



Administrative Approval Action

Case File / Name: ASR-0059-2023
DSLC - Yardly Buffaloe Village

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is identified as Lot 5 of the proposed Yardly Buffaloe Village Subdivision (SUB-0034-2023). Lot 5 is to be an approximately 1.14 acre parcel zoned CX-3-CU. The site is located south of Buffaloe Road and west of Yardly Village Lane.

REQUEST: The project is for a 4,250 sf one-story dental building. The site will have a 5,055 sf amenity area on the north side of the building adjacent to Buffaloe Road.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 5, 2024 by TM BTR of Carolinas LLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to SPR approval, a lighting plan shall be reviewed and approved meeting UDO 7.4. The lighting plan will need to show the foot-candles, cut sheets, and all proposed lights including wall packs and parking lot lights.
2. Prior to SPR approval, plan shall demonstrate how UDO 7.1.7.K.3 (Long Term Bicycle Parking) has been met.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Cross Access Agreements Required



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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots identified shall be approved for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

Stormwater

2. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained for all structures not intended to remain on the property.
2. Prior to the issuance of Building Permits, all conditions of subdivision approval for case SUB-0034-2023 shall be met and a final subdivision plat shall be reviewed by the City of Raleigh and recorded with Wake County.

Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Buffaloe Rd.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all street trees by Urban Forestry Staff.

Stormwater



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- 2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 12, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ *Jeff Caines* _____ Date: 07/12/2024
Development Services Dir/Designee
Staff Coordinator: Jeff Caines

ZONING CONDITIONS:

TCZ-28-22 - 0 BUFFALO ROAD, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926, APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) (MODIFIED CONDITIONS).

AMENDED CONDITIONS DATED: APRIL 13, 2022

A. CONDITION: THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINs) 1746-42-7078 (DEED BOOK 161 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 758, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.

MEANS OF COMPLIANCE: PROJECT IS NOT ADJACENT TO PROPERTIES LISTED IN THIS CONDITION.

B. CONDITION: PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:

- i. DORMITORY, FRATERNITY, SORORITY;
- ii. ADULT ESTABLISHMENTS;
- iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
- iv. FUNERAL HOME;
- v. ANIMAL CARE (INDOOR);
- vi. VETERINARY CLINIC/HOSPITAL;
- vii. DETENTION CENTER, JAIL, PRISON;
- viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
- ix. EMERGENCY SHELTER - TYPE B;
- x. BOWLING ALLEY;
- xi. MINI-WAREHOUSE STORAGE FACILITY.

MEANS OF COMPLIANCE: THE MEDICAL - DENTAL OFFICE BEING PROPOSED DOES FALL INTO A PROHIBITED USE CATEGORY LISTED.

C. CONDITION: THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A-I - IX SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT FACILITATE VEHICLE FUEL SALES.

D. CONDITION: THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) USE SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT FACILITATE VEHICLE SALES/RENTAL OR REPAIRS.

E. CONDITION: NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS. AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORING, ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT A RETAIL ESTABLISHMENT AND DOES NOT EXCEED THE AREA LIMITS.

F. CONDITION: OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT OFFICE OR INSTITUTIONAL USE AND DOES NOT EXCEED THE AREA LIMITS.

G. CONDITION: RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT BE USED FOR RESIDENTIAL DWELLINGS.

H. CONDITION: NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT EXCEED THE HEIGHT OR STORY LIMITS.

I. CONDITION: POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE, NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.

MEANS OF COMPLIANCE: PROPOSED LIGHTING IS LESS THAN 35 FEET IN HEIGHT, NO LIGHTING PROPOSED IN BUFFER AREAS OR PROTECTIVE YARDS.

J. CONDITION: PRIOR TO LOT RECORDEATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA, THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.

MEANS OF COMPLIANCE: THE OWNER OF THE PROPERTY WILL DEED THE STATED TRANSIT EASEMENT TO THE CITY PRIOR TO BUILDING PERMIT.

K. CONDITION: UNTIL THE THREE LANES ON THE BUFFALO ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.

MEANS OF COMPLIANCE: N/A - THE PROPOSED BUILDING DOES NOT FALL INTO THESE USE CATEGORIES AND DOES NOT EXCEED THE AREA LIMITS.

L. CONDITION: DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.

1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALO ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALO ROAD.

MEANS OF COMPLIANCE: PARKING IS NOT PROPOSED ALONG THE FRONTAGE OF BUFFALO ROAD WITH THIS BUILDING.

2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF- WAY OF EITHER BUFFALO ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.

MEANS OF COMPLIANCE: NO PARKING PROPOSED WITH THIS BUILDING IS WITHIN 25 FEET OF RIGHT-OF-WAY OF BUFFALO ROAD OR FORESTVILLE ROAD.

3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED ALONG INTERNAL STREET NETWORK.

4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED CONNECT FROM THE BUILDING MAIN ENTRANCE TO PUBLIC MUP.

5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.

MEANS OF COMPLIANCE: SIDEWALKS ALONG PUBLIC AND PRIVATE ROADWAY NETWORK ARE A MINIMUM OF 6 FEET WIDE.

M. CONDITION: AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT AN APARTMENT.

NO.	DATE	REVISIONS

Kimley Horn
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 300 SOUTH MAIN STREET, SUITE 212, HOLLY SPRING, NC 27540
 WWW.KIMLEY-HORN.COM
 LICENSE # 4-102



PROJECT NO.	DATE	SCALE	AS SHOWN	DESIGNED BY	JAC	CHECKED BY	RAW
	09/27/2023						

ZONING CONDITIONS

HEARTLAND DENTAL
 LOT 5
 PREPARED FOR
 VENTURE SOUTH
 INVESTMENTS LLC
 RALEIGH NC

SHEET NUMBER
0002



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\\nas01\apps\dwg\2024\02\03\2220\1946\main\0310.dwg - 2/20/24 10:03:24am - 4/10/24 01:03:24pm - APPROVAL LETTERS



February 20, 2024

To Whom It May Concern,

This letter represents that Waste Management is working with Kimley Horn and will service "S101 Forestville Road Lot 5, Raleigh, NC 27616, upon completion of the build out. Our intent is to service containers at this site for their waste and recycling needs. Please let me know if you have any questions.

Amber Abercrombie
 Senior Account Executive
 South Atlantic Region
aabercro@wm.com
 919-452-1057



Know what's below.
 Call before you dig.

HEARTLAND DENTAL
 LOT 5
 PREPARED FOR
 VENTURE SOUTH
 INVESTMENTS LLC
 RALEIGH NC

APPROVAL LETTERS

PROJECT
 DATE
 SCALE AS SHOWN
 DESIGNED BY JAC
 DRAWN BY JAC
 CHECKED BY NJW

09/27/2023

PRELIMINARY
 NOT FOR CONSTRUCTION

Kimley Horn
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 300 SOUTH MAIN ST. SUITE 212 HOLLY SPRINGS, NC 27540
 WWW.KIMLEY-HORN.COM
 NC LICENSE # 6192

NO.	REVISIONS	DATE	BY
1		04/05/24	JAC
2		07/18/24	JNL

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LEGEND

- EXISTING IRON PIN
- EXISTING REBAR
- NO POINT SET
- IRON REBAR SET
- CABLE PRESTAL
- TELEPHONE MANHOLE
- TELEPHONE PRESTAL
- FLOOD LIGHT
- 5 FT WPS
- LIGHT POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- UTILITY POLE
- BOLLARD
- GAS METER
- GAS VALVE
- SEWER CLEAN OUT
- SEWER MANHOLE
- SOIL
- CATCH BASIN
- CURB INLET
- DROP \ YARD INLET
- FLARED END SECTION
- STORM MANHOLE
- HANDICAP
- FIRE HYDRANT
- WATER MANHOLE
- WATER METER
- WATER VALVE
- WELL
- MANHOLE
- PRESSURE INDICATOR VALVE
- PIV
- TREE
- RIGHT-OF-WAY
- CONCRETE MONUMENT
- CONCRETE FOUNDATION
- DEED BOOK
- PLAT BOOK
- CURB AND GUTTER
- REINFORCED METAL PIPE
- CONCRETE
- COMPACTED PLASTIC PIPE
- COMP

LINE TABLE

LINE	LENGTH	BEARING
L1	764.47	S59°07'26.29"E
L2	30.74	S23°04'05.37"W
L3	633.07	S23°04'05.37"W
L4	22.92	S5°35'15.40"W
L5	829.16	S3°44'26.30"W
L6	441.17	S82°07'45.05"W
L7	317.26	S82°07'45.05"W
L8	145.02	N1°30'57.28"W
L9	267.29	N78°28'48.79"W
L10	24.61	N78°28'48.79"W
L11	61.24	N0°06'44.21"W
L12	316.88	N0°03'25.12"W
L13	53.29	N89°11'38.92"E
L14	347.80	S76°36'46.72"E
L15	177.16	N1°40'30.84"W
L16	137.39	N88°33'19.34"W
L17	223.42	N72°03'34.02"E
L18	151.91	N84°13'36.96"W
L19	240.47	N14°49'18.12"E
L20	100.00	N15°07'33.71"E
L21	100.00	N16°52'33.71"E
L22	100.00	N22°56'33.71"E

LINE	LENGTH	BEARING
L23	100.00	N22°56'33.71"E
L24	100.00	N31°55'33.71"E
L25	100.00	N37°54'33.71"E
L26	314.09	N40°02'33.71"E
L27	148.75	N41°36'33.71"E
L28	7.50	N42°21'03.71"E
L29	315.05	S60°29'33.00"E
L30	50.00	S32°43'57.00"W
L31	66.00	S57°16'03.00"E
L32	326.73	N32°43'57.00"E
L33	214.52	S57°09'15.00"E
L34	52.29	S30°51'36.00"W
L35	66.00	S59°08'24.00"E
L36	50.00	N30°51'36.00"E
L37	60.37	S57°09'15.00"E
L38	190.71	S30°51'36.00"W
L39	171.81	S1°40'31.00"E
L40	216.19	S87°47'15.59"W
L41	216.19	S87°47'15.59"W
L42	256.75	S0°42'03.96"E
L43	496.49	N88°33'19.34"W

GRAPHIC SCALE IN FEET

0 50 100 200

SCALE: 1" = 100'

NORTH

811

Know what's below. Call before you dig.

Kimley-Horn

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300 SOUTH MAIN ST. SUITE 212, HOLLY SPRING, NC 27540
WWW.KIMLEY-HORN.COM
PROJECT NUMBER: 19-002

PRELIMINARY
NOT FOR CONSTRUCTION

EXISTING CONDITIONS

HEARTLAND DENTAL
LOT 5
PREPARED FOR
VENTURE SOUTH INVESTMENTS LLC
RALEIGH

PROJECT NO. 19-002
DATE: 09/27/2023
SCALE: AS SHOWN
REVISIONS BY: JAC
DRAWN BY: JAC
CHECKED BY: RAW
DATE: _____

SHEET NUMBER
C100

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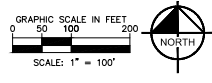
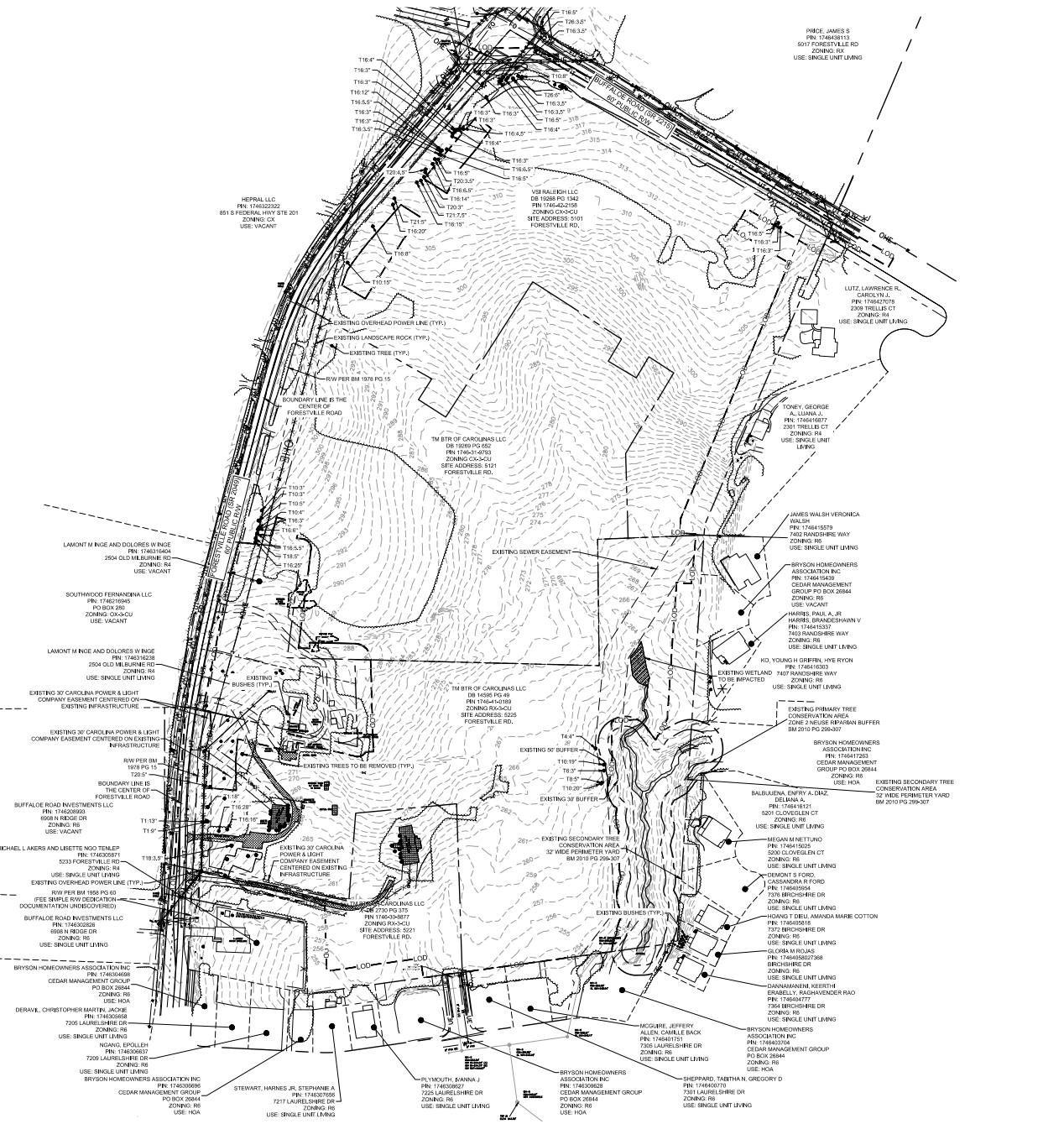
DEMOLITION LEGEND

- - - - -	EXISTING PROPERTY LINE
-X-X-X-X-	EXISTING LINE ITEM TO BE REMOVED
- - - - -	TREE PROTECTION FENCE
LOO	LIMITS OF OBSTRUCTION (LOO)
⊗	EXISTING ITEM TO BE REMOVED

NOTES:
 1. ALL SEPTIC TANKS/WELLS TO BE ABANDONED ACCORDING TO WAKE COUNTY STANDARDS.

TREE LEGEND

LABEL	COMMON NAME
T1	RED MAPLE
T2	SILVER MAPLE
T3	AMERICAN HORNBEAM
T4	FRASER HICKORY
T5	PECAN
T6	MOCKERNUT HICKORY
T7	FLOWERING DOGWOOD
T8	AMERICAN HOLLY
T9	EASTERN RED CEDAR
T10	SWEETGUM
T11	TULIP POPLAR
T12	RED MULBERRY
T13	BLACK GUM
T14	SOURWOOD
T15	SHORTLEAF PINE
T16	LOBLOLLY PINE
T17	AMERICAN SYCAMORE
T18	BLACK CHERRY
T19	WHITE OAK
T20	SOUTHERN RED OAK
T21	BLACKJACK OAK
T22	WATER OAK
T23	WILLOW OAK
T24	NORTHERN RED OAK
T25	POST OAK
T26	WINGED ELM
T27	AMERICAN ELM



NO.	DATE	REVISIONS

CITY COMMENTS
 CITY COMMENTS
 CITY COMMENTS

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 INCLUDE USE #4102

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NO. 24-0001
 DATE 09/27/2023
 SCALE AS SHOWN
 DESIGNED BY JAC
 DRAWN BY MTH
 CHECKED BY RNW

HEARTLAND DENTAL
LOT 5
 PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
 RALEIGH

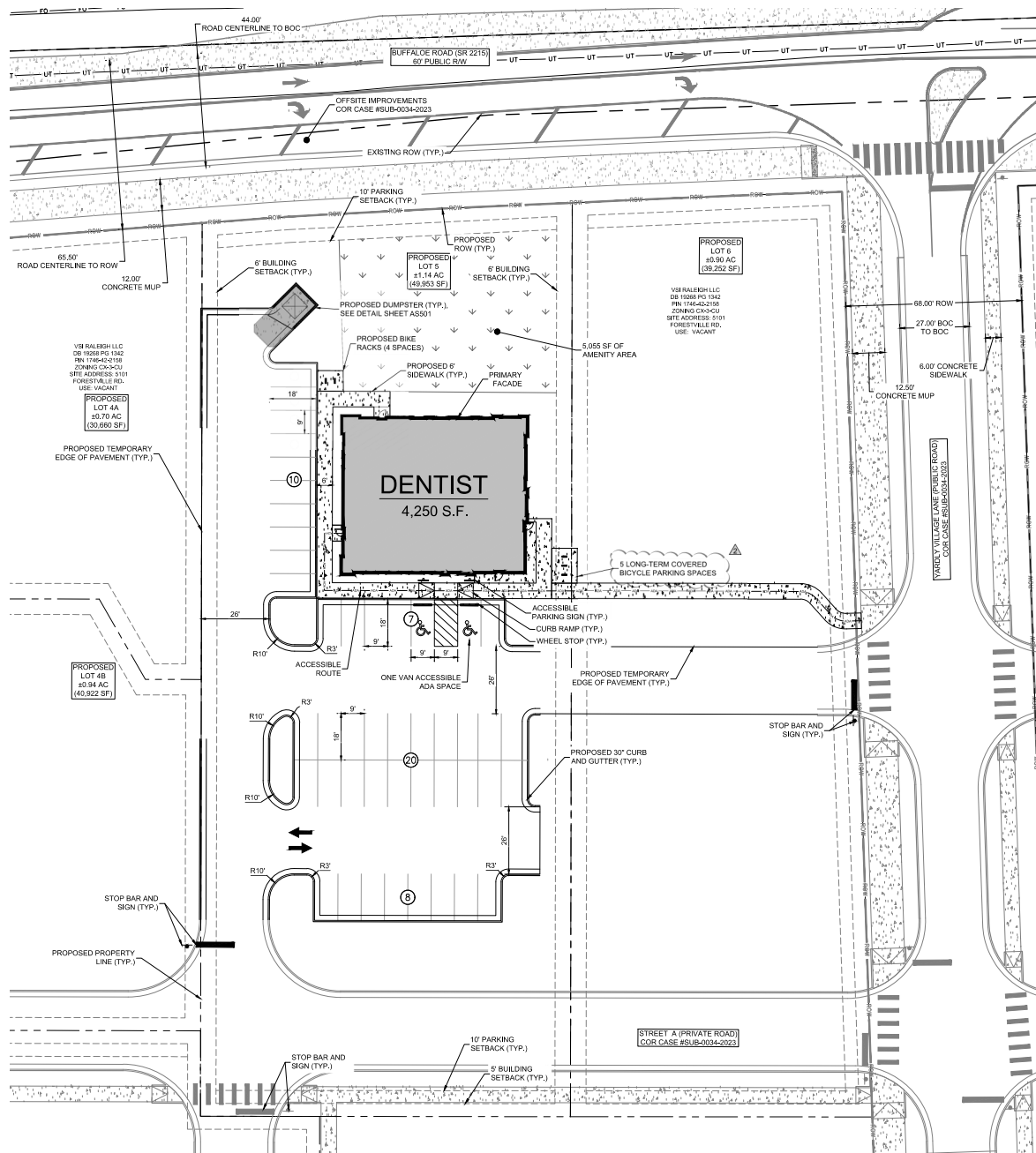
DEMOLITION PLAN

NC

SHEET NUMBER
C101

811
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PROPOSED IMPROVEMENTS LEGEND

---	EXISTING PROPERTY BOUNDARY	---	ROW
- - -	PROPOSED PROPERTY BOUNDARY	▨	PROPOSED PAVEMENT
---	30' NEUSE RIVER BUFFER	▨	TOP OF BANK
---	30' NEUSE RIVER BUFFER	▨	NEUSE RIVER BUFFER
---	BUILDING SETBACK	▨	WETLAND
---	CURB AND GUTTER	▨	PRIMARY TREE CONSERVATION AREA
---	TRAFFIC ARROWS	▨	SECONDARY TREE CONSERVATION AREA
---	STOP BAR, *STOP MANNING & SIGN	▨	NEUSE RIVER BUFFER CONSERVATION AREA
---	BIDGE - SINGLE / DOUBLE	▨	CONCRETE SIDEWALK
---	BENCH - MONUMENT / PILON	▨	HEAVY DUTY CONCRETE
---	SITE LIGHTING	▨	AMENITY AREA
---	RETAINING WALL		
---	PARKING COUNT		

SITE DATA TABLE

PROPERTY INFORMATION		VARDLY BUFFALO VILLAGE - HEARTLAND DENTAL	
PROJECT NAME		VARDLY BUFFALO VILLAGE - HEARTLAND DENTAL	
CURRENT OWNER		VBI RALEIGH LLC	
JURISDICTION		CITY OF RALEIGH	
FILE #		176822158	
STREET ADDRESS		5101 FORESTLIFE ROAD	
SITE SIZE & COVERAGE		1.14 AC (49,953 SF)	
EXISTING ZONING		CX-3-CU	
EXISTING USE (WITHIN PROJECT LIMITS)		VACANT LOT	
PROPOSED ZONING		MEDICAL-DENTAL OFFICE	
PROPOSED USE (WITHIN PROJECT LIMITS)		VACANT LOT	
PROPOSED USE (OUTSIDE PROJECT LIMITS)		VACANT LOT	
SITE DESIGN			
LOT DIMENSIONS			
AREA (SQ. FT.)	REQUIRED	PROVIDED	
AREA (MAX)	NA	NA	
AREA (MIN)	NA	NA	
WIDTH (MIN)	NA	NA	
OUTDOOR AMENITY AREA (MIN)	10% (4,995 SF)	10.12% (5,055 SF)	
BUILDING STRUCTURE SETBACKS			
FROM PRIMARY STREET (MIN)	5'	5'	
FROM SIDE STREET (MIN)	5'	5'	
FROM SIDE LOT LINE (MIN)	5' OR 5'	5'	
FROM REAR LOT LINE (MIN)	5' OR 5'	5'	
FROM ALLEY	5'	5'	
PARKING SETBACKS			
FROM PRIMARY STREET (MIN)	10'	10'	
FROM SIDE STREET (MIN)	10'	10'	
FROM SIDE LOT LINE (MIN)	5' OR 5'	5'	
FROM REAR LOT LINE (MIN)	5' OR 5'	5'	
FROM ALLEY	5'	5'	
HEIGHT			
PRINCIPAL BUILDING (MAX)	50'	25'	
ACCESSORY STRUCTURE (MAX)	20'	20'	
FLOOR HEIGHTS			
GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN)	11'	10'	
UPPER STORY HEIGHT, FLOOR TO FLOOR (MIN)	12'	12'	
OFF-STREET PARKING			
PARKING SPACES	REQUIRED	PROVIDED	
HANDICAP PARKING	2 SPACES	2 SPACES	
LONG TERM BICYCLE PARKING	4 SPACES	4 SPACES	



PROJECT NO.	DATE	BY
04/20/23	04/27/2023	JAC
CITY COMMENTS		
CITY COMMENTS		
REVISIONS		

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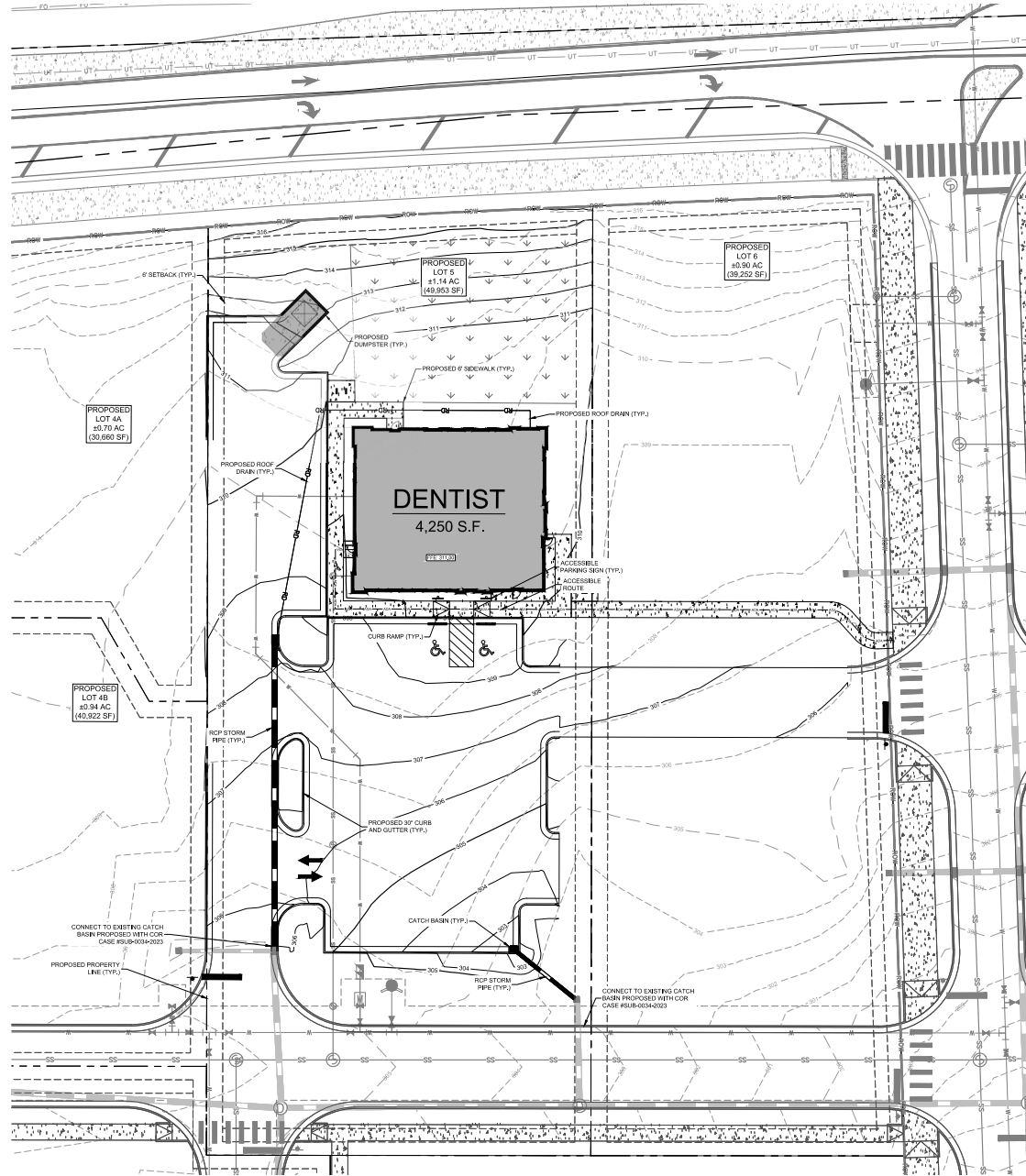
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SITE PLAN

HEARTLAND DENTAL
LOT 5
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
RALEIGH, NC

SHEET NUMBER
C200

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GRADING AND DRAINAGE LEGEND			
	PROPERTY BOUNDARY		RIGHT-OF-WAY
	CURB AND GUTTER		STORM DRAIN
	PROPOSED MAJOR CONTOUR		EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR		EXISTING MINOR CONTOUR
	SPOT ELEVATION		LIMIT OF DISTURBANCE
	CATCH BASIN (CB)		PRIMARY TREE CONSERVATION AREA
	MANHOLE (BMH)		SECONDARY TREE CONSERVATION AREA
	RETAINING WALL		AMENITY AREA

NO.	DATE	BY

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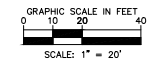
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NO.	DATE	BY

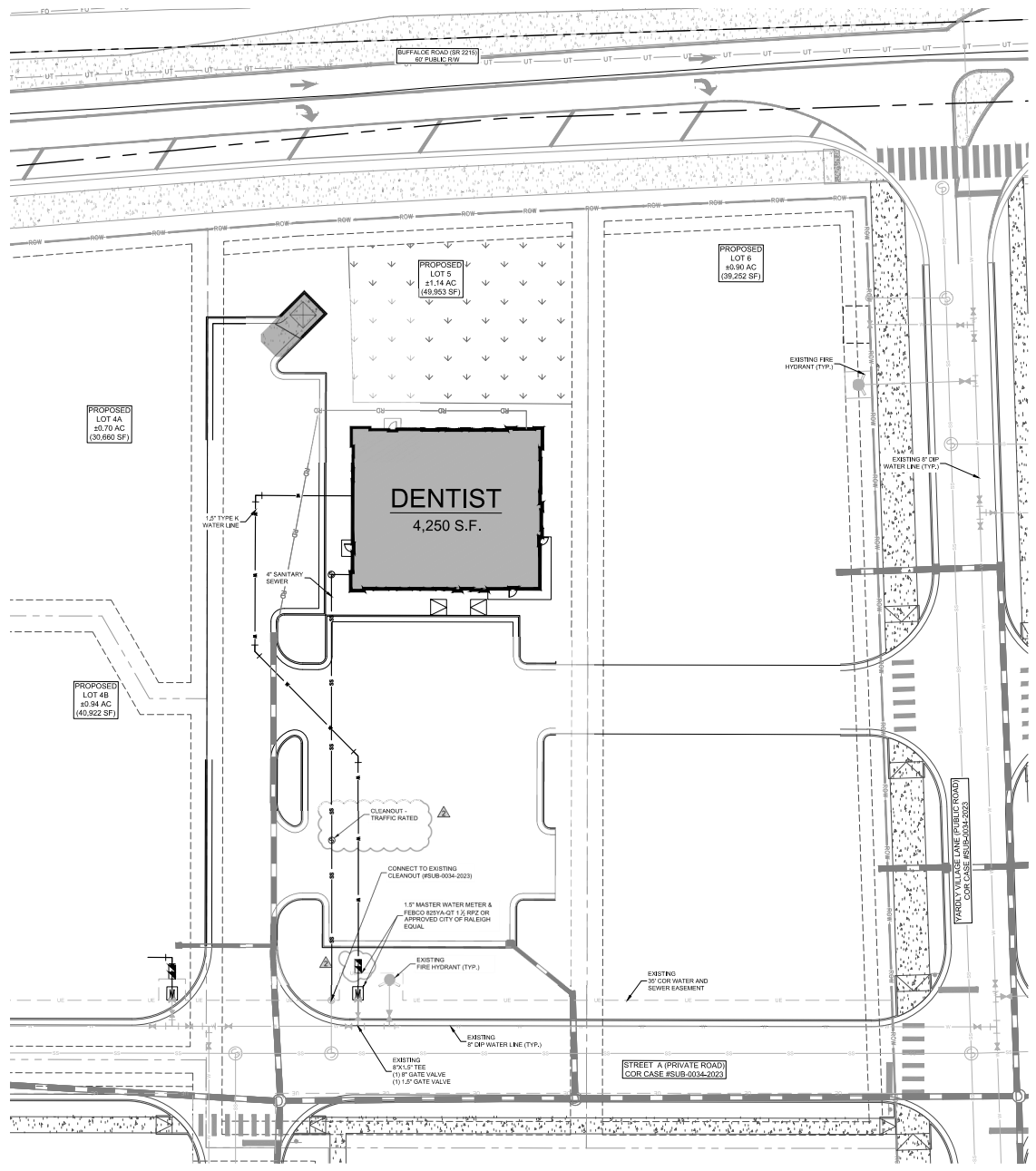
GRADING AND DRAINAGE PLAN

HEARTLAND DENTAL
 LOT 5
 PREPARED FOR
 VENTURE SOUTH
 INVESTMENTS LLC

SHEET NUMBER
C300



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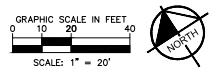
UTILITY LEGEND	
---	PROPERTY BOUNDARY
---	RIGHT-OF-WAY
W	WATER LINE
SS	SANITARY SEWER LINE
RD	ROOF DRAIN
WM	WATER METER
PC	POINT OF CONNECTION
FT	FIRE TRENCH
PH	FIRE HYDRANT (PH)
FC	FIRE DEPARTMENT CONNECTION (FC)
GV	GATE VALVE
BSO	BACKFLOW PREVENTOR
CSO	SANITARY SEWER CLEANOUT (CSO)
ST	SANITARY SEWER CLEANOUT TRAFFIC RATED
SM	SANITARY SEWER MANHOLE (SM)

CITY OF RALEIGH STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SERVICE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER TIPS SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 5' FROM A PUBLIC WELL.
 B) WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12". IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 1' ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE CENTER TO OUTSIDE CENTER.
 C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, 30" WATER MAIN OR STEEL ENCASUREMENT EXTENDED TO EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 D) 12" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS OTHER MATERIALS ARE SPECIFIED FOR SANITARY SEWER.
 E) MINIMUM 18" MIN. VERTICAL SEPARATION AT ALL WATER MAINS & STORM SEWER CROSSINGS. MINIMUM 12" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RSP STORM SEWER CROSSINGS. WHERE NECESSARY SEPARATION CANNOT BE ACHIEVED, SPECIAL 30" MIN. MATERIALS & A CONCRETE GRADE TYPING 6" MIN. CLEARANCE (PER CORPUD DETAILS W11 & S11).
 F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN EMERGED PLAN ADR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRaversing PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/8" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS, 4" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEMPTION OF A LIFE LINE. OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT, NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE & TEST THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 10 FEET.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDO, USACE & OR FEM FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
- NCDDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR DESIGN CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE PROVIDED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A VIO / RPD PERMIT. CONTACT THE RW FOG PROGRAM COORDINATOR FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICE SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS BY THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHOEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.
- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO MATCH ALL WEATHER DRIVING CAPABILITIES (MCR 593.2).
- ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 1,000 GPD.

ADDITIONAL UTILITY NOTES:

14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
15. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
16. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
17. THE DEVICE SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS BY THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHOEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.GOV FOR MORE INFORMATION.
18. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.
19. FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO MATCH ALL WEATHER DRIVING CAPABILITIES (MCR 593.2).
20. ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 1,000 GPD.



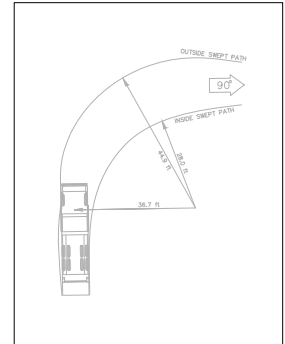
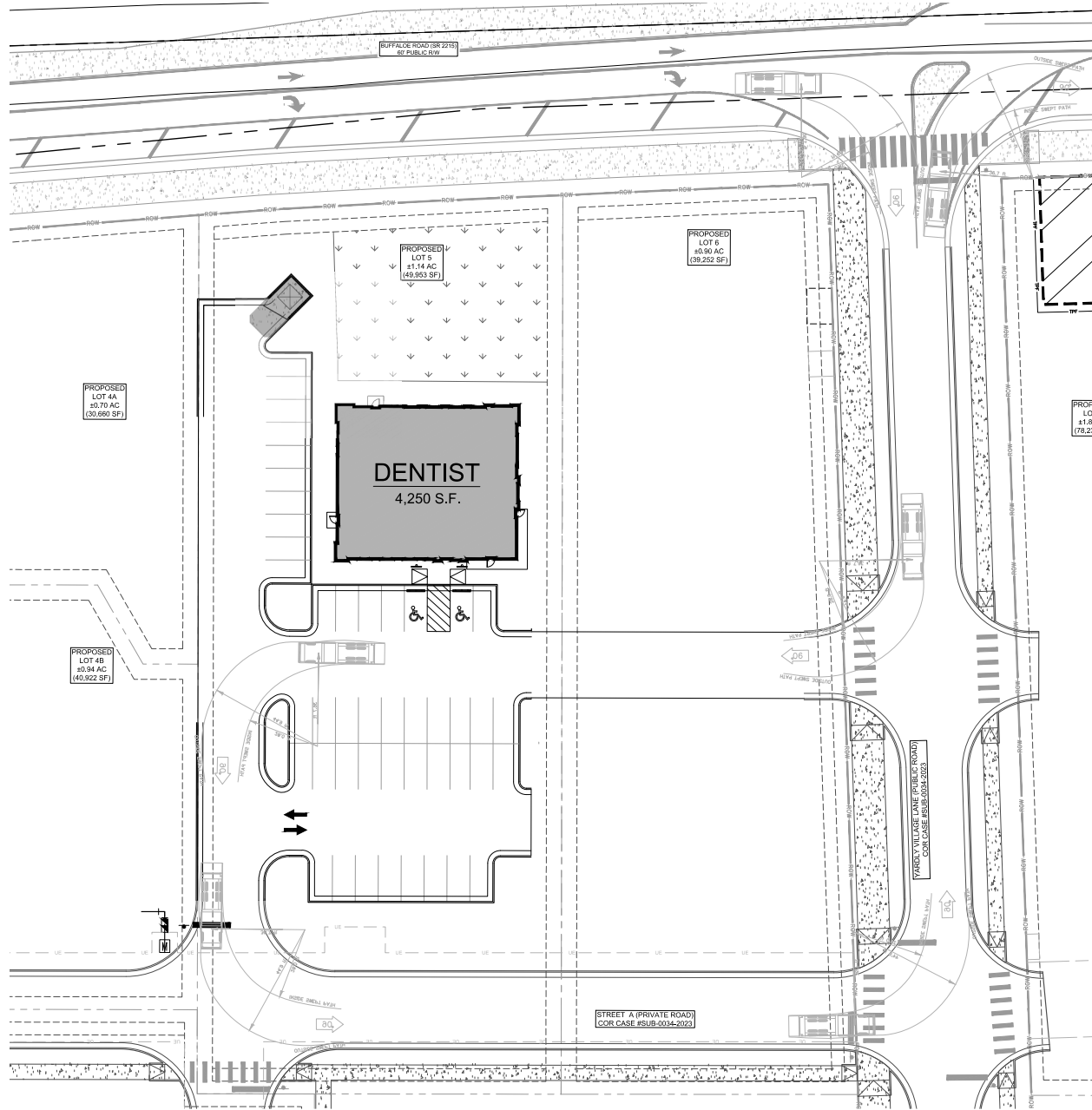
PROJECT NO.	09/27/2023	SCALE	AS SHOWN	DESIGNED BY	JAC	DATE	04/03/24
DATE	09/27/2023	REVISIONS	BY	DATE	01/16/24	DATE	01/16/24
UTILITY PLAN							
HEARTLAND DENTAL LOT 5							
PREPARED FOR VENTURE SOUTH INVESTMENTS LLC							
RALEIGH, NC							
SHEET NUMBER C400							

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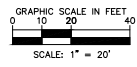
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Prepared by: Kimley-Horn and Associates, Inc. 300 South Main Street, Suite 212, Holly Springs, NC 27540
 Project: Heartland Dental - Lot 5 - Truck Turn Plan
 Drawing: TRUCK TURN PLAN
 Date: 09/27/2023
 Scale: AS SHOWN
 Prepared by: JAC
 Drawn by: JAC
 Checked by: JAC
 Project No.: 2023-0034-2023

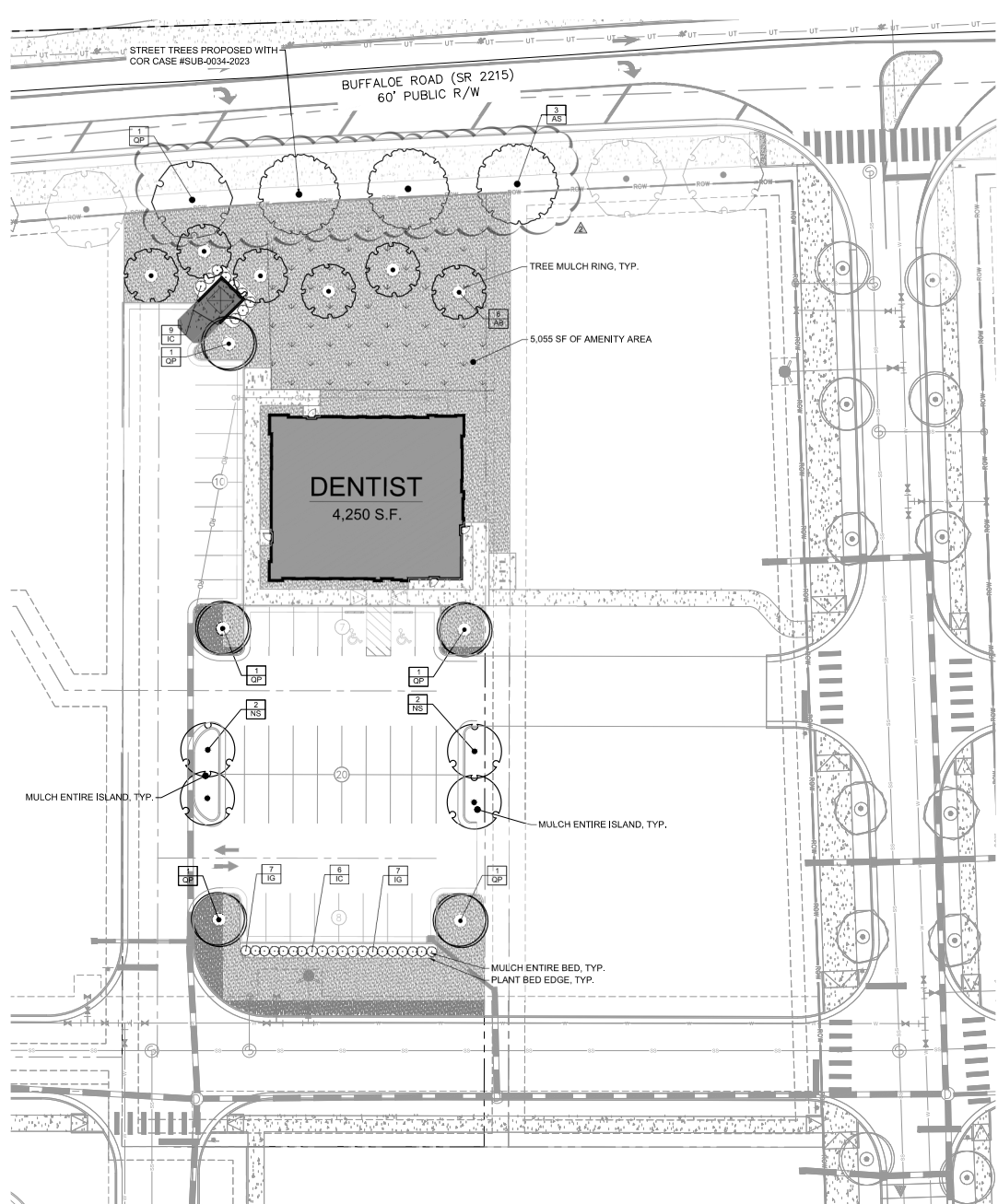


TRUCK DETAIL



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PROJECT NO. DATE SCALE PREPARED BY DRAWN BY CHECKED BY	PROJECT NO. DATE SCALE PREPARED BY DRAWN BY CHECKED BY
PRELIMINARY NOT FOR CONSTRUCTION	
HEARTLAND DENTAL LOT 5 PREPARED FOR VENTURE SOUTH INVESTMENTS LLC RALEIGH, NC	
SHEET NUMBER C401	
CITY COMMENTS 04/05/24	REVISIONS DATE BY

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PARKING LOT LANDSCAPING- UDO 7.1.7F

Parking Spaces Provided	45
Required Shade Trees (1 per 2000 SF of Required)	3.65
1 Tree Per End Terminal and Island	9.00
Provided Deciduous Trees	9

- GROUNDCOVER NOTES:**
1. ESTABLISH GROUND COVER IN ALL DISTURBED AREAS. SEE SPECIFICATIONS FOR MORE INFORMATION.
 2. ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE PLAN FOR MULCH BOUNDARY LINES. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS.

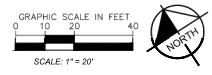
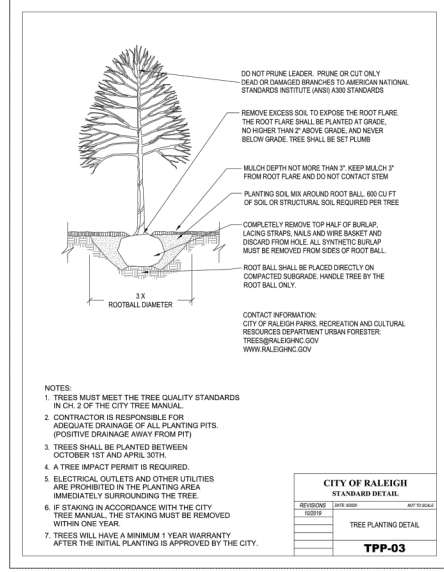
- GENERAL NOTES:**
1. LANDSCAPE PLANS FOR PLANT STAKING PURPOSES ONLY. FOR SITE IMPROVEMENTS, SEE GULF SHEETS.
 2. ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMITED TO 10' HIGHER THAN FINISHED GRADE TO PROVIDE CLEAR SIGHT LINES.
 3. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDING DETAIL, TPP-03.
 4. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 2 OF THE CITY TREE MANUAL.
 5. UTILITY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND INSTALLATION.

PROTECTIVE YARDS- UDO 7.2.4B

Location	Width (LF)	Type	LF	Required	Provided
West Property Line (Forestone Rd) 10' Min Setback: 4 Shade Trees/100LF	10 Min	A2	143	5.7 Large Tree	6 Large Trees

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	PLANTING HEIGHT
AS	6	<i>Acacia salicifera</i>	1 Flower Maple	B & B	3" CAL.	10' HT. MIN.
NS	4	<i>Nyctaginia americana</i>	Pineapple Tree	B & B	3" CAL.	10' HT. MIN.
QP	6	<i>Quercus phillos 'QPST'</i>	Highsway Willow Oak	B & B	3" CAL.	10' HT. MIN.
AS	3	<i>Acacia salicifera</i>	Sugar Maple	B & B	3" CAL.	12'-14' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	
IC	15	<i>Ilex cornuta 'Dwarf Burford'</i>	Dwarf Burford Holly	CONT.	18" HT. MIN.	
IC	14	<i>Ilex glabra 'Shamrock'</i>	Shamrock Highberry Holly	CONT.	18" HT. MIN.	



NO.	REVISIONS	DATE	BY

DATE	BY	REVISIONS	CITY COMMENTS
04/03/24	JAC		
01/16/24	SNL		

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KH PROJECT NO. 22020107
DATE 09/27/2023
SCALE AS SHOWN
DESIGNED BY JAC
DRAWN BY MTH
CHECKED BY RLW

LANDSCAPE PLAN

HEARTLAND DENTAL
LOT 5
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
RALEIGH, NC

SHEET NUMBER
L100

Know what's below.
Call before you dig.

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Tree Conservation Plan Data			
Net Project Area - 29.99 AC (after ROW dedication)			
29.99 Total Acres (10% = 2.99 AC Required for TCA)			
Category	Acres	Number of Trees	Percentage of Tract
Primary Tree Conservation Areas			
Primary Tree Conservation Area - Thoroughfare	0.99	3,30%	
Primary Tree Conservation Area - Neuse River Zone 2	0.39	1,31%	
Secondary Tree Conservation Areas			
Secondary Tree Conservation Areas	1.67	5,57%	
Total Tree Conservation Area	3.05	10,18%	

THOROUGHFARE TCA CALCULATION			
Location	Requirement	Calculation*	Provided
BUFFALO ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	175 LF x 50' = 0.20 ACRES	0.20 ACRES (CONSISTENT 30' WIDTH)
FORESTVILLE ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	679 LF x 50' = 0.78 ACRES	0.78 ACRES (WIDTH VARIES FROM 38.6' TO 100')

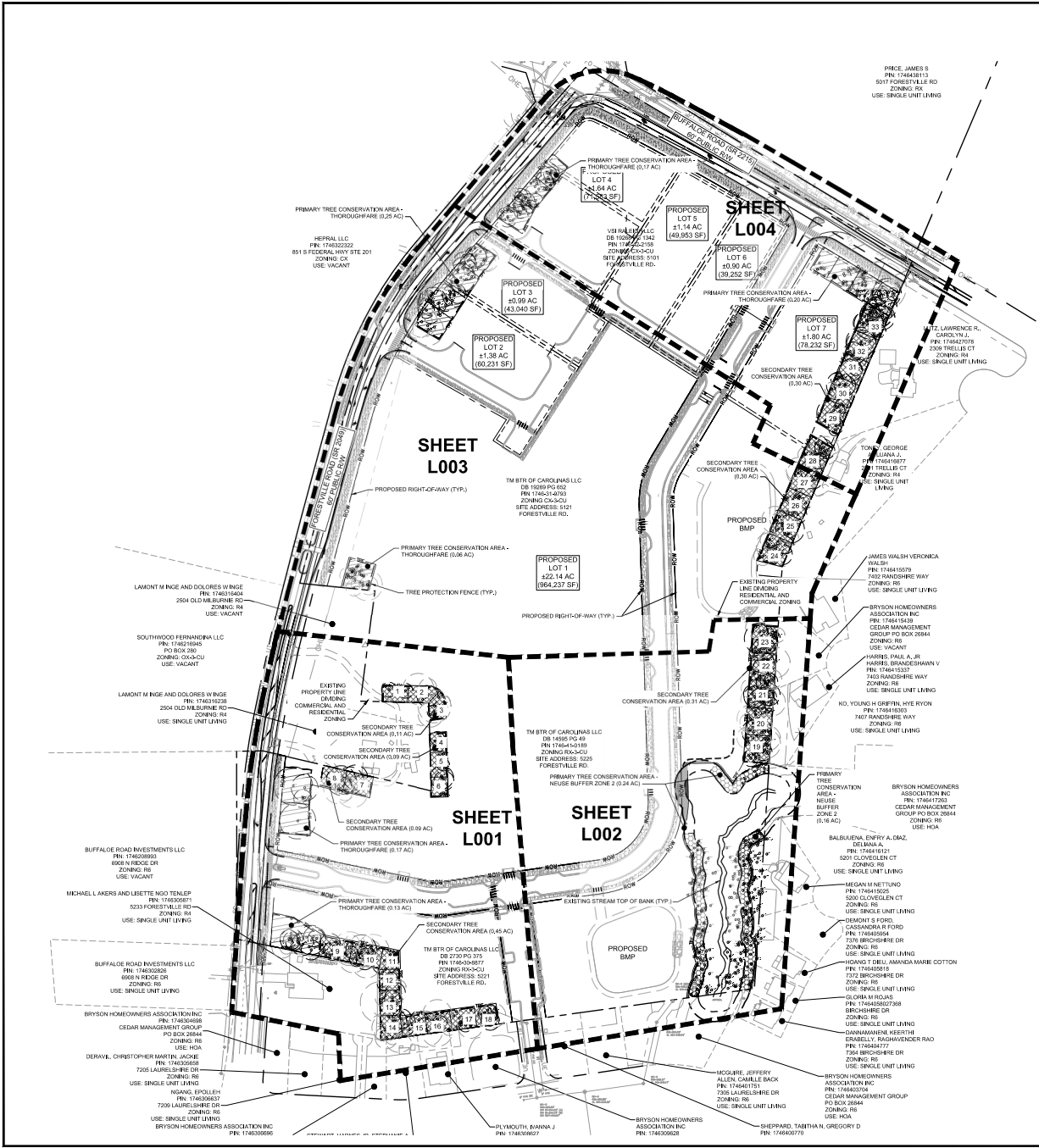
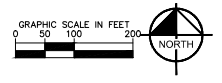
*MINIMUM FOOTAGE OF REQUIRED TREE CONSERVATION AREA EXCLUDES AREAS WITHOUT EXISTING VEGETATION AND PROPOSED DRIVEWAY WIDTHS

TREE SURVEY LEGEND	
Label	Common Name
T1	red maple
T2	silver maple
T3	American hophornbeam
T4	pinnut hickory
T5	pecan
T6	moccasin hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	Italy poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	yellow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm

LEGEND

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- PRIMARY TREE CONSERVATION AREA - NEUSE RIVER ZONE 2
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE EXCLUDED FROM BASAL CALCULATION (>30% DISTURBANCE)
- EXISTING TREE

- ### TREE CONSERVATION NOTES:
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
 - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
 - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
 - A TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER LDD 9.1.5.A.2.
 - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
 - TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
 - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
 - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED MAY 10, 2023.
 - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
 - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).



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DATE: _____

REVISIONS: _____

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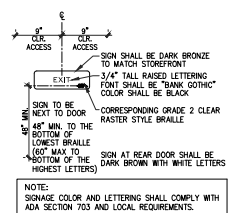
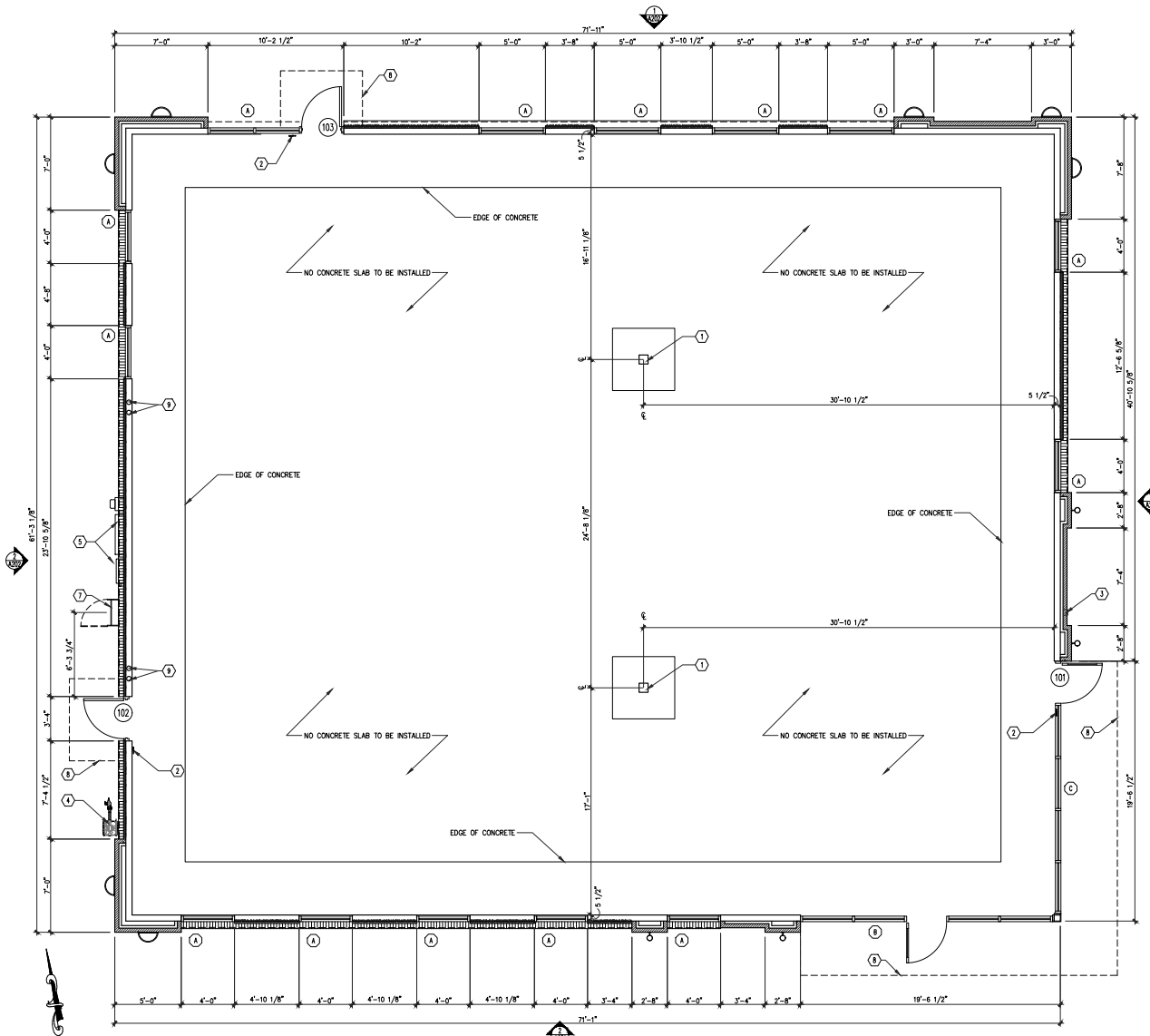
PRELIMINARY
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PROJECT: YARDLY BUFFALO VILLAGE CONSERVATION PLAN
DATE: 04/03/24
SCALE: AS SHOWN
DESIGNED BY: MTH
DRAWN BY: MTH
CHECKED BY: KAW

OVERALL TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE CONSERVATION PLAN
PREPARED FOR: YARDLY BY TAYLOR MORRISON BTR / VSI RALEIGH, LLC
RALEIGH, NC

SHEET NUMBER: **L000**



2 EXIT SIGNAGE DETAIL
 A111 SCALE: N.T.S.

1 FLOOR PLAN
 A111 SCALE: 1/4" = 1'-0"

WALL TYPE LEGEND

2x6 WOOD STUDS EXTERIOR WALL - REFER TO WALL SECTIONS AND STRUCTURAL DRAWINGS

DIMENSION NOTES:

- 3'-0" TO FACE OF STUD
- 3'-0" MIN. MINIMUM DIMENSION ALLOWED (MAY BE MORE)
- 3'-0" MAX. MAXIMUM DIMENSION ALLOWED (MAY BE LESS)
- 3'-0" EXACT EXACT DISTANCE BETWEEN FINAL FINISHED SURFACES (ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED)
- 3'-0" TARGET TARGET DIMENSION WHICH MAY NOT BE ACHIEVED IN FIELD - BE AWARE OF POSSIBLE CHANGE
- ALIGN ALIGN THESE FINISH SURFACES

GENERAL NOTES

1. FOR DOOR & WINDOW SCHEDULE SEE DRAWING A601.
2. ALL INTERIOR WALLS ARE NON-BEARING.
3. NO CEILING IN SHELL - FOR TEMP. LIGHTING & HVAC. SEE ELECTRICAL & MECH. DWGS.
4. FOR ALL SIDEWALKS SEE CIVIL DWGS BY OTHERS.

CONSTRUCTION NOTES

1. COLUMN - REFER TO STRUCTURAL DRAWINGS.
2. TACTILE EXIT SIGN - REFER TO DETAIL 2/A111.
3. KNOX BOX SERIES 3000 RECESSED WITH LIFT-OFF DOOR TO BE MOUNTED 4'-0" AFF. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
4. GAS METER - REFER TO PLUMBING SHEETS FOR EXACT LOCATION.
5. ELECTRICAL METER AND PANELS - REFER TO ELECTRICAL SHEETS FOR EXACT LOCATION.
6. NOT USED.
7. EXTERIOR ROOF ACCESS LADDER WITH SECURITY LOCK SEE WALL SECTION 7/A353.
8. LINE OF OVERHEAD CANOPY OR AWNING PROVIDED AND INSTALLED BY G.C. PROVIDE BLOCKING AS REQUIRED PER SECTIONS. REFER TO EXTERIOR ELEVATIONS.
9. INTERNAL DOWNSPOUTS TO BE INTO UNDERGROUND PLUMBING. REFER ROOF PLAN, PLUMBING AND CIVIL DRAWINGS. OVERFLOW DRAIN TO SURFACE FLOOR.

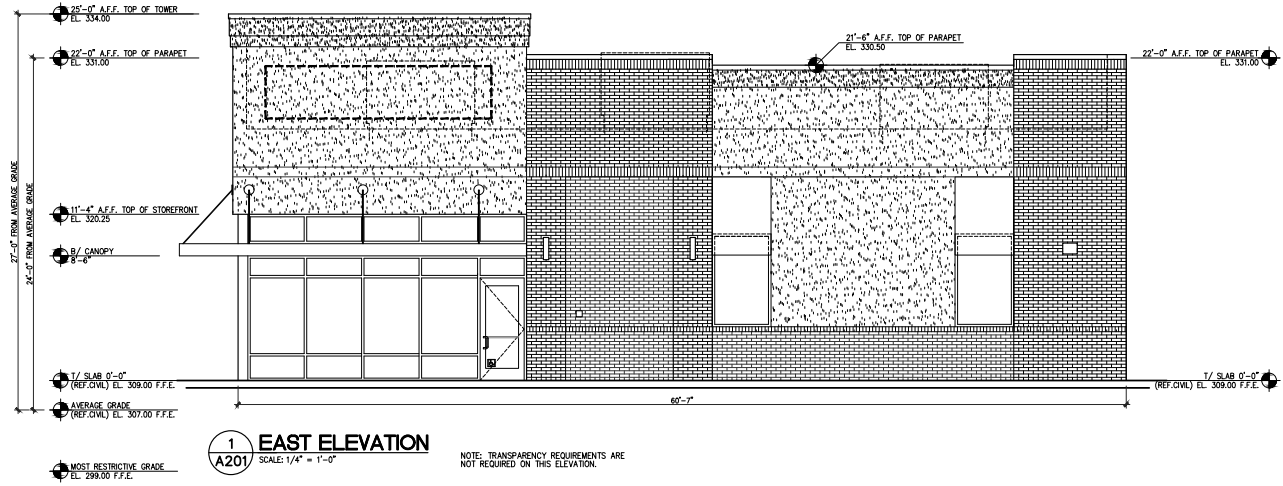
LMHT Project No. 23110

LMHT ASSOCIATES
 1000 S. W. 10TH AVENUE, SUITE 200
 MIAMI, FL 33135
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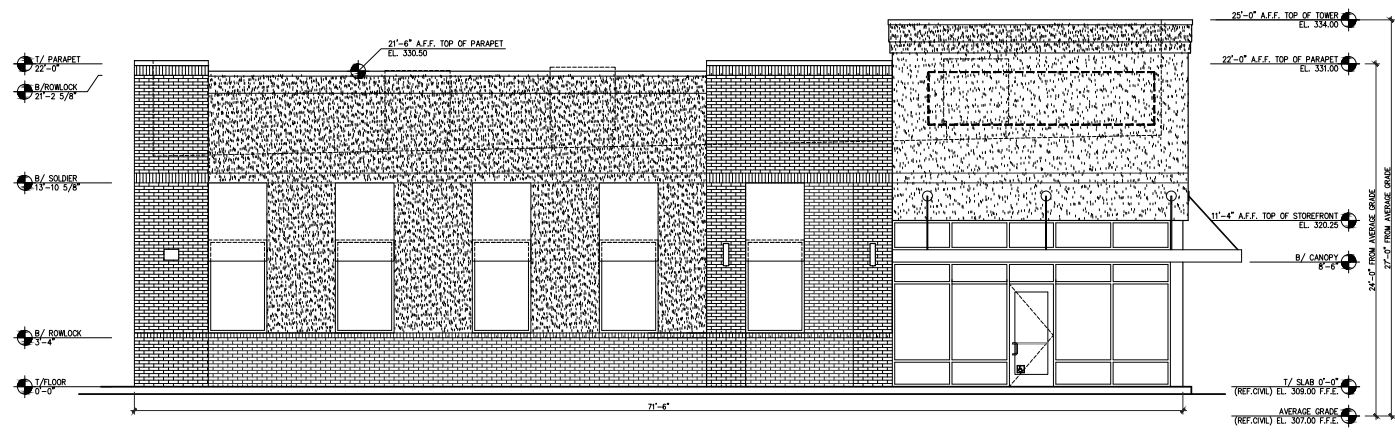
PROJECT: HEARTLAND DENTAL SHELL BUILDING
 BUFFALO ROAD AND FORESTVILLE ROAD
 RALEIGH, NC
 DRAWING: FLOOR PLAN

Revisions
REVISION DATE PLANNING COMMENTS 1/12/24
PROJECT DATE 01/09/2024
Drawn By MTP
Checked By CW
Sheet No. A111



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"
A201

NOTE: TRANSPARENCY REQUIREMENTS ARE NOT REQUIRED ON THIS ELEVATION.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"
A201

NOTE: TRANSPARENCY REQUIREMENTS ARE NOT REQUIRED ON THIS ELEVATION.

EXTERIOR MATERIAL:

MASONRY	
B-1	TYPE: TRAD. BRICK W/ 3/8" JOINT COLOR: TRIANGLE BRICK FULL COLOR ANTIQUE TO MATCH SHOPPING CENTER GROUT: LAFARGE- BURNT ORANGE OR EQUAL
B-1A	TYPE: SOLIDER OR ROMLOCK BRICK COLOR: TRIANGLE BRICK FULL COLOR ANTIQUE TO MATCH SHOPPING CENTER GROUT: LAFARGE- BURNT ORANGE OR EQUAL
B-2	TYPE: TRAD. BRICK W/ 3/8" JOINT COLOR: LIGHT GRAY TO MATCH SHOPPING CENTER GROUT: LIGHT GRAY
B-2A	TYPE: ROMLOCK BRICK COLOR: LIGHT GRAY TO MATCH SHOPPING CENTER GROUT: LIGHT GRAY

EXTERIOR INSULATION & FINISH SYSTEMS (EIFS)	
E-1	TYPE: EIFS. MANUFACTURER: SENERGY OR EQUAL COLOR: SENERGY #8007 TO MATCH SHOPPING CENTER EIFS FINISH: SANDED

PAINT	
P-1	TYPE: PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: TO MATCH E-1 LOCATION: METAL

METAL	
M-1	TYPE: 2-PEZIE SNAP-ON COMPRESSION EDGING COLOR: PAC-CLAD-COPPER PENNY OR EQUAL TO MATCH SHOPPING CENTER

LIGHTING	
L-1	EXTERIOR LIGHTING TYPE: DECORATIVE CYLINDER SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
L-2	EXTERIOR LIGHTING TYPE: HALF ROUND SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION

ELEVATION NOTES:

1. DARK BRONZE STOREFRONT WINDOW SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
2. EXTERIOR WALL SIGNAGE UNDER SEPARATE PERMIT AND TO BE PROVIDED BY TENANT'S SIGN VENDOR. E.C. TO COORDINATE WITH SIGN VENDOR AND PROVIDE DETAIL SHOWING BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELEC. DRAWINGS.
3. CORNER COLUMN WRAPPED IN BREAK METAL TO MATCH STOREFRONT.
4. EXTERIOR DOOR PER SCHEDULE.
5. BLACK METAL CANOPY TO MATCH SHOPPING CENTER PROVIDE & INSTALLED BY GENERAL CONTRACTOR - UNDER GENERAL CONTRACTOR CONTRACT AND PERMIT. E.C. TO PROVIDE BLOCKING AS REQUIRED.
6. *NIXID BOX* PER LOCAL AUTHORITY REQUIREMENTS.
7. NEW ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
8. LINE OF ROOF BEYOND.
9. METAL SNAP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR. COLOR CHARCOAL GRAY 24 GAUGE- REFER TO DETAILS ON DRAWING A501.
10. EIFS. PROJECTED BAND - REFER TO DETAIL 14/A501
11. EMERGENCY LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS.
12. GAS METERS - REFER TO PLUMBING DRAWINGS.
13. METAL OVERFLOW DECORATIVE FLANGE - SEE DETAIL 8/A502.
14. ROOF DRAIN TO TIE TO STORM DRAIN - SEE CIVIL DRAWINGS BY OTHERS.
15. EIFS. "Y" GROOVE - REFER TO DETAIL 6/A502.
16. PROJECTED EIFS. CORNICE - REFER TO DETAIL 8/501.
17. PROJECTED EIFS. CORNICE - REFER TO DETAIL 3/502.
18. BLACK FABRIC LINING TO MATCH SHOPPING CENTER PROVIDE & INSTALLED BY GENERAL CONTRACTOR - UNDER GENERAL CONTRACTOR CONTRACT AND PERMIT. E.C. TO PROVIDE BLOCKING AS REQUIRED.

GENERAL NOTES:

1. SIGNAGE BY OWNER NATIONAL VENDOR- TO BE FILED UNDER SEPARATE PERMIT - TYPICAL.
2. LIGHTING FIXTURES TO BE SUBJECT FOR APPROVAL.
3. COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.

LMHT Project No. 23110

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PROJECT: HEARTLAND DENTAL SHELL BUILDING
 BUFFALO ROAD AND FORESTVILLE ROAD
 RALEIGH, NC
 DRAWING: EXTERIOR ELEVATIONS

Revisions	
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1	1/12/24

PROJECT DATE: 01/09/2024
 Drawn By: MTP
 Checked By: CW
 Sheet No.: **A201**

REVISION DATE
PLANNING COMMENTS 1/12/24

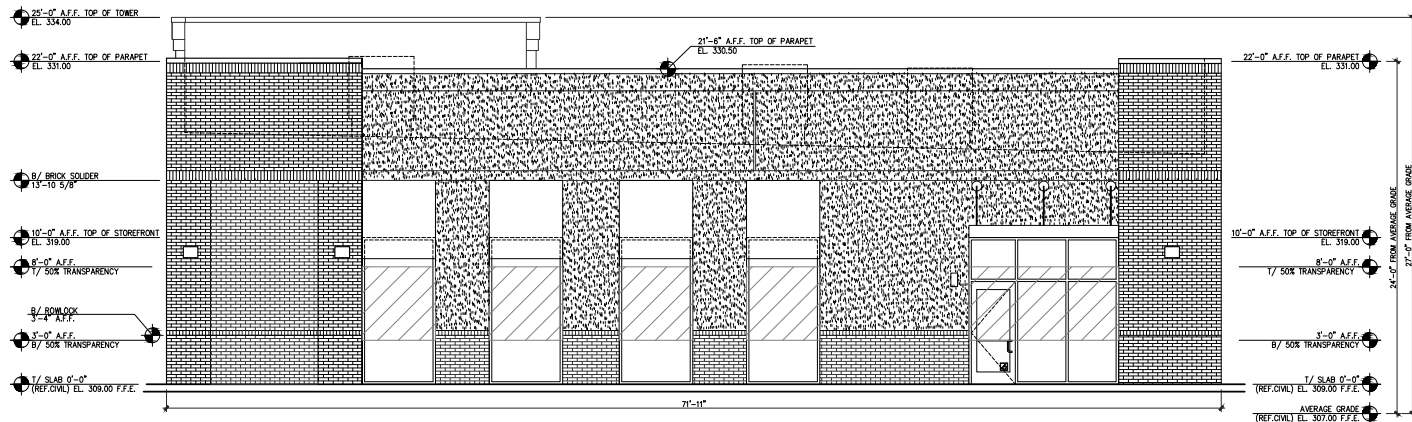
PROJECT DATE
01/09/2024

Drawn By
MTP

Checked By
CNW

Sheet No.

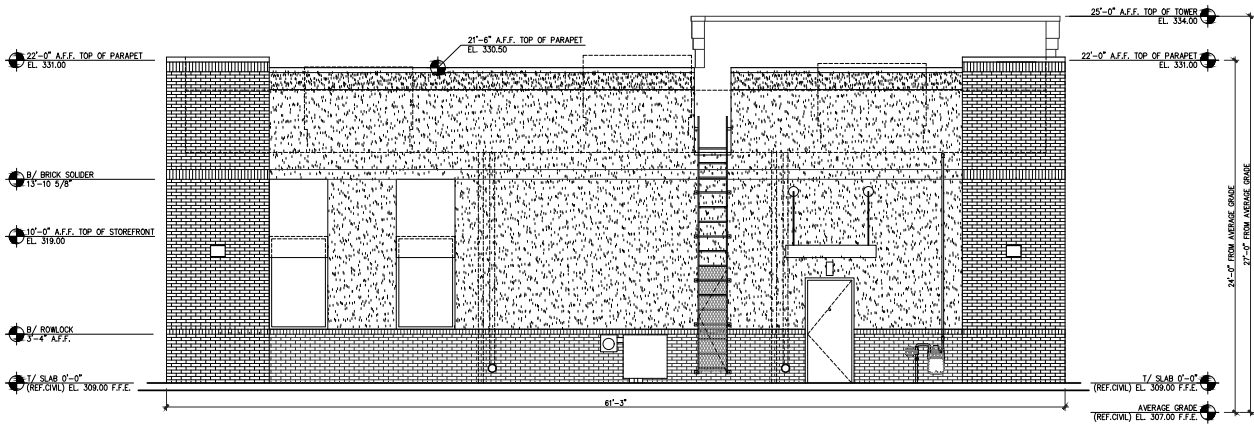
A202



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

NOTE: ALL GLASS ON THIS ELEVATION COMPLEYS WITH UDO SECTION 1.9.9.4. GLASS SHALL BE CONSIDERED TRANSPARENT WHEN IT HAS A TRANSPARENTY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 10%.

NORTH - TRANSPARENCY CALCULATIONS	
GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER UDO BETWEEN 0'-0" AND 12'-0"	863 SQ. FT.
TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0"	285 SQ. FT.
33% TOTAL TRANSPARENCY REQUIRED ON NORTH ELEVATION	332 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0"	129 SQ. FT.
50% OF THE 33% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0"	151 SQ. FT.



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

NOTE: TRANSPARENCY REQUIREMENTS ARE NOT REQUIRED ON THIS ELEVATION.

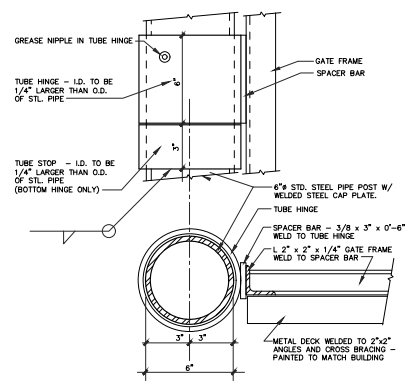
MOST RESTRICTIVE GRADE
 EL. 299.00 F.F.E.

Revisions

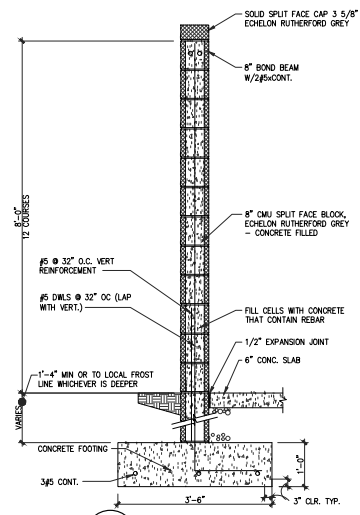
REVISION DATE

PROJECT DATE
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 Drawn By
 MTP
 Checked By
 GI

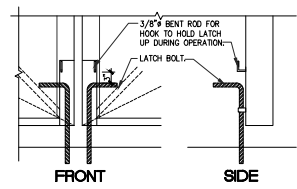
Sheet No.
AS501



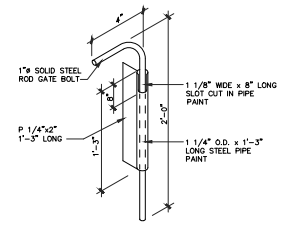
8 GATE POST HINGE
 AS501 SCALE: 3\"/>



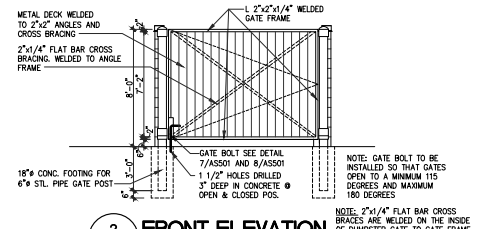
3 EXTERIOR WALL
 AS501 SCALE: 3/4\"/>



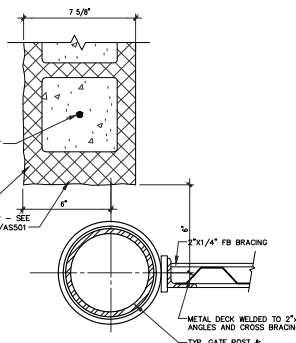
7 GATE LATCH HOOK
 AS501 SCALE: 3/4\"/>



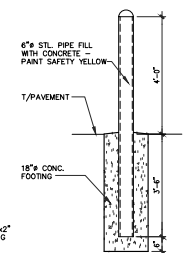
6 GATE SLIDE BOLT LATCH
 AS501 SCALE: N.T.S.



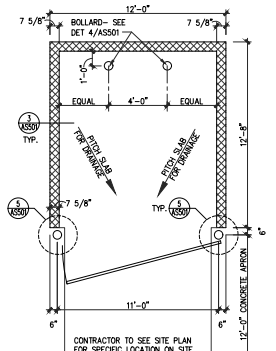
2 FRONT ELEVATION
 AS501 SCALE: 1/4\"/>



5 GATE POST
 AS501 SCALE: 3\"/>



4 TYPICAL BOLLARD
 AS501 SCALE: 1/2\"/>



1 TRASH CORRAL ENCLOSURE
 AS501 SCALE: 1/4\"/>