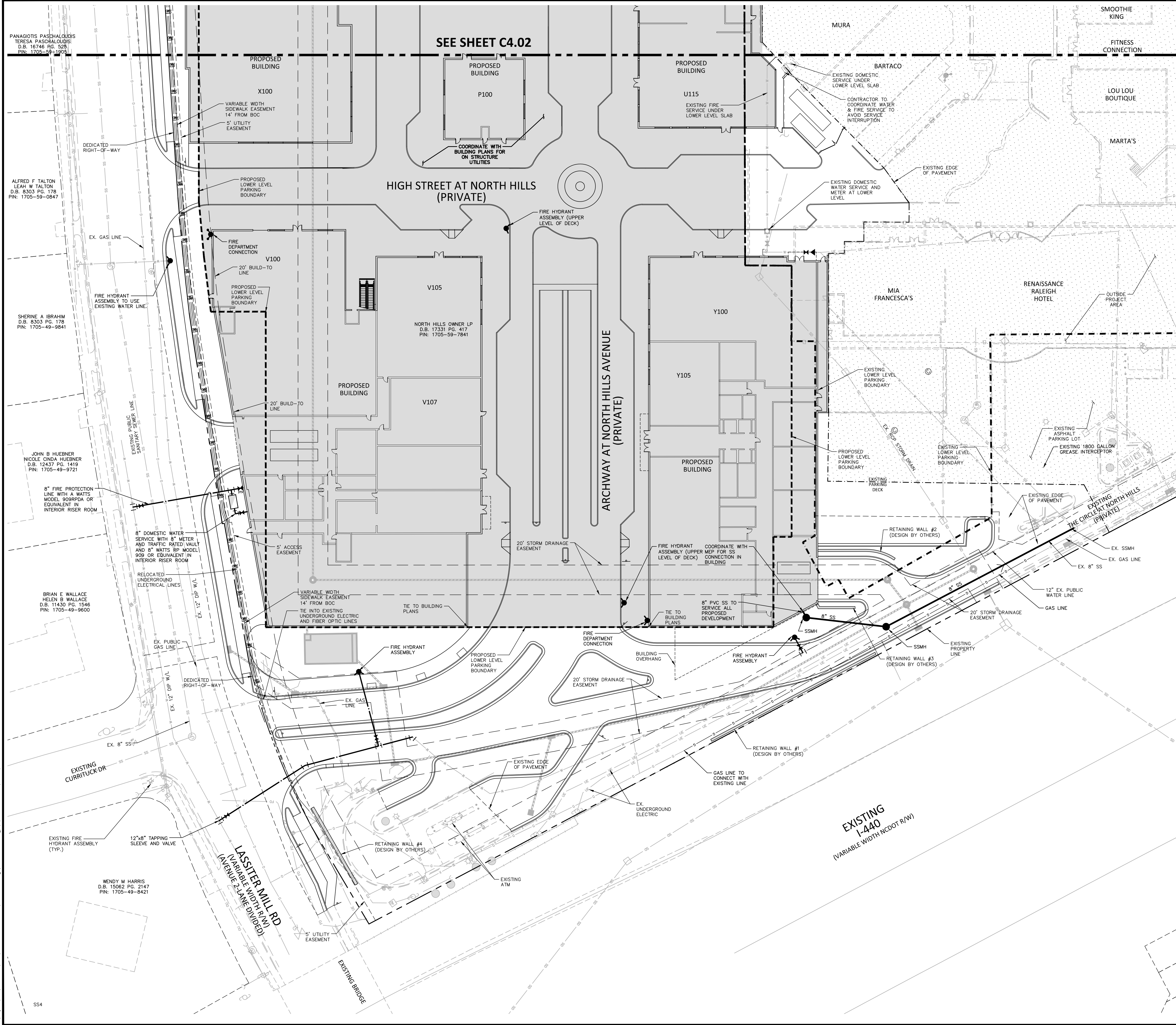
PLAN INFORMATION

PROJECT NO. KAN-19010
FILENAME KAN19010-OAS1
CHECKED BY CHT
DRAWN BY JLB
SCALE 1"=100'
DATE 08.09.2019

SHEET

OVERALL SITE PLAN

C2.00

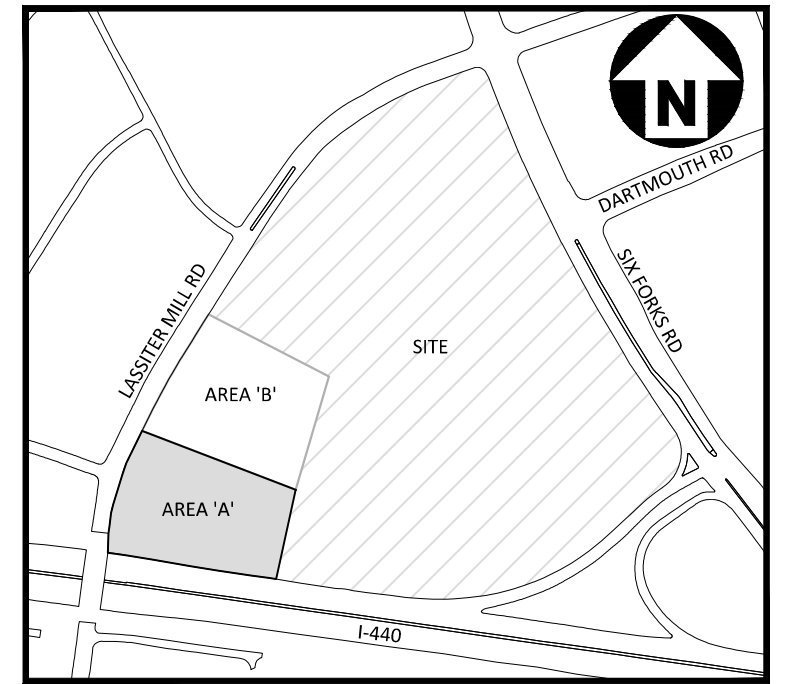


UTILITY LEGEND	
	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE

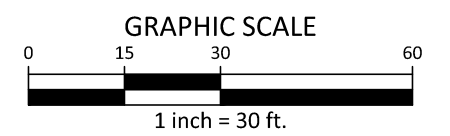
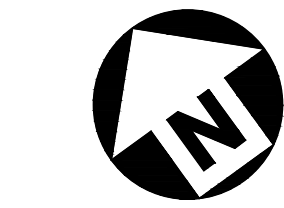
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE, AND UTILITY NOTES

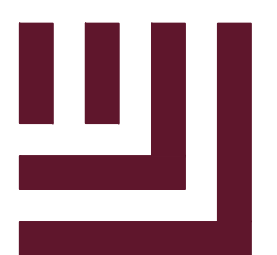
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

ALL GAS UTILITIES SHOWN ARE LOCATIONS ARE APPROXIMATE. CONTRACTOR TO COORDINATE WITH GAS COMPANY FOR LOCATION AND CONTINUED SERVICE THROUGHOUT PROJECT.



KEY MAP
N.T.S.





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RALEIGH, NC 27609



NORTH HILLS EXPANSION ADMINISTRATIVE SITE REVIEW RALEIGH, NORTH CAROLINA

REV	
NO.	DATE

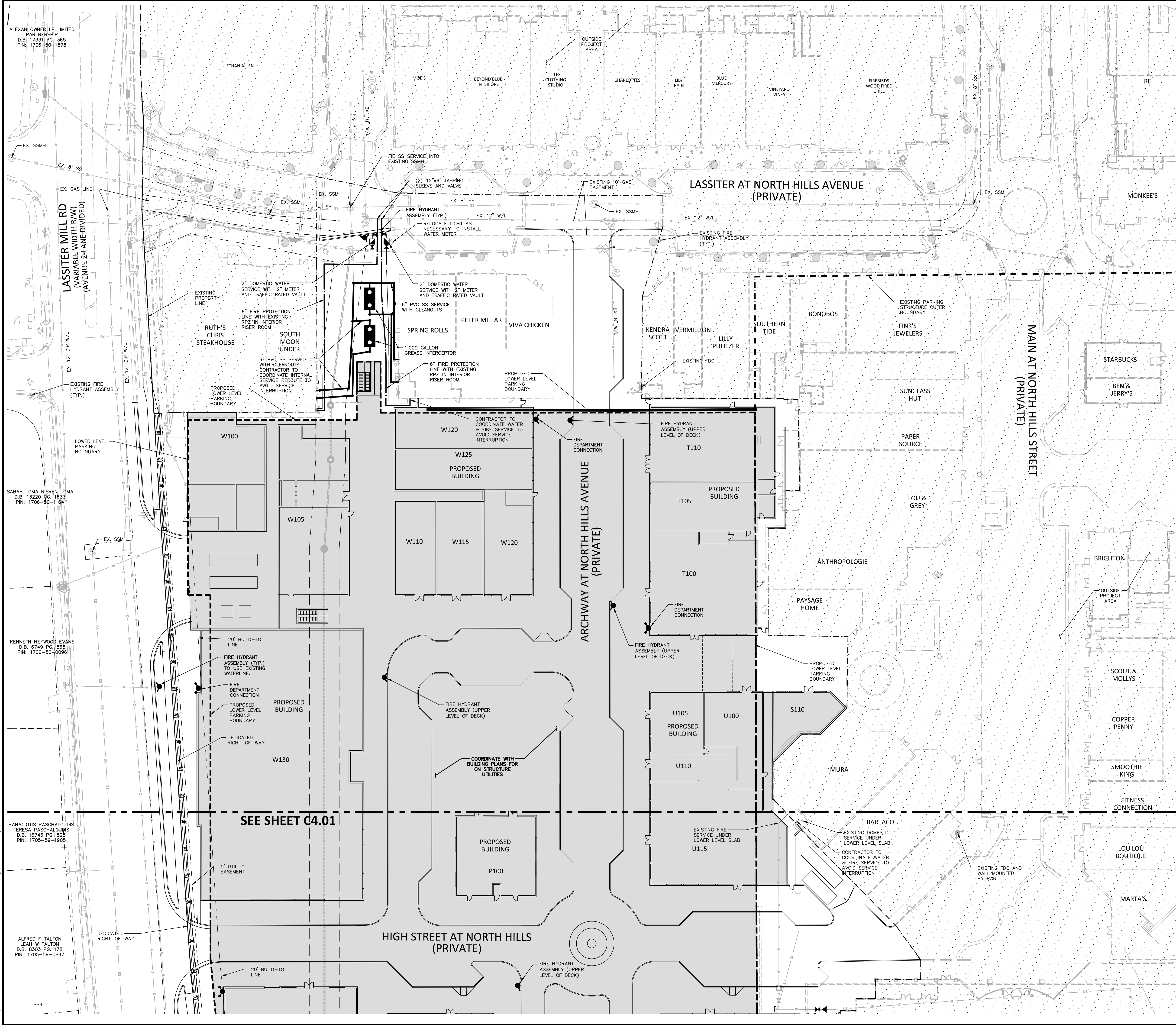
PLAN INFORMATION

PROJECT NO.	KAN-19010
FILENAME	KAN19010-U1
CHECKED BY	CHT
DRAWN BY	JLB
SCALE	1"=30'
DATE	08.09.2019

SHEET

UTILITY PLAN AREA 'A'

C4.01



UTILITY LEGEND

FIRE HYDRANT ASSEMBLY

FIRE DEPARTMENT CONNECTION (FDC)

WATER METER

WATER VALVE

POST INDICATOR VALVE

VALVE IN MANHOLE

METER & VAULT

BACKFLOW PREVENTER

REDUCER

PLUG

BLOW-OFF ASSEMBLY

SANITARY SEWER MANHOLE

SEWER CLEAN-OUT

GREASE TRAP

SEWER FLOW DIRECTION
ARROW

YARD LIGHTS

LIGHT POLE

POWER POLE

LINE BREAK SYMBOL

WATERLINE

WATER SERVICE LINE

UTILITY SLEEVE

SANITARY SEWER

SEWER SERVICE LINE

GAS LINE

OVERHEAD UTILITY

UNDERGROUND ELECTRIC

TELEPHONE

EASEMENT LINE

KEY MAP

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NORTH HILLS EXPANSION

ADMINISTRATIVE SITE REVIEW

RALEIGH, NORTH CAROLINA

REV

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PLAN INFORMATION

PROJECT NO.

KAN-19010

FILENAME

KAN19010-U1

CHECKED BY

CHT

DRAWN BY

JLB

SCALE

1"=30'

DATE

08.09.2019

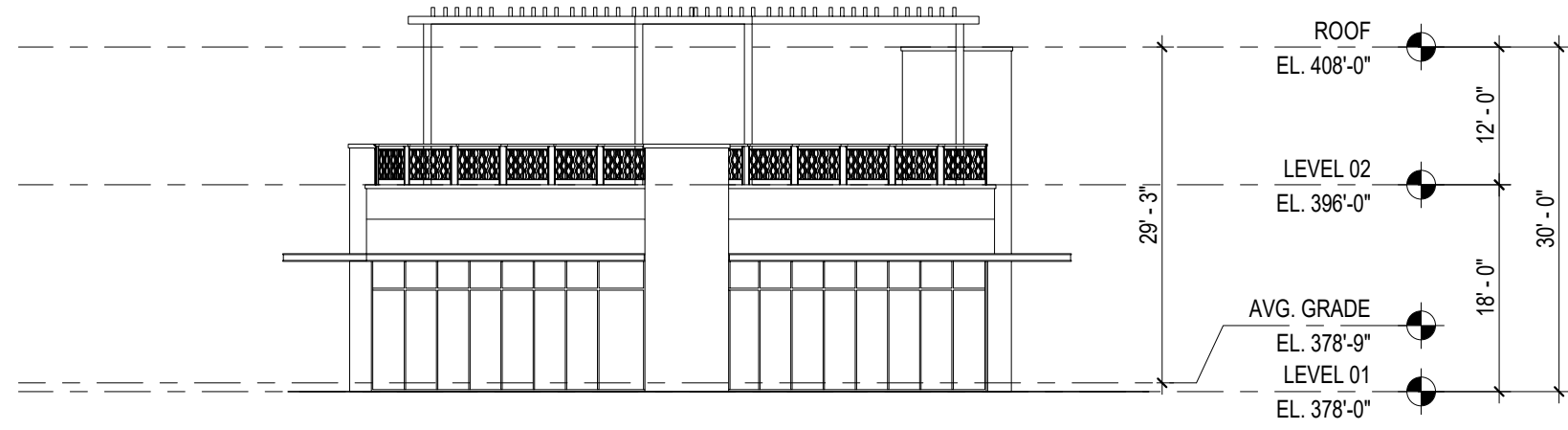
SHEET

UTILITY PLAN AREA 'B'

C4.02

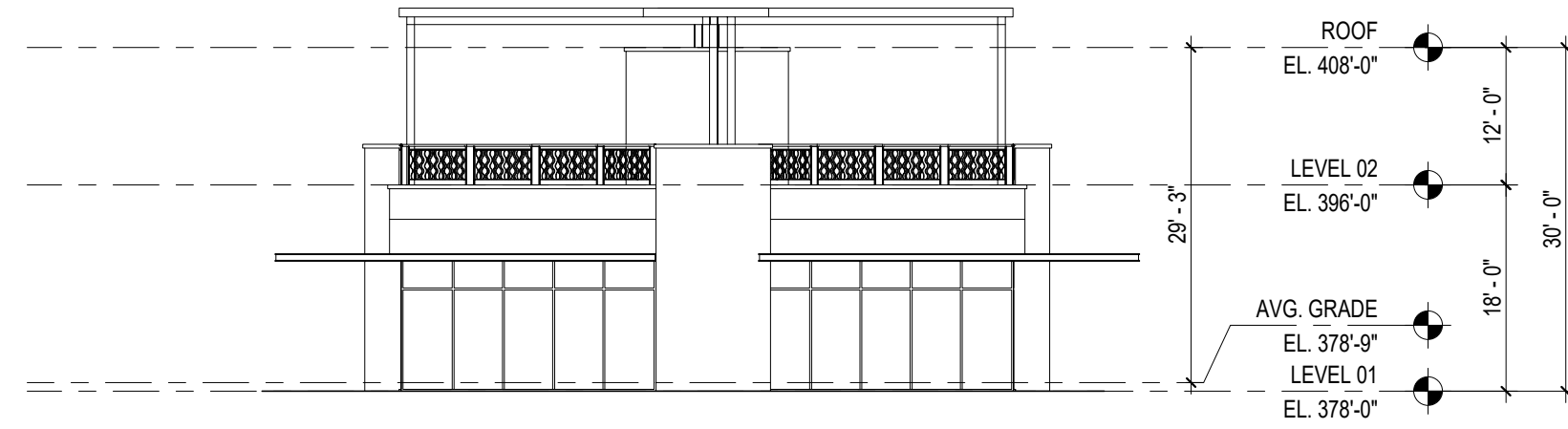
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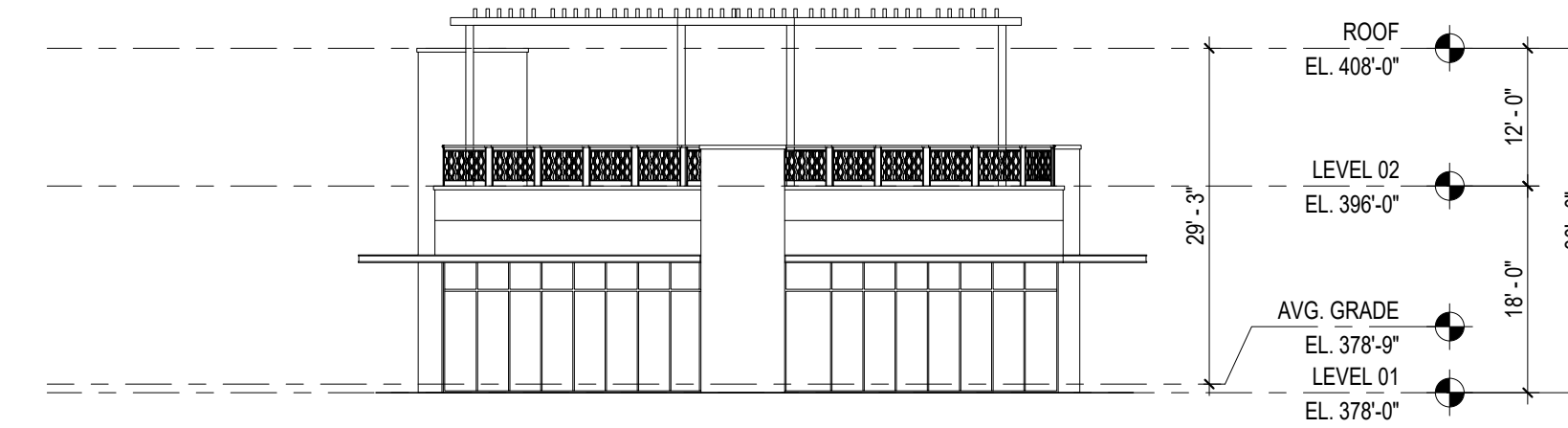
NORTHWEST
1/16" = 1'-0"

4



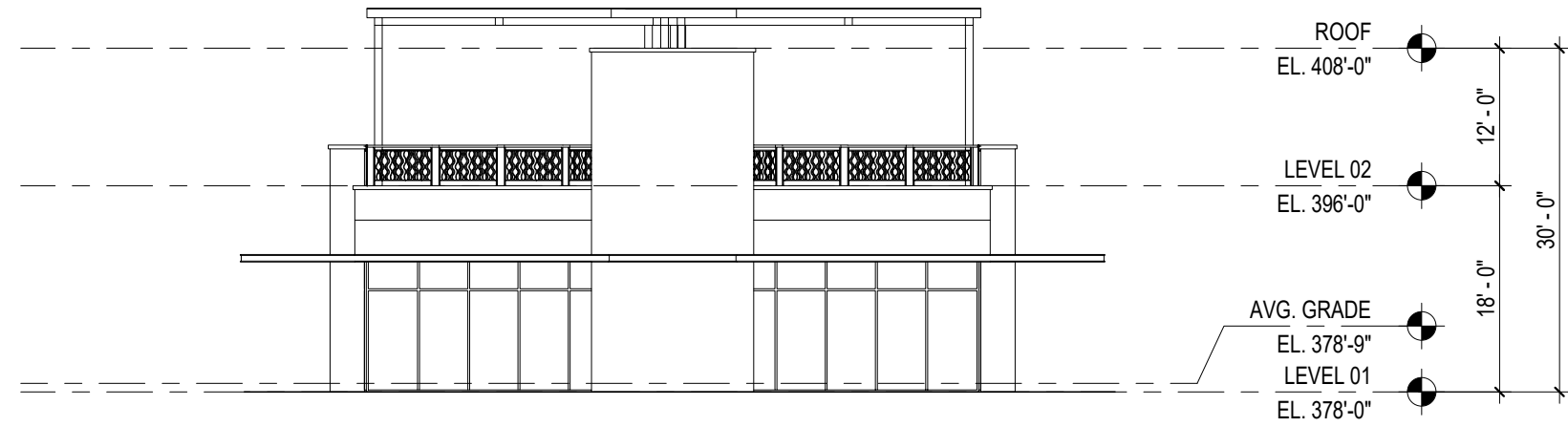
NORTHEAST
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3



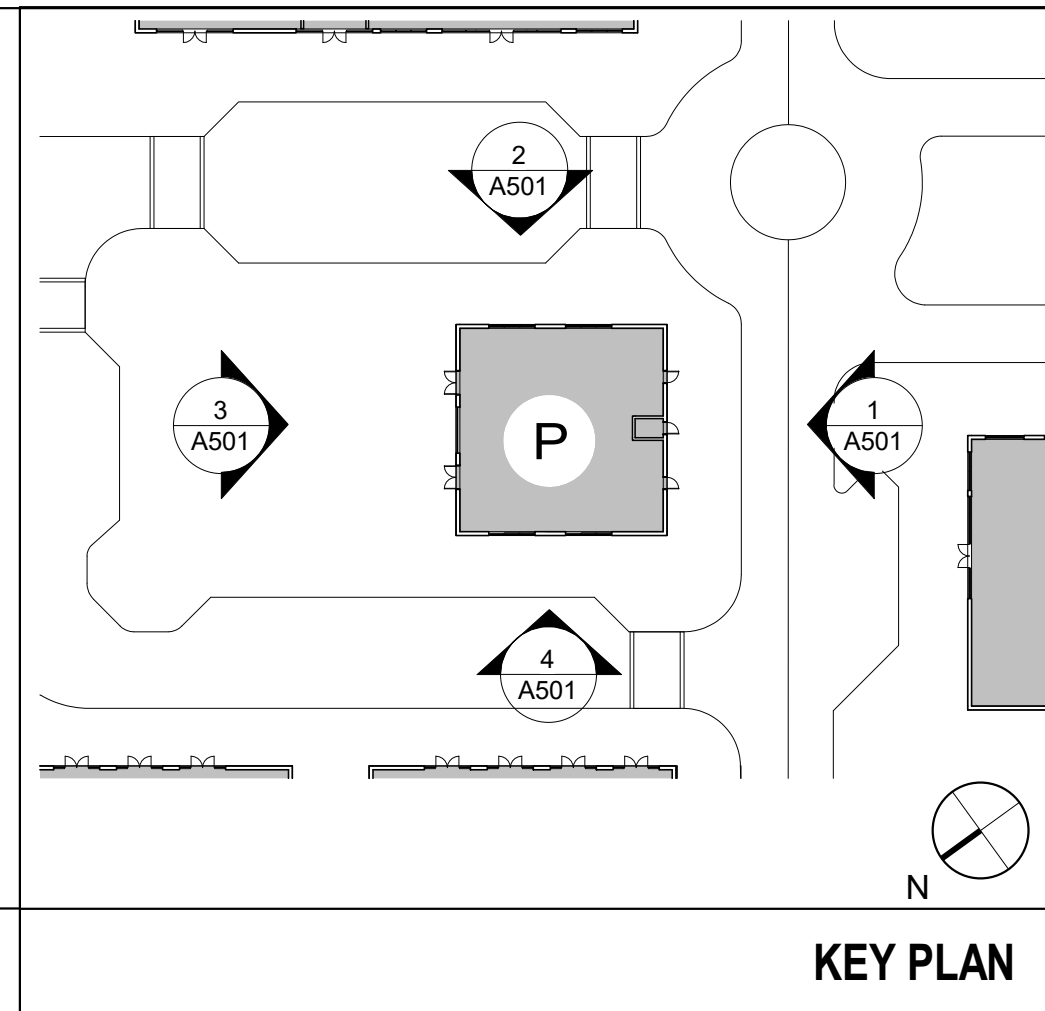
SOUTHEAST
1/16" = 1'-0"

2



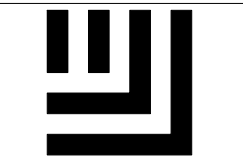
SOUTHWEST
1/16" = 1'-0"

1



KEY PLAN

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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DUDA PAINE
ARCHITECTS

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ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

REV

NO.	DATE
1	
2	

PLAN INFORMATION

PROJECT NO.	KAN-19010
FILENAME	KAN19010-Titleblock-STD
CHECKED BY	JM
DRAWN BY	LD
SCALE	KR18880
DATE	06. 21. 2019

SHEET

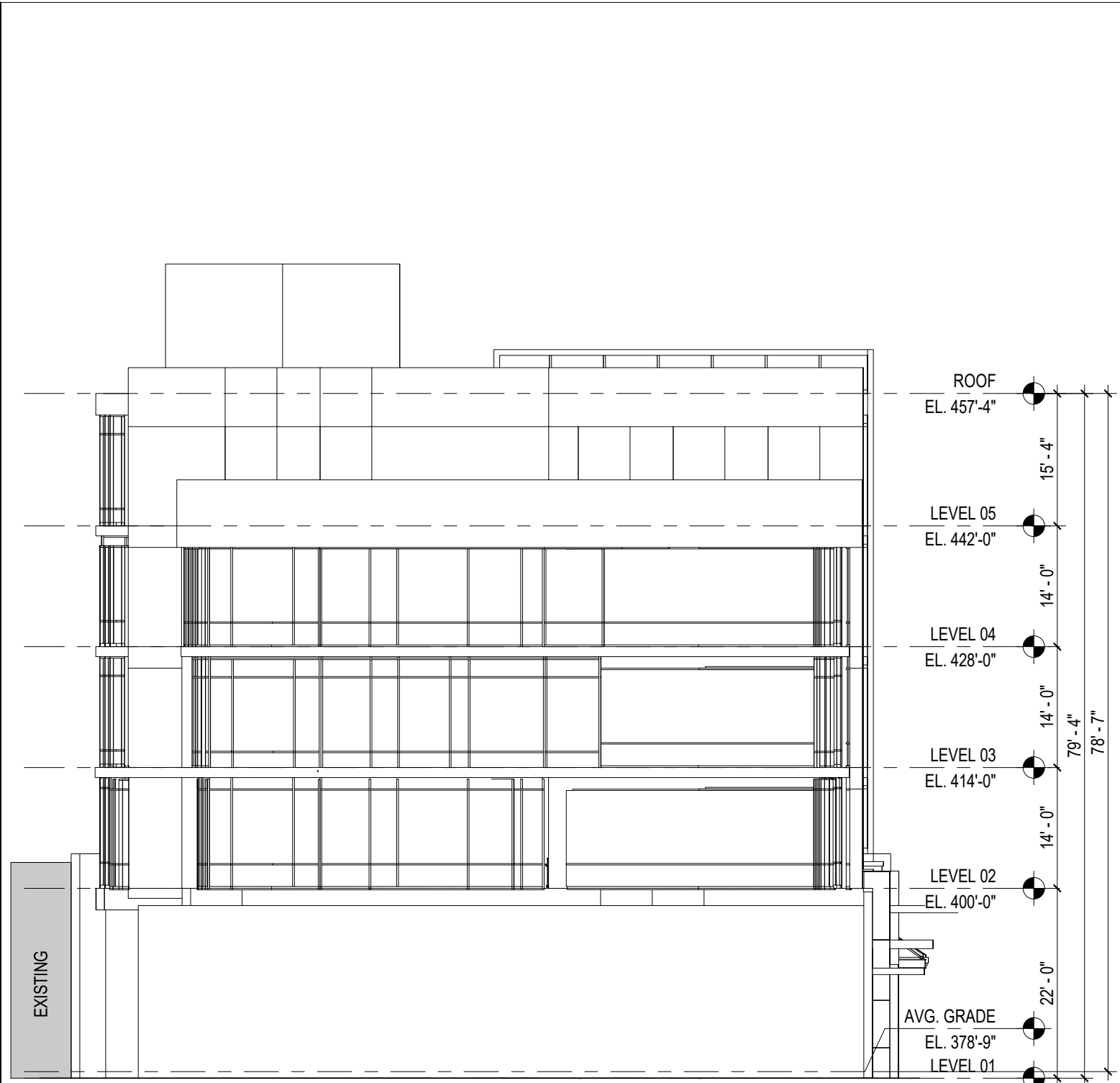
ELEVATIONS - BUILDING P

A501



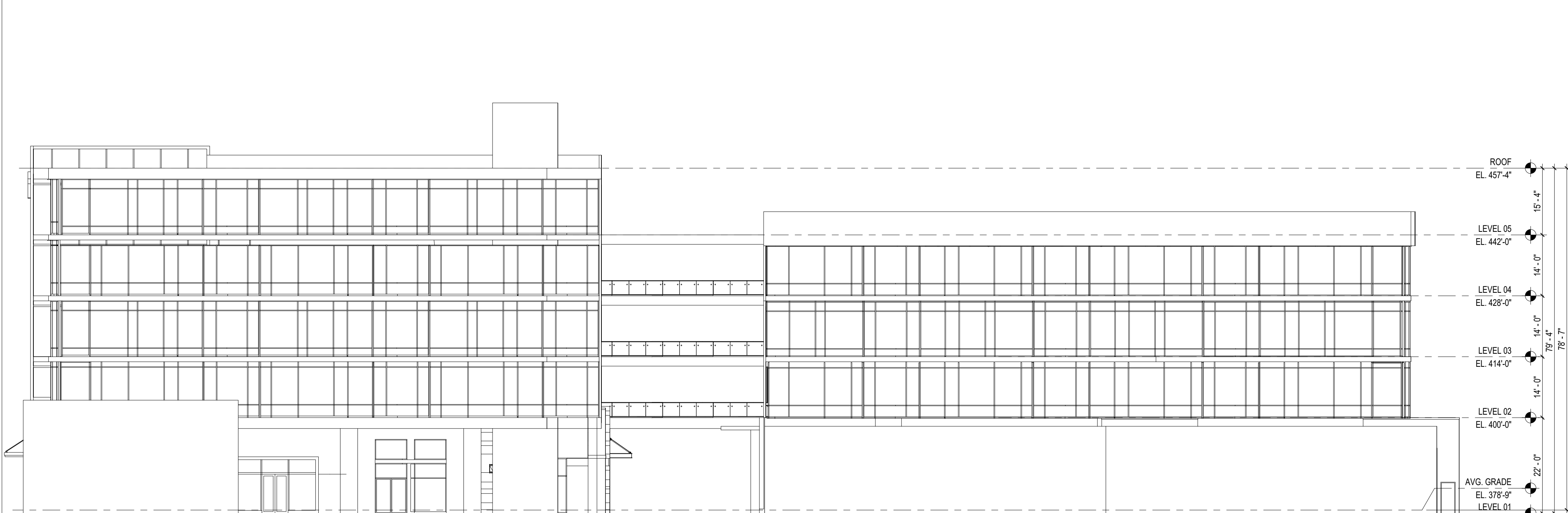
NORTHWEST
1/16" = 1'-0"

4



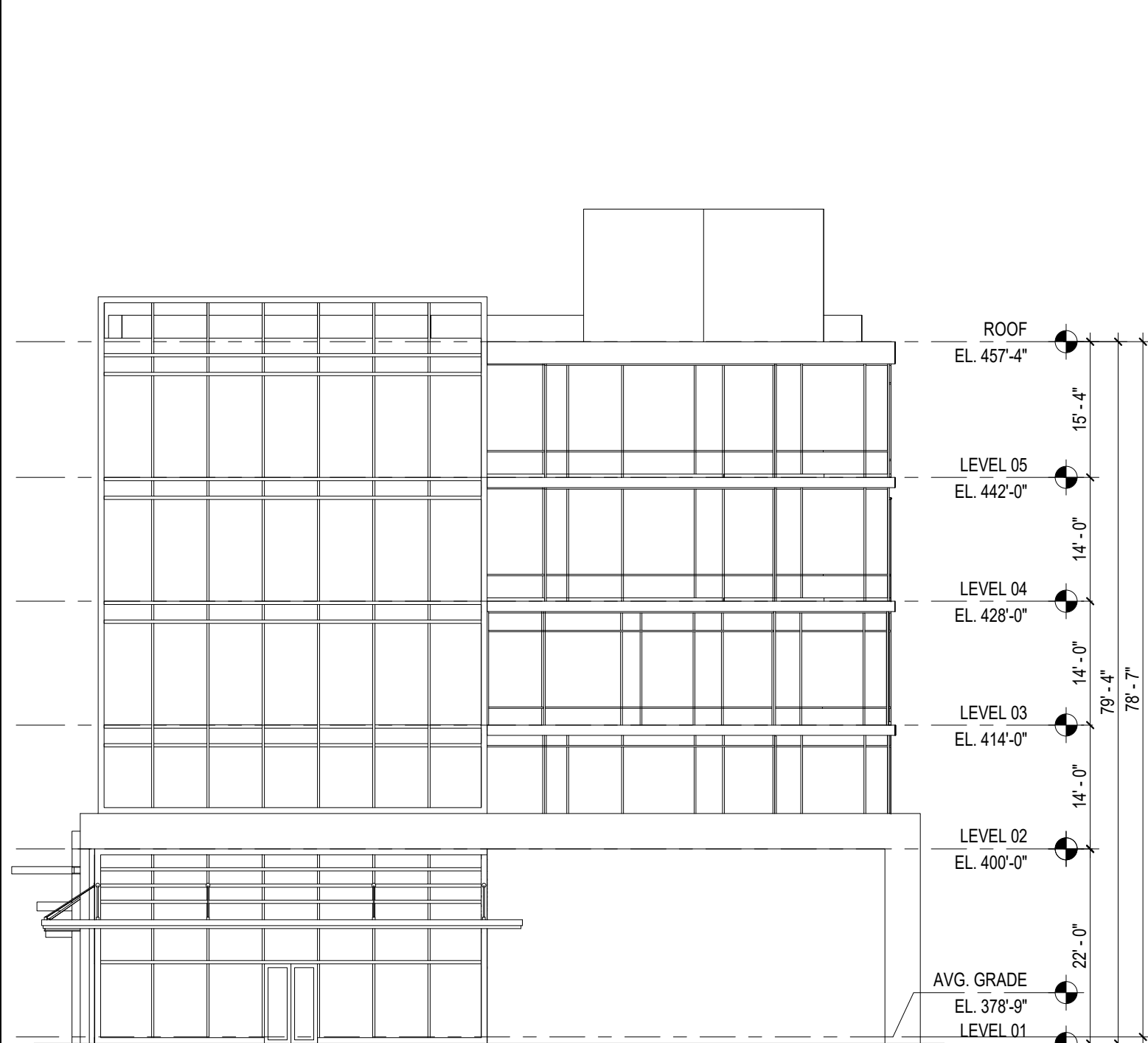
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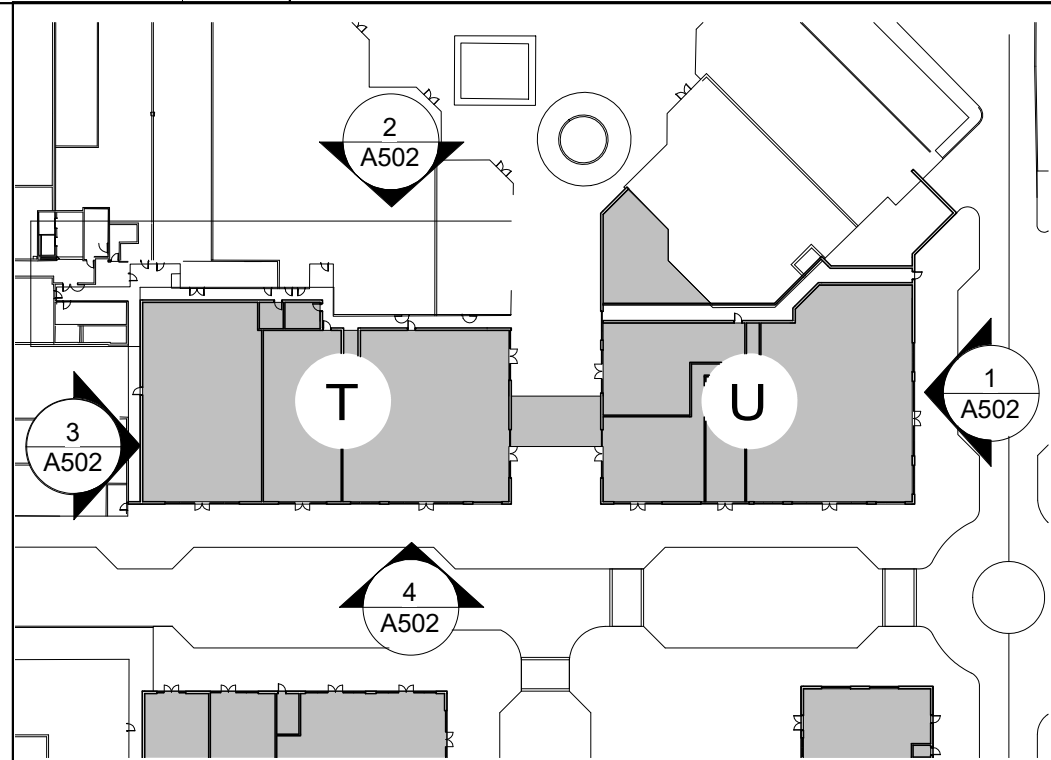
SOUTHEAST
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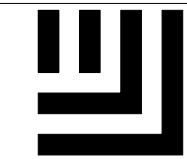
SOUTHWEST
1/16" = 1'-0"

1



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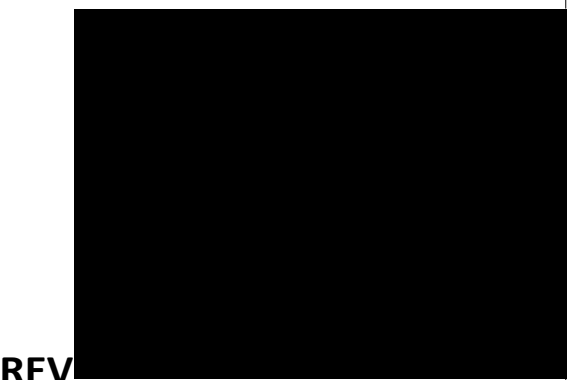


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RALEIGH, NORTH CAROLINA



REV

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1	
2	

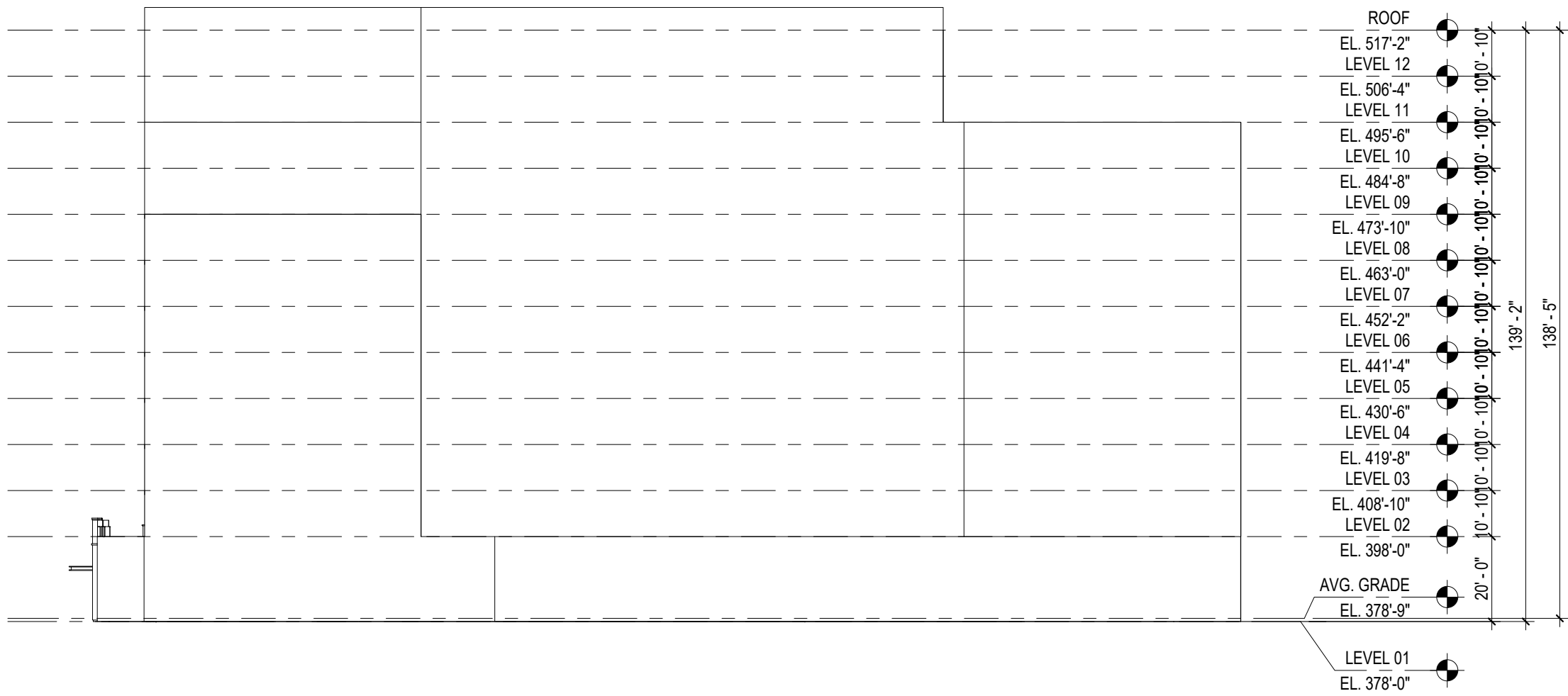
PLAN INFORMATION

PROJECT NO.	KAN-19010
FILENAME	KAN19010-Titleblock-STD
CHECKED BY	JM
DRAWN BY	LD
SCALE	KR18880
DATE	06. 21. 2019

SHEET

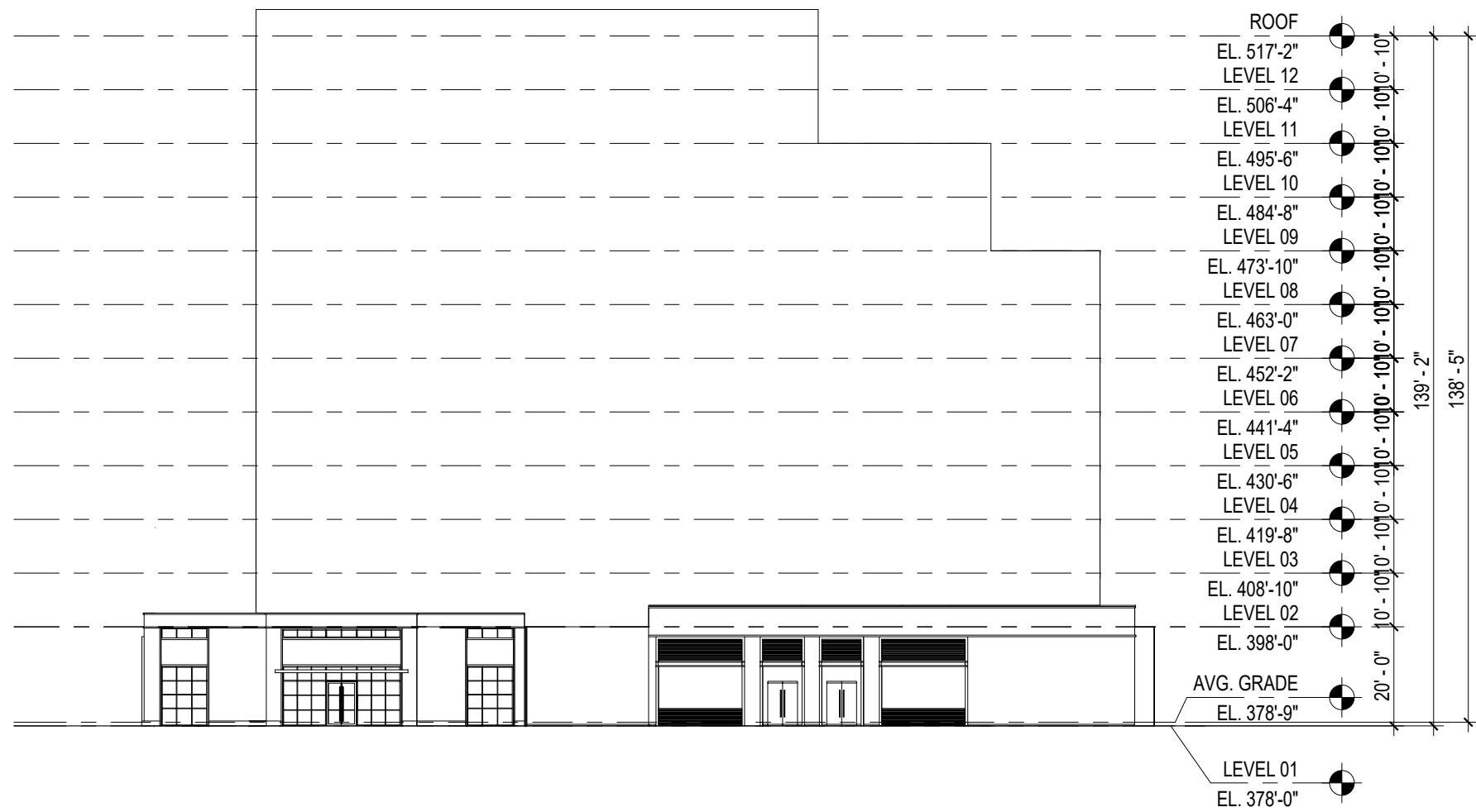
ELEVATIONS BUILDING T&U

A502



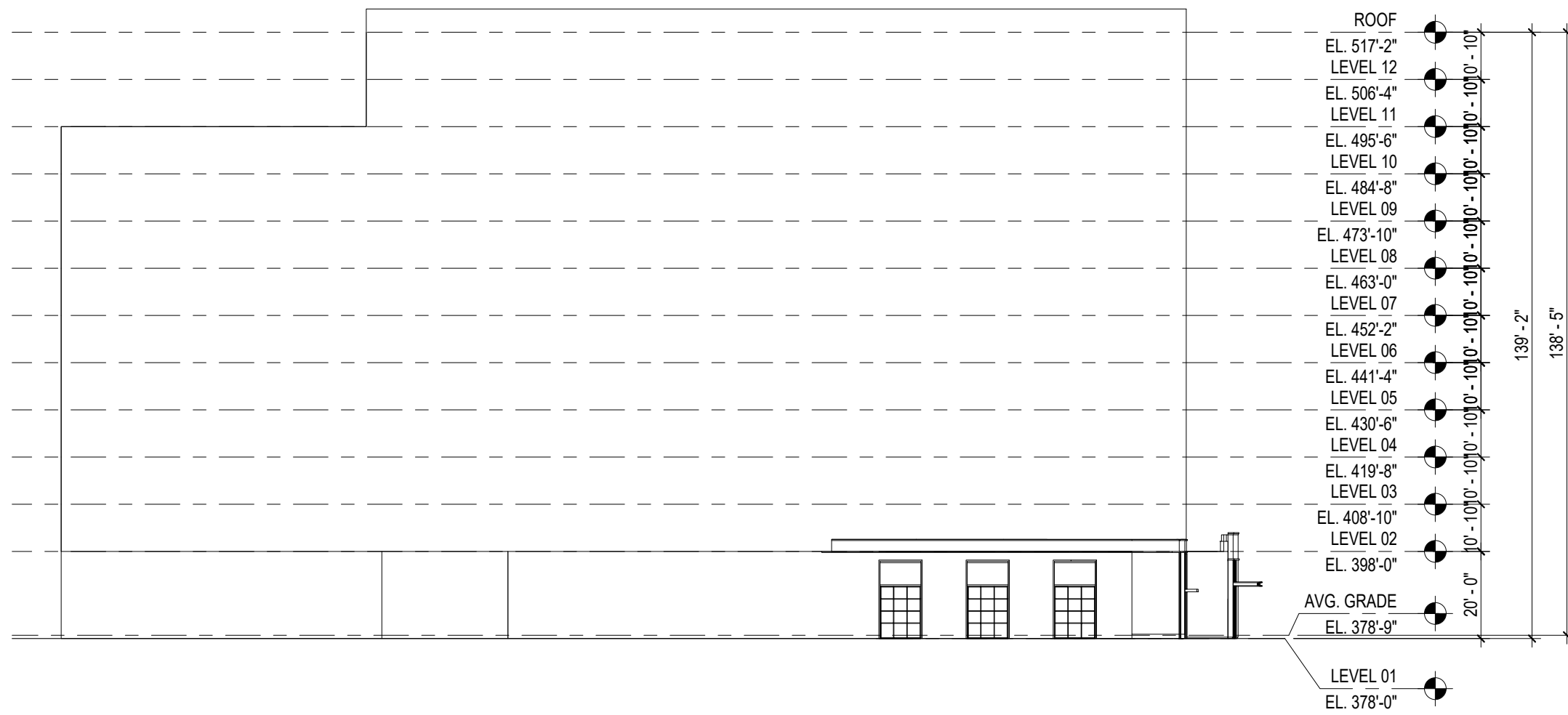
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1/32" = 1'-0"

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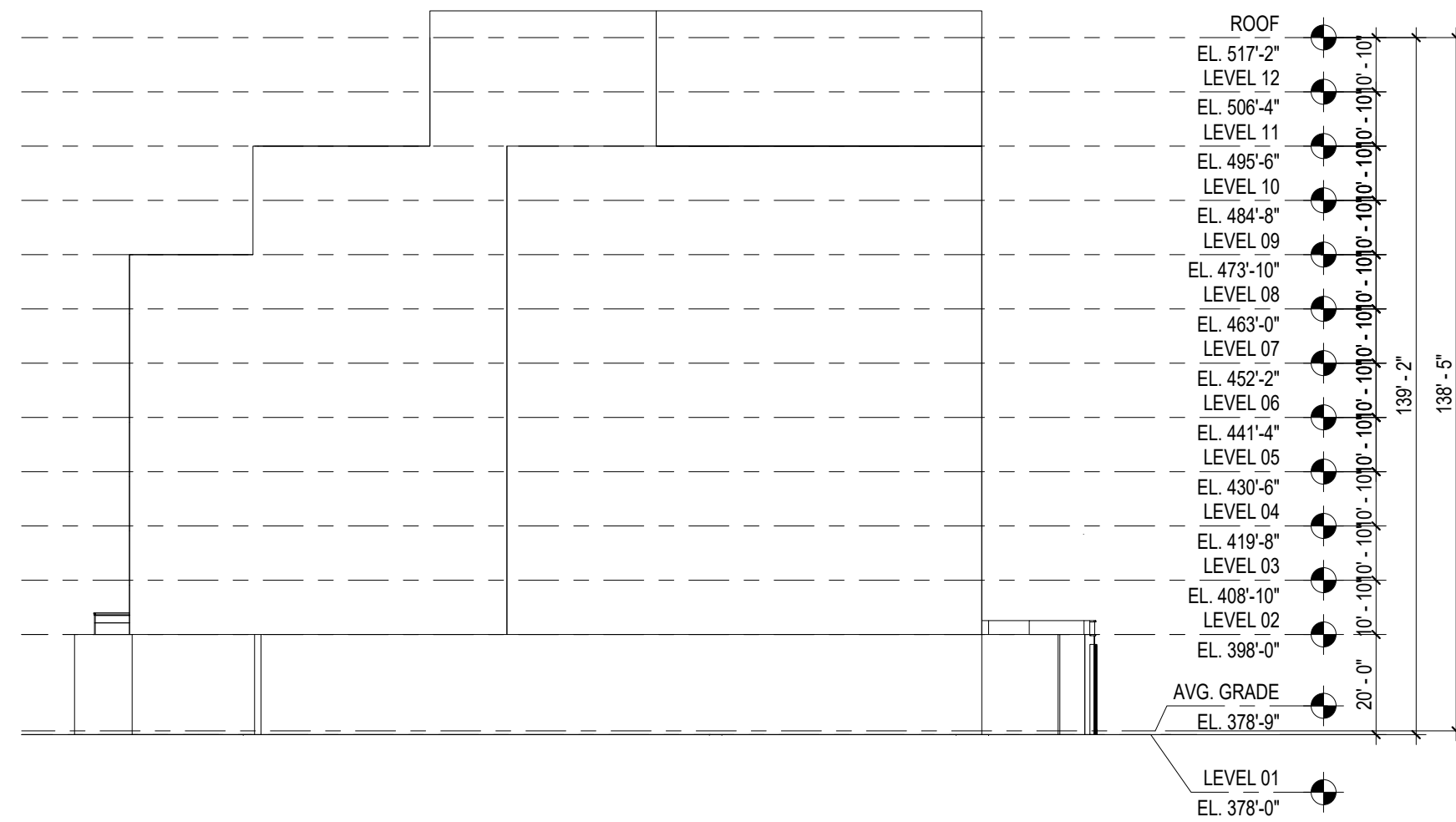
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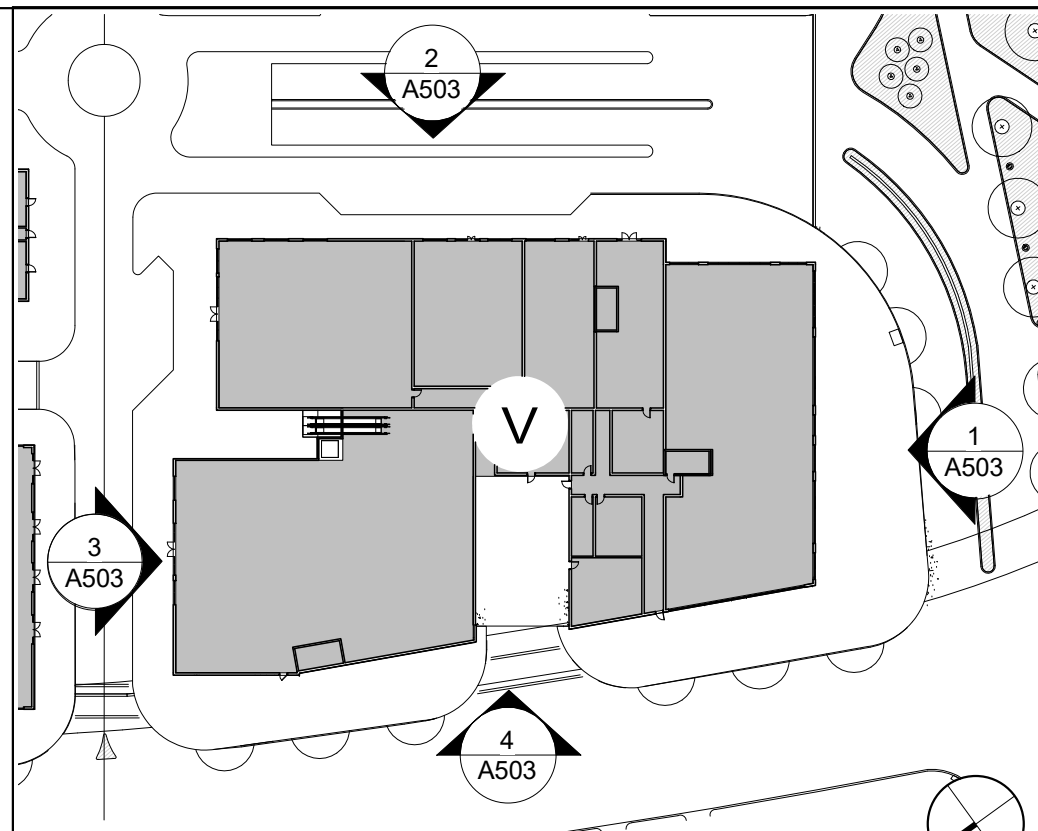
SOUTHEAST
1/32" = 1'-0"

2



SOUTHWEST
1/32" = 1'-0"

1



KEY PLAN

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CLIENT

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4321 LASSITER AT NORTH HILLS AVE
SUITE 250
RALEIGH, NC 27609

NORTH HILLS EXPANSION
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

REV

NO.	DATE
1	
2	

PLAN INFORMATION

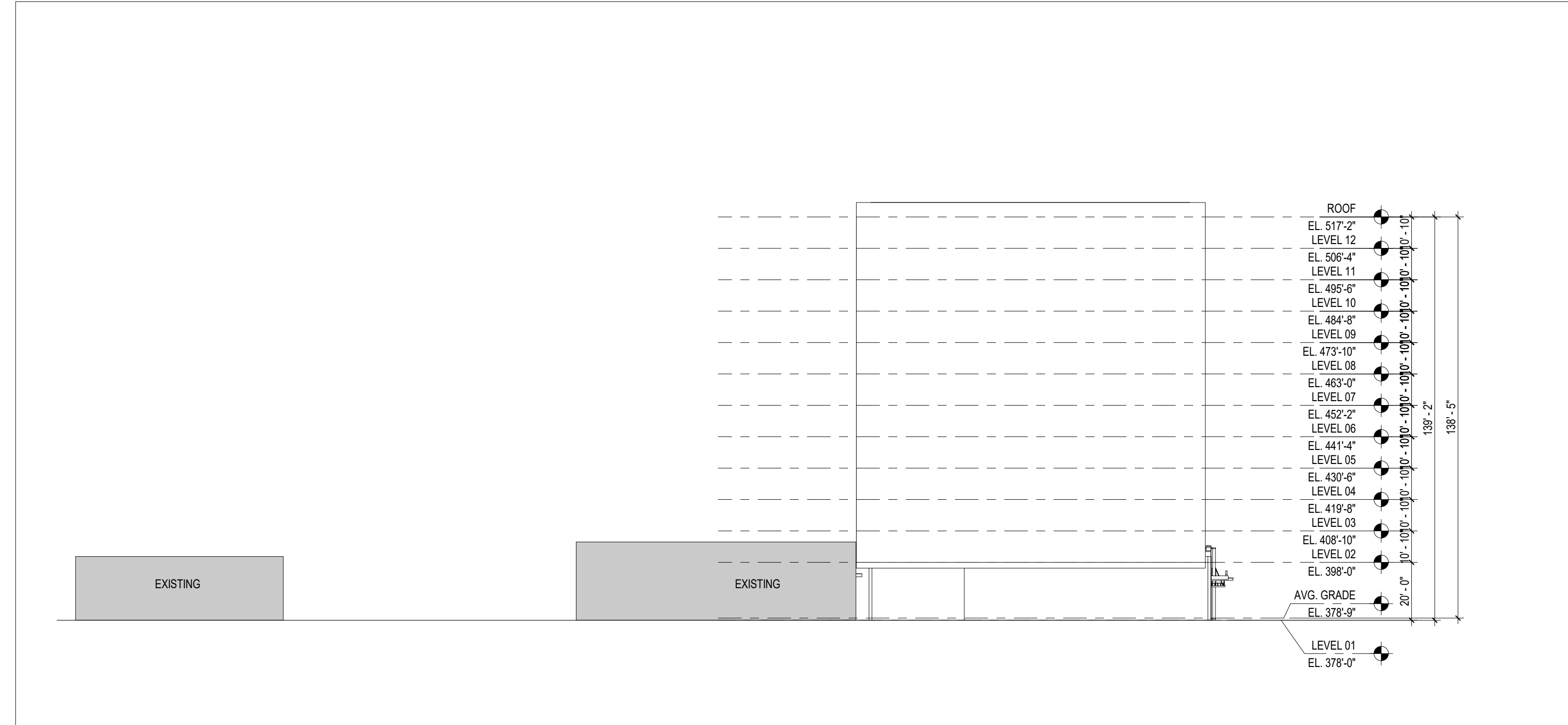
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FILENAME	KAN19010-Titleblock-STD
CHECKED BY	JM
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SCALE	KR18880
DATE	06. 21. 2019

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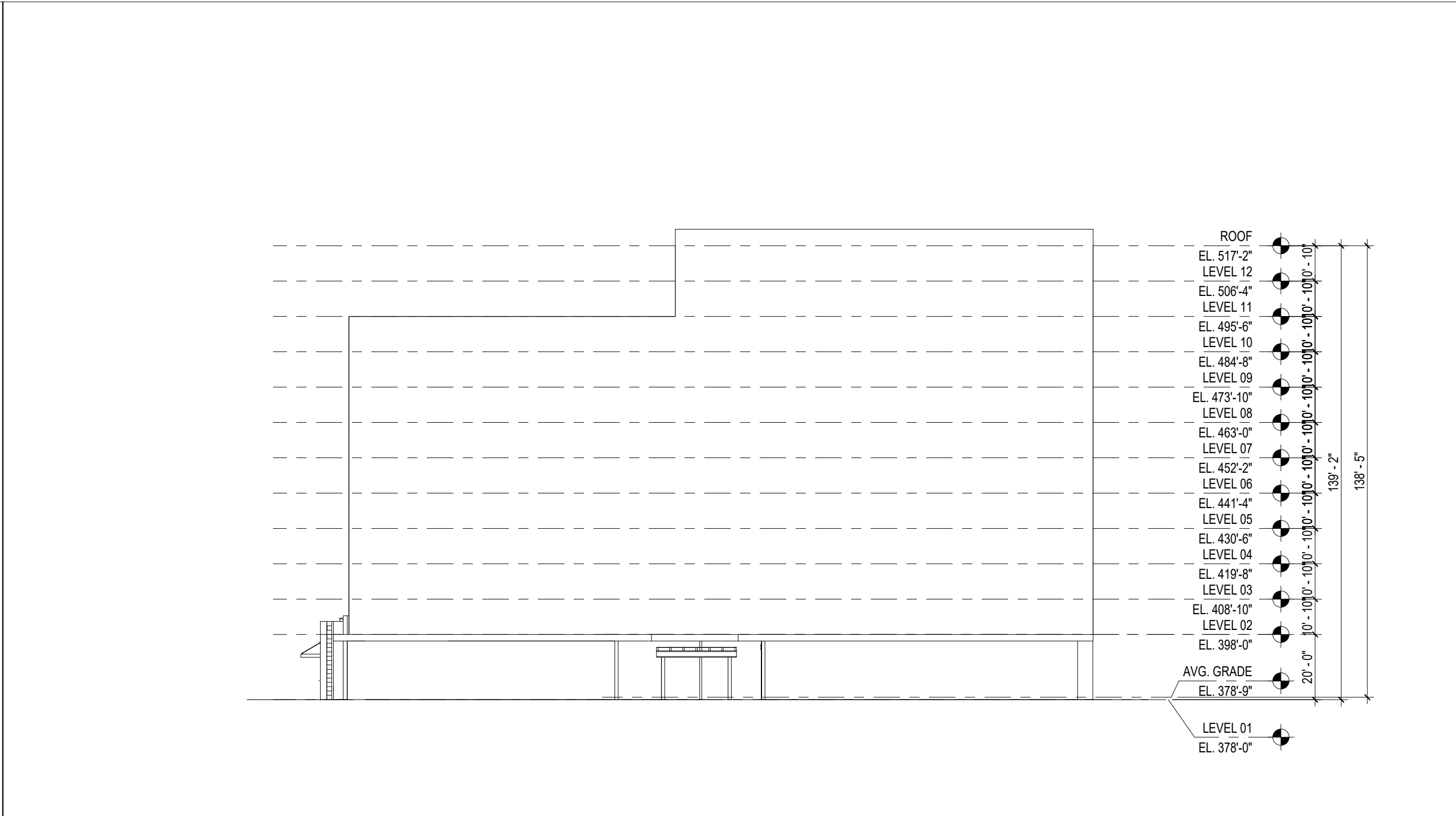
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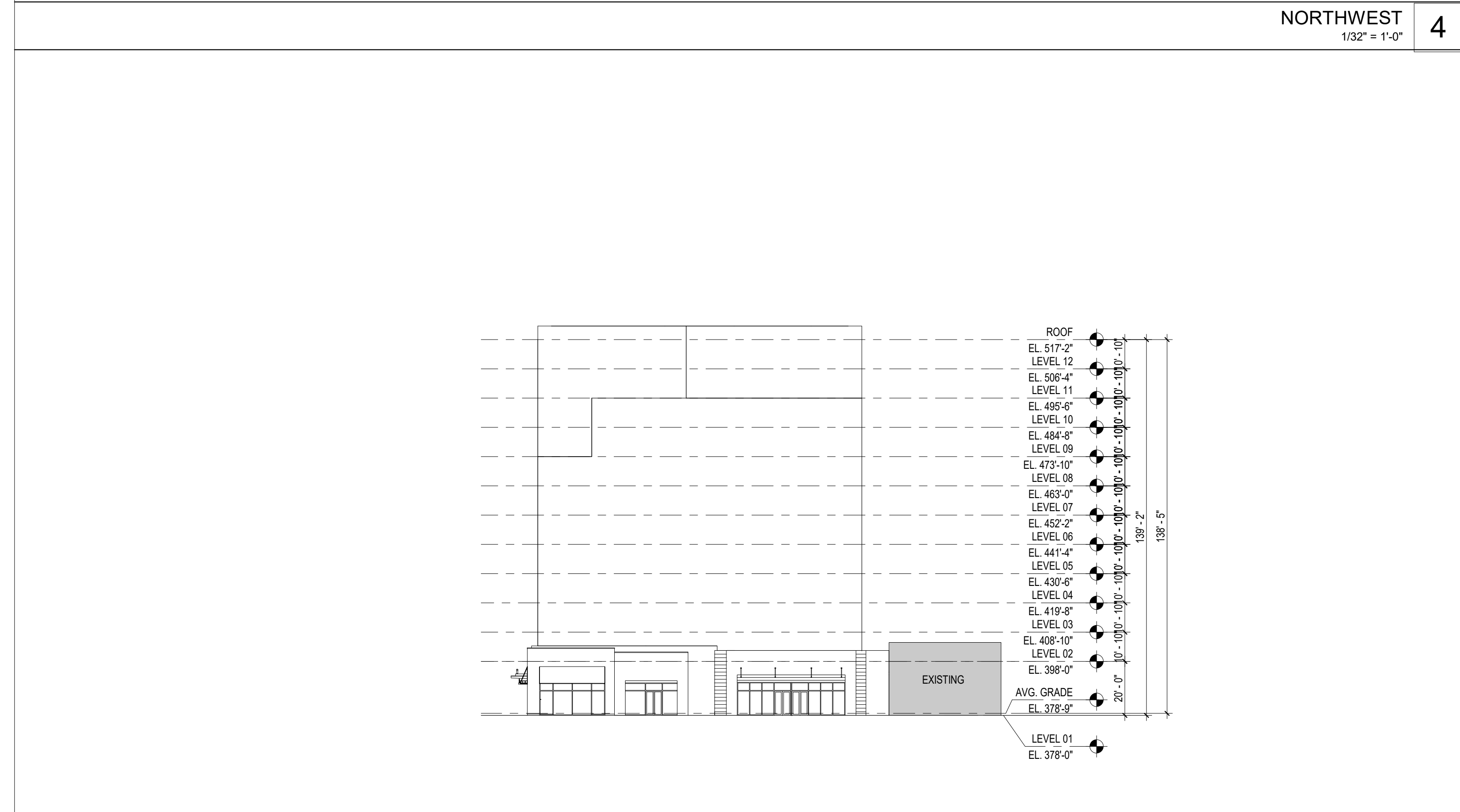
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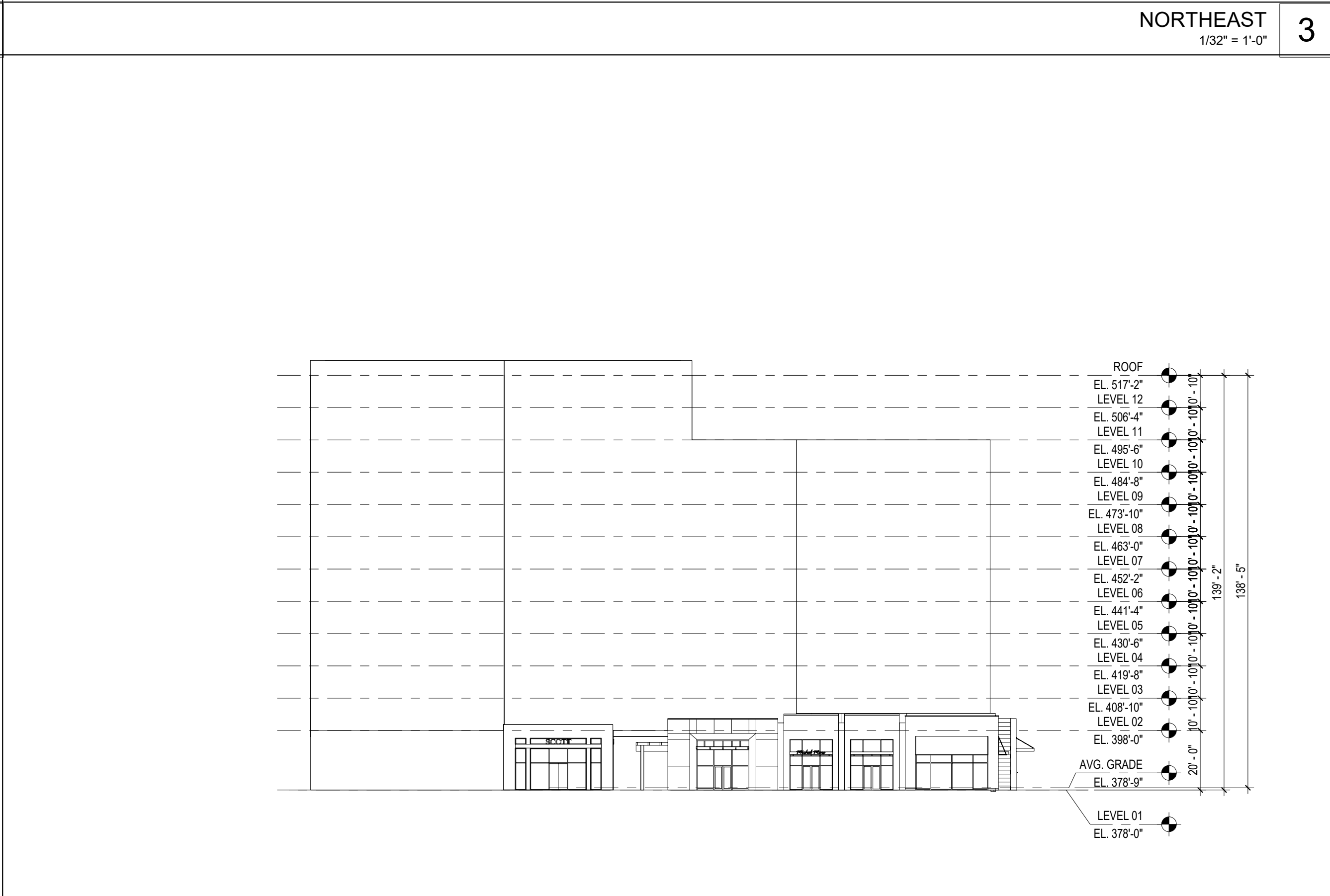
NORTHWEST
1/32" = 1'-0" 4



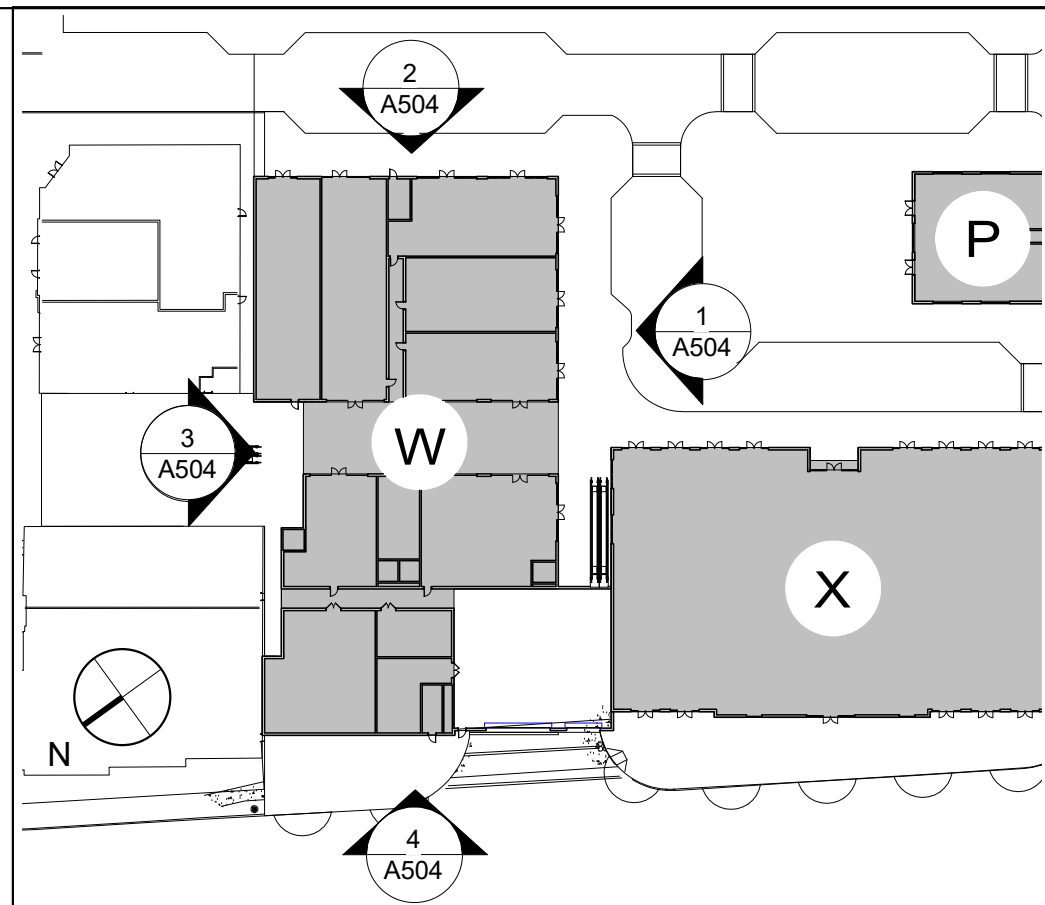
NORTHEAST
1/32" = 1'-0" 3



SOUTHEAST
1/32" = 1'-0" 2



SOUTHWEST
1/32" = 1'-0" 1



KEY PLAN

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVE
SUITE 250
RALEIGH, NC 27609

NORTH HILLS EXPANSION
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

REV

NO.	DATE
1	
2	

PLAN INFORMATION

PROJECT NO.	KAN-19010
FILENAME	KAN19010-Titleblock-STD
CHECKED BY	JM
DRAWN BY	LD
SCALE	KR18880
DATE	06. 21. 2019

SHEET

ELEVATIONS BUILDING W

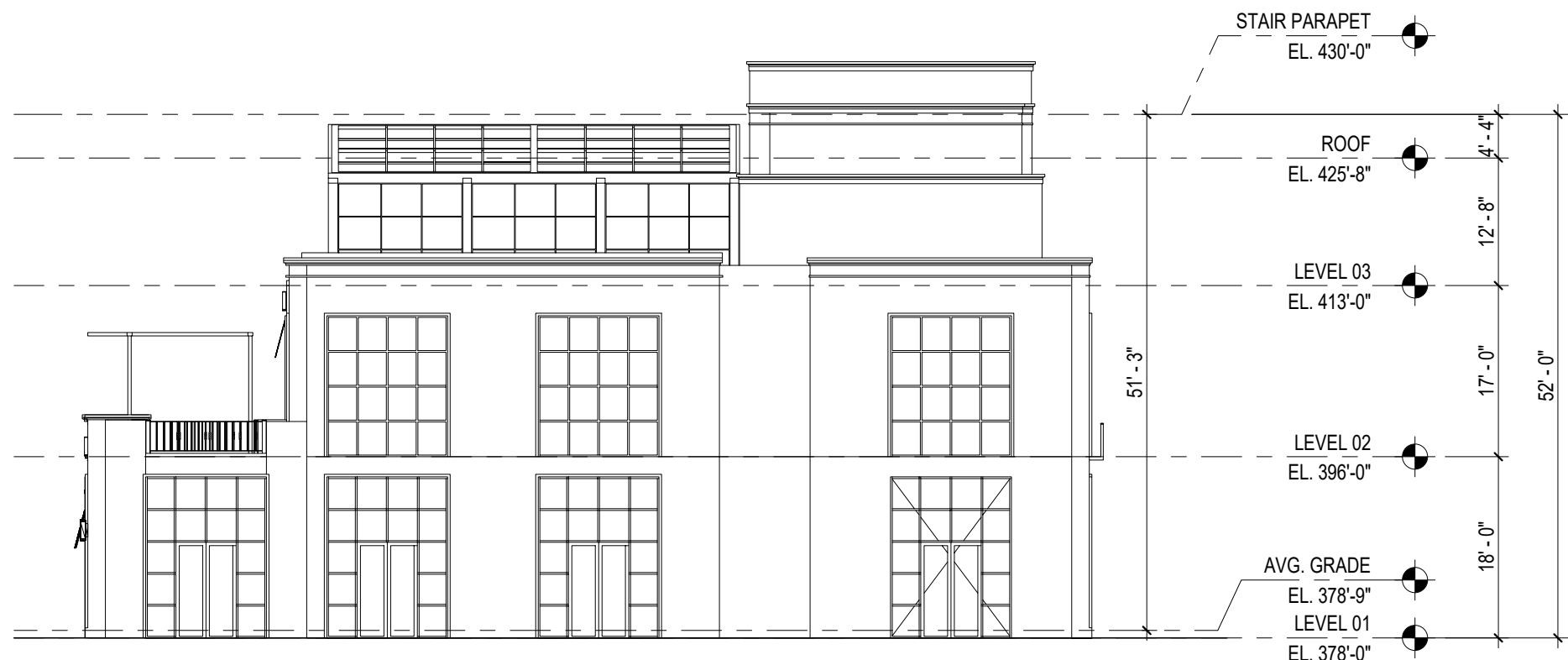
A504

P:\North Hills\08_Revt\078_Emlies\Titleblock\KAN19010-Titleblock-STD.dwg, 10/15/2018 4:06:37 PM, Christian Laren



NORTHWEST
1/16" = 1'-0"

4



NORTHEAST
1/16" = 1'-0"

3



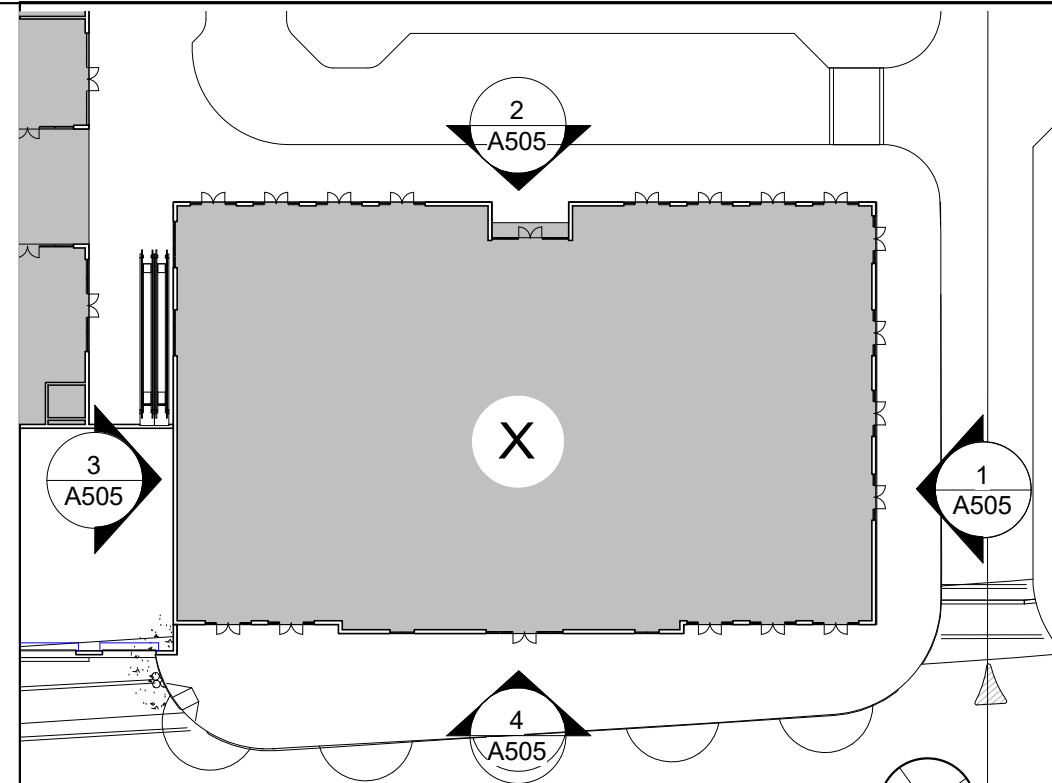
SOUTHEAST
1/16" = 1'-0"

2



SOUTHWEST
1/16" = 1'-0"

1



KEY PLAN

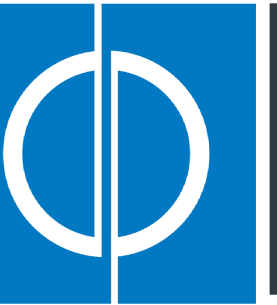
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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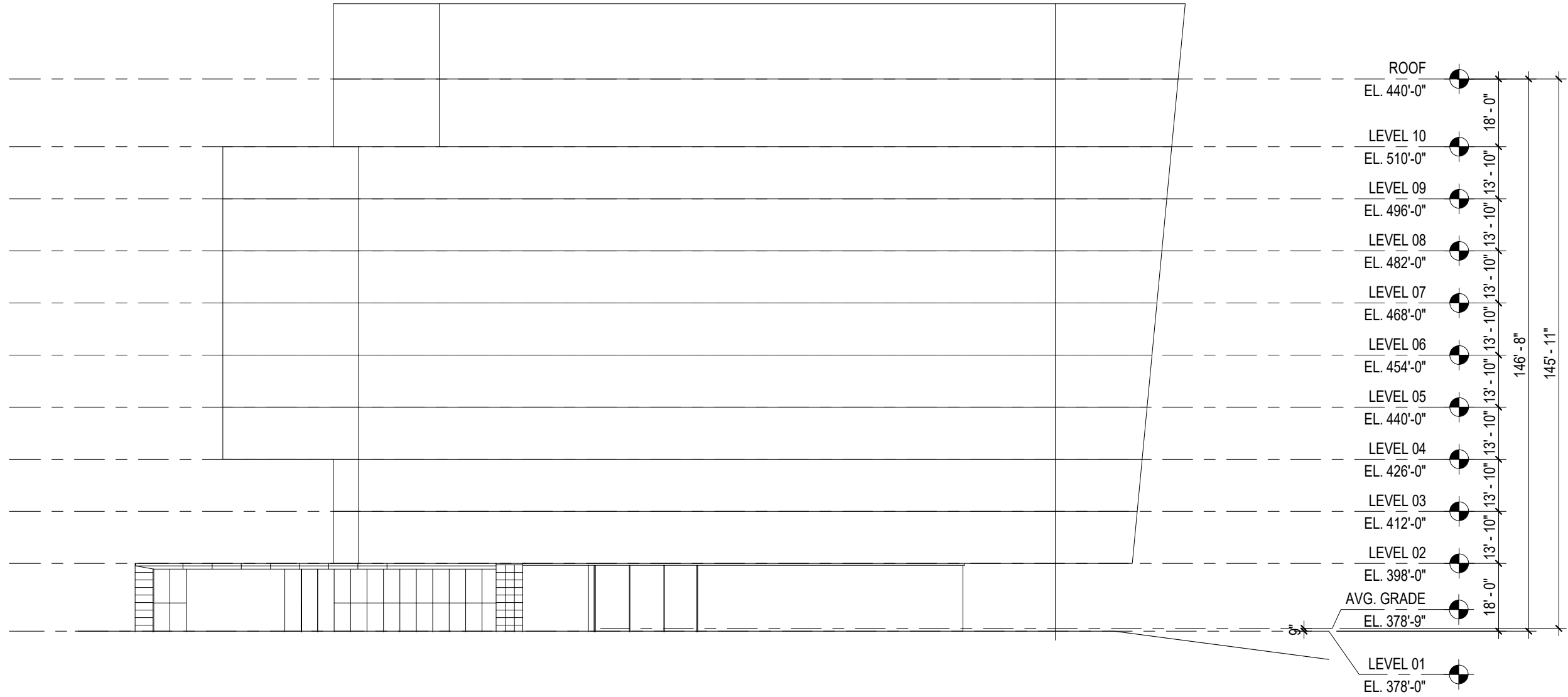
REV	
NO.	DATE
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PLAN INFORMATION	
PROJECT NO.	KAN-19010
FILENAME	KAN19010-Titleblock-STD
CHECKED BY	JM
DRAWN BY	LD
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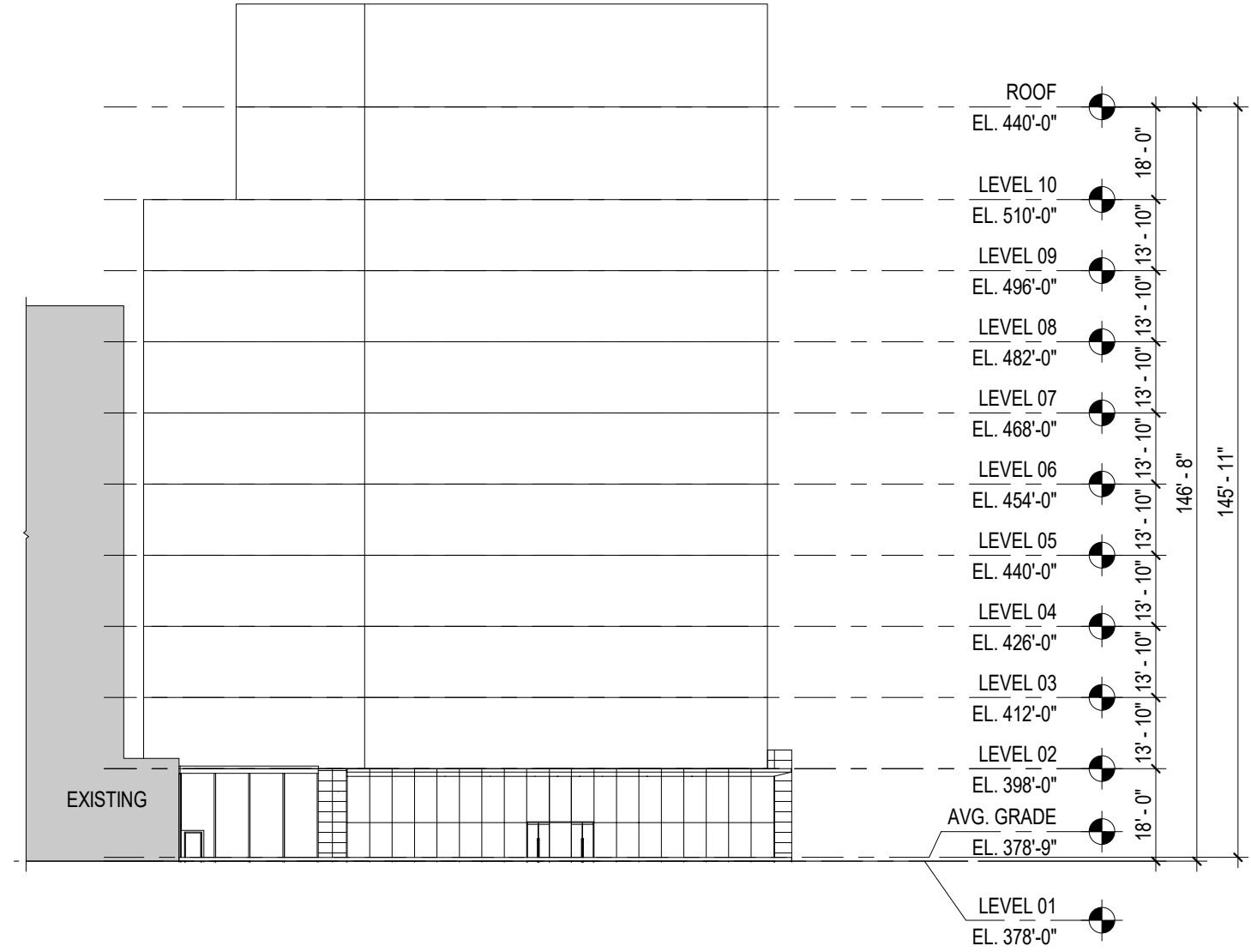
SHEET
ELEVATIONS - BUILDING X

A505

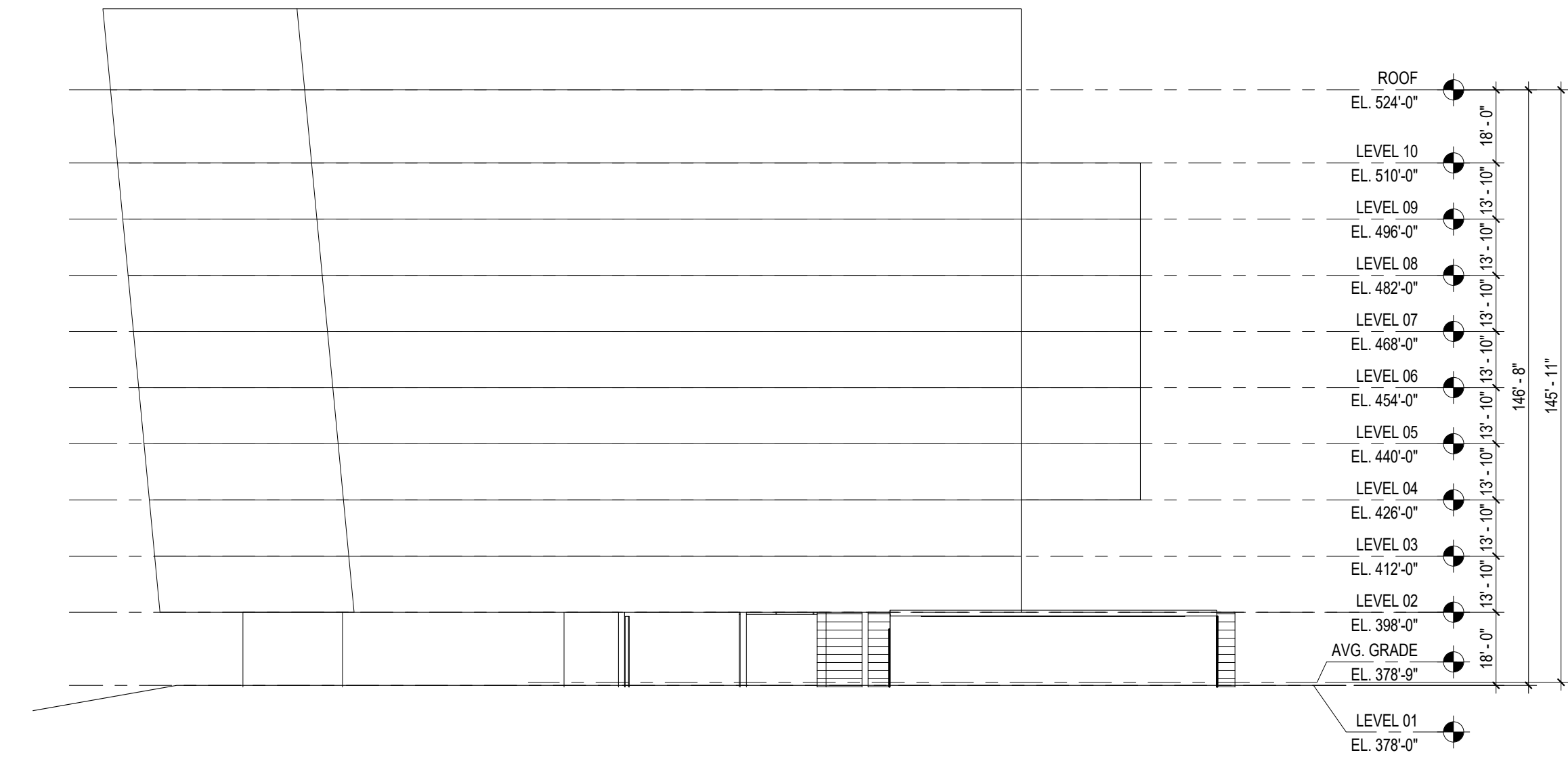
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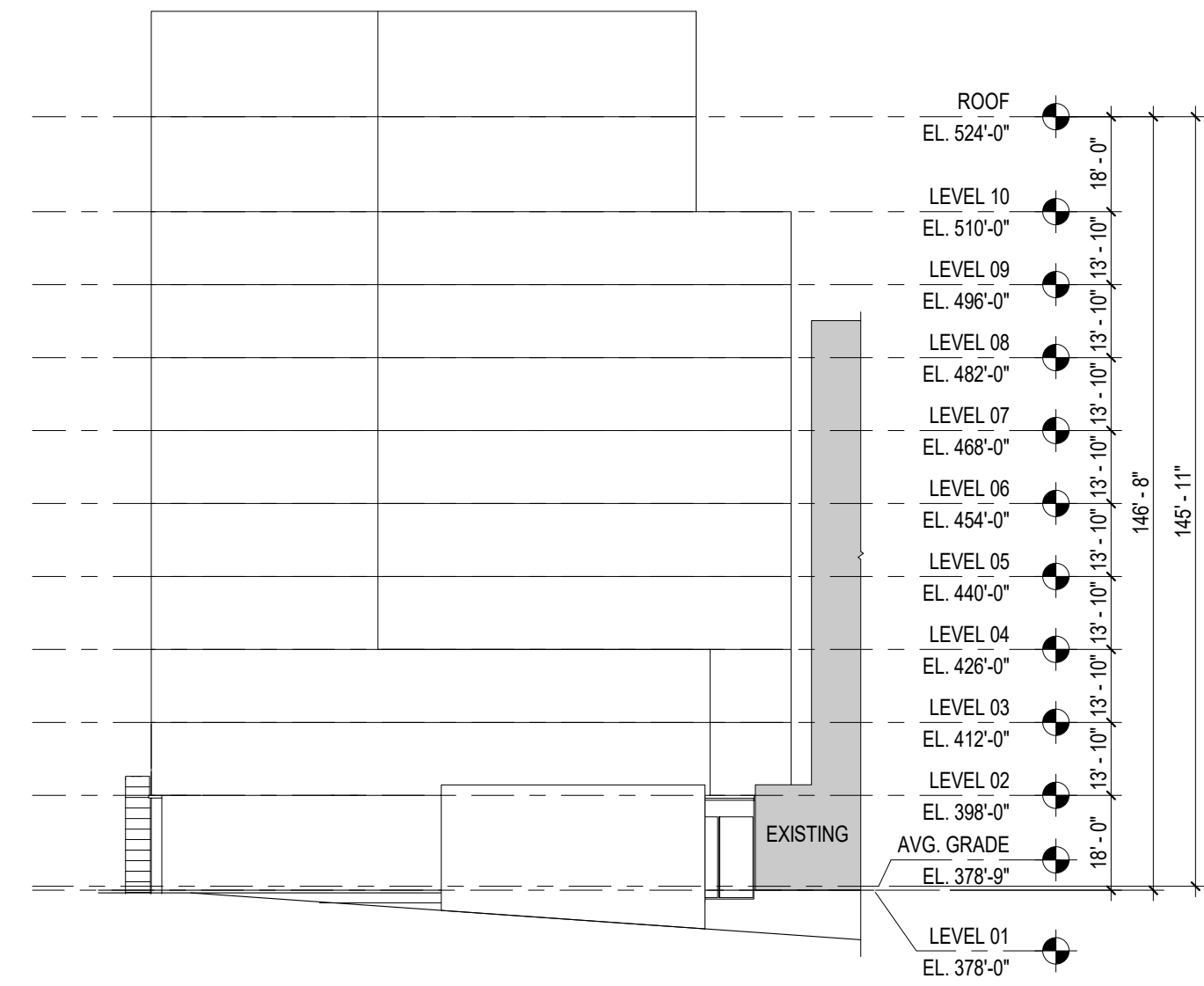
NORTHWEST
1/32" = 1'-0" 4



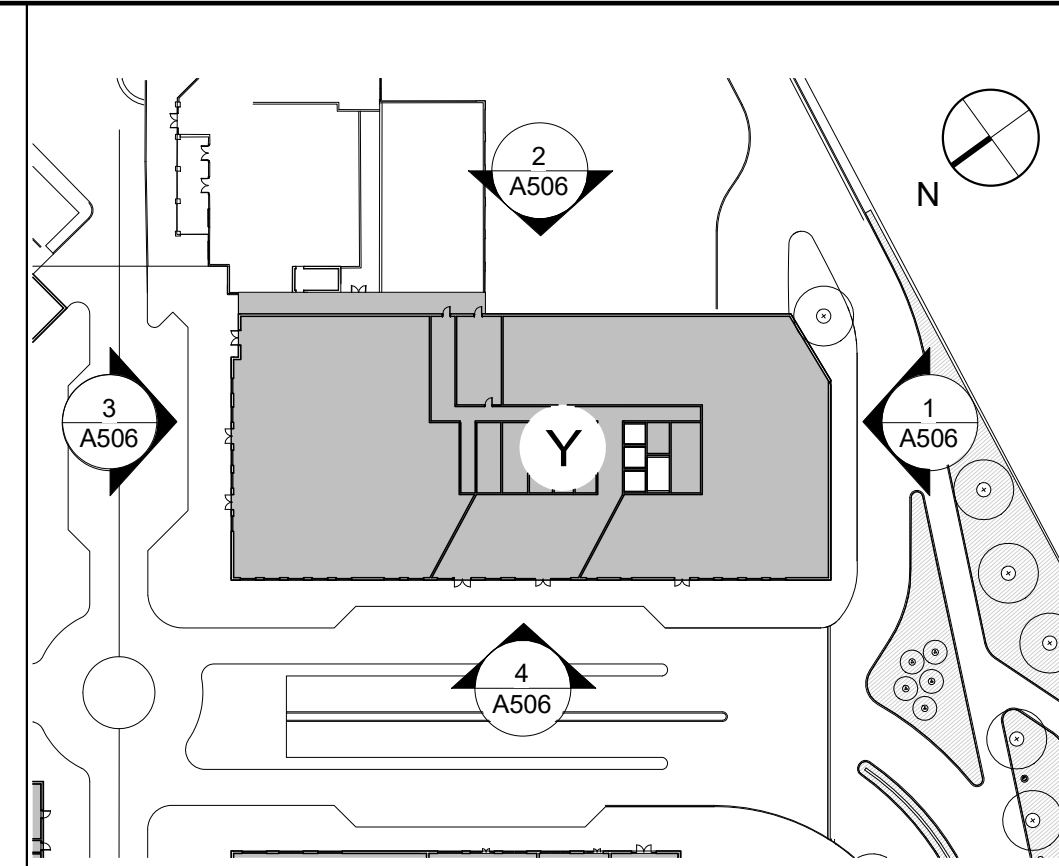
NORTHEAST
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1/32" = 1'-0" 2



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SHEET

ELEVATIONS BUILDING Y

A506