

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

## GENERAL INFORMATION

Development name: \_\_\_\_\_

Inside City limits? Yes  No

Property address(es): \_\_\_\_\_

Site P.I.N.(s): \_\_\_\_\_

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Current Property Owner(s):

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

### Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner:  Lessee or contract purchaser  Owner’s authorized agent  Easement holder

Company: \_\_\_\_\_ Address: \_\_\_\_\_

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).


The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 

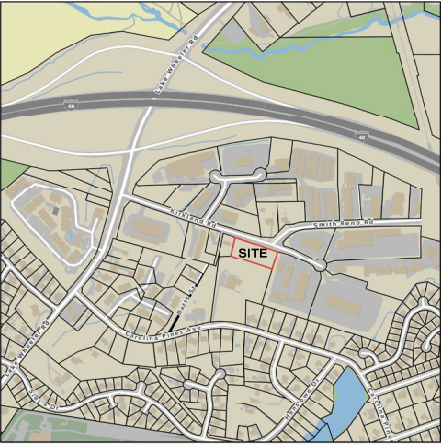
Date: 08/16/2024

Printed Name: Wu Chien Yuan - President

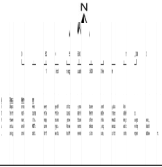
Signature: 

Date: 08/16/2024

Printed Name: Chen Fu - Vice President



Vicinity Map



**OWNER**  
 JA REALTY, LLC  
 6001 CHARL HILL RD, STE 110  
 RALEIGH, NC 27607

**PROJECT MANAGER**  
 GREGORY DEVELOPMENT, LLC  
 6541 INDUSTRY DRIVE  
 RALEIGH, NC 27603  
 CLYDE GREGORY  
 clng@gregory-development.com  
 919-779-3522

**ENGINEER**  
 CAPITAL CIVIL ENGINEERING, PLLC  
 209 N SALEM ST, STE 220  
 APEX, NC 27502  
 PH: 919-249-8587  
 MICHAEL J. KANE, PE  
 mkane@capitalcivil.com  
 919-249-8587

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-5550, at least seventy-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of stop-work orders, and require reinstatement of all sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have permitted signs on the site, or any other violation of City of Raleigh standards, will result in a fine and possible prohibition from future work in the City of Raleigh.

**SOLID WASTE SERVICES STATEMENT**

DEVELOPER/OWNER HAS REVIEWED THE CITY OF RALEIGH SOLID WASTE DESIGN MANUAL AND SHALL COMPLY WITH ITS REQUIREMENTS. ONSITE DUMPSTER AND COMPACTORS TO BE PLACED IN LOADING DOCK AREAS TO BE SERVICED BY PRIVATE SOLID WASTE SERVICES PICK UP. SEE SERVICE LETTER, SHEET C101

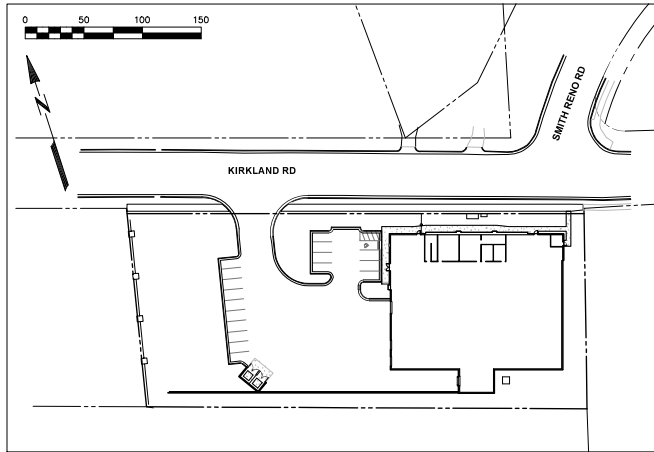
**BLOCK PERIMETER NOTES**

PER UCC SECTION 9-3.2-A(1), SITE IS BELOW THE MINIMUM 9 ACRE AREA REQUIREMENT FOR IX- ZONING AND THEREFORE IS EXEMPT FROM BLOCK PERIMETERS.

**SHEET INDEX**

- COVER C100
- ZONING CONDITIONS C101
- EXISTING CONDITIONS & DEMO C200
- SITE PLAN C300
- GRADING PLAN C400
- SCM DETAILS C401-C402
- UTILITY PLAN C500
- LANDSCAPING PLAN C600
- LANDSCAPE DETAILS C601
- LIGHTING PLAN E100
- SITE DETAILS D100-D101
- ARCHITECTURAL FLOORPLAN G-1
- ARCHITECTURAL ELEVATIONS G-2 & G-3

**JA REALTY, LLC  
 ADMINISTRATIVE SITE REVIEW PLAN  
 ASR-\_\_\_\_\_-2024**



**SITE OVERVIEW**  
 SCALE: 1" = 50'

**AFFILIATED PLANS**

REZONING Z-23-21  
 SKETCH PLAN SCOPE-0158-2023

SITE DATA	
PARCEL ID NO	1702-09-1451
ZONING	IX-3-CU
OVERLAY	SHOD-1, SRPOD
FRONTAGE TYPE	NONE
EXISTING USE	VACANT
PROPOSED USE	WAREHOUSE / WHOLESALE
EXISTING BUILDING	0 SF
PROPOSED BUILDINGS	18,229 SF
PARKING DENSITY	NONE
PARKING REQUIRED	NO MAXIMUM
PARKING PROPOSED	18
PRIMARY STREET	KIRKLAND RD
AREA GROSS EXISTING	1.49 ACRES
AREA NET AFTER R/W	1.45 ACRES
EXISTING IMPERVIOUS	0 ACRES
PROPOSED IMPERVIOUS	42,472 SF
100% FLOOD PLAN	YES, PANEL 1720170200K, JULY 19, 2022
HEIGHT, STORES ALLOWABLE	50' / 3 STORES
HEIGHT, STORES PROPOSED	30' / 1 STORY
LAND DISTURBANCE	66,662 SF



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.B. Please check the appropriate building types and include the plan checklist document when submitting.

**Official Use Only:** Case # \_\_\_\_\_ Planner Initials: \_\_\_\_\_

Beginners visit our UDO Section 10.2.B website for more information. For questions regarding a Site Plan Tier, see our website for a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier	Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Tier One Site Plan <input type="checkbox"/> Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan		

GENERAL INFORMATION	
Development Name: JA Realty, LLC	
Inside City Limits? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW)
Existing (sf) 0 Proposed total (sf) 37,743	Existing (sf) 0 Proposed total (sf) 42,472

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel bedrooms: 4 or more
# of bedroom units: 1br 2br 3br	In your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Phone #: 919-249-8587 Email: mkane@capitalcivil.com

**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form**

**Developer Contact:**

Preparer	Reviewer	Checker	Designer	Printer

Phone #: 919-249-8587 Email: mkane@capitalcivil.com

DEVELOPMENT TYPE & SITE DATE TABLE (Applicable to all developments)	

**APPLICANT SIGNATURE BLOCK**

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The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the above and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-705(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: \_\_\_\_\_ Date: 08/16/2024  
 Print Name: One Year: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: 08/16/2024  
 Print Name: One Year: \_\_\_\_\_

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval: \_\_\_\_\_

Ordinance (2021) 23 ZC R26  
Adopted: 9/7/2021

Effective: 9/12/2021

Z-23-21 1441 Kirkland Road, located on the south side of the road at its intersection with Smith Reno Road, consisting of Wake County PIN 1702591451. Approximately 1.49 acres rezoned to Industrial Mixed Use-Three Stories-Conditional Use with Special Residential Parking Overlay District and Special Highway Overlay District-2 (IX-3-CU w/SRPOD and SRPOD-2).

Conditions dated: May 6, 2021

- I. The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited or special uses in the IX-district shall be prohibited:
  - i. Major Utilities;
  - ii. Adult establishment;
  - iii. Outdoor Recreation;
  - iv. Golf course;
  - v. Riding stables;
  - vi. Passage: Terminal;
  - vii. Airfield, landing strip;
  - viii. Animal care (indoor);
  - ix. Animal care (outdoor);
  - x. Pawshop;
  - xi. Vehicle Fuel Sales;
  - xii. Vehicle Sales/Rental;
  - xiii. Detention center, jail, prison;
  - xiv. Brewery, winery, distillery, cidery;
  - xv. Car wash;
  - xvi. Vehicle repair (minor);
  - xvii. Vehicle repair (major); and
  - xviii. Vehicle repair (commercial vehicle).



July 16, 2024

To Whom It May Concern:

This letter represents that Waste Management is working with the site and will service 1441 Kirkland Road, Raleigh, NC, upon completion of the build-out. We intend to service containers at this site for their waste and recycling needs. Please let me know if you have any questions.

Amber Abercrombie  
Senior Account Executive  
South Atlantic Region  
aabercro@wm.com  
919-452-1057

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City of Raleigh Development Approval: \_\_\_\_\_

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



JA REALTY, LLC ASR-\_\_\_\_-2024

1441 KIRKLAND RD, RALEIGH, NC 27603

ZONED IX-3-CU

ZONING CONDITIONS



CAPITAL CIVIL ENGINEERING  
209 N SALEM ST, STE 200, RALEIGH, NC 27602  
COPYRIGHT 2024 CAPITAL CIVIL ENGINEERING, PLLC P-0809

DATE AUGUST 16, 2024

ISSUED FOR REVIEW

SHEET NO.

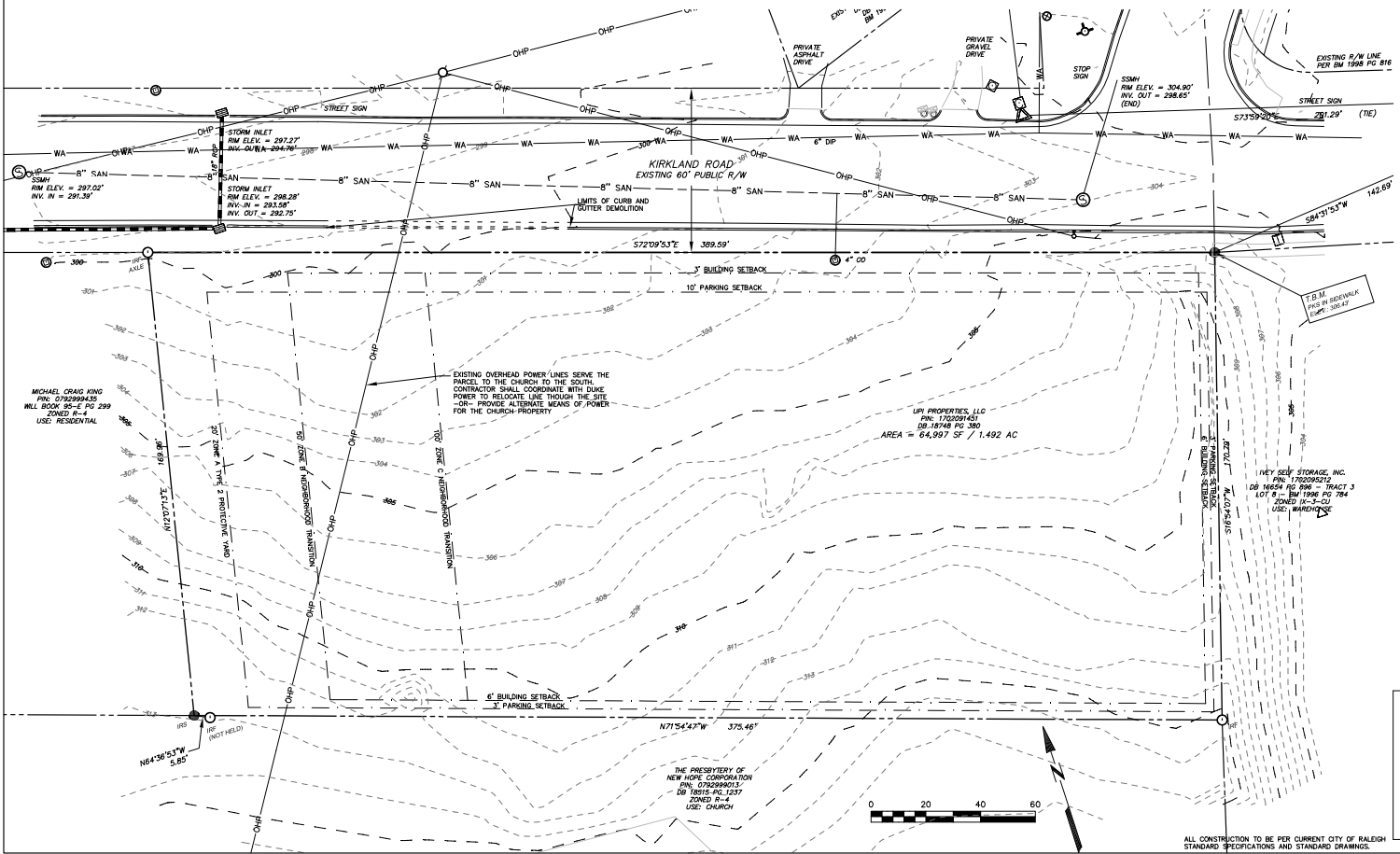
C101

**LEGEND**

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EXISTING CONTOUR LINE - 1' INTERVAL
- EXISTING CONTOUR LINE - 5' INTERVAL
- EXISTING STORM SEWER
- EXISTING WATER LINE
- SS SS EXISTING SANITARY SEWER
- OHP OHP EXISTING OVERHEAD POWER LINE

**NOTES:**

1. SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY TIMMONS GROUP DATED DECEMBER 28, 2021
2. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
5. PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AND HAS A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3720170200K WITH A DATE OF IDENTIFICATION OF JULY 19, 2022 FOR COMMUNITY PANEL NO. 1702, IN WAKE COUNTY, STATE OF NC.
6. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN PROCESS OF CONDUCTING THE FIELDWORK.
7. NO SEPTIC OR WELLS LOCATED ON PROPERTY



MICHAEL CRAIG KING  
P.N. 072929425  
MILL BOOK 95-E PG 299  
ZONED R-4  
USE: RESIDENTIAL

EXISTING OVERHEAD POWER LINES SERVE THE PARCEL TO THE CHURCH TO THE SOUTH. CONTRACTOR SHALL COORDINATE WITH DUE POWER TO RELOCATE LINE THROUGH THE SITE OR- PROVIDE ALTERNATE MEANS OF POWER FOR THE CHURCH PROPERTY.

UP PROPERTIES, LLC  
P.N. 170209141  
DB 18148 PG 380  
AREA = 64,997 SF / 1.492 AC

IVEY SELF STORAGE, INC.  
P.N. 170209212  
DB 16634 PG 898 - TRACT 3  
LOT 8 - BM 1596 PG 784  
ZONED IC-3-CU  
USE: WAREHOUSE

THE PRESBYTERY OF  
NEW HOPE CORPORATION  
P.N. 072929405  
DB 18516 PG 1237  
ZONED R-4  
USE: CHURCH



ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval: \_\_\_\_\_

**LEGEND**

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- BUFFER
- SETBACK
- CURB AND GUTTER
- EXISTING OVERHEAD POWER LINE
- NEW OVERHEAD POWER LINE
- RETAINING WALL WITH FENCE
- LIGHT POLE
- ACCESSIBLE AMENITY AREA
- AMENITY AREA

SITE DATA	
PARCEL ID NO	1702-08-1451
ZONING	IX-3-CU
OVERLAY	SHOUD-2 (NOT APPLICABLE; NOT ADJACENT TO HIGHWAY AND SITE LESS THAN 2-ACRES)
OVERLAY	SPROD (NOT APPLICABLE FOR COMMERCIAL)
FRONTAGE TYPE	NONE
EXISTING USE	VACANT
PROPOSED USE	WAREHOUSE
EXISTING BUILDING	0.0 SF
PROPOSED BUILDING	19,229 SF (17,832 SF FIRST FLOOR/1,397 SF SECOND FLOOR)
RESIDENTIAL DENSITY	NONE
PARKING REQUIRED	NO MAXIMUM / NO MINIMUM
PARKING PROPOSED	18
PRIMARY STREET	KIRKLAND ROAD
AREA GROSS EXISTING	1.49 ACRES / 64,997 SF
AREA NET AFTER R/W	1.45 ACRES / 63,245 SF
TREE CONSERVATION AREA	NOT APPLICABLE - SITE LESS THAN 2 ACRES
EXISTING IMPERVIOUS	0.0 ACRES
PROPOSED IMPERVIOUS	0.93 AC
100YR FLOOD PLAIN	NONE
HEIGHT, STORES ALLOWABLE	THREE
HEIGHT, STORES PROPOSED	TWO
LAND DISTURBANCE	1.6 ACRES
AMENITY AREA 10% REQUIRED	6,325 SF - 10% REQUIRED PER UDO SECTION 3.2.5.A
AMENITY AREA PROVIDED	6,872 SF
AMENITY AREA ADA ACCESSIBLE	3,163 SF (50% OF REQUIRED AMENITY AREA)
UDO 1.5.3.8.2	3,312 SF PROVIDED

**ADA PARKING AREA SUMMARY**

PARKING SPACES PROVIDED: 18 SPACES  
 ADA PARKING SPACES REQUIRED: 1 SPACES  
 ADA PARKING SPACES PROVIDED: 1 SPACES (1 VAN)

**BICYCLE PARKING SUMMARY**

WAREHOUSE USE:  
 NONE REQUIRED  
 NONE PROPOSED

**SETBACKS PER UDO SECTION 3.2.5**

BUILDING PER UDO SECTION 3.2.5.B  
 PRIMARY STREET 3'  
 SIDE STREET 3'  
 SIDE LOT 15' OR 6'  
 REAR LOT 0' OR 6'

**LANDSCAPE YARDS:**

EAST PROPERTY LINE  
 • NEIGHBORHOOD TRANSITION  
 • ZONE A PROTECTIVE YARD TYPE 2 MEDIUM 20' WIDE  
 • ZONE B 50' WIDE  
 • ZONE C 100' WIDE

**SOUTH PROPERTY LINE**

• NO BUFFER REQUIRED

**NORTH PROPERTY LINE**

• STREET TREES PLACED IN PLANTING AREA 40' O.C.

**WEST PROPERTY LINE**

• NO BUFFER REQUIRED

**SITE PLAN NOTES:**

1. NO FREE STANDING SIGNS ARE PROPOSED AS PART OF THE DESIGN. IF NEW FREE STANDING SIGNS ARE REQUIRED IN THE FUTURE, IT WILL BE PERMITTED SEPARATELY.
2. ALL DENUEDED AREAS NOT COVERED WITH IMPERVIOUS SURFACE OR NOTED LANDSCAPING TO BE PERMANENTLY SEEDED.
3. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
4. ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB/EDGE OF PAVEMENT/GRAVEL UNLESS OTHERWISE NOTED.
5. ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH LOCAL ZONING SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR ADJUSTMENT.
6. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL UTILITY LOCATOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
7. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
8. CONTRACTOR SHALL INSTALL SIGNS AND CONSTRUCT NECESSARY RAMPAS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES NOTED ON THE PLANS.
9. FOR ALL HANDICAPPED PARKING SPACES, AS PER ADA CODE: 1)REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GROUND SIGNS ONLY; 2) NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS; 3) ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; 4) STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT.
10. INSTALL DIRECTIONAL ARROWS, LANE MARKINGS, "STOP" MESSAGES, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
11. H-WAC UNITS THAT ARE ROOF MOUNTED AND SCREENED FROM OFFSITE VIEW
12. ALL CONSTRUCTION TO BE PERFORMED TO CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
13. RETAINING WALL SHALL BE CONSTRUCTED OF HIGH QUALITY MATERIALS INCLUDING ONE OR A COMBINATION OF THE FOLLOWING: RECURVITE BLOCK, BRICK, STONE, CAST-STONE, ARCHITECTURAL BLOCK, SPLIT-FACED BLOCK, STUCCO OVER STANDARD CONCRETE MASONRY BLOCK, GLASS BLOCK, WOOD WREATH IRON, COMPOSITE FENCING, WPC, PVC WALL, ALUMINUM OR METAL UDO SECTION 7.2.8.B.1. REFER TO DETAIL ON SHEET 10.

**Gregory DEVELOPMENT LLC**  
 6541 INDUSTRIAL PARK, RALEIGH, NC 27603  
 https://gregory-development.com - 919.779.3522

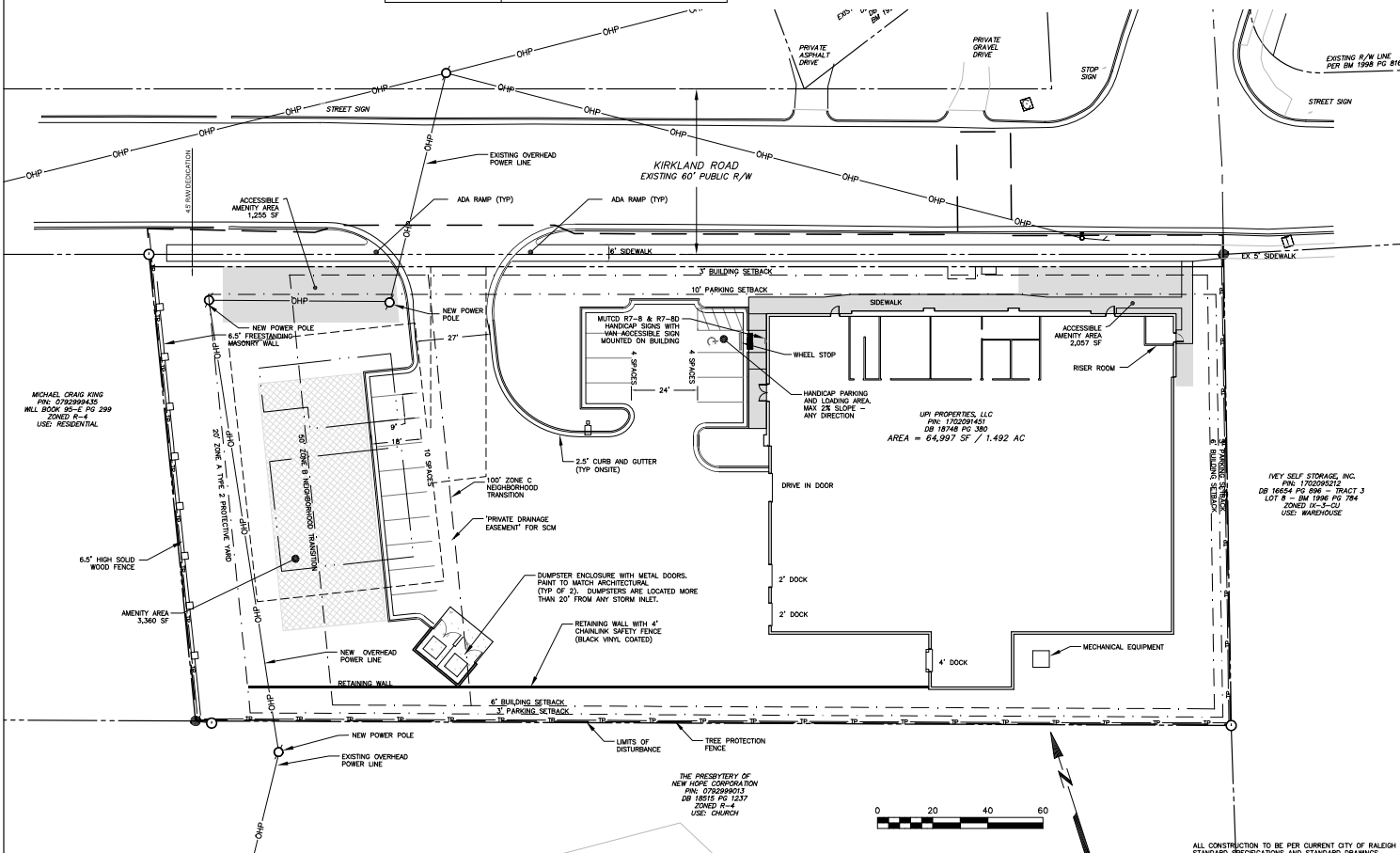
**JA REALTY, LLC ASR-2024**  
 1441 KIRKLAND RD, RALEIGH, NC 27603  
 ZONED IX-3-CU  
**SITE PLAN**

**CCE**  
 CAPITAL CIVIL ENGINEERING  
 209 N SALEM ST, STE 200, APEX, NC 27502  
 COPYRIGHT 2024 CAPITAL CIVIL ENGINEERING, PLLC P-2809

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

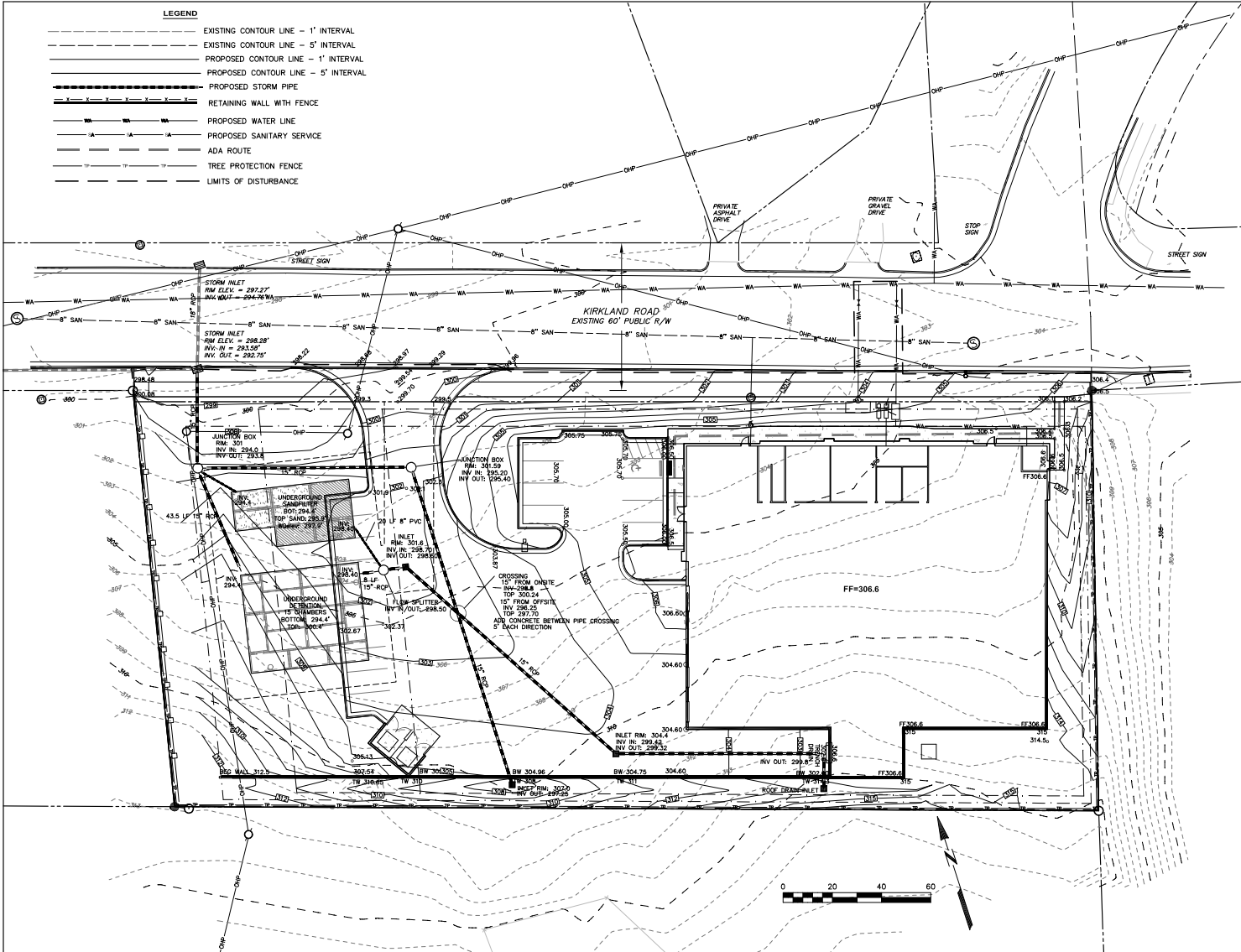
AUGUST 16, 2024  
 ISSUED FOR REVIEW  
 SHEET NO.

**C300**



ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND STANDARD DRAWINGS.

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**  
 Plans for proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent final compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal law. All construction must be in accordance with all Local, State and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.  
 City of Raleigh Development Approval: \_\_\_\_\_



- LEGEND**
- EXISTING CONTOUR LINE - 1' INTERVAL
  - - - EXISTING CONTOUR LINE - 5' INTERVAL
  - PROPOSED CONTOUR LINE - 1' INTERVAL
  - - - PROPOSED CONTOUR LINE - 5' INTERVAL
  - PROPOSED STORM PIPE
  - RETAINING WALL WITH FENCE
  - PROPOSED WATER LINE
  - PROPOSED SANITARY SERVICE
  - ADA ROUTE
  - TREE PROTECTION FENCE
  - LIMITS OF DISTURBANCE

- SITE NOTES:**
1. THE SITE IS LOCATED IN THE NEUSE RIVER BASIN.
  2. THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL TESTING FIRM.
  3. ANY RETAINING WALLS (INCLUDING GEOROD) SHALL NOT BE LOCATED WITHIN A RIGHT-OF-WAY, BUFFER, OR EASEMENT. SEVERAL RETAINING WALLS ON THIS PROJECT ARE WITHIN 6' OF AN EASEMENT AND WILL REQUIRE GEOROD DESIGN THAT DO NOT ENDOURCH INTO THE EASEMENT. RETAINING WALL COMPANY TO PROVIDE DESIGN DRAWINGS TO BE PERMITTED SEPERATELY FROM THE CITY OF DURHAM. PROVIDE 4' FENCE ALONG ALL WALLS THAT ARE GREATER THAN 2.5' HIGH.

**ADA ACCESS NOTES:**

ALL ADA ACCESSIBLE LOCATIONS ARE SHOWN ON THE PLAN. THEY INCLUDE, BUT ARE NOT LIMITED TO: ADA PARKING SPACES, SIDEWALK BETWEEN ADA PARKING SPACES AND MAIN BUILDING ENTRANCE, SIDEWALK BETWEEN MAIN BUILDING ENTRANCE AND PUBLIC RIGHT OF WAY.

ADA PARKING SPACE MAXIMUM SLOPE IN ANY DIRECTION IS 2%. THIS INCLUDES ALL ADA PARKING SPACES AND ACCESS AISLES.

ADA ROUTES MAXIMUM RUNNING SLOPE IS 5% AND MAXIMUM CROSS SLOPE IS 2%.

CONTRACTOR SHALL PREPARE FORMS FOR ADA PATHS PRIOR TO POURING CONCRETE OR ASPHALT. CONTRACTOR SHALL VERIFY RUNNING SLOPE AND CROSS SLOPE OF ADA PATHS. A SMART LEVEL DEVICE SHALL BE USED TO VERIFY THESE SLOPES.

UPON COMPLETION OF ALL ADA PATHS, CONTRACTOR SHALL ONCE AGAIN VERIFY THE RUNNING AND CROSS SLOPE OF THESE AREAS WITH A SMART LEVEL. ANY REPAIRS MADE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

- HDPE NOTES:**
1. HDPE SHALL CONFORM TO AASHTO M294 - CORRUGATED EXTERIOR / SMOOTH INTERIOR PIPE (TYPE S).
  2. SHALL HAVE CERTIFICATION BY EPI (PLASTIC PIPE INSTITUTE).
  3. BELL AND SPIGOT JOINTS WITH O-RING GASKET REQUIRED. BELLS SHALL COVER TWO FULL CORRUGATIONS ON EACH SIDE OF PIPE. GASKET TO CONFORM TO ASTM F477.
  4. INSTALLATION TRENCH WIDTH SHALL BE A MINIMUM OF THE OUTSIDE DIAMETER OF THE PIPE PLUS 4-INCHES.
  5. HDPE SHALL BE BACKFILLED WITH 4" OF #57 STONE BEDDING UNDER THE PIPE AND TO THE SPRINGLINE OF PIPE. REMAINING BACKFILL SHALL BE INSTALLED IN ACCORDANCE TO CURRENT CITY STANDARDS.
  6. COVER SHALL BE A MINIMUM OF 18-INCHES FROM THE OUTSIDE WALL OF PIPE TO FINISHED GRADE.
  7. NO HDPE END TREATMENTS ALLOWED. ALL END TREATMENTS SHALL BE REINFORCED CONCRETE.

**STORMWATER QUANTITY AND QUALITY NOTES:**

SITE AREA: 1.5 ACRES  
 IMPERVIOUS AREA: 0.93 ACRES - 62%

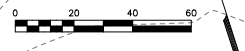
POST DEVELOPMENT STORMWATER QUANTITY SHALL BE MANAGED BY UNDERGROUND DETENTION THAT WILL DETAIN THE RUNOFF RATES FOR THE 1-YEAR, 2-YEAR AND 10-YEAR STORM EVENTS TO PRE-DEVELOPMENT RUNOFF RATES.

POST DEVELOPMENT STORMWATER QUALITY SHALL BE ACHIEVED BY THE USE OF AN UNDERGROUND SAND FILTER.

**BUILDING AVERAGE GRADE TABLE (UDO SECTION 1.5.7):**

THE BUILDING AVERAGE GRADE IS THE AVERAGE POST DEVELOPMENT GRADE ABOVE SEA LEVEL ALONG THE BUILDING ELEVATION MOST PARALLEL AND CLOSEST TO KIRKLAND ROAD, WHICH IS THE PRIMARY STREET.

HIGHEST GRADE ELEVATION	306.6'
LOWEST GRADE ELEVATION	306.6'
AVERAGE GRADE ELEVATION	306.6'



**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

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City of Raleigh Development Approval: \_\_\_\_\_

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

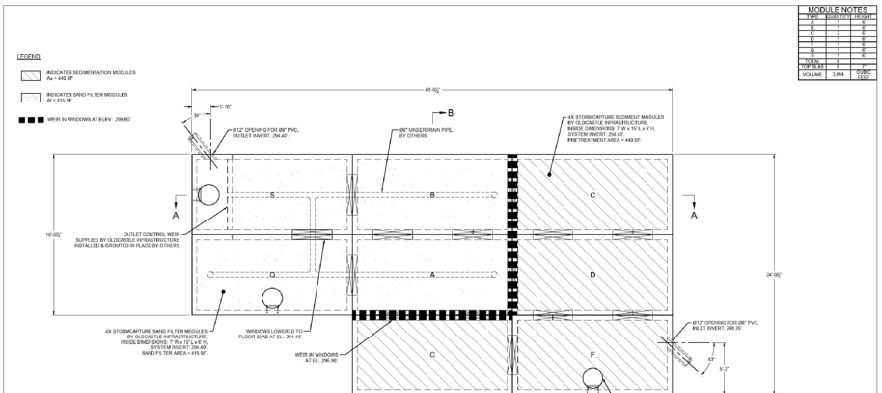
6441 INDUSTRY DRIVE, RALEIGH, NC 27603  
 https://www.jarealty.com - 919.779.8822

**JA REALTY, LLC ASR-2024**  
 1441 KIRKLAND RD, RALEIGH, NC 27603  
 ZONED IX-3-CU  
**GRADING PLAN**

**CCFE**  
 CAPITAL CIVIL ENGINEERING  
 209 N SAULSBURY ST, STE 200, APTC, NC 27602  
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AUGUST 16, 2024  
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 SHEET NO.  
**C400**



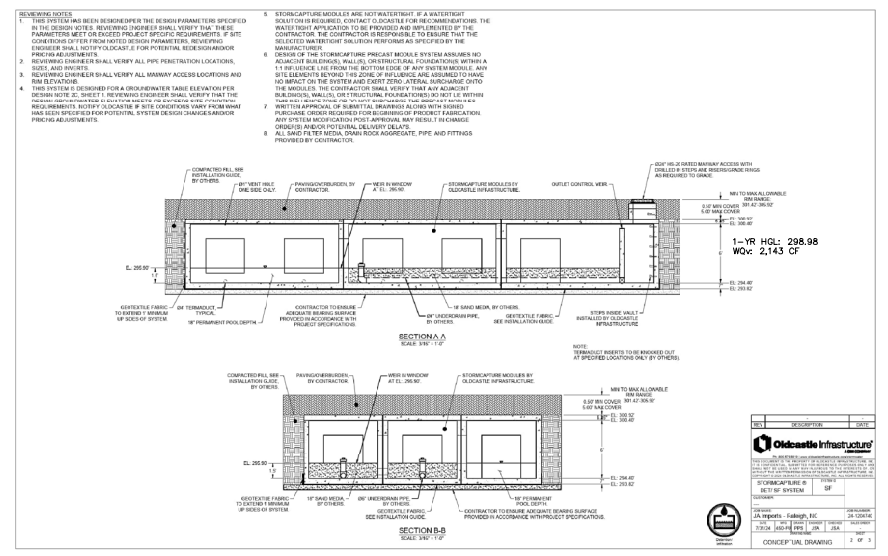


NO.	DESCRIPTION	DATE
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2	REVISED PER CITY OF RALEIGH	08/16/24
3	REVISED PER CITY OF RALEIGH	08/16/24
4	REVISED PER CITY OF RALEIGH	08/16/24
5	REVISED PER CITY OF RALEIGH	08/16/24
6	REVISED PER CITY OF RALEIGH	08/16/24
7	REVISED PER CITY OF RALEIGH	08/16/24
8	REVISED PER CITY OF RALEIGH	08/16/24
9	REVISED PER CITY OF RALEIGH	08/16/24
10	REVISED PER CITY OF RALEIGH	08/16/24

**REVISIONS:**

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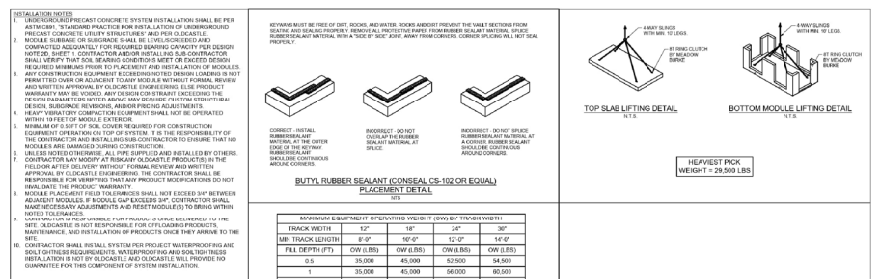
**CONCEPTUAL DRAWING 1 OF 3**



**REVISIONS:**

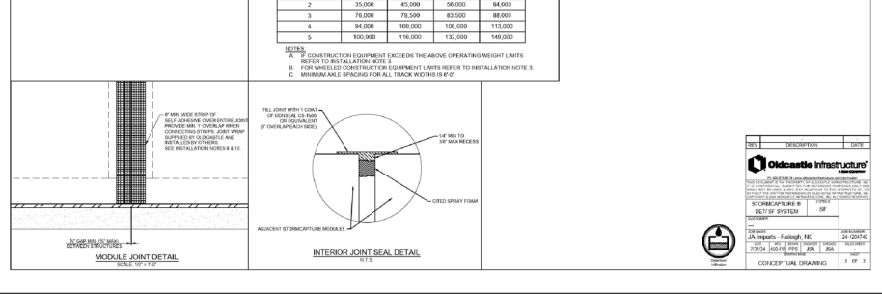
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**CONCEPTUAL DRAWING 1 OF 3**



**BUTYL RUBBER SEALANT (CONSEAL CS-102 OR EQUAL) PLACEMENT DETAIL**

TRACK WIDTH	12"	16"	24"	36"
MB TRACK LENGTH	8'0"	10'0"	12'0"	14'0"
FILL DEPTH (FT)	0.5	0.5	0.5	0.5
1	35,000	45,000	56,000	65,000
2	35,000	45,000	56,000	65,000
3	70,000	70,000	82,000	98,000
4	94,000	100,000	106,000	113,000
5	100,000	114,000	126,000	149,000



**REVISIONS:**

- REVISED PER CITY OF RALEIGH
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- REVISED PER CITY OF RALEIGH

**CONCEPTUAL DRAWING 1 OF 3**

**EMERGENCY DRAINAGE PIPES AND VALVE NOTES:**

- PROVIDE A 4-INCH SOLID PVC PIPE FROM THE SEDIMENT CHAMBER TO THE OULET BOX FOR DRAINAGE.
- INSTALL A VALVE (OR APPROVED EQUAL) 1/2" INCH GATE VALVE WITH STAINLESS STEEL PADDLE IN AT THE END OF THE DRAINAGE PIPE IN THE OULET BOX.

**CONCRETE AND SPILLWAY PIPE SPECIFICATIONS:**

- REINFORCED CONCRETE SPILLWAY PIPES SHALL HAVE A MINIMUM PIPE STRENGTH CONFORMING TO AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) C-76, CLASS II STANDARDS.
- THE REINFORCED CONCRETE SPILLWAY PIPES FROM THE INFER SAND SHALL BE GASKETED JOINTS AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS AND HANDS.
- ALL REINFORCED PIPE SECTIONS SHALL BE PROVIDED WITH GASKETED JOINTS AND WRAPPED WITH A LAYER OF GEOTEXTILE FILTER FABRIC ON THE OUTSIDE OF THE PIPE. THE FABRIC SHALL MEET MOST SPECIFICATIONS FOR TYPE B FILTER FABRIC. REFER TO SECTION 1056 IN THE NCDOT 2012 EDITION OF THE STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES. THE FABRIC MUST BE BETWEEN TWO AND THREE FEET WIDE, CENTERED OVER EACH JOINT AND COVER A MINIMUM ON ONE-FORTH LENGTH OF EACH PIPE SEGMENT.

**UNDERDRAN AND CLEANOUT NOTES:**

- UNDERDRAN LOCATIONS ARE SHOWN ON THE SAND FILTER PLAN VIEWS.
- PIPE SHALL HAVE A MINIMUM OF FOUR ROWS OF PERFORATIONS PROVIDED AROUND THE DIAMETER OF THE PIPE - PERFORATIONS SHALL BE PLACED IN CENTER WITHIN EACH ROW FOR THE ENTIRE LENGTH OF THE DRAINAGE LATERAL. PERFORATIONS SHALL BE 3/8-INCH DIAMETER. STOP THE PERFORATIONS 12" PRIOR TO ANY CONNECTION.
- ALL UNDERDRAN JOINTS SHALL BE GLEUED AND WATER TIGHT.
- ALL UNDERDRAN PIPES SHALL HAVE A MINIMUM SLOPE OF 0.5%.
- CLEANOUT LOCATIONS ARE SHOWN ON THE SAND FILTER PLAN VIEWS. TOP OF THE CLEANOUTS SHALL BE A MINIMUM OF 12-INCHES ABOVE THE TOP OF THE SAND FILTER MEDIA.
- THE CLEANOUT CAPS SHALL BE SLOREW TYPE AND THE HOUSING SHALL BE GLEUED TO THE SAND FILTER MEDIA.
- UNDERDRANS SHALL BE A MINIMUM OF SCHEDULE 40 PVC.
- THE SAND FILTER SHALL COMPLETELY DRAIN WITHIN 40 MINUTES.

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City of Raleigh Development Approval: \_\_\_\_\_



6541 INDUSTRY DRIVE, RALEIGH, NC 27603  
 https://gregory-development.com - 919.779.2022

**JA REALTY, LLC ASR-2024**  
 1441 KIRKLAND RD, RALEIGH, NC 27603  
 ZONED IX-3-CU  
**SAND FILTER SYSTEM**



209 N. SAULSBURY ST. 200, APT. 200, RALEIGH, NC 27602  
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**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

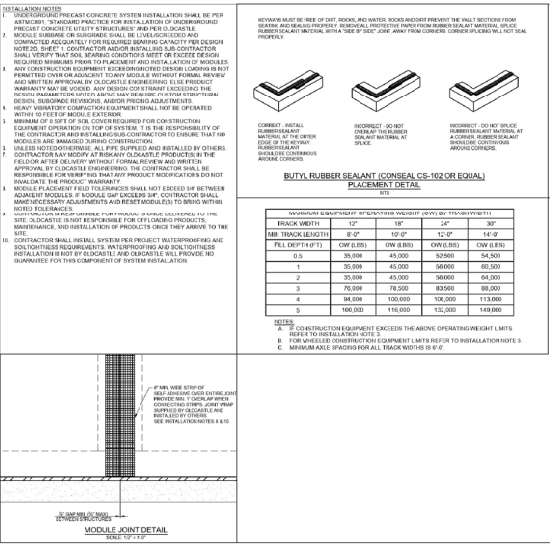
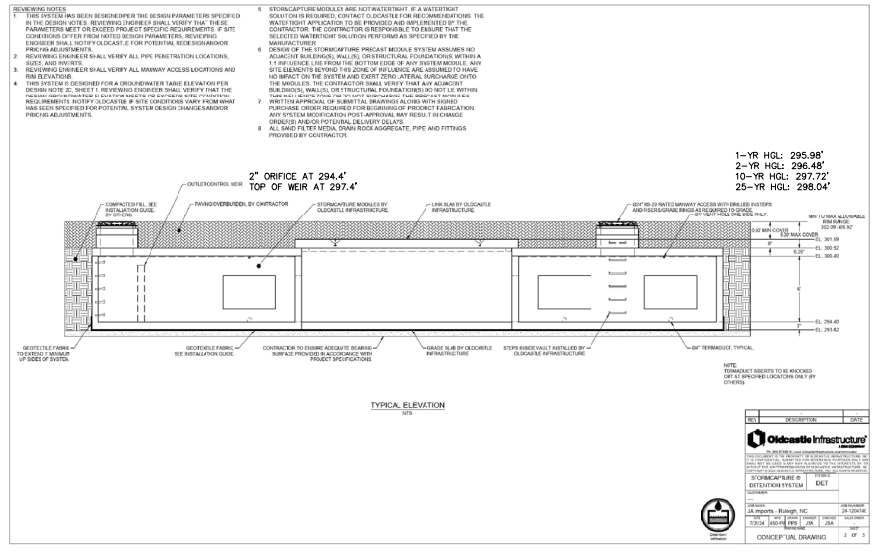
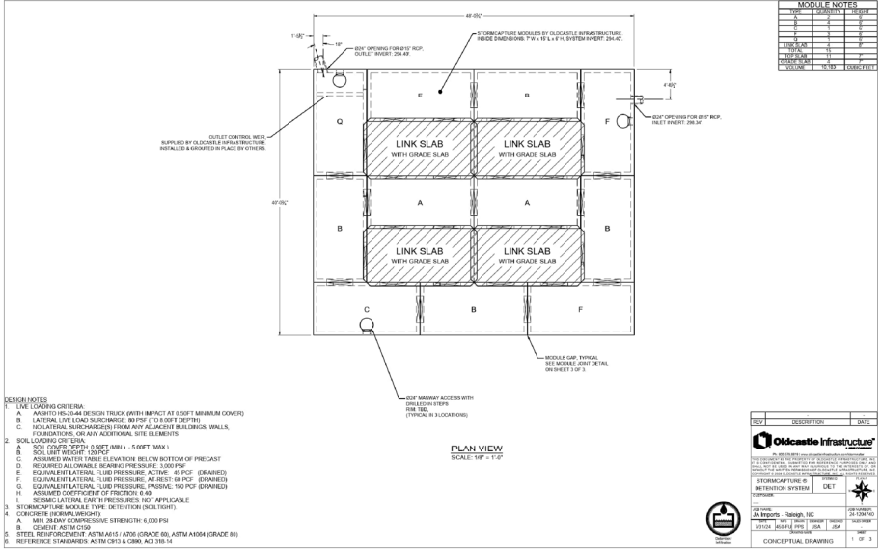
AUGUST 16, 2024

ISSUED FOR REVIEW

SHEET NO.

**C401**

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



**REVISIONS**

NO.	DESCRIPTION	DATE
1	CONCRETE TO BE CAST IN PLACE	
2	CONCRETE TO BE CAST IN PLACE	
3	CONCRETE TO BE CAST IN PLACE	
4	CONCRETE TO BE CAST IN PLACE	
5	CONCRETE TO BE CAST IN PLACE	
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10	CONCRETE TO BE CAST IN PLACE	

**CONCEPTUAL DRAWING 1 OF 3**

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

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City of Raleigh Development Approval: \_\_\_\_\_



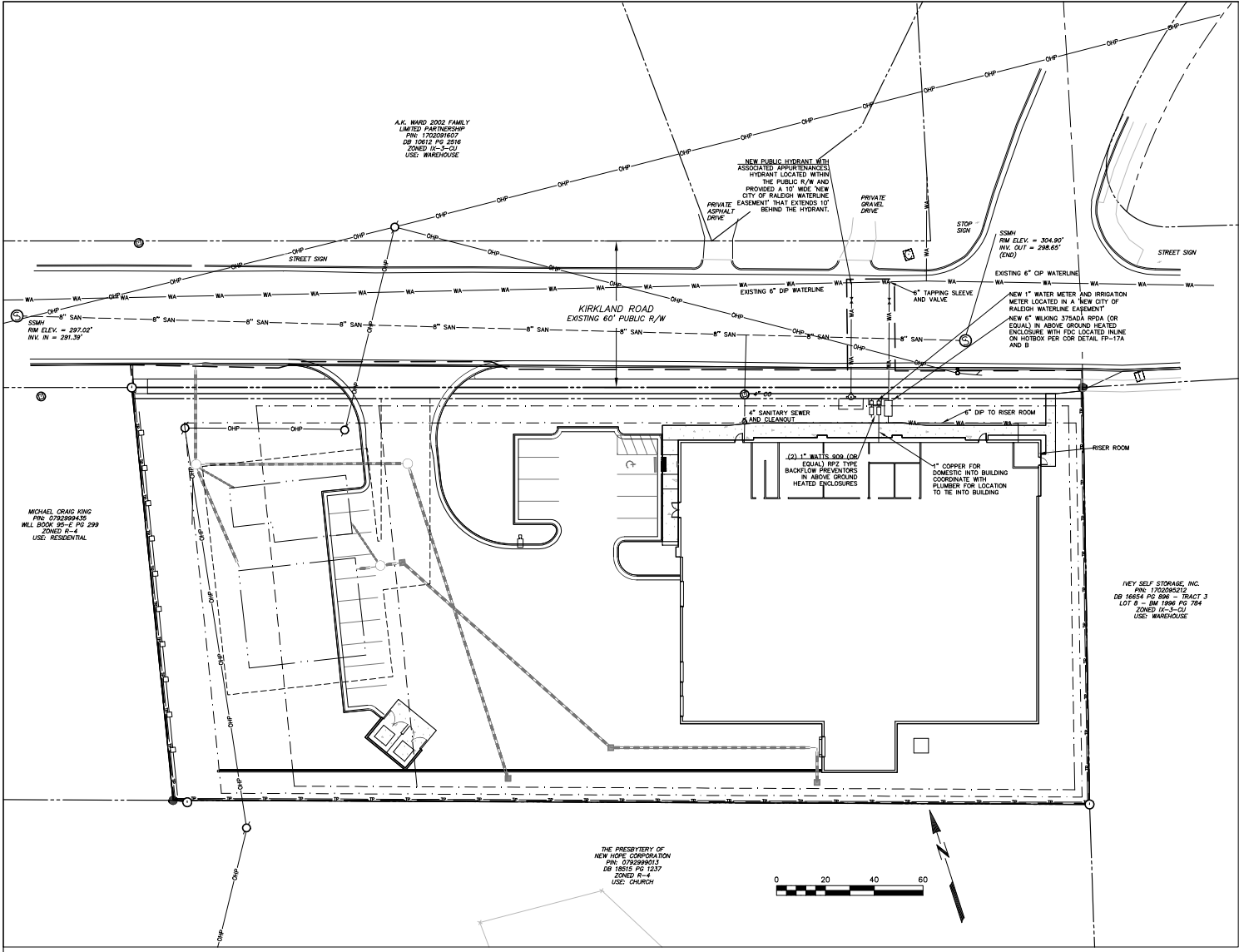
JA REALTY, LLC ASR-2024  
1441 KIRKLAND RD, RALEIGH, NC 27603  
ZONED IX-3-CU  
DETENTION SYSTEM



DATE: AUGUST 16, 2024  
ISSUED FOR: REVIEW  
SHEET NO.

**C402**

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



A.K. WARD 2002 FAMILY  
LIMITED PARTNERSHIP  
PIN: 170291607  
DB 10612 PG 2516  
ZONED IX-3-CU  
USE: WAREHOUSE

NEW PUBLIC HYDRANT WITH  
ASSOCIATED APPURTENANCES,  
HYDRANT LOCATED WITHIN  
THE PUBLIC R/W AND  
PROVIDES A 10' WIDE NEW  
CITY OF RALEIGH WATERLINE  
EASEMENT THAT EXTENDS 10'  
BEHIND THE HYDRANT.

KIRKLAND ROAD  
EXISTING 60' PUBLIC R/W

SSM1  
RM ELEV. = 304.90'  
INV. OUT = 298.65'  
(END)

NEW 1" WATER METER AND IRRIGATION  
METER LOCATED IN A NEW CITY OF  
RALEIGH WATERLINE EASEMENT.

MICHAEL CRAIG KING  
PIN: 072299435  
WEL. SIGN. 25-E PG 299  
ZONED R-4  
USE: RESIDENTIAL



THE PRESBYTERY OF  
NEW HOPE CORPORATION  
PIN: 072989013  
DB 18316 PG 1374  
ZONED R-4  
USE: CHURCH

IVEY SELF STORAGE, INC.  
PIN: 170294212  
DB 16854 PG 896 - TRACT 3  
LOT 8 - DB 1948 PG 284  
ZONED IX-3-CU  
USE: WAREHOUSE

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

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City of Raleigh Development Approval: \_\_\_\_\_



JA REALTY, LLC ASR-2024  
1441 KIRKLAND RD, RALEIGH, NC 27603  
ZONED IX-3-CU  
UTILITY PLAN



AUGUST 16, 2024  
SHEET NO.

**C500**

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

**CITY OF RALEIGH LANDSCAPE NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS.
2. NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR OR ALTERATION OF ANY BUILDING, STRUCTURE OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
3. THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
4. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD ENDANGER THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE.
5. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYPE-A3.
6. TREE AND SHRUB PLANTINGS SHOULD NOT INTERFERE WITH THE SAFE VEHICULAR AND PEDESTRIAN CIRCULATION ON THE SITE.
7. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
8. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
9. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE.
10. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED WHERE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
11. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 90 DAYS OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS. IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
12. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
13. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THAT REQUIRED SIZE.
14. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

		PLANT SCHEDULE							
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	GALIPER (MINIMUM)	HEIGHT (MINIMUM)	TYPE	USE	NOTES
<b>SHADE TREES</b>									
ARD	1	Acer rubrum 'October Glory'	October Glory® Red Maple	849	3"	10'	D	ZONE A PROTECTIVE YARD	MATCHED / MATURE 50H x 40W
PTA	1	Pinus taeda	Lobby Pine	849	3"	10'	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 60H x 40W
QNU	3	Quercus nuttallii	Nuttall Oak	849	3"	10'	D	PARKING LOT	MATCHED / MATURE 50H x 40W
UPB	3	Ulmus parvifolia 'Stolpa'	Chinese Elm	849	3"	10'	D	STREET TREE	MATCHED / MATURE 50H x 40W
<b>UNDERSTORY TREES</b>									
CCF	3	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	849	1 1/2"	8'	D	ZONE A PROTECTIVE YARD	MATCHED / MATURE 30H x 30W
NLS	1	Nellex 'Nellie R. Stevens'	Nellie Stevens' Holly	849	1 1/2"	8'	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 25H x 20W
<b>SHRUBS</b>									
AGR	10	Abelia x grandiflora	Glossy Abelia	CONT.		18"	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 5H x 5W
ICB	2	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	CONT.		18"	E	C3 STREET PROTECTIVE YARD	MATCHED / MATURE 5H x 5W
ICN	4	Ilex cornuta 'Needlepoint'	Needlepoint Holly	CONT.		36"	E	SCREEN	MATCHED / MATURE 10H x 5W
IGS	2	Ilex glabra 'Shamrock'	Shamrock Hiberny Holly	CONT.		18"	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 5H x 5W
IDA	4	Ilex x 'Oakleaf'	Oakleaf Holly	CONT.		9"	E	SCREEN	MATCHED / MATURE 14H x 8W
<b>TYPE / USE LEGEND</b>									
PLANT TYPE: E = EVERGREEN / D = DECIDUOUS / S = SEMI-EVERGREEN / H = HERBACIOUS									
PLANT USE: STREET TREE / C3 STREET PROTECTIVE YARD / ZONE A PROTECTIVE YARD / PARKING LOT / SCREEN / LOADING UTILITY / DAMPSTER SCREENING									

**LANDSCAPE LEGEND**

**SHADE TREES**

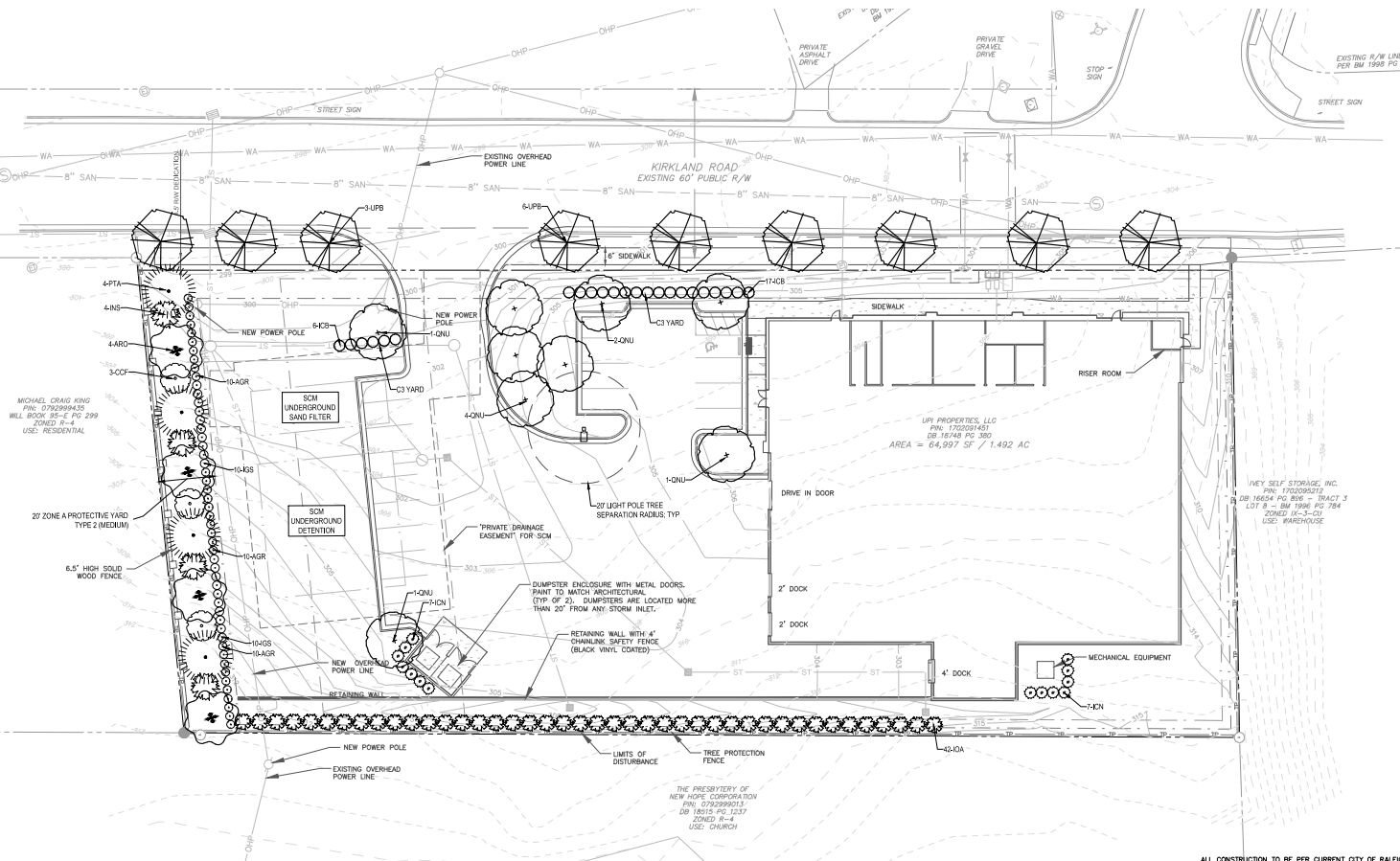
- UPB - ULMUS PARVIFOLIA 'STOLPA'
- QNU - QUERCUS NUTTALLII
- ARD - ACER RUBRUM 'OCTOBER GLORY'
- PTA - PINUS TAEDA

**UNDERSTORY TREES**

- CCF - CERCIIS CANADENSIS 'FOREST PANSY'
- NLS - NELLEX 'NELLIE R. STEVENS'

**SHRUBS**

- ICB - ILEX CORNUTA 'BURFORDII NANA'
- ICN - ILEX CORNUTA 'NEEDLEPOINT'
- IGS - ILEX GLABRA 'SHAMROCK'
- AGR - ABELIA X GRANDIFLORA
- IDA - ILEX X 'OAKLEAF'



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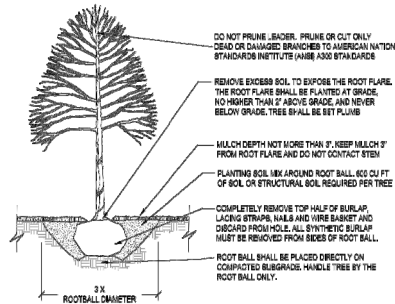
City of Raleigh Development Approval: \_\_\_\_\_



**J.A. REALTY, LLC**  
 1441 KIRKLAND RD., RALEIGH, NC 27603  
 ZONED IX-3-CU  
**LANDSCAPE PLAN**



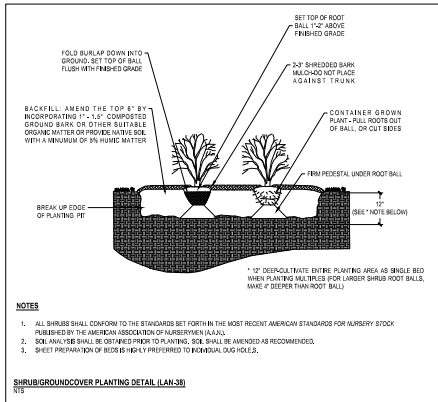
DATE: AUGUST 1, 2024  
 ISSUED FOR: REVIEW  
 SHEET NO.: **C600**



CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT / URBAN FORESTRIC TREES@RALEIGH-NC.GOV  
WWW.RALEIGH-NC.GOV

- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STANDING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

REFERENCE	DATE	DESCRIPTION
		TREE PLANTING DETAIL
		TPP-03



**LANDSCAPE CALCULATIONS:**

<b>SEC. 3.5.3 ZONE A- PROTECTIVE YARD</b>	
TYPE 2: MEDIUM	
REQUIREMENTS:	SOLID WALL OR FENCE 6.5' - 8' HT 5 SHADE TREES (6% EVERGREEN MIN.) PER 100 LF 4 UNDERSTORY TREES (20% EVERGREEN MIN.) PER 100 LF 30 EVERGREEN SHRUBS PER 100 LF
<b>ZONE A PROTECTIVE YARD</b>	
REQUIRED:	165.44 LF SOLID WALL OR FENCE 6.5' - 8' HT 8 SHADE TREES (4 EVERGREEN MIN.) 7 UNDERSTORY TREES (4 EVERGREEN MIN.) 50 EVERGREEN SHRUBS
PROVIDED:	SOLID FENCE 6.5' 8 SHADE TREES (4 EVERGREEN) 7 UNDERSTORY TREES (4 EVERGREEN) 50 EVERGREEN SHRUBS
<b>SEC. 7.1.7 VEHICLE PARKING LOT LANDSCAPING</b>	
REQUIREMENTS:	1 SHADE TREE PER ISLAND NO LESS THAN 1 SHADE TREE PER 2,000 SF 20' SEPARATION BETWEEN SHADE TREES & LIGHT POLES
<b>PARKING LOT</b>	
REQUIRED:	17,853.41 SF 9 SHADE TREES
PROVIDED:	9 SHADE TREES
<b>SEC. 7.2.4 STREET PROTECTIVE YARD</b>	
TYPE C3	
REQUIREMENT:	30 EVERGREEN SHRUBS PER 100 LF
<b>C3 PROTECTIVE YARD</b>	
REQUIRED:	76 LF 23 EVERGREEN SHRUBS
PROVIDED:	23 EVERGREEN SHRUBS
<b>SEC. 8.4 STREET TREES</b>	
REQUIREMENTS:	1 SHADE TREE PER 40 LF
<b>KIRKLAND ROAD</b>	
REQUIRED:	389.22 LF 9 SHADE TREES
PROVIDED:	9 SHADE TREES

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

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City of Raleigh Development Approval: \_\_\_\_\_

DATE: AUGUST 1, 2024  
ISSUED FOR REVIEW  
SHEET NO.

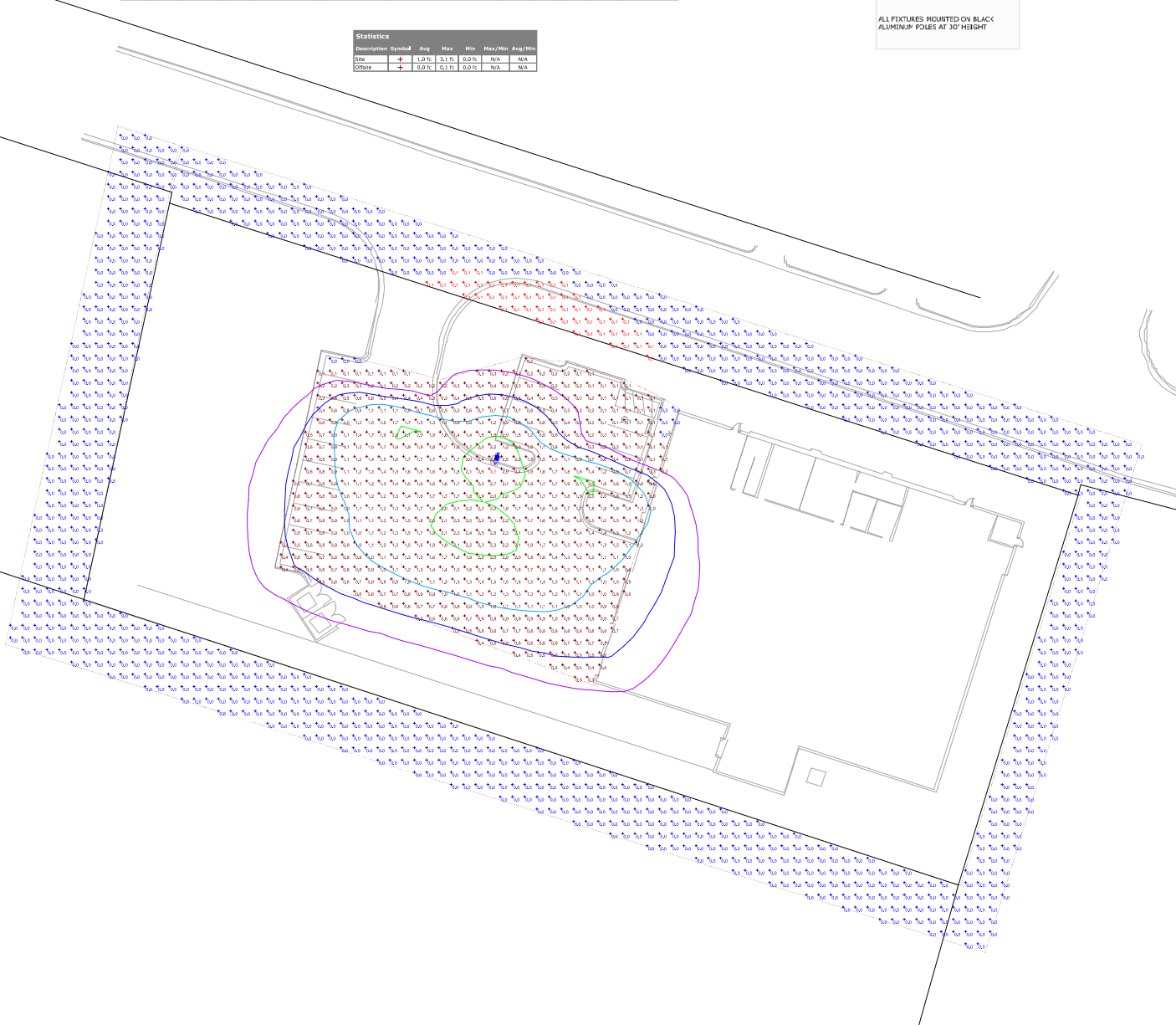
**C601**

# Outdoor Lighting

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
A	A		1	SAVOY STREETWORKS (FORMER COOPER LIGHTING)	SHOOPOL-LED-140	GALILEO AREA AND ROADWAY LUMINAIRE (3) 20 CUL, 400W, 105lm/w LIGHTSQUARES WITH 16LEDS EACH AND TYPE IV WIDE OPTICS	64	301	0.85	235	

**Note**  
ALL FIXTURES MOUNTED ON BLACK ALUMINUM POLES AT 30' HEIGHT

Description	Symbol	Area	Max	Min	Max/Min	Avg/Min
Site	+	1.0 FC	3.1 FC	0.0 FC	N/A	N/A
Office	+	0.0 FC	0.1 FC	0.0 FC	N/A	N/A



Plan View  
Scale = 1" = 20'



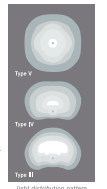
SHOBOX LED  
(Meets Dark Sky Criteria)

<b>LED</b> (Light-emitting diode)	150   220   420   530 watts
<b>Mounting height</b>	25', 30', 35'
<b>Color</b>	Black   Bronze   Gray   White
<b>Pole</b>	Fiberglass (1 or 2 fixtures per pole) Decorative tapered metal Decorative square metal
<b>Applications</b>	Neighborhoods Roadways Shopping centers

Light source: LED (white)  
 Wattage: 150 | 220 | 420 | 530 watts  
 Light pattern:IES Type V | Type IV (forward throw) | Type III  
 IESNA cutoff classification: Full-cutoff  
 BUG rating: 150W Type III = B3U0G3 / Type IV = B3U0G4 / Type V = B5U0G3  
 220W Type III = B2U0G4 / Type IV = B3U0G4 / Type V = B4U0G3  
 420W Type IV = B3U0G5 / Type V = B5U0G5  
 530W Type IV = B3U0G5 / Type V = B5U0G5

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

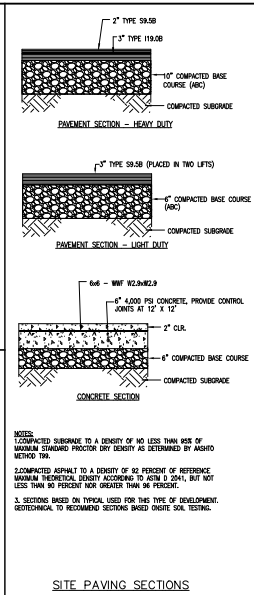
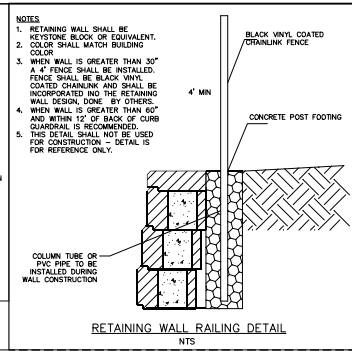
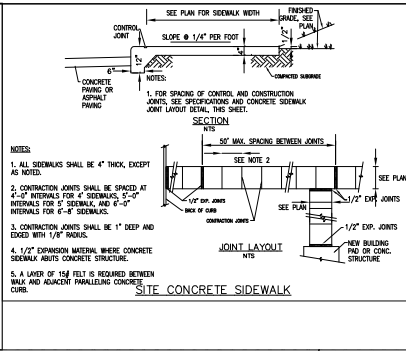
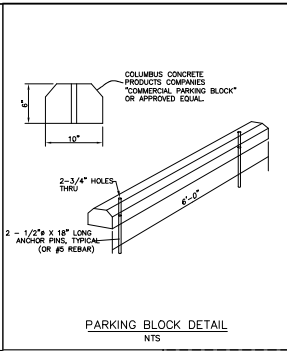
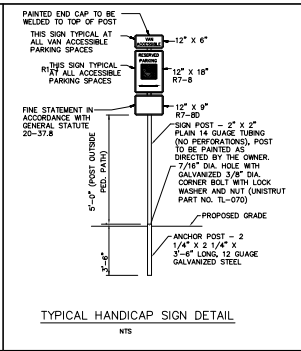
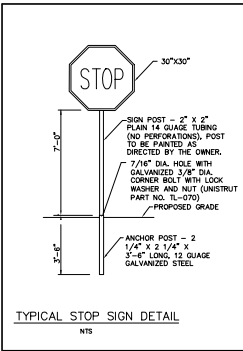
FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you



For additional information, email us at  
 ODLCardinals@duke-energy.com.



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NO.	DESCRIPTION	QUANTITY	UNIT	AMOUNT
1	CONCRETE SIDEWALK	100	SQ YD	100
2	CONCRETE SIDEWALK JOINTS	10	LINEAL FT	10
3	CONCRETE SIDEWALK CURBS	10	LINEAL FT	10
4	CONCRETE SIDEWALK RAILINGS	10	LINEAL FT	10
5	CONCRETE SIDEWALK SIGN POSTS	10	EA	10
6	CONCRETE SIDEWALK SIGN POST ANCHORS	10	EA	10
7	CONCRETE SIDEWALK SIGN POST BOLTS	10	EA	10
8	CONCRETE SIDEWALK SIGN POST NUTS	10	EA	10
9	CONCRETE SIDEWALK SIGN POST WASHERS	10	EA	10
10	CONCRETE SIDEWALK SIGN POST LOCKS	10	EA </tr	

CITY OF RALEIGH SPECIFICATION AND DETAILS

THE DETAILS ON THIS WITHIN THESE PLANS SHALL NOT BE CONSIDERED A COMPREHENSIVE LIST OF DETAILS THAT SHOULD BE USED FOR THIS PROJECT. CONTRACTOR SHALL BE FAMILIAR WITH ALL APPLICABLE CITY OF RALEIGH DETAILS, SPECIFICATIONS AND MATERIALS. THESE ITEMS CAN BE FOUND AT THE FOLLOWING CITY OF RALEIGH WEBSITE:

<https://raleighnc.gov/water-and-sewer/services/public-utilities-handbook>

QUESTIONS REGARDING DETAILS, SPECIFICATIONS AND MATERIALS SHALL BE MADE TO THE CITY OF RALEIGH INSPECTOR OR ENGINEER PRIOR TO CONSTRUCTION.

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City of Raleigh Development Approval: \_\_\_\_\_

6541 INDUSTRY DRIVE, RALEIGH, NC 27603  
Phone: //gregory-development.com - 919.779.3522

CAPITAL CIVIL ENGINEERING  
209 N SALEM ST, STE 200, APEX, NC 27502  
COPYRIGHT 2024, CAPITAL CIVIL ENGINEERING, PLLC P-809

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**JA REALTY, LLC** ASR-2024

1441 KIRKLAND RD, RALEIGH, NC 27603

ZONED IX-3-CU

**DETAILS**

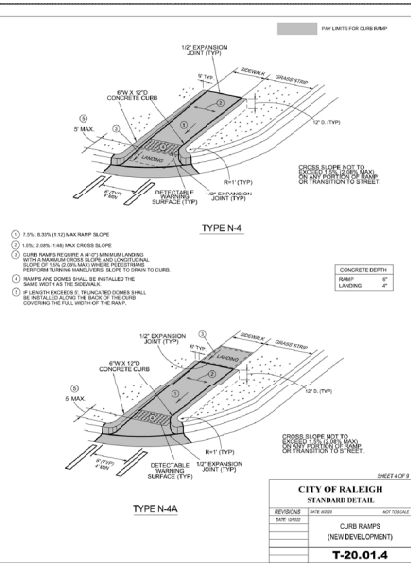
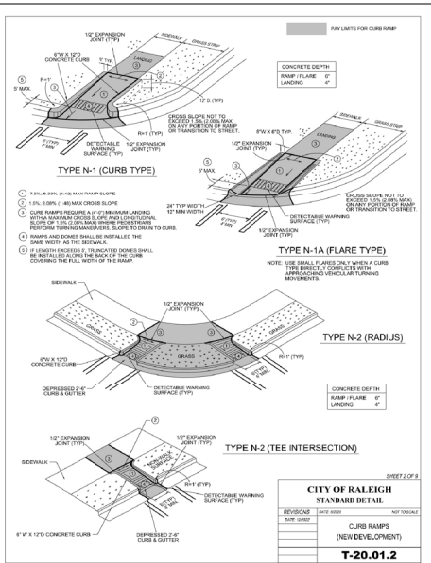
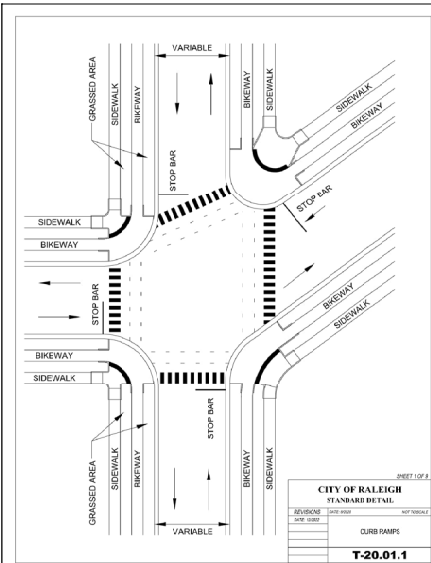
DATE: AUGUST 16, 2024

ISSUED FOR: REVIEW

SHEET NO.

D100

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



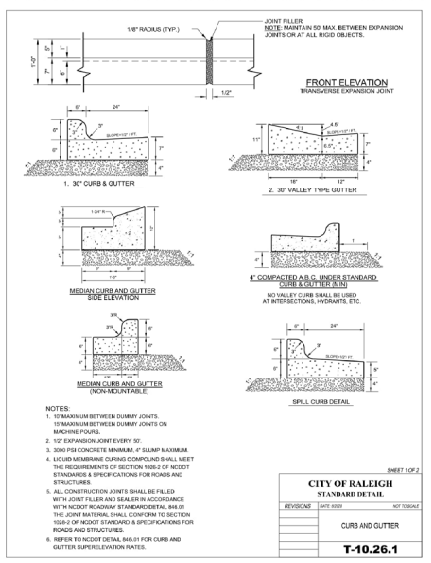
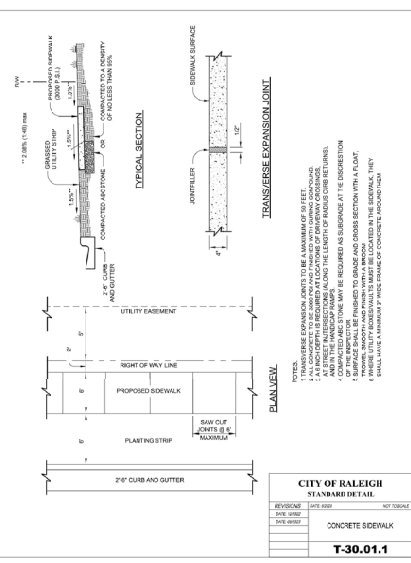
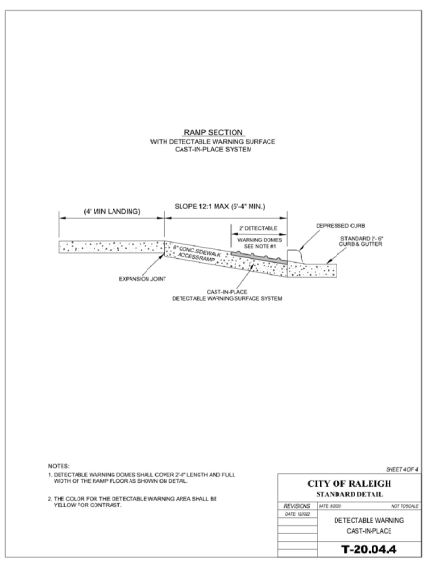
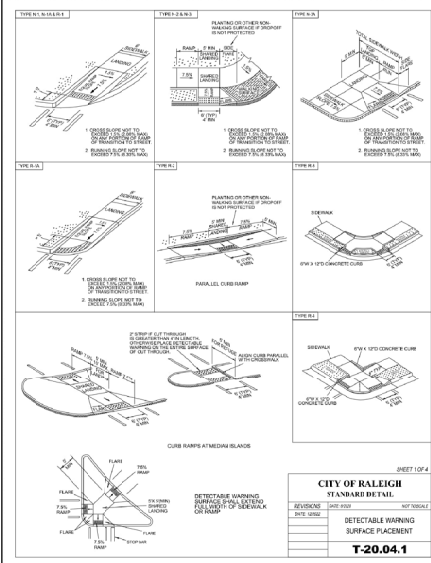
**CITY OF RALEIGH CURB RAMPS GENERAL NOTES**

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT-OF-WAY ACCESS GUIDELINES (PROWAG). IF AS DIRECTED BY THE ENGINEER, SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1:11 (2 IN) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48". ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH FINISH ON CURB FACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

**CITY OF RALEIGH STANDBY DETAIL**

REVISIONS: DATE: 08/2020 NOT TYPICAL

**T-20.01.8**



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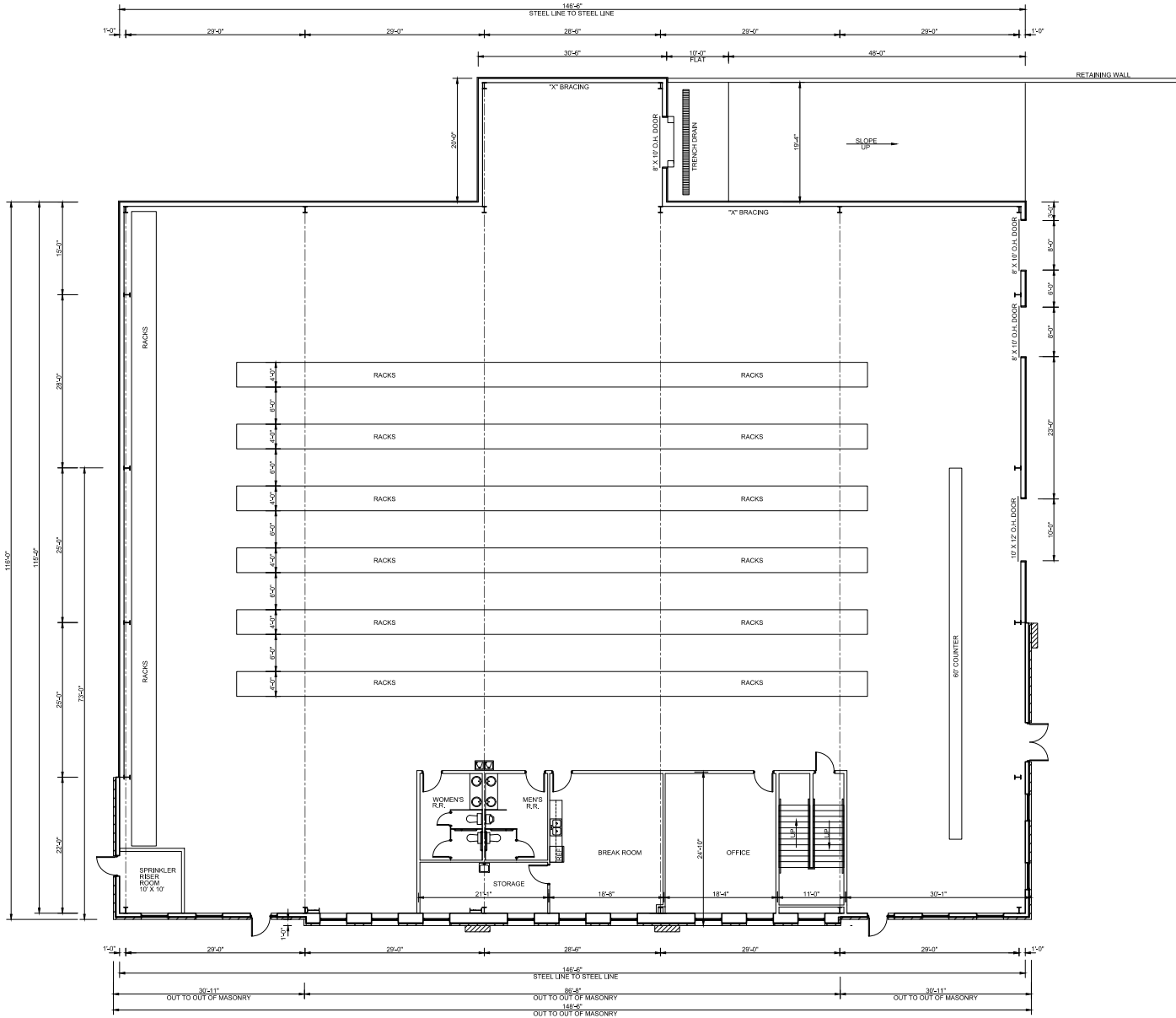
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City of Raleigh Development Approval: \_\_\_\_\_





1  
G-1

**FLOOR PLAN**

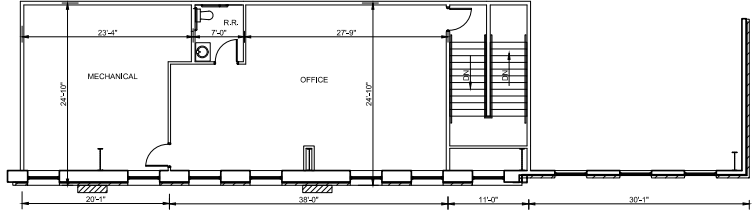
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REV. DATE	DESCRIPTION

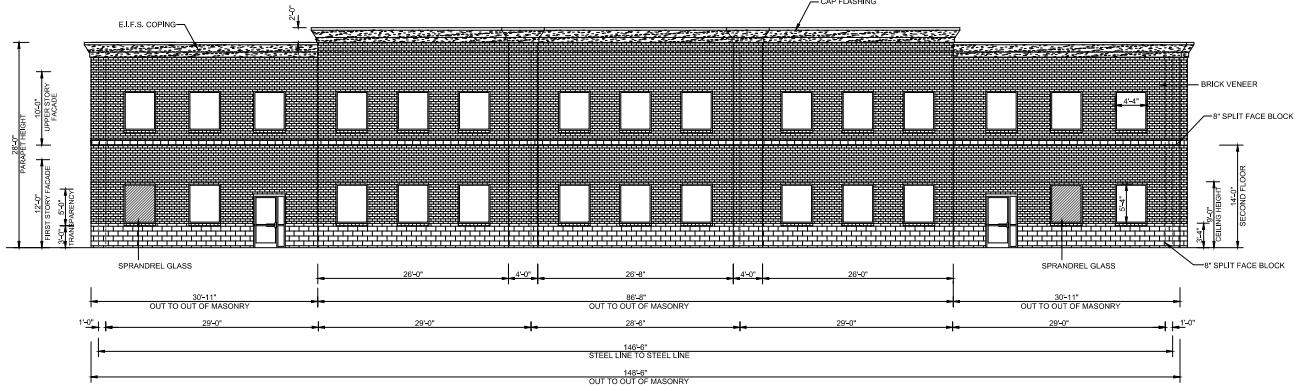
1ST FLOOR TRANSPARENCY CALCULATIONS	
OVERALL TOTAL AREA =	1,782 SQ. FT.
REQUIRED AREA % =	20 %
REQUIRED TRANSPARENCY =	356.4 SQ. FT.
PROVIDED AREA =	370 SQ. FT.
REQUIRED AREA BETWEEN 3'-0" & 8'-0" =	178.2 SQ. FT.
PROVIDED AREA BETWEEN 3'-0" & 8'-0" =	337 SQ. FT.

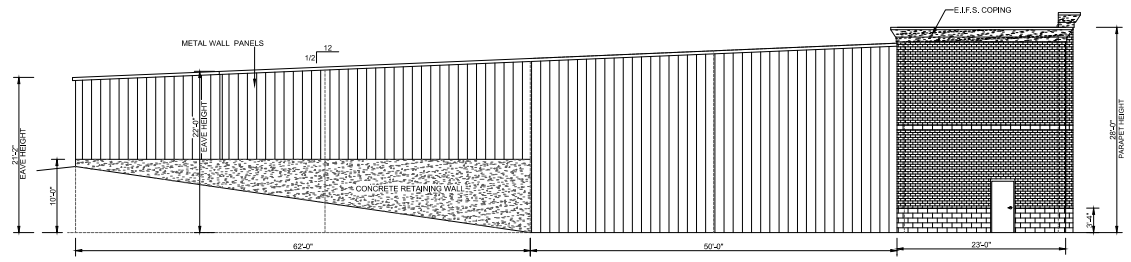
2ND FLOOR TRANSPARENCY CALCULATIONS	
OVERALL TOTAL AREA =	1,485 SQ. FT.
REQUIRED AREA % =	20 %
REQUIRED TRANSPARENCY =	297 SQ. FT.
PROVIDED AREA =	347 SQ. FT.



1  
G-2 **MEZZANINE PLAN**  
SCALE: 1/8"=1'-0"



2  
G-2 **FRONT ELEVATION**  
SCALE: 1/8"=1'-0"



3  
G-2 **LEFT ELEVATION**  
SCALE: 1/8"=1'-0"

SMITH ENGINEERING AND DESIGN, P.A.  
1103 Gracie Place, Suite A  
Goldboro, N.C. 27534  
Corporation License No. C-2241  
Phone: 919.736.2141  
Fax: 919.736.3143

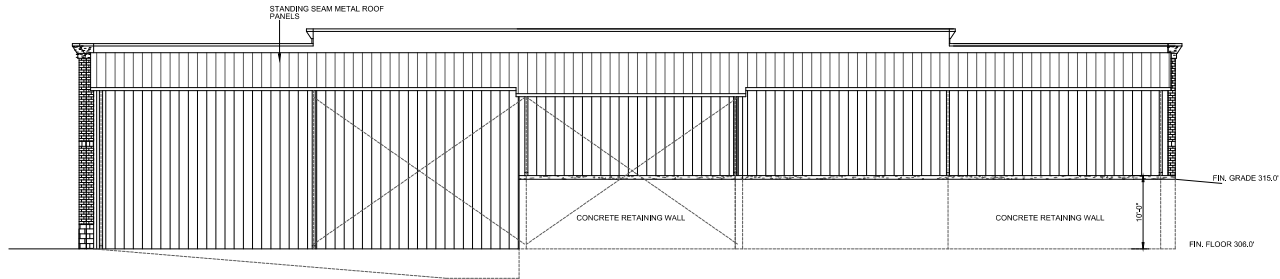
Gregory DEVELOPMENT LLC  
9541 Industry Drive  
Raleigh, NC 27603 919-779-3522

NO.	DATE	DESCRIPTION

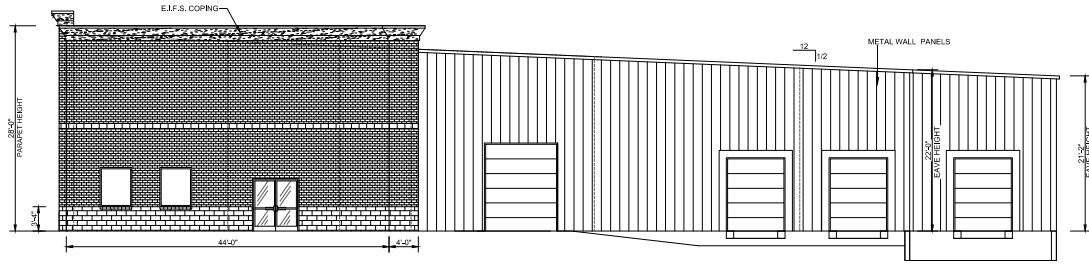
JA Realty, LLC  
1441 Kirkland Road  
Raleigh, NC

DATE: 9 June 2024  
DRAWN BY: J.S.  
SCALE: 1/8"=1'-0"

**G-2**



1  
G-3 REAR ELEVATION  
SCALE: 1/8"=1'-0"



2  
G-3 RIGHT ELEVATION  
SCALE: 1/8"=1'-0"

NO.	DATE	REVISIONS