



Administrative Approval Action

Case File / Name: ASR-0059-2024
DSLCL - JA Realty, LLC

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.49-acre parcel is located north of Carolina Pines Avenue, south of I-40 East, east of Lake Wheeler Road, and west of the railroad. The property is vacant and zoned IX-3-CU with SHOD-2 and SRPOD overlay districts.

REQUEST: The plan proposes developing the parcel with a 19,229-square foot, two story building, 18 parking spaces, and other site improvements. The wholesale trade use is compliant with the zoning condition (Z-23-21) and the site is compliant with both the SHOD-2 and SRPOD overlay district standards, as they are not applicable for this development.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 15, 2025 by Capital Civil Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. For retaining walls less than 5 feet in height, a zoning permit shall be issued prior to SPR approval. Plans shall provide details on the wall including overall height of the wall and inclusion of a fence, complying with the UDO.

Stormwater

2. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A Stage-Storage Table shall be included in the Stormwater Management Plan demonstrating the determination of the Water Quality Volume and Elevation.
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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4. A slope easement deed of easement for future sidewalk construction to the west, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
2. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

3. A public infrastructure surety for 9 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
4. A tree impact permit must be obtained for the approved streetscape tree installations in the right-of-way. This development proposes 9 street trees along Kirkland Road.

The following are required prior to issuance of building occupancy permit:

General



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1. Final inspection of all right-of-way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 5, 2028

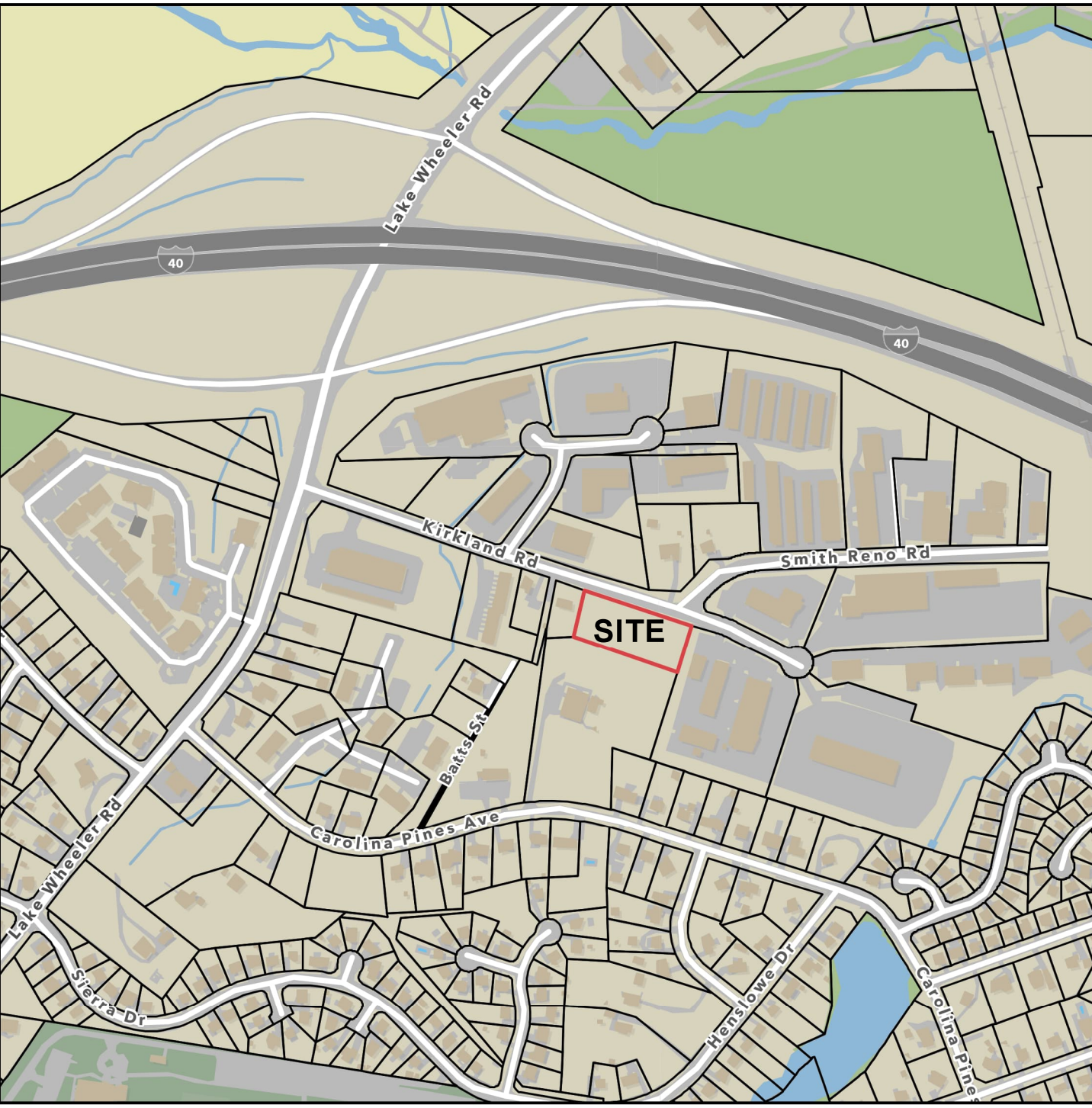
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

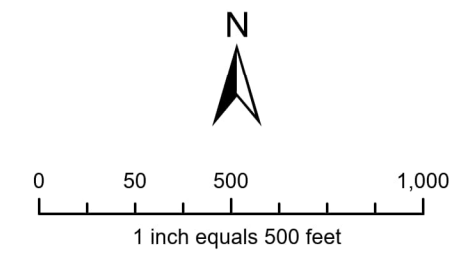
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan McDonald **Date:** 03/05/2025
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin



Vicinity Map



Disclaimer
 Maps make every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use or its interpretation.

OWNER
 JA REALTY, LLC
 6001 CHAPEL HILL RD, STE 110
 RALEIGH, NC 27607

PROJECT MANAGER
 GREGORY DEVELOPMENT, LLC
 9541 INDUSTRY DRIVE
 RALEIGH, NC 27603
 CLINT GREGORY
 clint@gregory-development.com
 919-779-3522

ENGINEER
 CAPITAL CIVIL ENGINEERING, PLLC
 209 N SALEM ST, STE 220
 APEX, NC 27502
 PH: 919-249-8587
 MICHAEL J. KANE, PE
 mkane@capcivile.com
 919-249-8587

ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 999-4540, at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SOLID WASTE SERVICES STATEMENT
 - DEVELOPER/OWNER HAS REVIEWED THE CITY OF RALEIGH SOLID WASTE DESIGN MANUAL AND SHALL COMPLY WITH ITS REQUIREMENTS.
 - ON-SITE DUMPSTER AND COMPACTORS TO BE PLACED IN LOADING DOCK AREAS TO BE SERVICED BY PRIVATE SOLID WASTE SERVICES PICK UP. SEE SERVICE LETTER, SHEET C101.
 -REFER TO SHEET C300 FOR SOLID WASTE PICK UP ROUTE AND SHEET D100 FOR DUMPSTER PAD SPECIFICATIONS.

BLOCK PERIMETER NOTES
 PER UDO SECTION 8.3.2.A.1.b.i, SITE IS BELOW THE MINIMUM 9 ACRE AREA REQUIREMENT FOR IX- ZONING AND THEREFORE IS EXEMPT FROM BLOCK PERIMETERS.

CROSS ACCESS NOTES
 CROSS ACCESS REQUIREMENTS ARE NOT APPLICABLE FOR THIS PROJECT BASED ON THE FOLLOWING EXEMPTIONS FROM UDO SECTION 8.3.5.D

WEST PARCEL IS EXEMPT PER UDO SECTION 8.3.5.D.5.a AS THE ADJACENT PROPERTY IS RESIDENTIAL (R4) ZONING.

SOUTH PARCEL IS EXEMPT PER UDO SECTION 8.3.5.D.5.c AS THE ADJACENT PROPERTY IS A PLACE OF WORSHIP.

EAST PARCEL IS EXEMPT PER UDO SECTION 8.3.5.D.5.b.iii AS THE CREATION OF A CROSS ACCESS DRIVEWAY IS OBSTRUCTED BY STEEP SLOPES IN EXCESS OF 25% WITHIN 10- FEET OF THE PROPERTY LINE.

SHEET INDEX

COVER	C100
ZONING CONDITIONS	C101
EXISTING CONDITIONS & DEMO	C200
SITE PLAN	C300
GRADING PLAN	C400
SCM DETAILS	C401-C402
UTILITY PLAN	C500
LANDSCAPING PLAN	C600
LANDSCAPE DETAILS	C601
LIGHTING PLAN	E100
SITE DETAILS	D100-D103
ARCHITECTURAL FLOORPLAN	G-1
ARCHITECTURAL ELEVATIONS	G-2 & G-3

Ordinance (2021) 273 ZC 826
 Adopted: 9/7/2021 Effective: 9/12/2021

Z-23-21 1441 Kirkland Road, located on the south side of the road at its intersection with Smith Reno Road, consisting of Wake County PIN 1702091451. Approximately 1.49 acres rezoned to Industrial Mixed Use-Three Stories-Conditional Use with Special Residential Parking Overlay District and Special Highway Overlay District-2 (IX-3-CU w/SRPOD and SHOD-2).

Conditions dated: May 6, 2021

1. The following Principal Uses as listed in UDO Section 6.1.4. that are permitted, limited or special uses in the IX- district shall be prohibited:

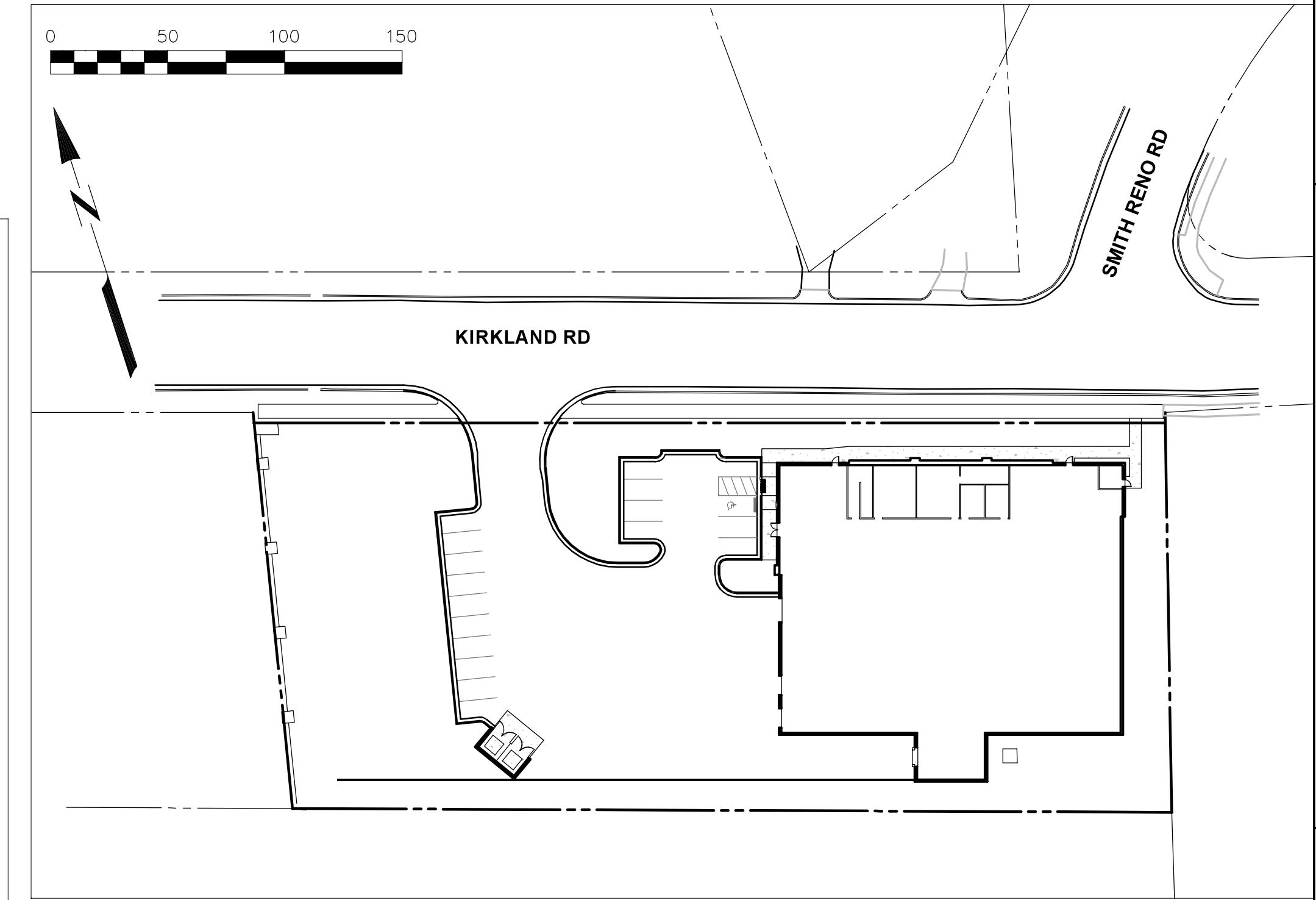
- i. Major Utilities;
- ii. Adult establishment;
- iii. Outdoor Recreation;
- iv. Golf course;
- v. Riding stables;
- vi. Passenger Terminal;
- vii. Airfield, landing strip;
- viii. Animal care (indoor);
- ix. Animal care (outdoor);
- x. Pawnshop;
- xi. Vehicle Fuel Sales;
- xii. Vehicle Sales/Rental;
- xiii. Detention center, jail, prison;
- xiv. Brewery, winery, distillery, cidery;
- xv. Car wash;
- xvi. Vehicle repair (minor);
- xvii. Vehicle repair (major); and
- xviii. Vehicle repair (commercial vehicle).

COMPLIANCE TO ZONING CONDITIONS:
 THE USE OF THE PROPERTY IS WHOLESALE TRADE. NONE OF THE PROHIBITED USES LISTED IN THE ZONING CONDITIONS ARE PROVIDED ON THE SUBJECT PROPERTY.

JA REALTY, LLC

ADMINISTRATIVE SITE REVIEW PLAN

ASR-0059-2024



SITE OVERVIEW
 SCALE: 1" = 50'

AFFILIATED PLANS

REZONING	Z-23-21
SKETCH PLAN	SCOPE-0158-2023

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option

GENERAL INFORMATION

Development name: JA Realty, LLC
 Inside City limits? Yes No
 Property address(es): 1441 Kirkland Rd
 Site P.I.N.(s): 1702-09-1451
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
 17,832 sf footprint single story warehouse building with 1,397 interior 2nd level office fit-up.
 Current Property Owner(s): Wu Chien Yuan and Chen Fu
 Company: JA Realty, LLC Title: Owners
 Address: 6001 Chapel Hill Rd, Ste 110 Raleigh, NC 27607
 Phone #: 919 602-5188 Email: jawholesaleusa@outlook.com
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: _____ Address: _____

Phone #: _____ Email: _____
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
 Developer Contact:
 Company: Gregory Development, Clint Gregory Title: Owner-Manager
 Address: 9541 Industry Dr, Raleigh, NC 27603
 Phone #: 919 779-3522 Email: clint@gregory-development.com
 Applicant Name:
 Company: _____ Address: _____
 Phone #: _____ Email: _____

DEVELOPMENT TYPE + SITE DATE TABLE
 (Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): IX-3-CU	0	Existing gross floor area (not to be demolished):	0
Gross site acreage: 1.492 ac		Existing gross floor area to be demolished:	0
# of parking spaces proposed: 18		New gross floor area: 19,229 sf	
Max # parking permitted (7.1.2.C): no max, 18 prop.		Total sf gross (to remain and new): 19,229	
Overlay District (if applicable): SHOD-2, SRPOD		Proposed # of buildings: 1	
Existing use (UDO 6.1.4): vacant		Proposed # of stories for each: 1	
Proposed use (UDO 6.1.4): warehouse/wholesale		Proposed # of basement levels (UDO 1.5.7.A.6) 0	

STORMWATER INFORMATION

Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 0 Proposed total (sf) 37,743	Existing (sf) 0 Proposed total (sf) 40,472

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 0	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots: _____	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page 4.

SITE DATA

PARCEL ID NO	1702-09-1451
ZONING	IX-3-CU
OVERLAY	SHOD-1, SRPOD
FRONTAGE TYPE	NONE
EXISTING USE	VACANT
PROPOSED USE	WHOLESALE TRADE
EXISTING BUILDING	0 SF
PROPOSED BUILDINGS	19,229 SF
RESIDENTIAL DENSITY	NONE
PARKING REQUIRED	NO MAXIMUM
PARKING PROPOSED	18
PRIMARY STREET	KIRKLAND RD
AREA GROSS EXISTING	1.49 ACRES
AREA NET AFTER R/W	1.45 ACRES
EXISTING IMPERVIOUS	0 ACRES
PROPOSED IMPERVIOUS	40,472 SF
100YR FLOOD PLAIN	YES, PANEL 3720170200K, JULY 19, 2022
HEIGHT, STORIES ALLOWABLE	50' / 3 STORIES
HEIGHT, STORIES PROPOSED	30' / 1 STORY
LAND DISTURBANCE	68,682 SF



JA REALTY, LLC ASR-0059-2024
 1441 KIRKLAND RD, RALEIGH, NC 27603
 ZONED IX-3-CU
 ZONING CONDITIONS



Revisions:
 10/15/2024 - PER CITY OF RALEIGH COMMENTS
 12/16/2024 - PER CITY OF RALEIGH COMMENTS
 1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE: JANUARY 15, 2025
 ISSUED FOR: REVIEW

SHEET NO. **C100**



July 16, 2024

To Whom It May Concern,

This letter represents that Waste Management is working with the site and will service 1441 Kirkland Road, Raleigh, NC, upon completion of the build-out. We intend to service containers at this site for their waste and recycling needs. Please let me know if you have any questions.

Amber Abercrombie

Senior Account Executive

South Atlantic Region

aabercro@wm.com

919-452-1057

Michael McQuillen

From: Staley, Marion <Marion.Staley@raleighnc.gov>
Sent: Monday, October 7, 2024 9:32 AM
To: Michael McQuillen; SWS Code Compliance DL
Cc: Gladwin, Jessica
Subject: RE: ASR-0059-2024 at 1441 Kirkland Road (SWS APPROVAL 10/4//2024)

Wonderful.

Remain very well.

Marion

Marion O. Staley
Code Compliance Supervisor

**City of Raleigh – Solid Waste Services
Code Compliance Program**

630 Beacon Lake Drive
Raleigh, NC 27610
919-996-6940 - Office
919-219-5437 - Cell
919-212-4290 – Fax

From: Michael McQuillen <mmcquillen@capitalcivil.com>
Sent: Monday, October 7, 2024 9:31 AM
To: Staley, Marion <Marion.Staley@raleighnc.gov>; SWS Code Compliance DL <SWSCodeCompliance@raleighnc.gov>
Cc: Gladwin, Jessica <jessica.gladwin@raleighnc.gov>
Subject: RE: ASR-0059-2024 at 1441 Kirkland Road (SWS APPROVAL 10/4//2024)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' button in the banner to report this message.

Marion,

Cover is updated to indicate the location on the plans for the items you requested. Will serve letter is located on the second sheet of the plans. They are attached. Thanks for working with me on this.

Thanks,
Michael McQuillen, P.E.
919 249-8587 Office
919 995-3660 Mobile

From: Staley, Marion <Marion.Staley@raleighnc.gov>
Sent: Friday, October 4, 2024 5:37 PM

1

To: Michael McQuillen <mmcquillen@capitalcivil.com>; SWS Code Compliance DL <SWSCodeCompliance@raleighnc.gov>
Subject: RE: ASR-0059-2024 at 1441 Kirkland Road (SWS APPROVAL 10/4//2024)

Hello Michael,

Which City Planner are you working with. Let's include them on this correspondence. Transpose the will serve letter on the cover of the plans and in a Solid Waste Inspection Statement on the front of the plans indicate where the truck path and dumpster specs can be found. The Solid Waste Management Plan for this ASR is acceptable and approved. Make sure you include all this information as the plan moves from ASR to SPR to BLDNR.

Partnership Regards,

Marion

Marion O. Staley
Code Compliance Supervisor

**City of Raleigh – Solid Waste Services
Code Compliance Program**

630 Beacon Lake Drive
Raleigh, NC 27610
919-996-6940 - Office
919-219-5437 - Cell
919-212-4290 – Fax

From: Michael McQuillen <mmcquillen@capitalcivil.com>
Sent: Friday, October 4, 2024 4:01 PM
To: Staley, Marion <Marion.Staley@raleighnc.gov>; SWS Code Compliance DL <SWSCodeCompliance@raleighnc.gov>
Subject: RE: ASR-0059-2024 at 1441 Kirkland Road

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Marion,

The attached site plan and detail plan should provide the info you requested.

Thanks,
Michael McQuillen, P.E.
919 249-8587 Office
919 995-3660 Mobile

From: Staley, Marion <Marion.Staley@raleighnc.gov>
Sent: Friday, October 4, 2024 11:14 AM
To: Michael McQuillen <mmcquillen@capitalcivil.com>; SWS Code Compliance DL <SWSCodeCompliance@raleighnc.gov>
Subject: RE: ASR-0059-2024 at 1441 Kirkland Road

2

Hello Michael,

Can you add the Dumpster pad Spec details to include the concrete strength for the enclosure pad please. Also provide the path the collection vehicle will truck from the street to the dumpster location and then exit.

Marion O. Staley
Code Compliance Supervisor

**City of Raleigh – Solid Waste Services
Code Compliance Program**

630 Beacon Lake Drive
Raleigh, NC 27610
919-996-6940 - Office
919-219-5437 - Cell
919-212-4290 – Fax

From: Michael McQuillen <mmcquillen@capitalcivil.com>
Sent: Friday, October 4, 2024 8:59 AM
To: SWS Code Compliance DL <SWSCodeCompliance@raleighnc.gov>
Subject: ASR-0059-2024 at 1441 Kirkland Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you verify that the attachment and content are safe. If you believe this email is suspicious, please click the 'Phish Alert' button in the banner to report this message.

Hello,

Please find the attached plan for a new project located at 1441 Kirkland Road. Also attached is a letter from a private waste company that will serve the property. I understand that your approval is also required.

I appreciate your time with this and please let me know if you have any questions during your review and I look forward to hearing from you.

Thank you,
Michael P. McQuillen, PE
Capital Civil Engineering, PLLC
209 North Salem Street, Suite 220
Apex, NC 27502
919 249-8587 Office
919 995-3660 Mobile

3



JA REALTY, LLC ASR-0059-2024

1441 KIRKLAND RD, RALEIGH, NC 27603

ZONED IX-3-CU

ZONING CONDITIONS



CAPITAL CIVIL ENGINEERING -
209 N SALEM ST, STE 220, APEX, NC 27502
PH 919 249-8587 FX 919 590-1687
COPYRIGHT 2024 CAPITAL CIVIL ENGINEERING, PLLC P-0809

Revisions:
10/15/2024 - PER CITY OF RALEIGH COMMENTS
12/16/2024 - PER CITY OF RALEIGH COMMENTS
1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE
JANUARY 15, 2025

ISSUED FOR
REVIEW

SHEET NO.

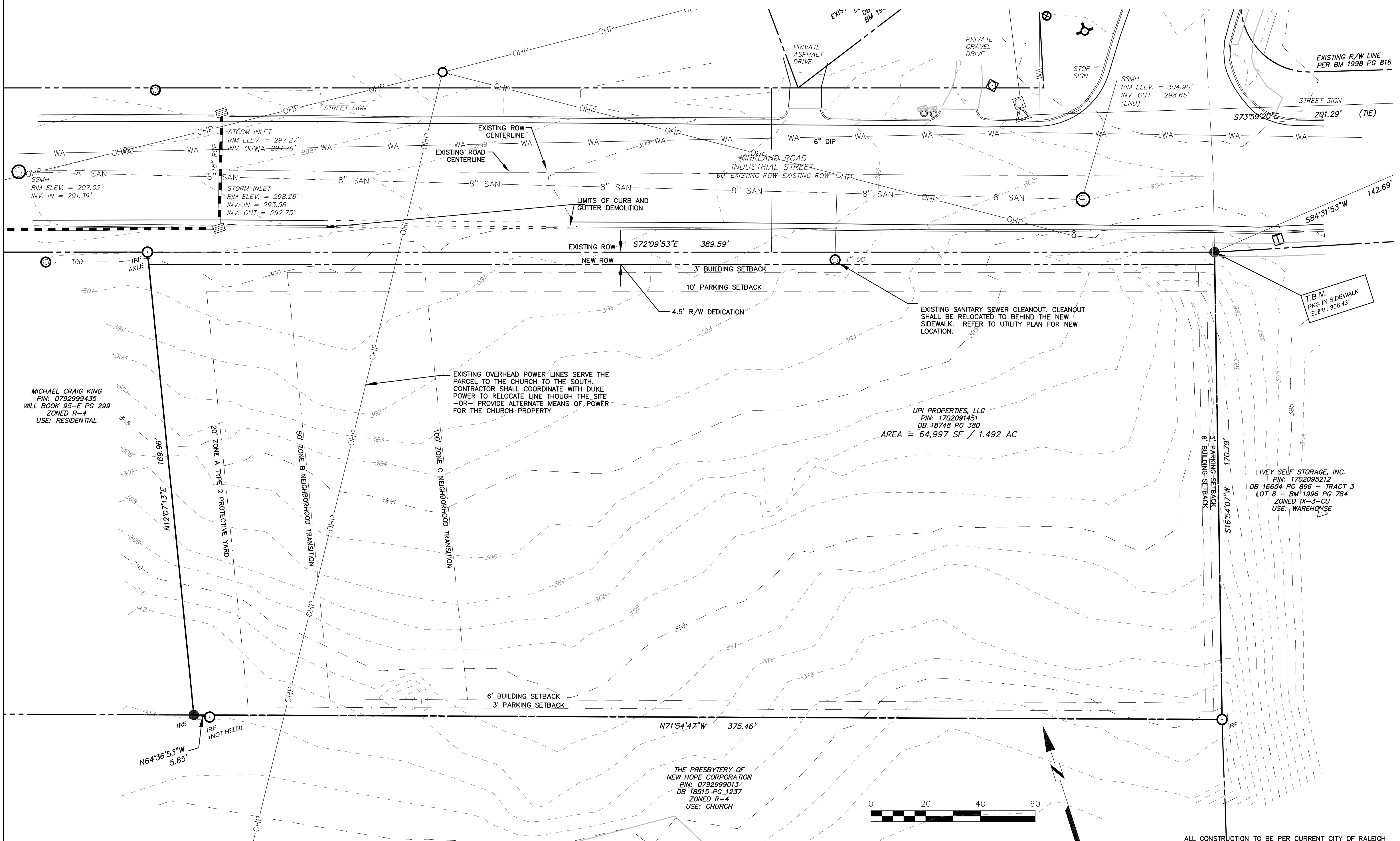
C101

LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EXISTING CONTOUR LINE - 1' INTERVAL
	EXISTING CONTOUR LINE - 5' INTERVAL
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING SANITARY SEWER
	EXISTING OVERHEAD POWER LINE

NOTES:

1. SURVEY AND TOPOGRAPHIC INFORMATION PROVIDED BY TIMMONS GROUP DATED DECEMBER 28, 2021
2. AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
5. PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AND HAS A ZONE DESIGNATION OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 3720170200K WITH A DATE OF IDENTIFICATION OF JULY 19, 2022 FOR COMMUNITY PANEL NO. 1702, IN WAKE COUNTY, STATE OF NC.
6. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN PROCESS OF CONDUCTING THE FIELDWORK.
7. NO SEPTIC OR WELLS LOCATED ON PROPERTY



ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



JA REALTY, LLC ASR-0059-2024
 1441 KIRKLAND RD, RALEIGH, NC 27603
 ZONED IX-3-CU
EXISTING CONDITIONS



Revisions:
 10/15/2024 - PER CITY OF RALEIGH COMMENTS
 12/6/2024 - PER CITY OF RALEIGH COMMENTS
 1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE: JANUARY 15, 2025
 ISSUED FOR: REVIEW
 SHEET NO.

C200

LEGEND

- PROPERTY LINE
- ADJOINING PROPERTY LINE
- BUFFER
- SETBACK
- CURB AND GUTTER
- EXISTING OVERHEAD POWER LINE
- NEW OVERHEAD POWER LINE
- RETAINING WALL WITH FENCE
- ADA ROUTE
- WASTE REMOVAL VEHICLE PATH
- LIGHT POLE
- ACCESSIBLE AMENITY AREA
- AMENITY AREA

SITE DATA

PARCEL ID NO	1702-09-1451
ZONING	IX-3-CU
OVERLAY	SH00-2 (NOT APPLICABLE; NOT ADJACENT TO HIGHWAY AND SITE LESS THAN 2-ACRES)
OVERLAY	SPROD (NOT APPLICABLE FOR COMMERCIAL)
FRONTAGE TYPE	NONE
EXISTING USE	VACANT
PROPOSED USE	WHOLESALE TRADE
EXISTING BUILDING	0 SF
PROPOSED BUILDING	19,229 SF (17,832 SF FIRST FLOOR/1,397 SF SECOND FLOOR)
RESIDENTIAL DENSITY	NONE
PARKING REQUIRED	NO MAXIMUM / NO MINIMUM
PARKING PROPOSED	18
PRIMARY STREET	KIRKLAND ROAD
AREA GROSS EXISTING	1.49 ACRES / 64,997 SF
AREA NET AFTER R/W	1.45 ACRES / 63,245 SF
TREE CONSERVATION AREA	NOT APPLICABLE - SITE LESS THAN 2 ACRES
EXISTING IMPERVIOUS	0.0 ACRES
PROPOSED IMPERVIOUS	0.93 AC
100YR FLOOD PLAIN	NONE
HEIGHT, STORIES ALLOWABLE	THREE
HEIGHT, STORIES PROPOSED	TWO
LAND DISTURBANCE	1.6 ACRES
AMENITY AREA 10% REQUIRED	6,325 SF - 10% REQUIRED PER UDO SECTION 3.2.5.A
AMENITY AREA PROVIDED	6,672 SF
AMENITY AREA ADA ACCESSIBLE	3,163 SF (50% OF REQUIRED AMENITY AREA)
UDO 1.5.3.B.2	3,312 SF PROVIDED

ADA PARKING AREA SUMMARY

PARKING SPACES PROVIDED: 18 SPACES
 ADA PARKING SPACES REQUIRED: 1 SPACES
 ADA PARKING SPACES PROVIDED: 1 SPACES (1 VAN)

BICYCLE PARKING SUMMARY

WHOLESALE TRADES USE:
 NONE REQUIRED
 NONE PROPOSED

SETBACKS, PER UDO SECTION 3.2.5

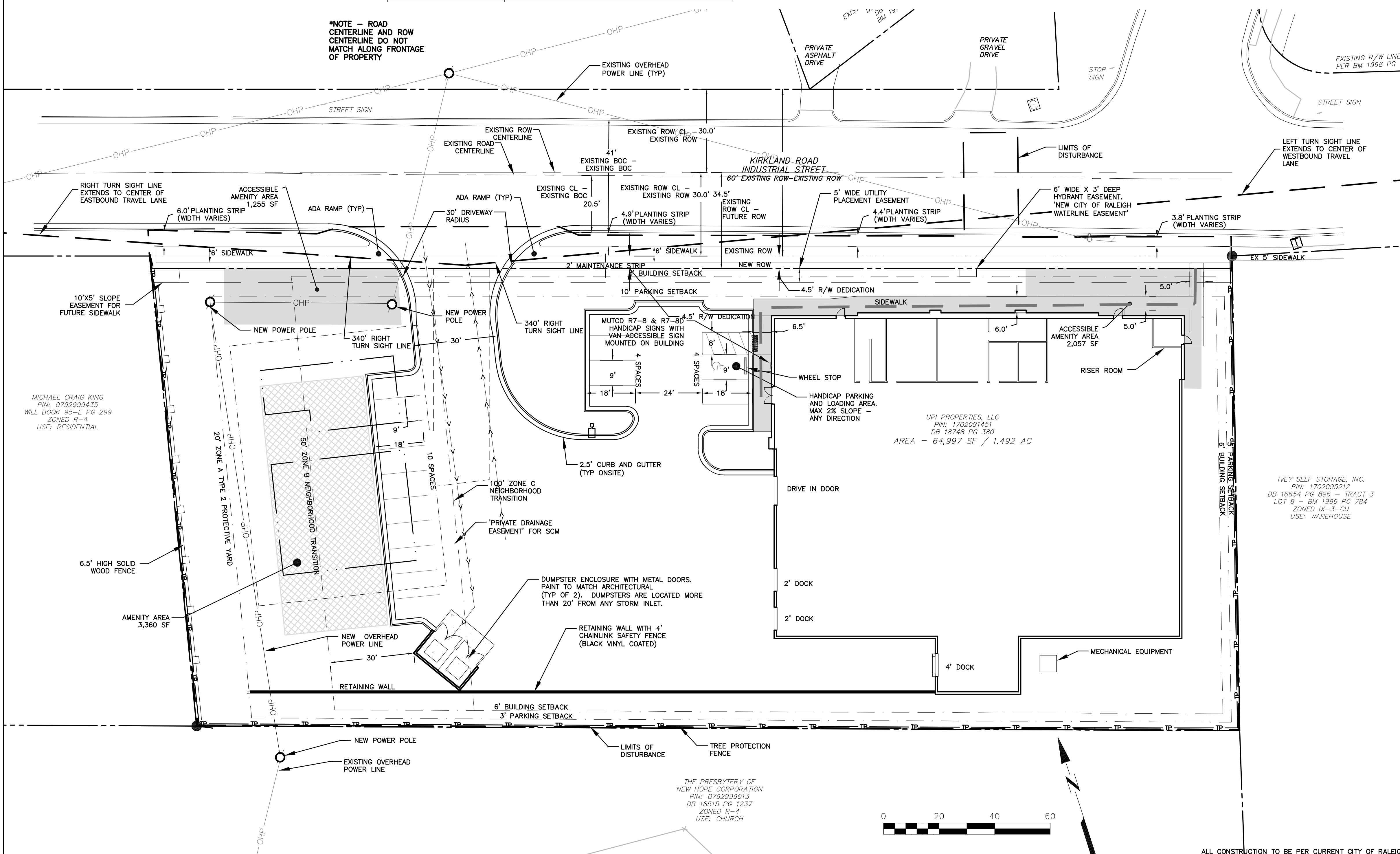
BUILDING PER UDO SECTION 3.2.5.B
 PRIMARY STREET 3'
 SIDE STREET 3'
 SIDE LOT 0' OR 6'
 REAR LOT 0' OR 6'

PARKING PER UDO SECTION 3.2.5.C
 PRIMARY STREET 10'
 SIDE STREET 10'
 SIDE LOT 0' OR 3'
 REAR LOT 0' OR 3'

SITE PLAN NOTES:

1. NO FREE STANDING SIGNS ARE PROPOSED AS PART OF THE DESIGN. IF NEW FREE STANDING SIGNS ARE REQUIRED IN THE FUTURE, IT WILL BE PERMITTED SEPARATELY.
2. ALL DENIED AREAS NOT COVERED WITH IMPERVIOUS SURFACE OR NOTED LANDSCAPING TO BE PERMANENTLY SEEDDED.
3. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR CONSTRUCTION SHOWN ON THESE PLANS.
4. ALL DIMENSIONS AND STAKING POINT LOCATIONS ARE TO BACK OF CURB/EDGE OF PAVEMENT/GRAVEL UNLESS OTHERWISE NOTED.
5. ANY WORK SHOWN ON THESE PLANS THAT IS FOUND TO BE IN CONFLICT WITH LOCAL ZONING SETBACK REQUIREMENTS SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR ADJUSTMENT.
6. LOCATIONS FOR EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. CONTRACTOR SHALL CALL UTILITY LOCATOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES.
7. CONTRACTOR SHALL AT ALL TIMES MAINTAIN ADEQUATE SAFETY MEASURES, ACTIVITIES, AND BARRICADES FOR THE PROTECTION OF ALL PERSONS ON OR ABOUT THE LOCATION OF THE SITE.
8. CONTRACTOR SHALL INSTALL SIGNS, AND CONSTRUCT NECESSARY RAMPS, AS PER THE NORTH CAROLINA STATE BUILDING CODE, FOR ALL HANDICAP PARKING SPACES NOTED ON THE PLANS.
9. FOR ALL HANDICAPPED PARKING SPACES, AS PER ADA CODE: 1) REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE GROUND SIGNS ONLY; 2) NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS; 3) ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; 4) STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT.
10. INSTALL DIRECTIONAL ARROWS, LANE MARKINGS, "STOP" MESSAGES, ETC. AS SHOWN ON THE PLANS WITH TRAFFIC MARKING PAINT ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. USE WHITE PAINT.
11. HVAC UNITS THAT ARE ROOF MOUNTED AND SCREENED FROM OFFSITE VIEW
12. ALL CONSTRUCTION TO BE PERFORMED TO CITY OF RALEIGH STANDARDS, SPECIFICATIONS AND DETAILS.
13. RETAINING WALL SHALL BE CONSTRUCTED OF HIGH QUALITY MATERIALS INCLUDING ONE OR A COMBINATION OF THE FOLLOWING: DECORATIVE BLOCK, BRICK, STONE, CAST-STONE, ARCHITECTURAL BLOCK, SPLIT-FACED BLOCK, STUCCO OVER STANDARD CONCRETE MASONRY BLOCK, GLASS BLOCK, WOOD, WROUGHT IRON, COMPOSITE FENCING, WIRE, PVC VINYL, ALUMINUM OR METAL. UDO SECTION 7.2.8.B.1. REFER TO DETAIL ON SHEET 10.

*NOTE - ROAD CENTERLINE AND ROW CENTERLINE DO NOT MATCH ALONG FRONTAGE OF PROPERTY



ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



JA REALTY, LLC ASR-0059-2024
 1441 KIRKLAND RD, RALEIGH, NC 27603
 ZONED IX-3-CU
SITE PLAN



REVISIONS:
 10/15/2024 - PER CITY OF RALEIGH COMMENTS
 12/16/2024 - PER CITY OF RALEIGH COMMENTS
 1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE: JANUARY 15, 2025
 ISSUED FOR REVIEW

SHEET NO. **C300**

LEGEND

- EXISTING CONTOUR LINE - 1' INTERVAL
- EXISTING CONTOUR LINE - 5' INTERVAL
- PROPOSED CONTOUR LINE - 1' INTERVAL
- PROPOSED CONTOUR LINE - 5' INTERVAL
- PROPOSED STORM PIPE
- RETAINING WALL WITH FENCE
- WA --- WA --- WA --- PROPOSED WATER LINE
- SA --- SA --- SA --- PROPOSED SANITARY SERVICE
- ADA ROUTE
- TP --- TP --- TP --- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE

SITE NOTES:

- THE SITE IS LOCATED IN THE NEUSE RIVER BASIN.
- THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL TESTING FIRM
- ANY RETAINING WALLS (INCLUDING GEOGRID) SHALL NOT BE LOCATED WITHIN A RIGHT-OF-WAY, BUFFER, OR EASEMENT. SEVERAL RETAINING WALLS ON THIS PROJECT ARE WITHIN 6' OF AN EASEMENT AND WILL REQUIRE GEOGRID DESIGN THAT DO NOT ENCR OACH INTO THE EASEMENT. RETAINING WALL COMPANY TO PROVIDE DESIGN DRAWINGS TO BE PERMITTED SEPERATELY FROM THE CITY OF RALEIGH. PROVIDE 4' FENCE ALONG ALL WALLS THAT ARE GREATER THAN 2.5' HIGH.
- THE RETAINING WALL HEIGHT FOR THIS PROJECT VARIES FROM 3' TO 12'.

STORMWATER QUANTITY AND QUALITY NOTES:

SITE AREA: 1.5 ACRES
 IMPERVIOUS AREA: 0.93 ACRES - 62%

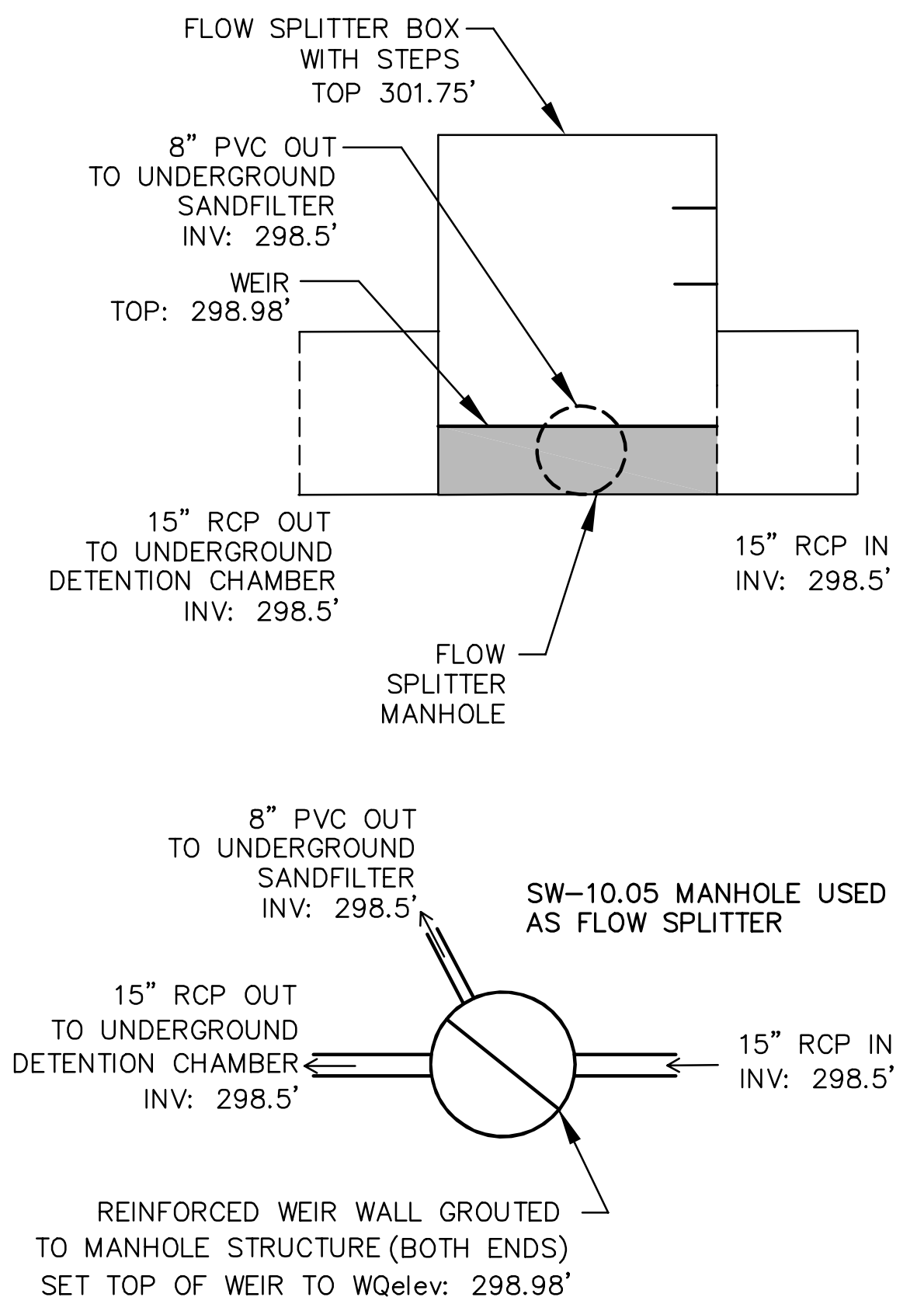
POST DEVELOPMENT STORMWATER QUANTITY SHALL BE MANAGED BY UNDERGROUND DETENTION THAT WILL DETAIN THE RUNOFF RATES FOR THE 1-YEAR, 2-YEAR AND 10-YEAR STORM EVENTS TO PRE-DEVELOPMENT RUNOFF RATES.

POST DEVELOPMENT STORMWATER QUALITY SHALL BE ACHIEVED BY THE USE OF AN UNDERGROUND SAND FILTER.

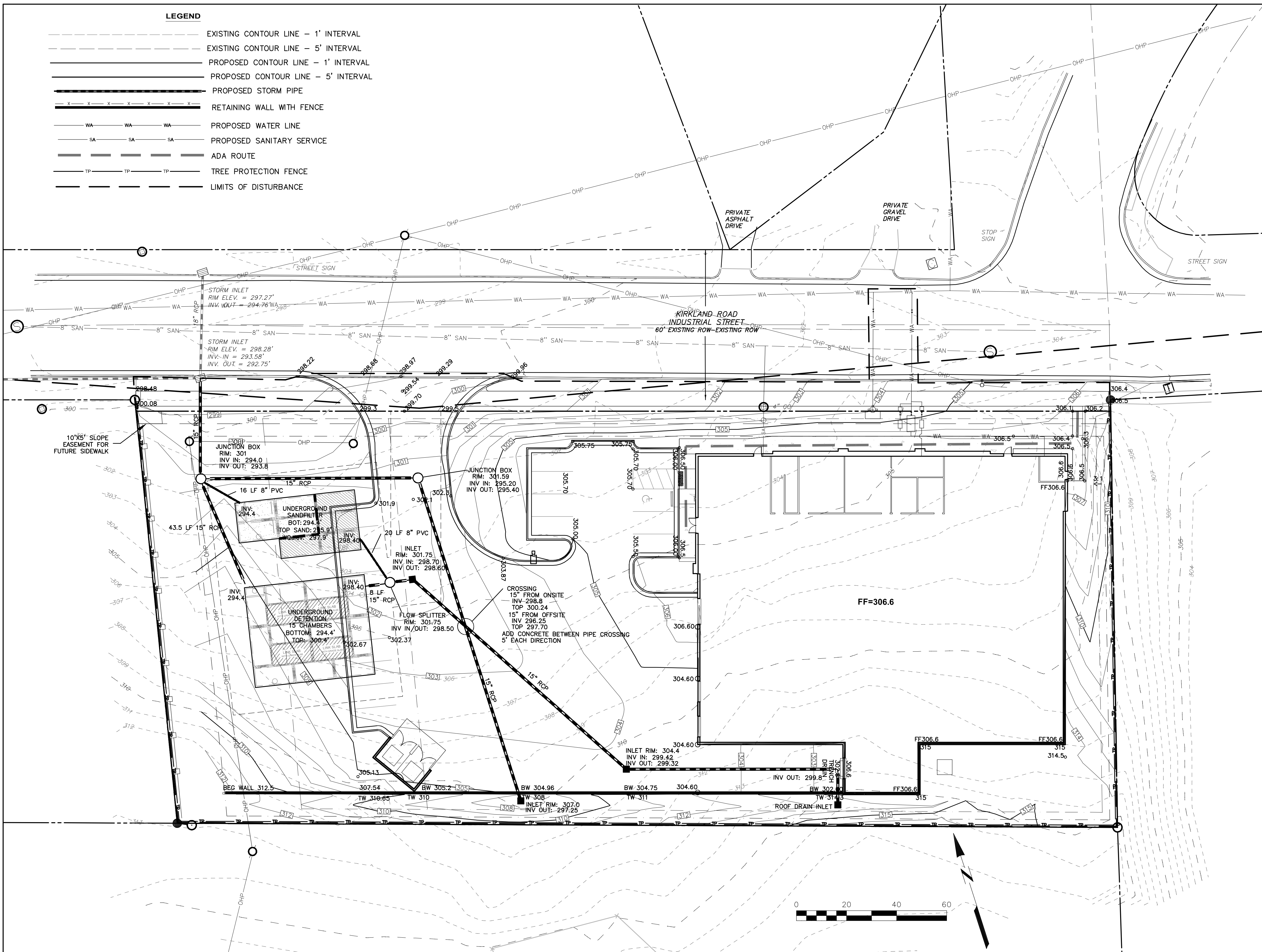
BUILDING AVERAGE GRADE TABLE (UDO SECTION 1.5.7):

THE BUILDING AVERAGE GRADE IS THE AVERAGE POST DEVELOPMENT GRADE ABOVE SEA LEVEL ALONG THE BUILDING ELEVATION MOST PARALLEL AND CLOSEST TO KIRKLAND ROAD, WHICH IS THE PRIMARY STREET.

HIGHEST GRADE ELEVATION	306.6'
LOWEST GRADE ELEVATION	306.6'
AVERAGE GRADE ELEVATION	306.6'



SEASONAL HIGH WATER TABLE(SHWT):
 THE SHWT WAS FIELD INVESTIGATED AND DETERMINED TO BE BELOW 292'. GREATER THAN 1-FOOT SEPARATION IS PROVIDED BETWEEN THE BOTTOM OF THE FLOW SPLITTER AND THE SHWT.



ADA ACCESS NOTES:

ALL ADA ACCESSIBLE LOCATIONS ARE SHOWN ON THE PLAN. THEY INCLUDE, BUT ARE NOT LIMITED TO; ADA PARKING SPACES, SIDEWALK BETWEEN ADA PARKING SPACES AND MAIN BUILDING ENTRANCE, SIDEWALK BETWEEN MAIN BUILDING ENTRANCE AND PUBLIC RIGHT OF WAY.

ADA PARKING SPACE MAXIMUM SLOPE IN ANY DIRECTION IS 2%. THIS INCLUDES ALL ADA PARKING SPACES AND ACCESS AISLES.

ADA ROUTES MAXIMUM RUNNING SLOPE IS 5% AND MAXIMUM CROSS SLOPE IS 2%.

CONTRACTOR SHALL PREPARE FORMS FOR ADA PATHS PRIOR TO POURING CONCRETE OR ASPHALT. CONTRACTOR SHALL VERIFY RUNNING SLOPE AND CROSS SLOPE OF ADA PATHS. A SMART LEVEL DEVICE SHALL BE USED TO VERIFY THESE SLOPES.

UPON COMPLETION OF OF ALL ADA PATHS, CONTRACTOR SHALL ONCE AGAIN VERIFY THE RUNNING AND CROSS SLOPE OF THESE AREAS WITH A SMART LEVEL. ANY REPAIRS MADE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

HDPE NOTES:

- HDPE SHALL CONFORM TO AASHTO M294 - CORRUGATED EXTERIOR / SMOOTH INTERIOR PIPE (TYPE S).
- SHALL HAVE CERTIFICATION BY PPI (PLASTIC PIPE INSTITUTE)
- BELL AND SPIGOT JOINTS WITH O-RING GASKET REQUIRED. BELLS SHALL COVER TWO FULL CORRUGATIONS ON EACH SIDE OF PIPE. GASKET TO CONFORM TO ASTM F477.
- INSTALLATION TRENCH WIDTH SHALL BE A MINIMUM OF THE OUTSIDE DIAMETER OF THE PIPE PLUS 4- FEET.
- HDPE SHALL BE BACKFILLED WITH 4" OF #57 STONE BEDDING UNDER THE PIPE AND TO THE SPRINGLINE OF PIPE. REMAINING BACKFILL SHALL BE INSTALLED IN ACCORDANCE TO CURRENT CITY STANDARDS.
- COVER SHALL BE A MINIMUM OF 18-INCHES FROM THE OUTSIDE WALL OF PIPE TO FINISHED GRADE.
- NO HDPE END TREATMENTS ALLOWED. ALL END TREATMENTS SHALL BE REINFORCED CONCRETE.

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.



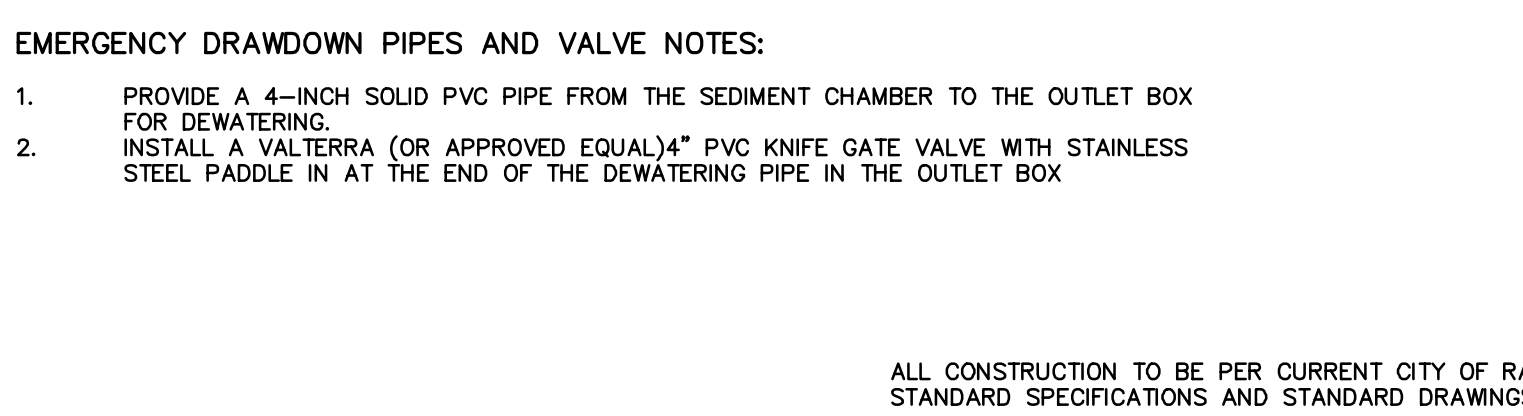
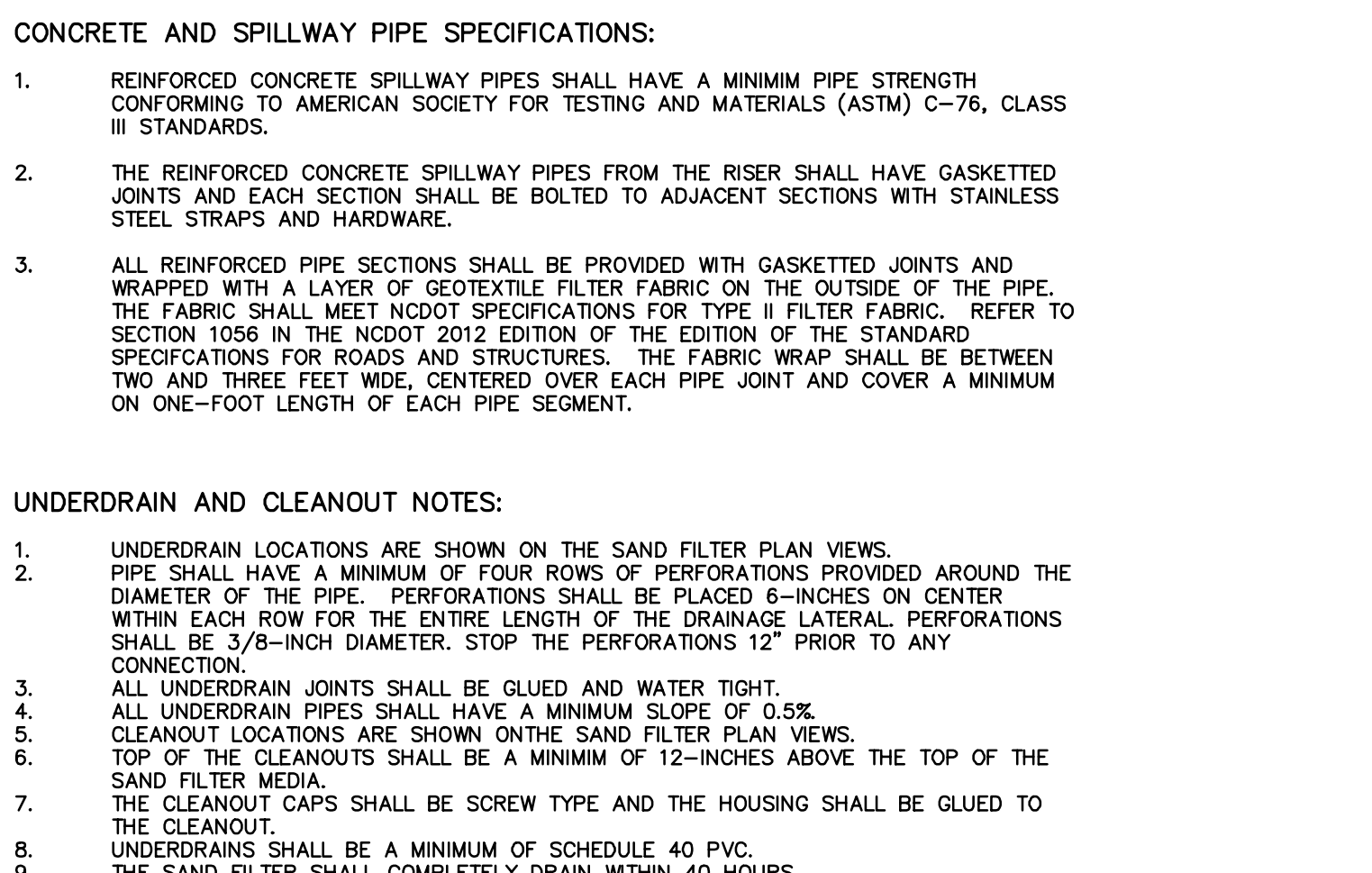
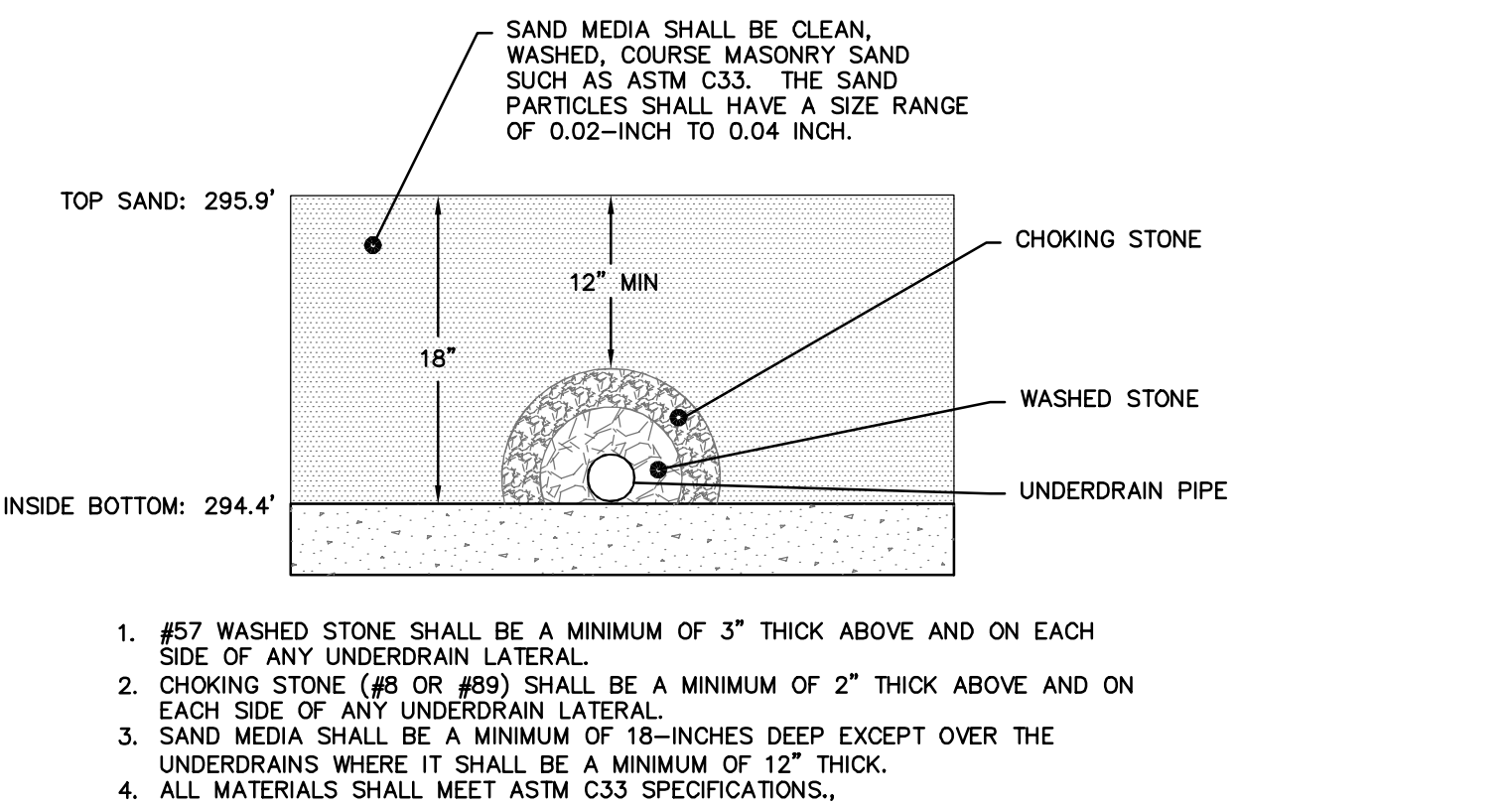
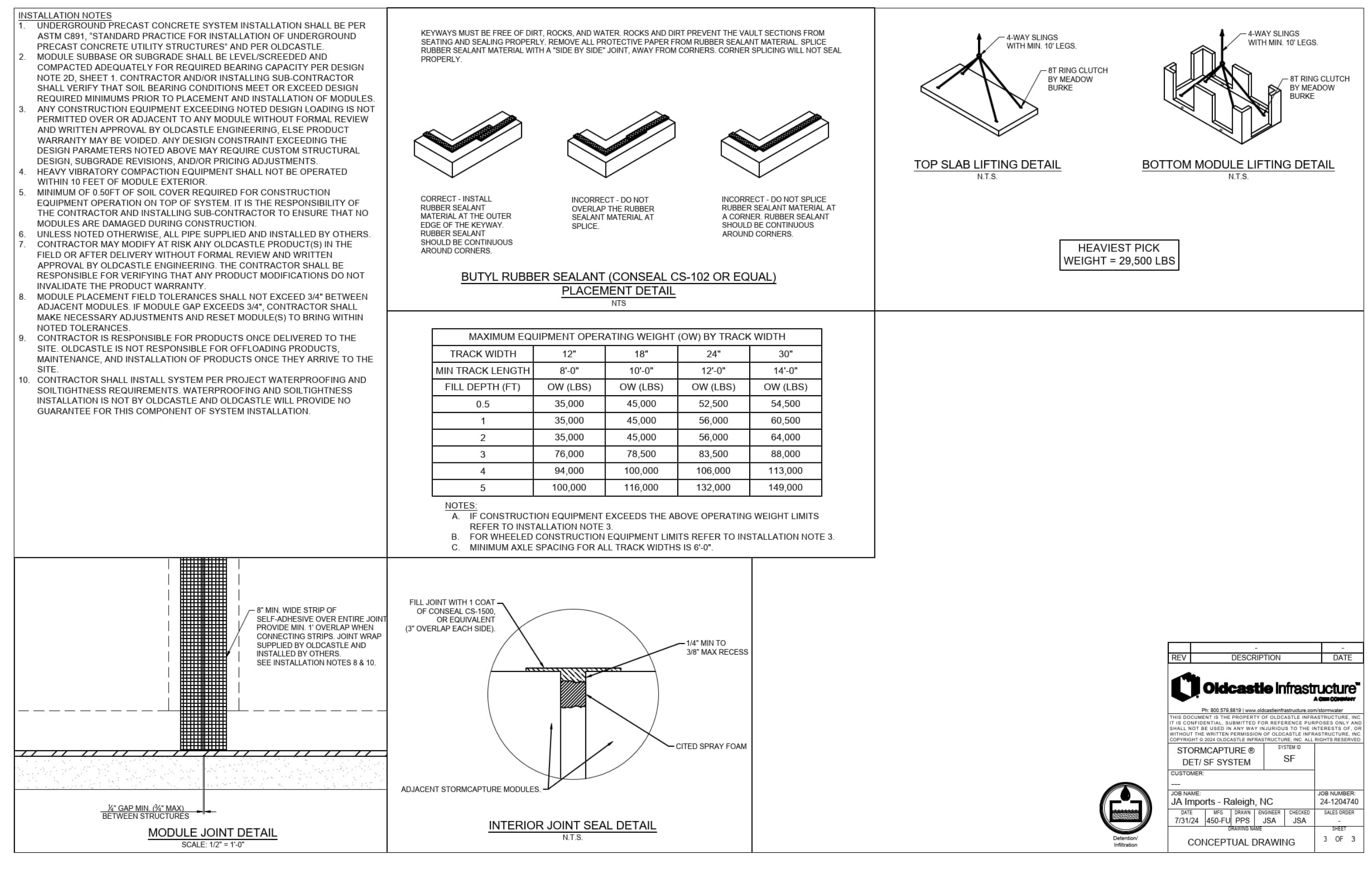
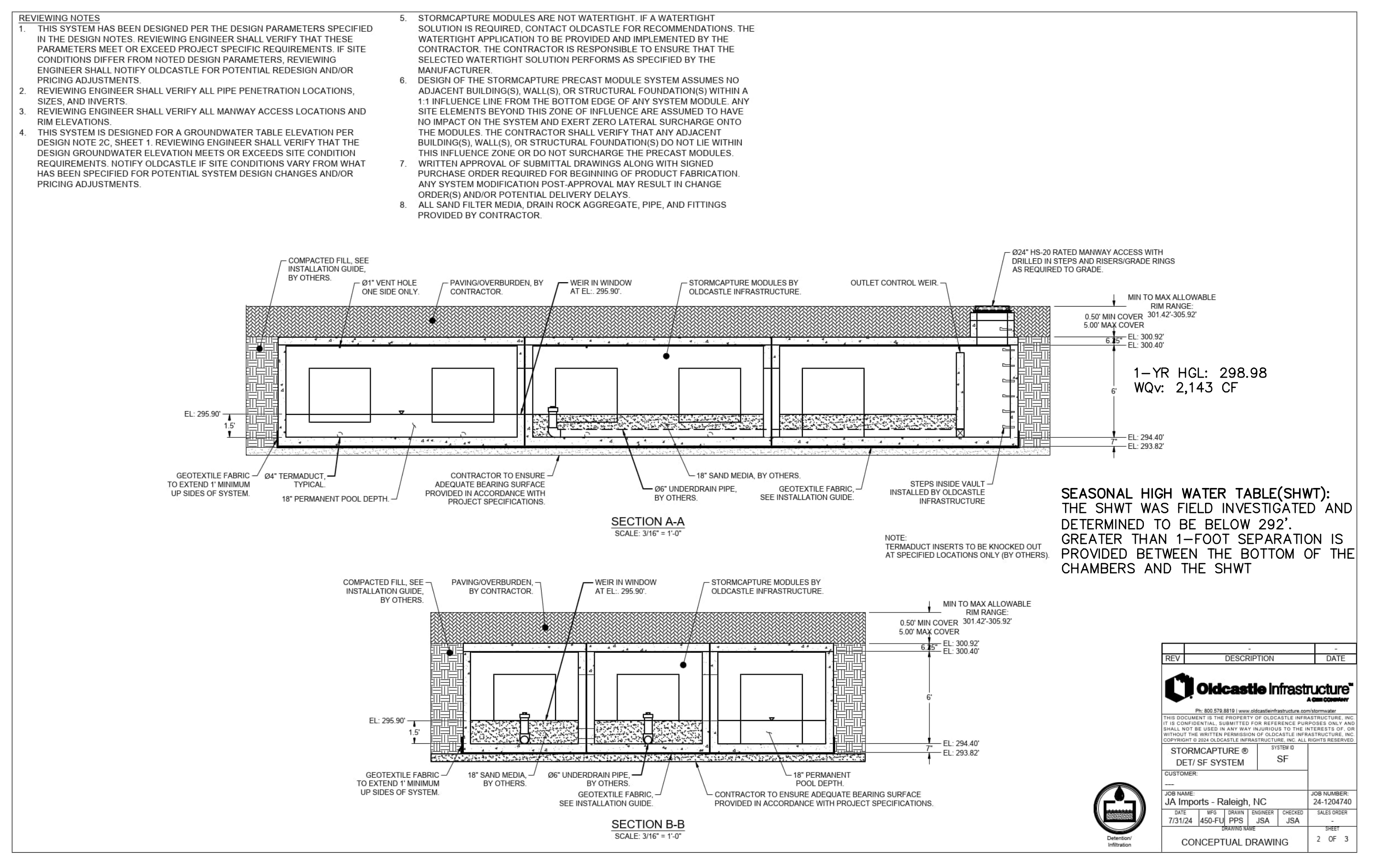
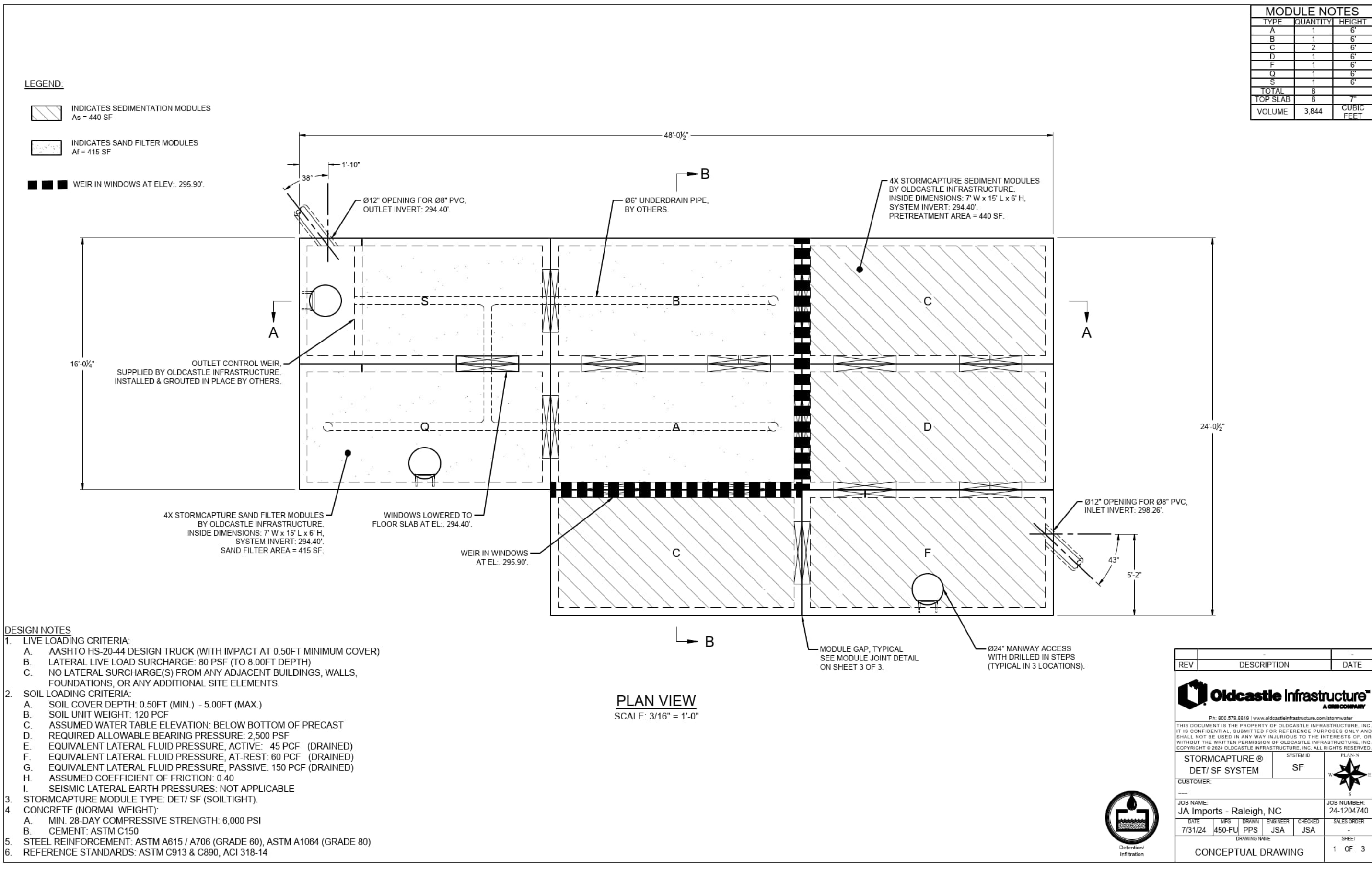
JA REALTY, LLC ASR-0059-2024
 1441 KIRKLAND RD, RALEIGH, NC 27603
 ZONED IX-3-CU
GRADING PLAN

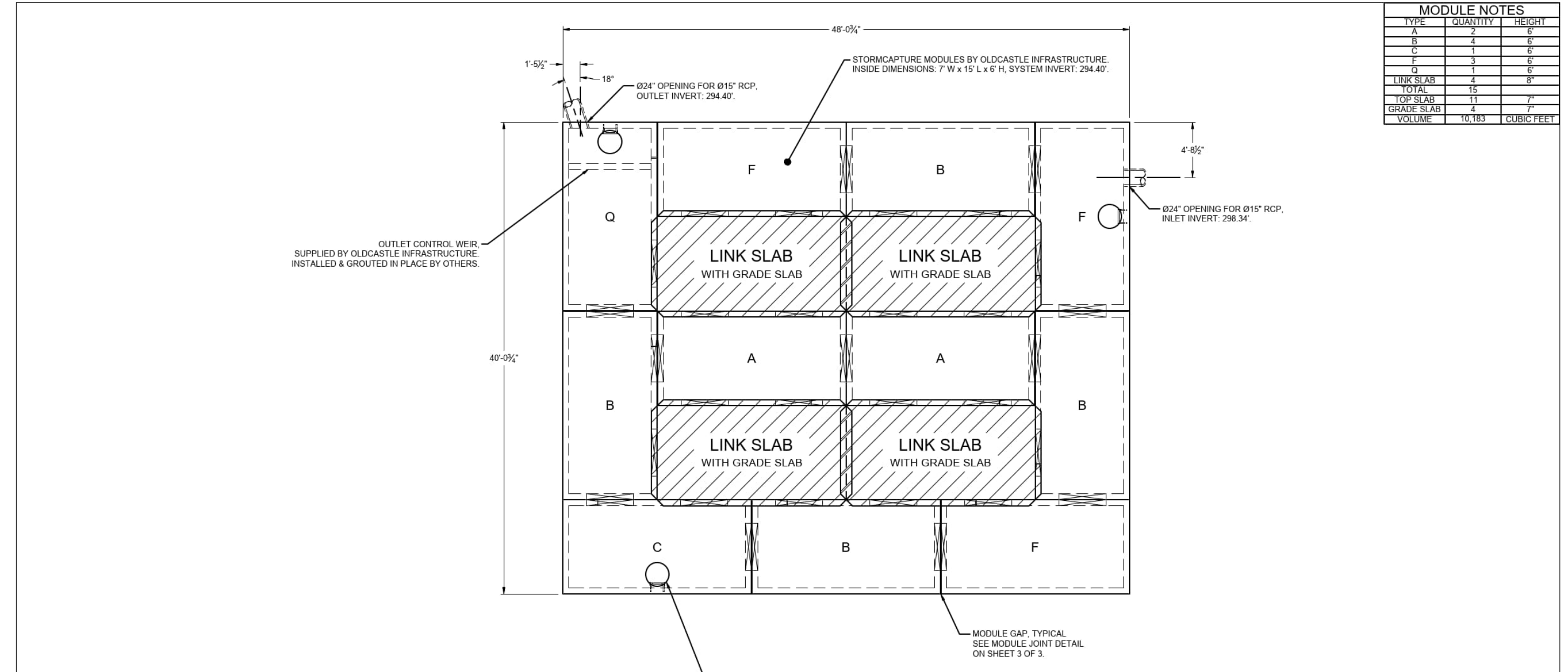


Revisions:
 10/15/2024 - PER CITY OF RALEIGH COMMENTS
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 1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE: JANUARY 15, 2025
 ISSUED FOR: REVIEW
 SHEET NO.

C400





MODULE NOTES

TYPE	QUANTITY	HEIGHT
A	2	6"
B	4	6"
C	1	6"
D	1	6"
E	1	6"
F	1	6"
TOTAL	10	6"
LINK SLAB WITH GRADE SLAB	11	6"
GRADE SLAB	1	6"
VOLUME	108	CUBIC FEET

- DESIGN NOTES**
- LIVE LOADING CRITERIA
 - AASHTO HS-20-44 DESIGN TRUCK (WITH IMPACT AT 0.50FT MINIMUM COVER)
 - LATERAL LIVE LOAD SURCHARGE: 60 PSF (TO 4.00FT DEPTH)
 - NO LATERAL SURCHARGE(S) FROM ANY ADJACENT BUILDINGS, WALLS, FOUNDATIONS, OR ANY ADDITIONAL SITE ELEMENTS.
 - SOIL LOADING CRITERIA
 - SOIL COVER DEPTH: 0.50FT (MIN.) - 5.00FT (MAX.)
 - SOIL UNIT WEIGHT: 120 PCF
 - ASSUMED WATER TABLE ELEVATION: BELOW BOTTOM OF PRECAST
 - REQUIRED ALLOWABLE BEARING PRESSURE: 3,000 PSF
 - EQUIVALENT LATERAL FLUID PRESSURE, ACTIVE: 45 PCF (DRAINED)
 - EQUIVALENT LATERAL FLUID PRESSURE, AT REST: 60 PCF (DRAINED)
 - EQUIVALENT LATERAL FLUID PRESSURE, PASSIVE: 150 PCF (DRAINED)
 - ASSUMED COEFFICIENT OF FRICTION: 0.40
 - SEISMIC LATERAL EARTH PRESSURES, NOT APPLICABLE
 - STORMCAPTURE MODULE TYPE: DETENTION (SOIL TIGHT)
 - CONCRETE (NORMAL WEIGHT)
 - MIN. 28-DAY COMPRESSIVE STRENGTH: 6,000 PSI
 - CEMENT: ASTM C150
 - STEEL REINFORCEMENT: ASTM A615 / A706 (GRADE 60), ASTM A1064 (GRADE 80)
 - REFERENCE STANDARDS: ASTM C913 & C890, ACI 318-14

PLAN VIEW
SCALE: 1/8" = 1'-0"

REV	DESCRIPTION	DATE

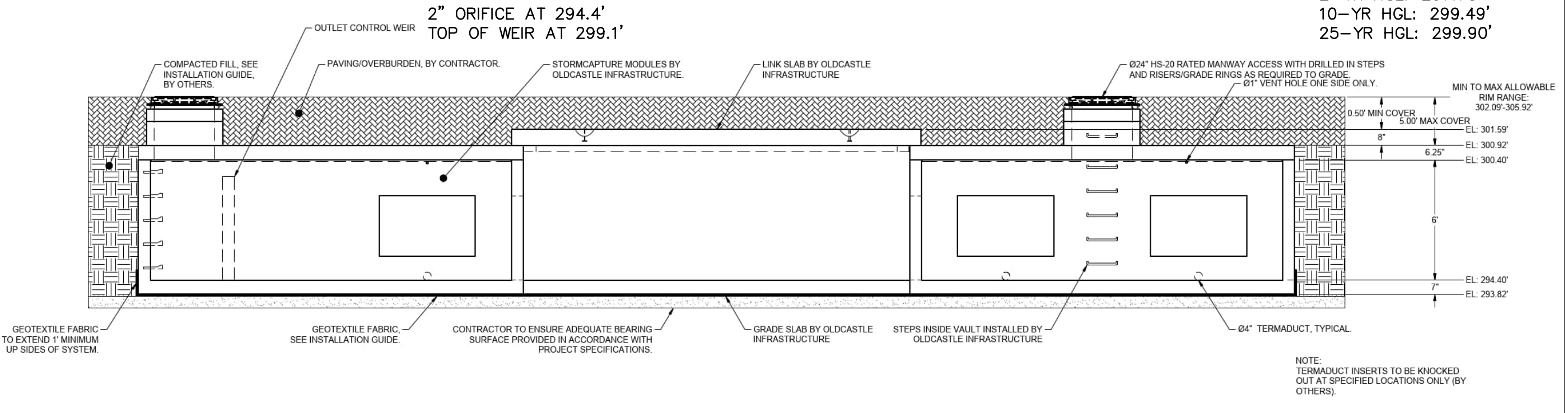
Oldcastle Infrastructure
A CONCRETE SOLUTION

STORMCAPTURE® DETENTION SYSTEM

CONCEPTUAL DRAWING 1 OF 3

- REVIEWING NOTES**
- THIS SYSTEM HAS BEEN DESIGNED PER THE DESIGN PARAMETERS SPECIFIED IN THE DESIGN NOTES. REVIEWING ENGINEERS SHALL VERIFY THAT THESE PARAMETERS MEET OR EXCEED PROJECT SPECIFIC REQUIREMENTS. IF SITE CONDITIONS DIFFER FROM NOTED DESIGN PARAMETERS, REVIEWING ENGINEER SHALL NOTIFY OLDCASTLE FOR POTENTIAL REDESIGN AND/OR PRICING ADJUSTMENTS.
 - REVIEWING ENGINEER SHALL VERIFY ALL PIPE PENETRATION LOCATIONS, SIZES, AND INVERTS.
 - REVIEWING ENGINEER SHALL VERIFY ALL MAINWAY ACCESS LOCATIONS AND RIM ELEVATIONS.
 - THIS SYSTEM IS DESIGNED FOR A GROUNDWATER TABLE ELEVATION PER DESIGN NOTE 2C, SHEET 1. REVIEWING ENGINEER SHALL VERIFY THAT THE DESIGN GROUNDWATER ELEVATION MEETS OR EXCEEDS SITE CONDITION REQUIREMENTS. NOTIFY OLDCASTLE IF SITE CONDITIONS VARY FROM WHAT HAS BEEN SPECIFIED FOR POTENTIAL SYSTEM DESIGN CHANGES AND/OR PRICING ADJUSTMENTS.
 - STORMCAPTURE MODULES ARE NOT WATERTIGHT. IF A WATERTIGHT SOLUTION IS REQUIRED, CONTACT OLDCASTLE FOR RECOMMENDATIONS. THE WATERTIGHT APPLICATION TO BE PROVIDED AND IMPLEMENTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE SELECTED WATERTIGHT SOLUTION PERFORMS AS SPECIFIED BY THE MANUFACTURER.
 - DESIGN OF THE STORMCAPTURE PRECAST MODULE SYSTEM ASSUMES NO ADJACENT BUILDINGS, WALLS, OR STRUCTURAL FOUNDATIONS WITH A 1:1 INFLUENCE LINE FROM THE BOTTOM EDGE OF ANY SYSTEM MODULE. ANY SITE ELEMENTS BEYOND THIS ZONE OF INFLUENCE ARE ASSUMED TO HAVE NO IMPACT ON THE SYSTEM AND EXERT ZERO LATERAL SURCHARGE ONTO THE MODULES. THE CONTRACTOR SHALL VERIFY THAT ANY ADJACENT BUILDINGS, WALLS, OR STRUCTURAL FOUNDATIONS DO NOT LIE WITHIN THIS INFLUENCE ZONE OR DO NOT SURCHARGE THE PRECAST MODULES. WRITTEN APPROVAL OF SUBMITTAL DRAWINGS ALONG WITH SIGNED PURCHASE ORDER REQUIRED FOR BEGINNING OF PRODUCT FABRICATION. ANY SYSTEM MODIFICATION POST APPROVAL MAY RESULT IN CHANGE ORDERS AND/OR POTENTIAL DELIVERY DELAYS.
 - ALL SAND FILTER MEDIA, DRAIN ROCK AGGREGATE, PIPE, AND FITTINGS PROVIDED BY CONTRACTOR.

1-YR HGL: 296.86'
2-YR HGL: 297.73'
10-YR HGL: 299.49'
25-YR HGL: 299.90'



TYPICAL ELEVATION
NTS

SEASONAL HIGH WATER TABLE(SHW):
THE SHWT WAS FIELD INVESTIGATED AND DETERMINED TO BE BELOW 297' GREATER THAN 1-FOOT SEPARATION IS PROVIDED BETWEEN THE BOTTOM OF THE CHAMBERS AND THE SHWT

REV	DESCRIPTION	DATE

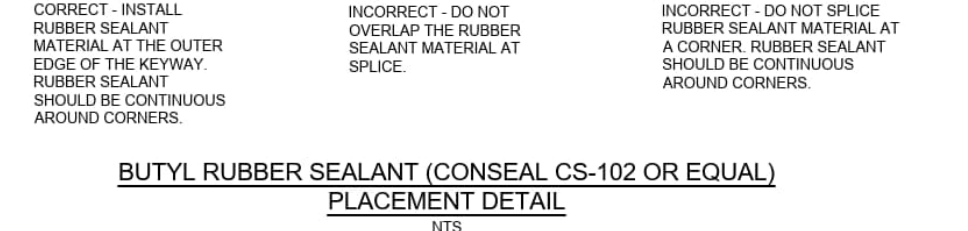
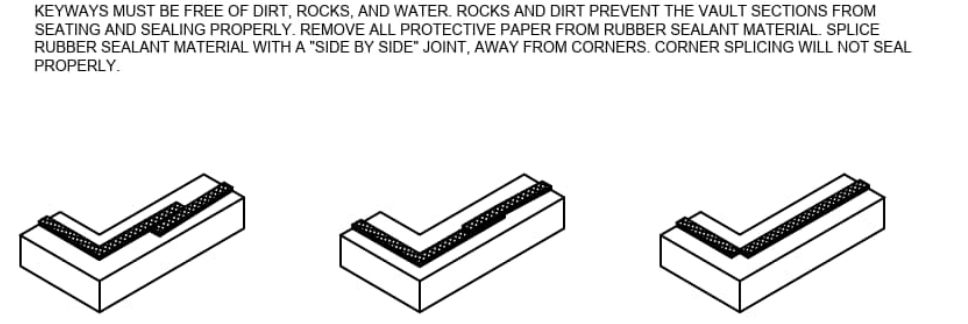
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A CONCRETE SOLUTION

STORMCAPTURE® DETENTION SYSTEM

CONCEPTUAL DRAWING 2 OF 3



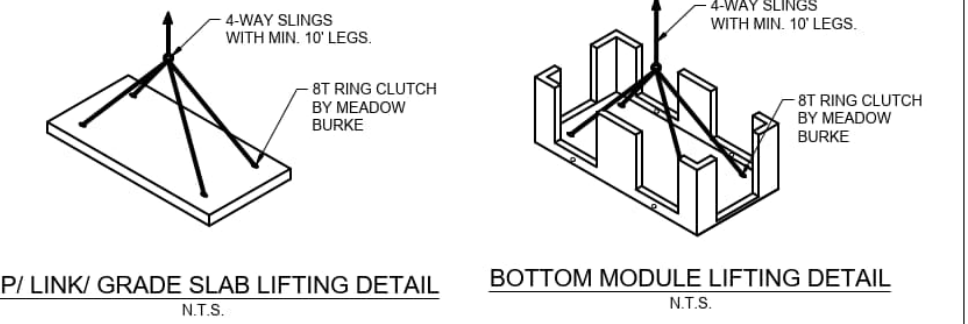
- INSTALLATION NOTES**
- UNDERGROUND PRECAST CONCRETE SYSTEM INSTALLATION SHALL BE PER ASTM C891, 'STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES' AND PER OLDCASTLE.
 - MODULE SUBBASE OR SUBGRADE SHALL BE LEVEL, SCAFFOLD AND COMPACTED ADEQUATELY FOR REQUIRED BEARING CAPACITY PER DESIGN NOTE 2D, SHEET 1. CONTRACTOR AND/OR INSTALLING SUB-CONTRACTOR SHALL VERIFY THAT SOIL BEARING CONDITIONS MEET OR EXCEED DESIGN REQUIRED MINIMUMS PRIOR TO PLACEMENT AND INSTALLATION OF MODULES.
 - ANY CONSTRUCTION EQUIPMENT EXCEEDING NOTED DESIGN LOADING IS NOT PERMITTED OVER OR ADJACENT TO ANY MODULE WITHOUT FORMAL REVIEW AND WRITTEN APPROVAL BY OLDCASTLE ENGINEERING. ELSE PRODUCT WARRANTY MAY BE VOIDED. ANY DESIGN CONSTRAINT EXCEEDING THE DESIGN PARAMETERS NOTED ABOVE MAY REQUIRE CUSTOM STRUCTURAL DESIGN, SUBGRADE REVISIONS, AND/OR PRICING ADJUSTMENTS.
 - HEAVY VIBRATORY COMPACTION EQUIPMENT SHALL NOT BE OPERATED WITHIN 10 FEET OF MODULE EXTERIOR.
 - MINIMUM OF 0.50FT OF SOIL COVER REQUIRED FOR CONSTRUCTION EQUIPMENT OPERATION ON TOP OF SYSTEM. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND INSTALLING SUB-CONTRACTOR TO ENSURE THAT NO MODULES ARE DAMAGED DURING CONSTRUCTION.
 - UNLESS NOTED OTHERWISE, ALL PIPE SUPPLIED AND INSTALLED BY OTHERS. CONTRACTOR MAY MODIFY AT RISK ANY OLDCASTLE PRODUCTS IN THE FIELD OR AFTER DELIVERY WITHOUT FORMAL REVIEW AND WRITTEN APPROVAL BY OLDCASTLE ENGINEERING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ANY PRODUCT MODIFICATIONS DO NOT INVALIDATE THE PRODUCT WARRANTY.
 - MODULE PLACEMENT FIELD TOLERANCES SHALL NOT EXCEED 3/4" BETWEEN ADJACENT MODULES. IF MODULE GAP EXCEEDS 3/4", CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS AND RESET MODULES TO BRING WITHIN NOTED TOLERANCES.
 - CONTRACTOR IS RESPONSIBLE FOR PRODUCTS ONCE DELIVERED TO THE SITE. OLDCASTLE IS NOT RESPONSIBLE FOR OFFLOADING PRODUCTS, MAINTENANCE, AND INSTALLATION OF PRODUCTS ONCE THEY ARRIVE TO THE SITE.
 - CONTRACTOR SHALL INSTALL SYSTEM PER PROJECT WATERPROOFING AND SOIL TIGHTNESS REQUIREMENTS. WATERPROOFING AND SOIL TIGHTNESS INSTALLATION IS NOT BY OLDCASTLE AND OLDCASTLE WILL PROVIDE NO GUARANTEE FOR THIS COMPONENT OF SYSTEM INSTALLATION.



BUTYL RUBBER SEALANT (CONSAL CS-102 OR EQUAL) PLACEMENT DETAIL
NTS

TRACK WIDTH	12"	18"	24"	30"
MIN TRACK LENGTH	8'-0"	10'-0"	12'-0"	14'-0"
FILL DEPTH (FT)	OW (LBS)	OW (LBS)	OW (LBS)	OW (LBS)
0.5	35,000	45,000	52,500	64,500
1	35,000	45,000	56,000	60,500
2	35,000	45,000	56,000	64,000
3	76,000	78,500	83,500	88,000
4	94,000	100,000	106,000	113,000
5	100,000	116,000	132,000	149,000

- NOTES**
- IF CONSTRUCTION EQUIPMENT EXCEEDS THE ABOVE OPERATING WEIGHT LIMITS REFER TO INSTALLATION NOTE 3.
 - FOR WHEELED CONSTRUCTION EQUIPMENT LIMITS REFER TO INSTALLATION NOTE 3.
 - MINIMUM AXLE SPACING FOR ALL TRACK WIDTHS IS 9'-0".



HEAVIEST PICK WEIGHT = 29,500 LBS

REV	DESCRIPTION	DATE

Oldcastle Infrastructure
A CONCRETE SOLUTION

STORMCAPTURE® DETENTION SYSTEM

CONCEPTUAL DRAWING 3 OF 3

Revisions:
10/15/2024 - PER CITY OF RALEIGH COMMENTS
12/6/2024 - PER CITY OF RALEIGH COMMENTS
1/19/2025 - PER CITY OF RALEIGH COMMENTS

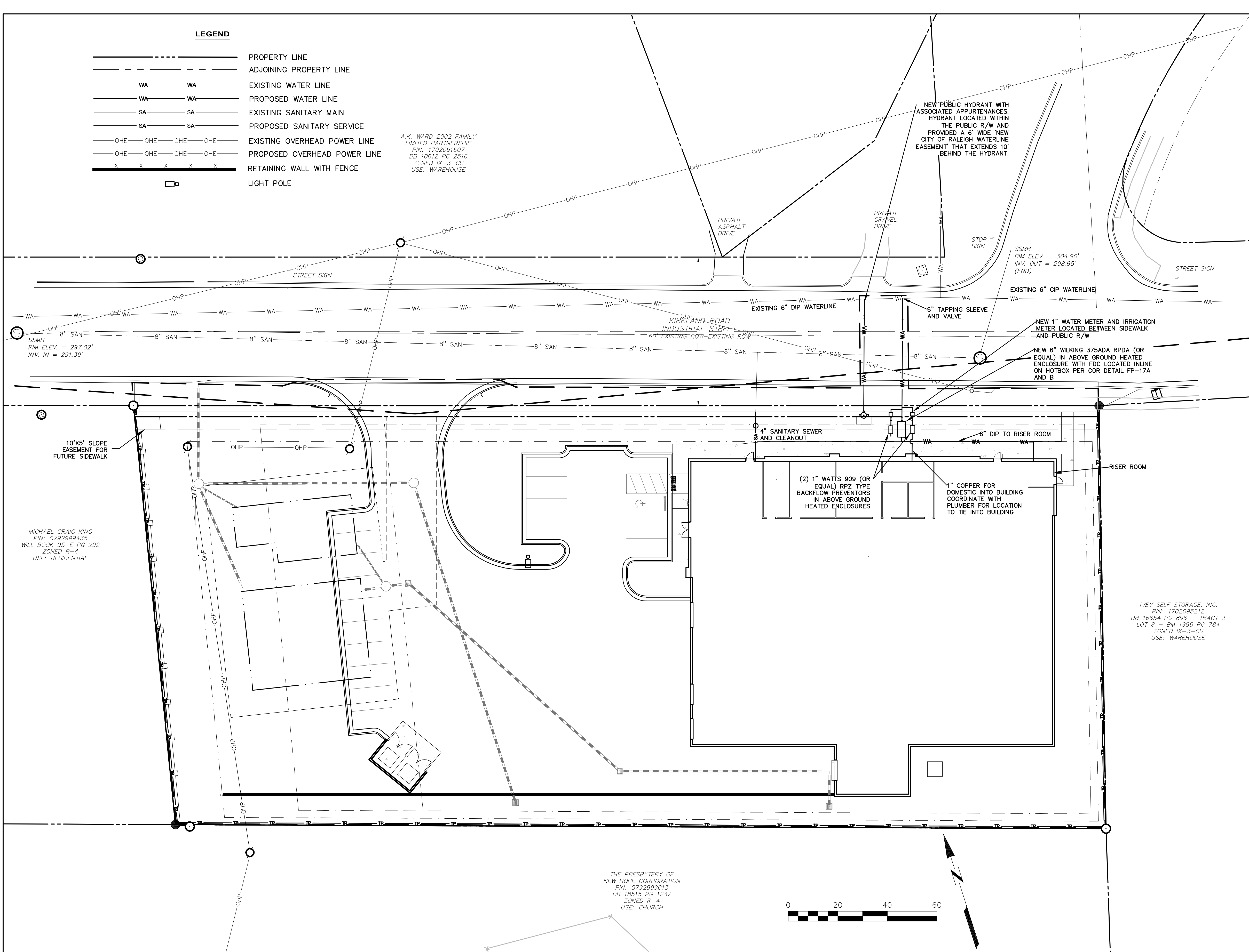
DATE: JANUARY 15, 2025
ISSUED FOR REVIEW
SHEET NO.

C402

LEGEND

---	PROPERTY LINE
---	ADJOINING PROPERTY LINE
WA	EXISTING WATER LINE
WA	PROPOSED WATER LINE
SA	EXISTING SANITARY MAIN
SA	PROPOSED SANITARY SERVICE
OHE	EXISTING OVERHEAD POWER LINE
OHE	PROPOSED OVERHEAD POWER LINE
X	RETAINING WALL WITH FENCE
⊕	LIGHT POLE

A.K. WARD 2002 FAMILY LIMITED PARTNERSHIP
 PIN: 1702091607
 DB 10612 PG 2516
 ZONED IX-3-CU
 USE: WAREHOUSE

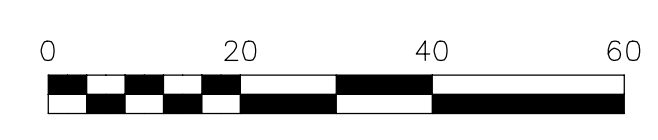


- STANDARD UTILITY NOTES:**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
 - Utility separation requirements:
 - a) A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - b) When installing water and/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e) Maintain 18' min. vertical separation at all watermain & RCP storm drain crossings; maintain 24' min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6' min. clearance (per CORPUD details W-41 & S-49).
 - f) All other underground utilities shall cross water & sewer facilities with 18' min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan and/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 2" & 3/4" copper water services with meters located at ROW or within a 2x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NC DOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

MICHAEL CRAIG KING
 PIN: 079299435
 WILL BOOK 95-E PG 299
 ZONED R-4
 USE: RESIDENTIAL

IVEY SELF STORAGE, INC.
 PIN: 1702095212
 DB 16654 PG 596 - TRACT 3
 LOT B - BM 1996 PG 784
 ZONED IX-3-CU
 USE: WAREHOUSE

THE PRESBYTERY OF NEW HOPE CORPORATION
 PIN: 0792999013
 DB 18515 PG 1237
 ZONED R-4
 USE: CHURCH



9541 INDUSTRY DRIVE, RALEIGH, NC 27603
 https://gregory-development.com - 919.779.3522

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CAPITAL CIVIL ENGINEERING
 209 N SALEM ST, STE 220, APEX, NC 27502
 PH 919.249.8587 FX 919.590.1687
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ASR-0059-2024

ZONED IX-3-CU

UTILITY PLAN

Revisions:
 10/15/2024 - PER CITY OF RALEIGH COMMENTS
 12/16/2024 - PER CITY OF RALEIGH COMMENTS
 1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE: JANUARY 15, 2025

ISSUED FOR: REVIEW

SHEET NO. **C500**

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

CITY OF RALEIGH LANDSCAPE NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS.
- NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR OR ALTERATION OF ANY BUILDING, STRUCTURE OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
- THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
- A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONDITIONS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TTP-03.
- TREE AND SHRUB PLANTINGS SHOULD NOT INTERFERE WITH THE SAFE VEHICULAR AND PEDESTRIAN CIRCULATION ON THE SITE.
- LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
- ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
- TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE.
- NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
- THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONDITIONS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
- ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
- ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THAT REQUIRED SIZE.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

LANDSCAPE YARDS:

- EAST PROPERTY LINE:**
- NO BUFFER REQUIRED
- SOUTH PROPERTY LINE:**
- NO BUFFER REQUIRED
- NORTH PROPERTY LINE:**
- STREET TREES PLACED IN PLANTING AREA 40' O.C.
- WEST PROPERTY LINE:**
- NEIGHBORHOOD TRANSITION
 - ZONE A PROTECTIVE YARD TYPE 2 MEDIUM 20' WIDE
 - ZONE B 50' WIDE
 - ZONE C 100' WIDE

PLANT SCHEDULE										
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	TYPE	USE	NOTES	
SHADE TREES										
ARO	4	<i>Acer rubrum</i> 'October Glory'	October Glory® Red Maple	B&B	3"	10'	D	ZONE A PROTECTIVE YARD	MATCHED / MATURE 50H x 40W	
GBI	3	<i>Ginkgo biloba</i>	Ginkgo	B&B	3"	10'	D	STREET TREE	MATCHED / MATURE 60H x 40W / MALE CULTIVARS ONLY	
PTA	4	<i>Pinus taeda</i>	Loblolly Pine	B&B	3"	10'	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 60H x 40W	
QNU	9	<i>Quercus nuttallii</i>	Nuttall Oak	B&B	3"	10'	D	PARKING LOT	MATCHED / MATURE 50H x 40W	
UPB	6	<i>Ulmus parvifolia</i> 'Bosque'	Chinese Elm	B&B	3"	10'	D	STREET TREE	MATCHED / MATURE 50H x 40W	
UNDERSTORY TREES										
CCF	3	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud	B&B	1.5"	6'	D	ZONE A PROTECTIVE YARD	MATCHED / MATURE 35H x 30W	
INS	4	<i>Ilex x 'Nellie R. Stevens'</i>	Nellie Stevens's Holly	B&B	1.5"	6'	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 25H x 20W	
SHRUBS										
AGR	30	<i>Abelia x grandiflora</i>	Glossy Abelia	CONT.		18"	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 5H x 5W	
ICB	23	<i>Ilex cornuta</i> 'Burbordii Nana'	Dwarf Burford Holly	CONT.		18"	E	C3 STREET PROTECTIVE YARD	MATCHED / MATURE 5H x 5W	
ICN	14	<i>Ilex cornuta</i> 'Needlepoint'	Needlepoint Holly	CONT.		36"	E	SCREEN	MATCHED / MATURE 10H x 5W	
IGS	20	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry Holly	CONT.		18"	E	ZONE A PROTECTIVE YARD	MATCHED / MATURE 5H x 5W	
IOA	49	<i>Ilex x 'Oakleaf'</i>	Oakleaf Holly	CONT.		5"	E	SCREEN	MATCHED / MATURE 14H x 8W	

TYPE / USE LEGEND

PLANT TYPE: E = EVERGREEN / D = DECIDUOUS / SE = SEMI-EVERGREEN / H = HERBACEOUS
 PLANT USE: STREET TREE / C3 STREET PROTECTIVE YARD / ZONE A PROTECTIVE YARD / PARKING LOT / SCREEN = LOADING, UTILITY, DUMPSTER SCREENING

LANDSCAPE LEGEND

SHADE TREES:

- UPB - ULMUS PARVIFOLIA 'BOSQUE'
- QNU - QUERCUS NUTTALLII
- ARO - ACER RUBRUM 'OCTOBER GLORY'
- PTA - PINUS TAEDA
- GBI - GINKGO BILOBA

UNDERSTORY TREES:

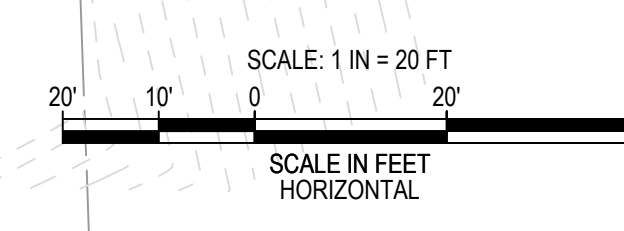
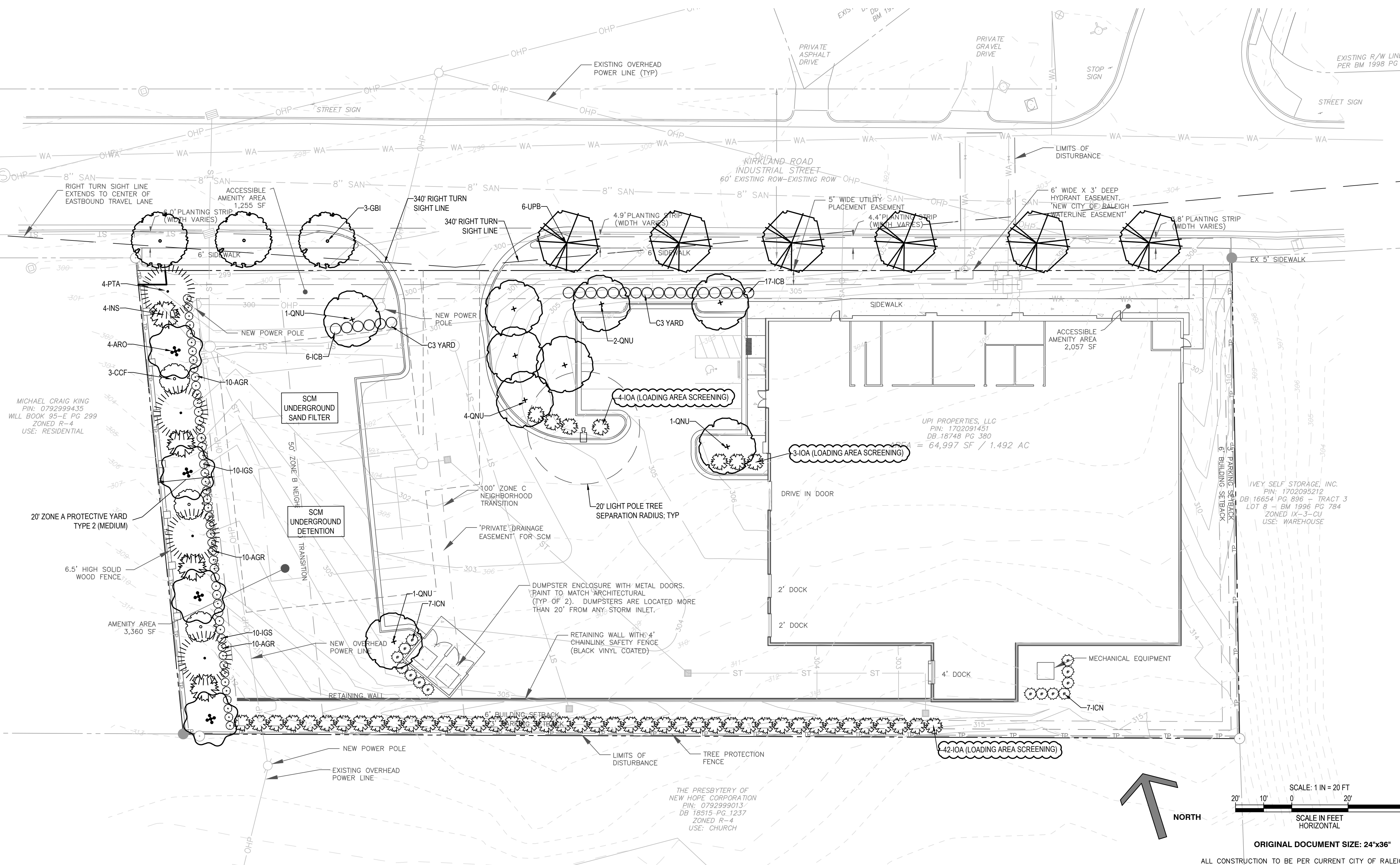
- CCF - CERCIS CANADENSIS 'FOREST PANSY'
- INS - ILEX x 'NELLIE R. STEVENS'

SHRUBS:

- ICB - ILEX CORNUTA 'BURFORDII NANA'
- ICN - ILEX CORNUTA 'NEEDLEPOINT'
- IGS - ILEX GLABRA 'SHAMROCK'
- AGR - ABELIA x GRANDIFLORA
- IOA - ILEX x 'OAKLEAF'

LANDSCAPE CALCULATIONS:

SEC. 3.5.3 ZONE A: PROTECTIVE YARD TYPE 2: MEDIUM REQUIREMENTS:	SOLID WALL OR FENCE 6.5' - 9' HT 5 SHADE TREES (50% EVERGREEN MIN.) PER 100 LF 4 UNDERSTORY TREES (50% EVERGREEN MIN.) PER 100 LF 30 EVERGREEN SHRUBS PER 100 LF
ZONE A PROTECTIVE YARD REQUIRED:	165.44 LF SOLID WALL OR FENCE 6.5' - 9' HT 8 SHADE TREES (4 EVERGREEN MIN.) 7 UNDERSTORY TREES (4 EVERGREEN MIN.) 50 EVERGREEN SHRUBS SOLID FENCE 6.5'
PROVIDED:	8 SHADE TREES (4 EVERGREEN) 7 UNDERSTORY TREES (4 EVERGREEN) 50 EVERGREEN SHRUBS
SEC. 7.1.7 VEHICLE PARKING LOT LANDSCAPING REQUIREMENTS:	1 SHADE TREE PER ISLAND NO LESS THAN 1 SHADE TREE PER 2,000 SF 20' SEPARATION BETWEEN SHADE TREES & LIGHT POLES
PARKING LOT REQUIRED:	17,853.41 SF
PROVIDED:	9 SHADE TREES 9 SHADE TREES
SEC. 7.2.4 STREET PROTECTIVE YARD TYPE C3 REQUIREMENT:	30 EVERGREEN SHRUBS PER 100 LF
C3 PROTECTIVE YARD REQUIRED:	76 LF
PROVIDED:	23 EVERGREEN SHRUBS 23 EVERGREEN SHRUBS
SEC. 8.4 STREET TREES REQUIREMENTS:	1 SHADE TREE PER 40 LF
KIRKLAND ROAD REQUIRED:	389.22 LF
PROVIDED:	9 SHADE TREES 9 SHADE TREES



ORIGINAL DOCUMENT SIZE: 24"x36"
 ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

Gregory DEVELOPMENT LLC

9541 INDUSTRY DRIVE, RALEIGH, NC 27603

https://gregory-development.com - 919.779.3522

JA REALTY, LLC ASR-0059-2024

1441 KIRKLAND RD, RALEIGH, NC 27603

ZONED IX-3-CU

LANDSCAPE PLAN

Southwell Design LANDSCAPE ARCHITECTURE

PO Box 37178 Raleigh, North Carolina 27627

919.272.8729 | info@southwelldesign.com | www.southwelldesign.com

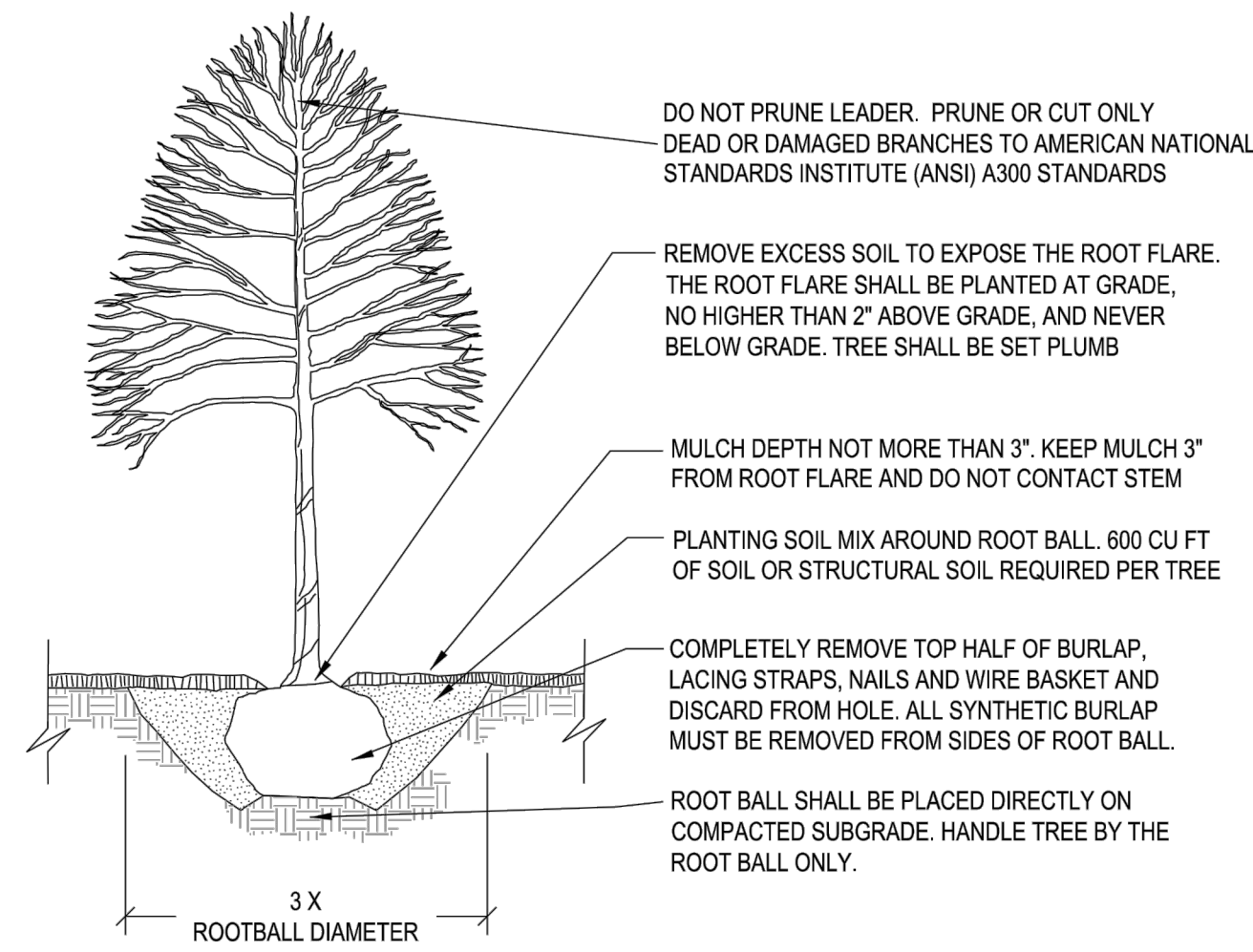
Revisions: 10/15/2024 - PER CITY OF RALEIGH COMMENTS
 12/6/2024 - PER CITY OF RALEIGH COMMENTS

DATE: DECEMBER 6, 2024

ISSUED FOR REVIEW

SHEET NO.

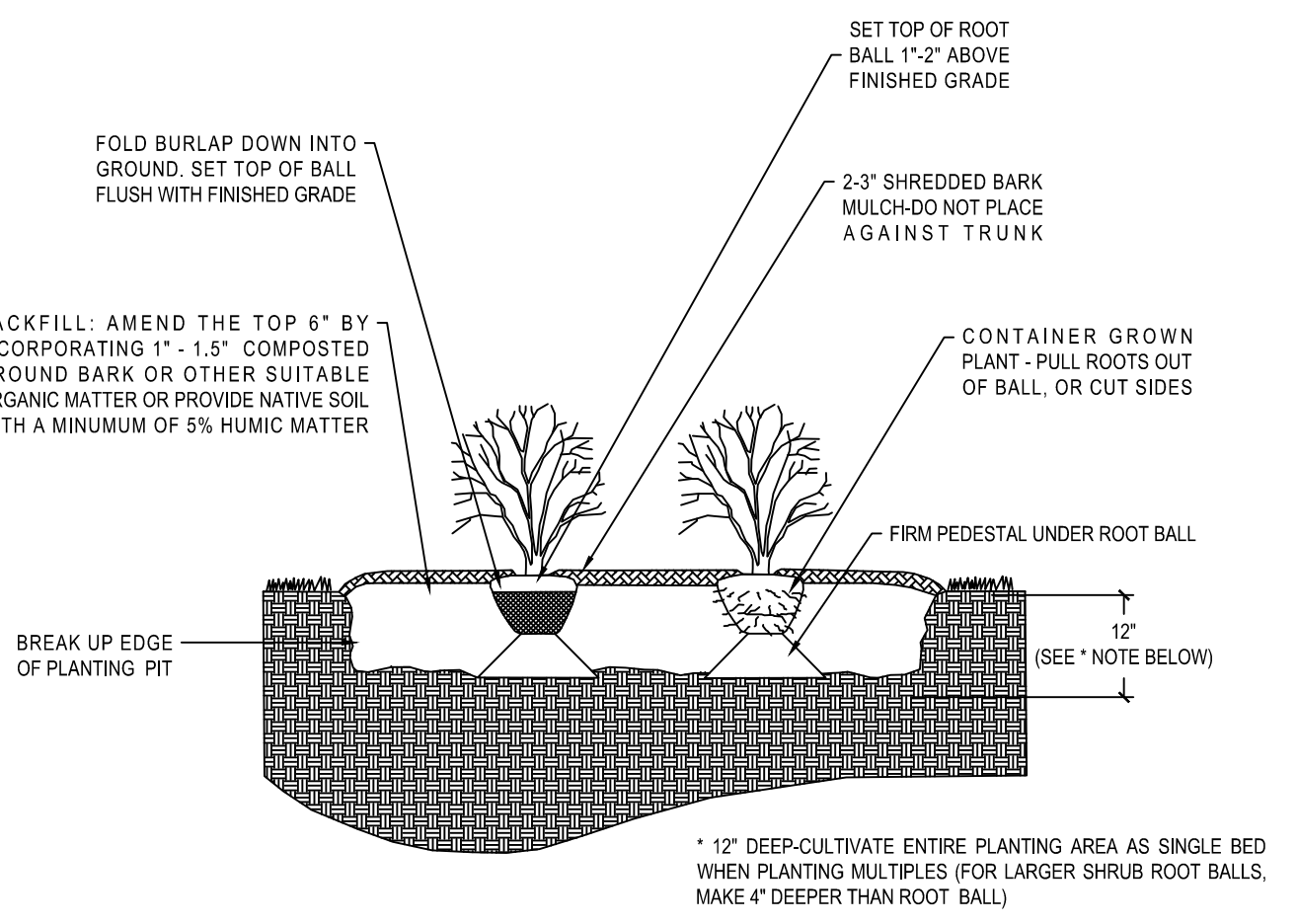
C600



CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
 RESOURCES DEPARTMENT URBAN FORESTER:
 TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV

- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
10/20/19		
TREE PLANTING DETAIL		
TPP-03		



- NOTES:
- ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
 - SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED.
 - SHEET PREPARATION OF BEDS IS HIGHLY PREFERRED TO INDIVIDUAL DUG HOLES.

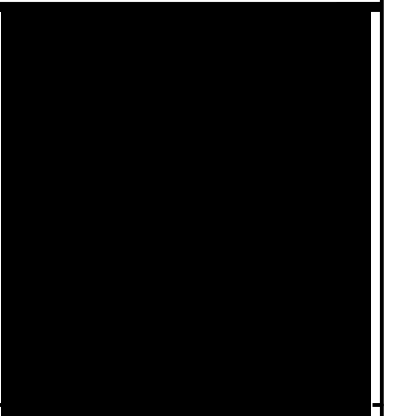
SHRUB/GROUND COVER PLANTING DETAIL (LAN-38)
 NTS



JA REALTY, LLC ASR-0059-2024
 1441 KIRKLAND RD, RALEIGH, NC 27603
 ZONED IX-3-CU
 LANDSCAPE DETAILS



Revisions:
 10/15/2024 - PER CITY OF RALEIGH COMMENTS
 12/6/2024 - PER CITY OF RALEIGH COMMENTS



DATE
 DECEMBER 6, 2024

ISSUED FOR
 REVIEW

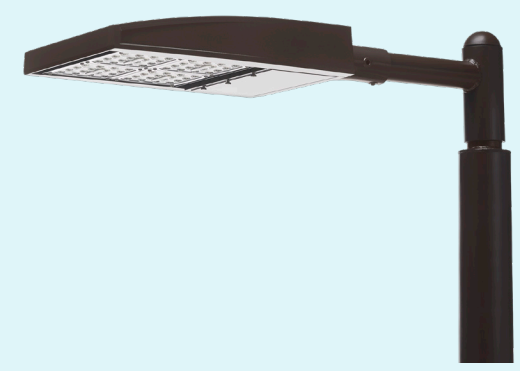
SHEET NO.

C601

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	A		1	EATON - STREETWORKS (FORMER COOPER LIGHTING)	GAN-AF-04-LED-U-T4W	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	64	381	0.85	225	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	1.0 fc	3.1 fc	0.0 fc	N/A	N/A
Offsite	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

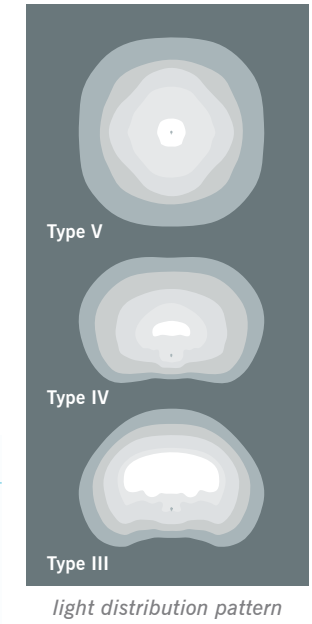
Note
ALL FIXTURES MOUNTED ON BLACK ALUMINUM POLES AT 30' HEIGHT



SHOEBOX LED
(Meets Dark Sky Criteria)

LED (Light-emitting diode)	150 220 420 530 watts
Mounting height	25', 30', 35'
Color	Black Bronze Gray White
Pole	Fiberglass (1 or 2 fixtures per pole) Decorative tapered metal Decorative square metal
Applications	Neighborhoods Roadways Shopping centers

Light source: LED (white)
Wattage: 150 | 220 | 420 | 530 watts
Light pattern: IES Type V | Type IV (forward throw) | Type III
IESNA cutoff classification: Full-cutoff
BUG rating: 150W Type III = B2U0G3 / Type IV = B3U0G4 / Type V = B5U0G3
220W Type III = B2U0G4 / Type IV = B3U0G4 / Type V = B4U0G3
420W Type IV = B3U0G5 / Type V = B5U0G5
530W Type IV = B3U0G5 / Type V = B5U0G5
Color temperature: 4,000K



POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

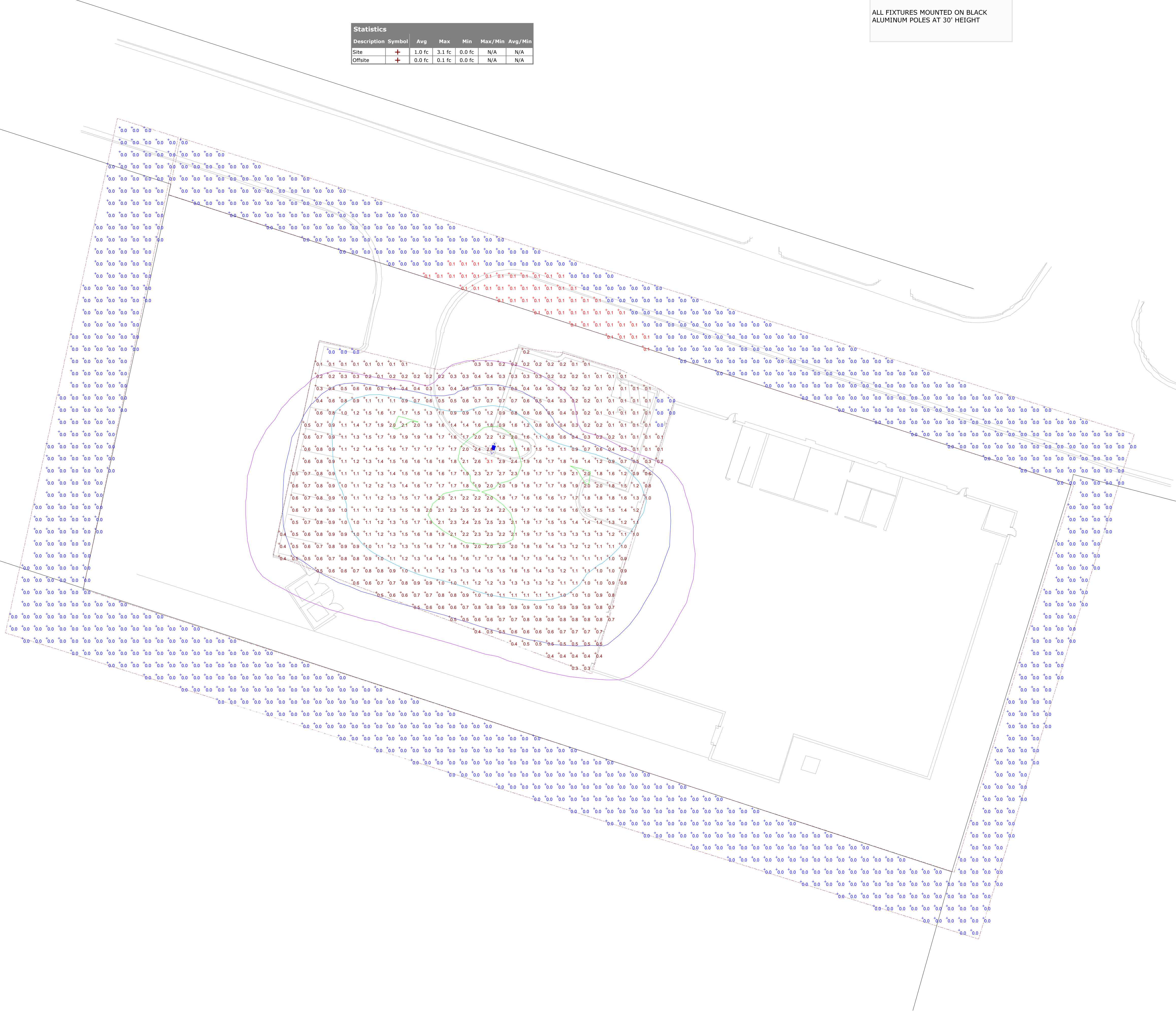
FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, email us at ODLCarolinas@duke-energy.com.

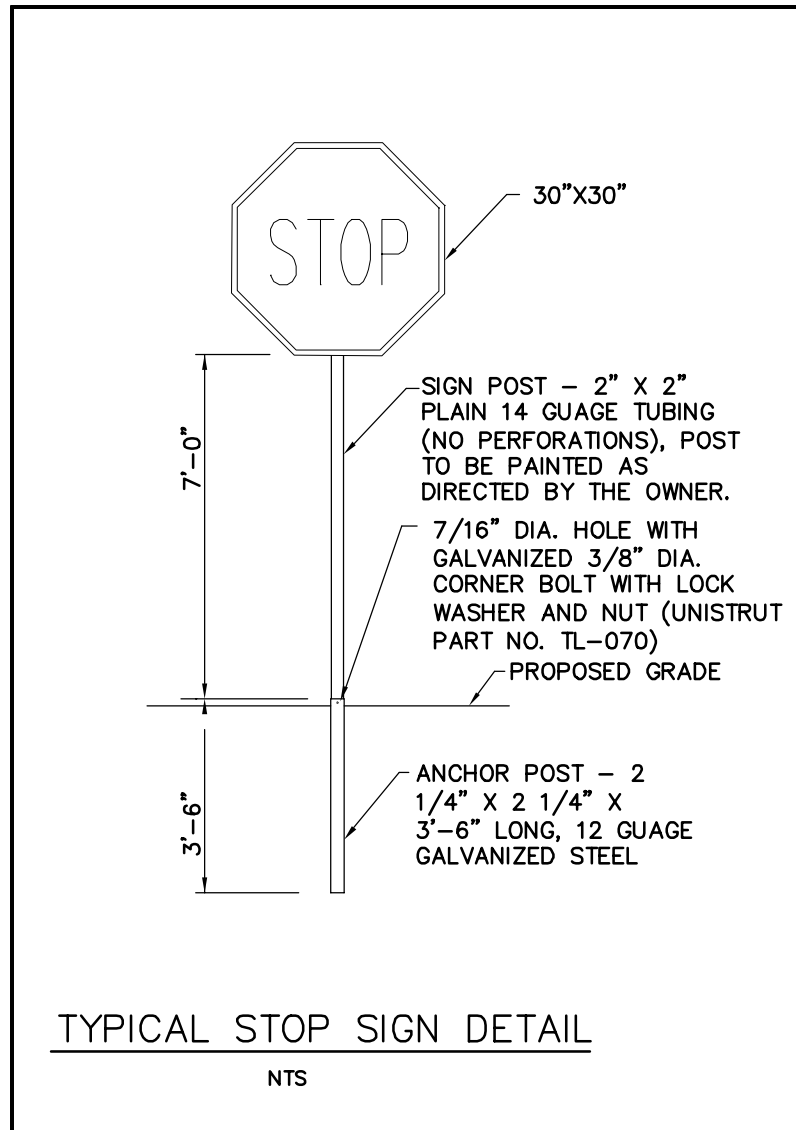


BUILDING A SMARTER ENERGY FUTURESM

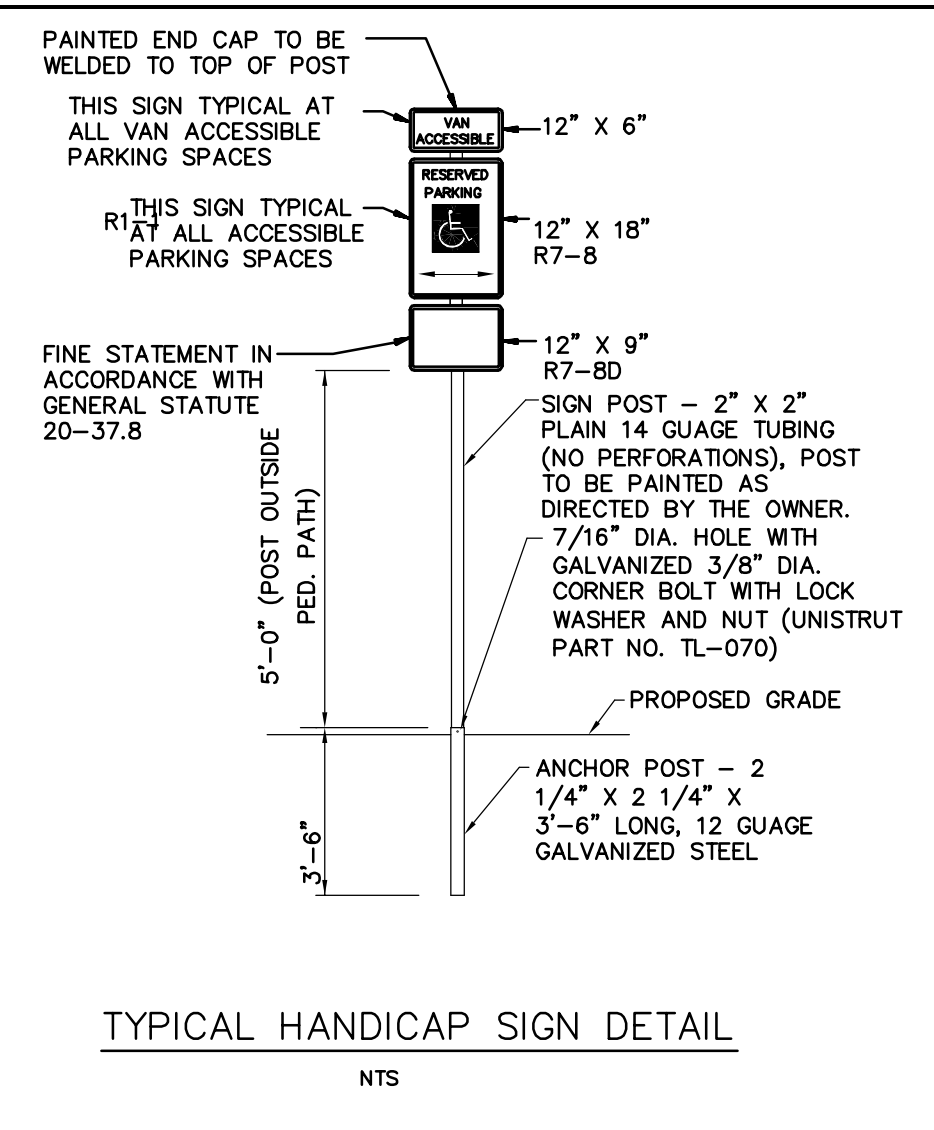
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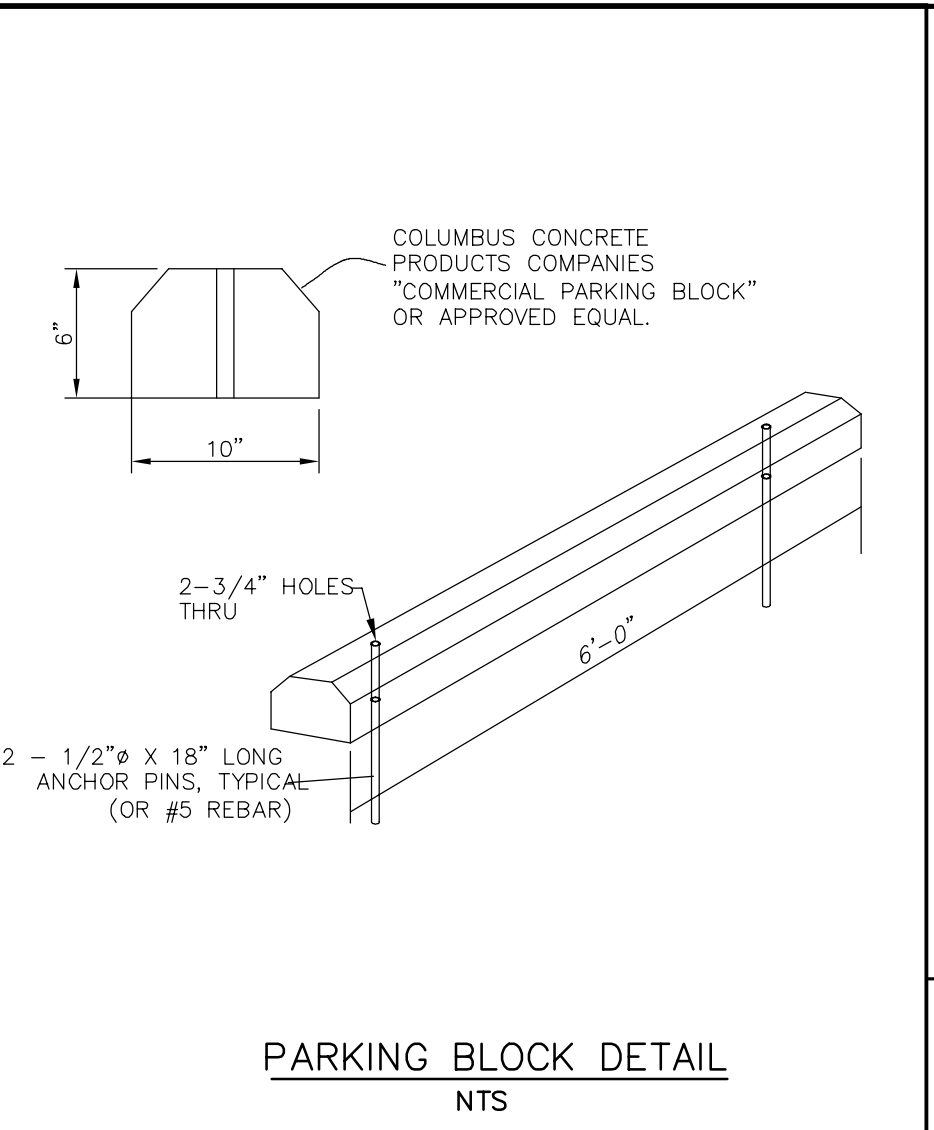
Plan View
Scale - 1" = 20ft



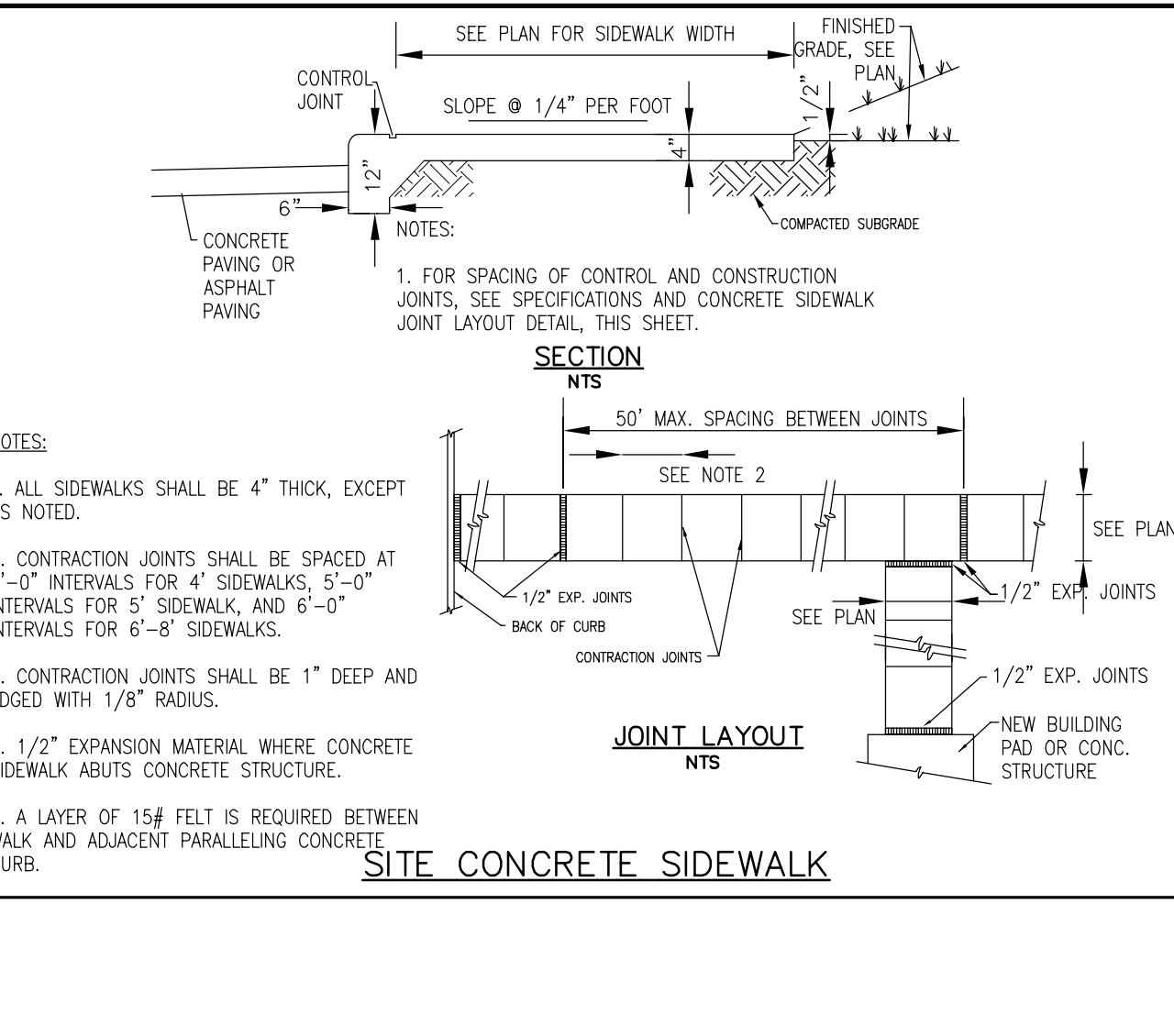
TYPICAL STOP SIGN DETAIL
NTS



TYPICAL HANDICAP SIGN DETAIL
NTS



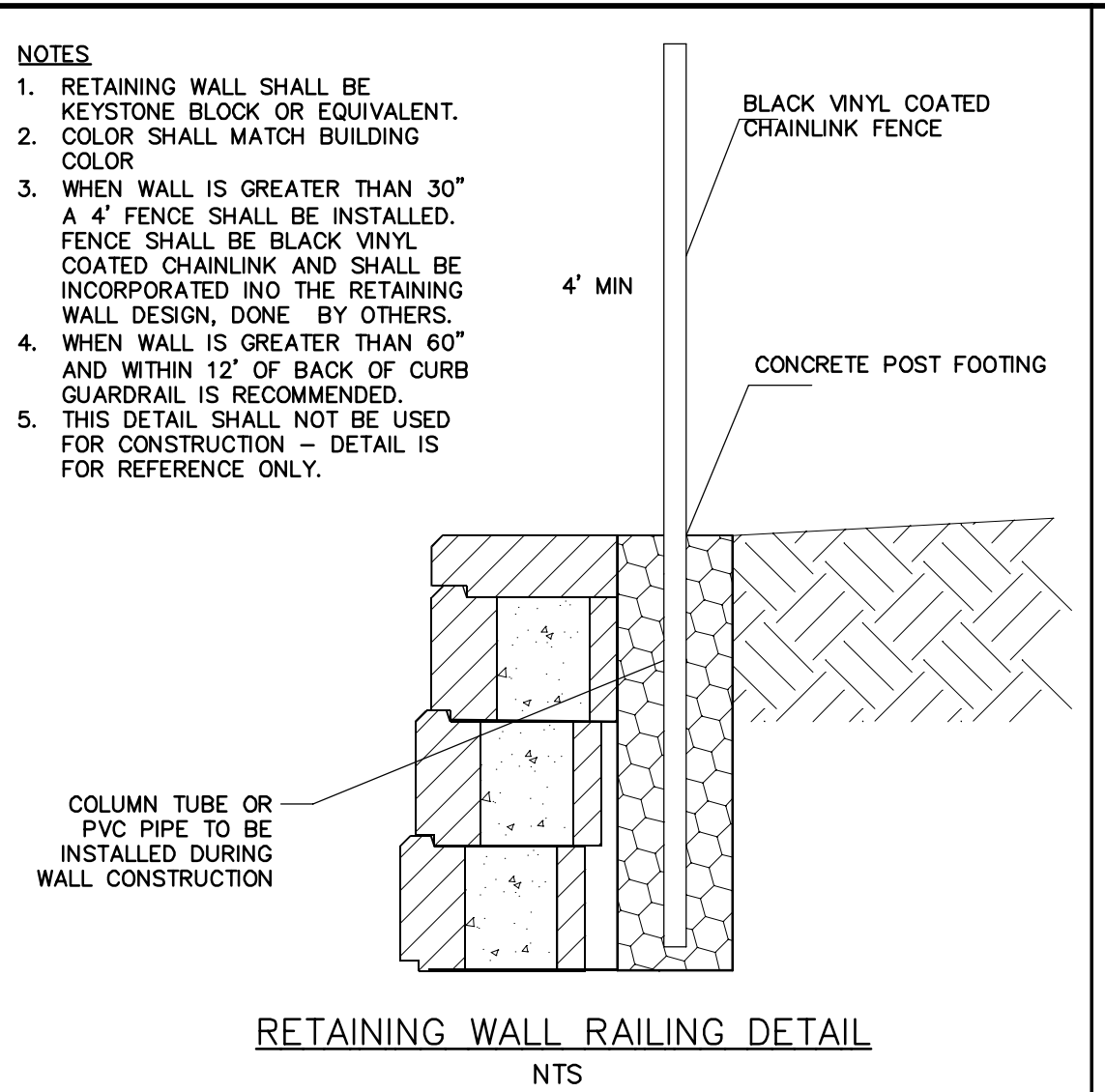
PARKING BLOCK DETAIL
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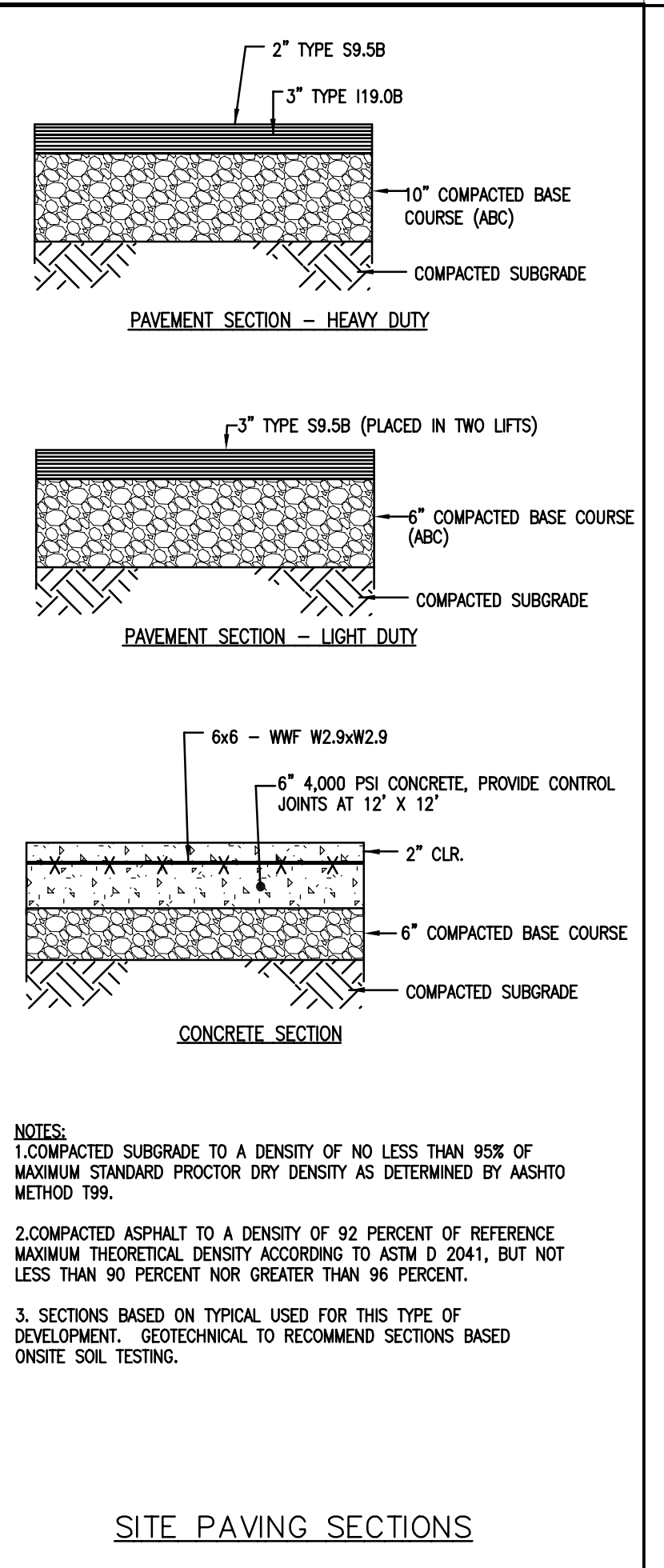
SECTION
NTS

JOINT LAYOUT
NTS

SITE CONCRETE SIDEWALK

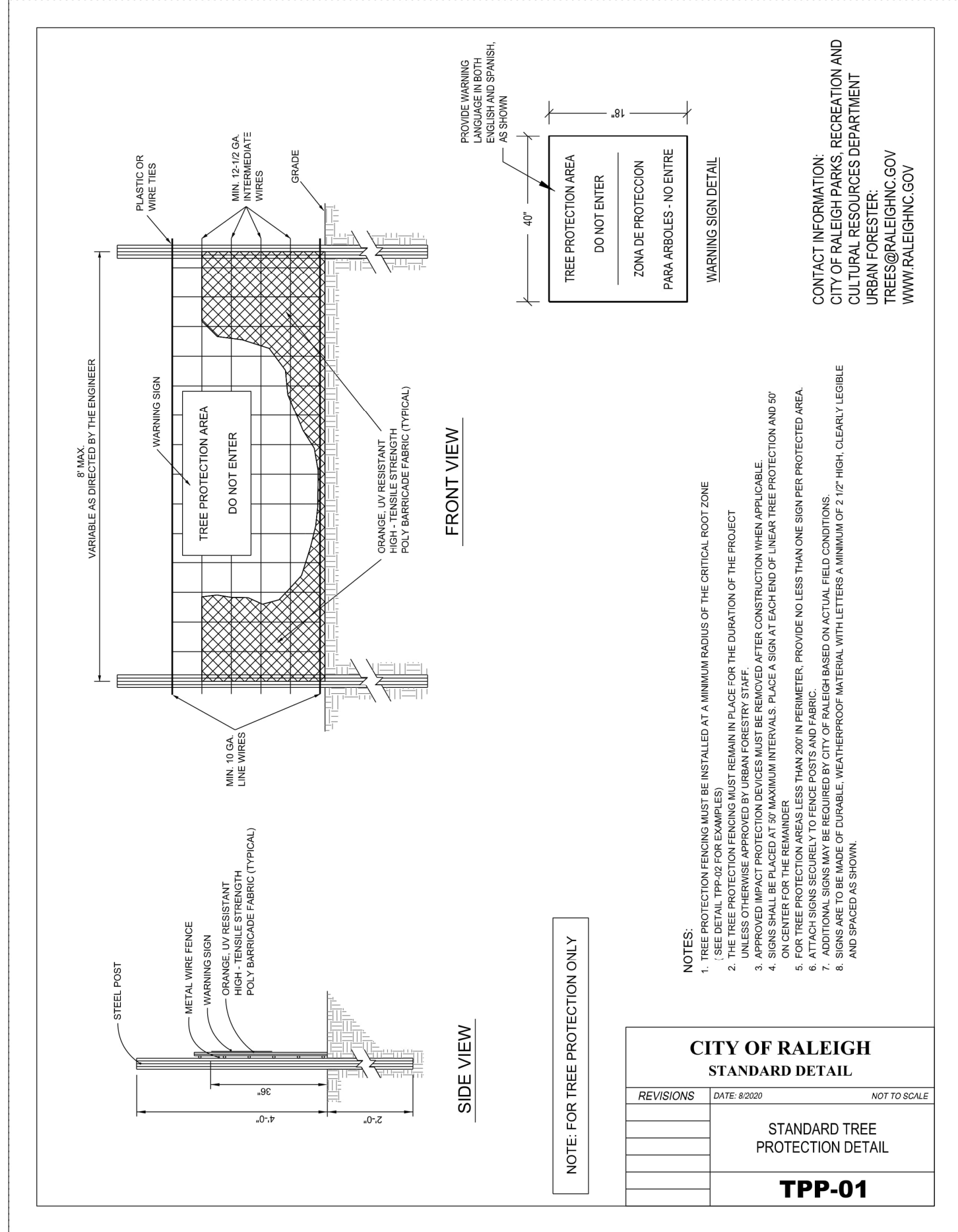


RETAINING WALL RAILING DETAIL
NTS

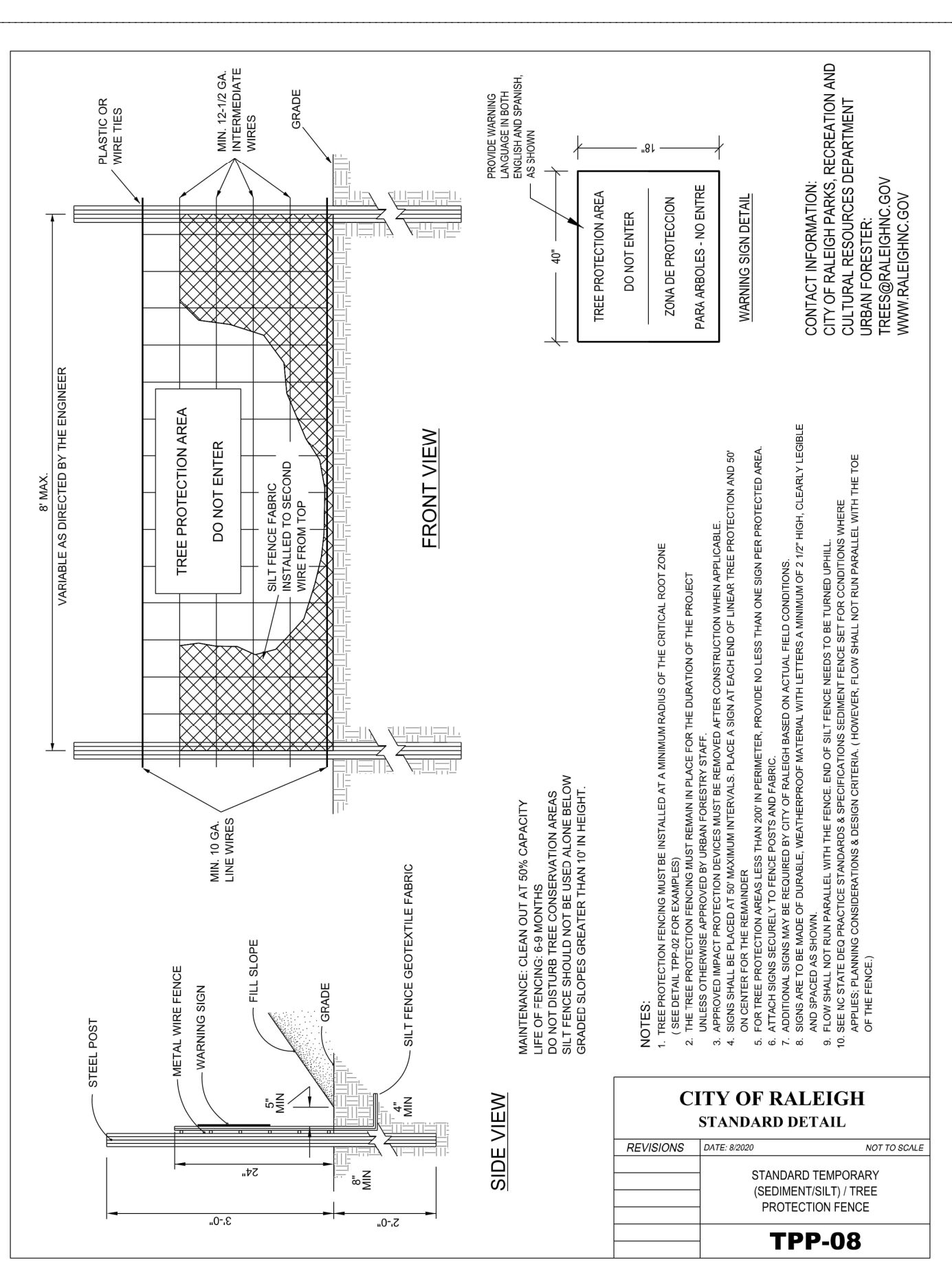


CONCRETE SECTION

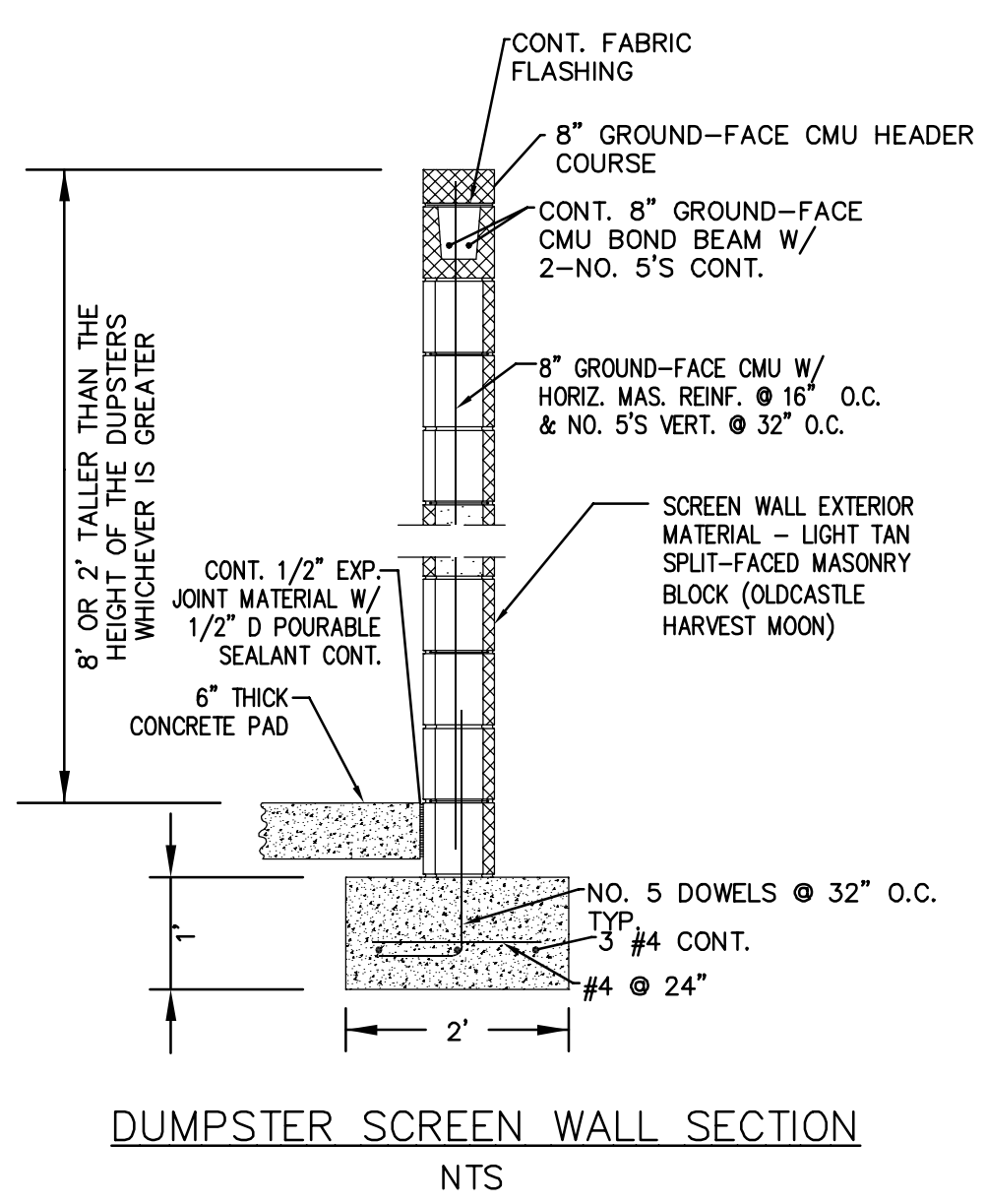
SITE PAVING SECTIONS



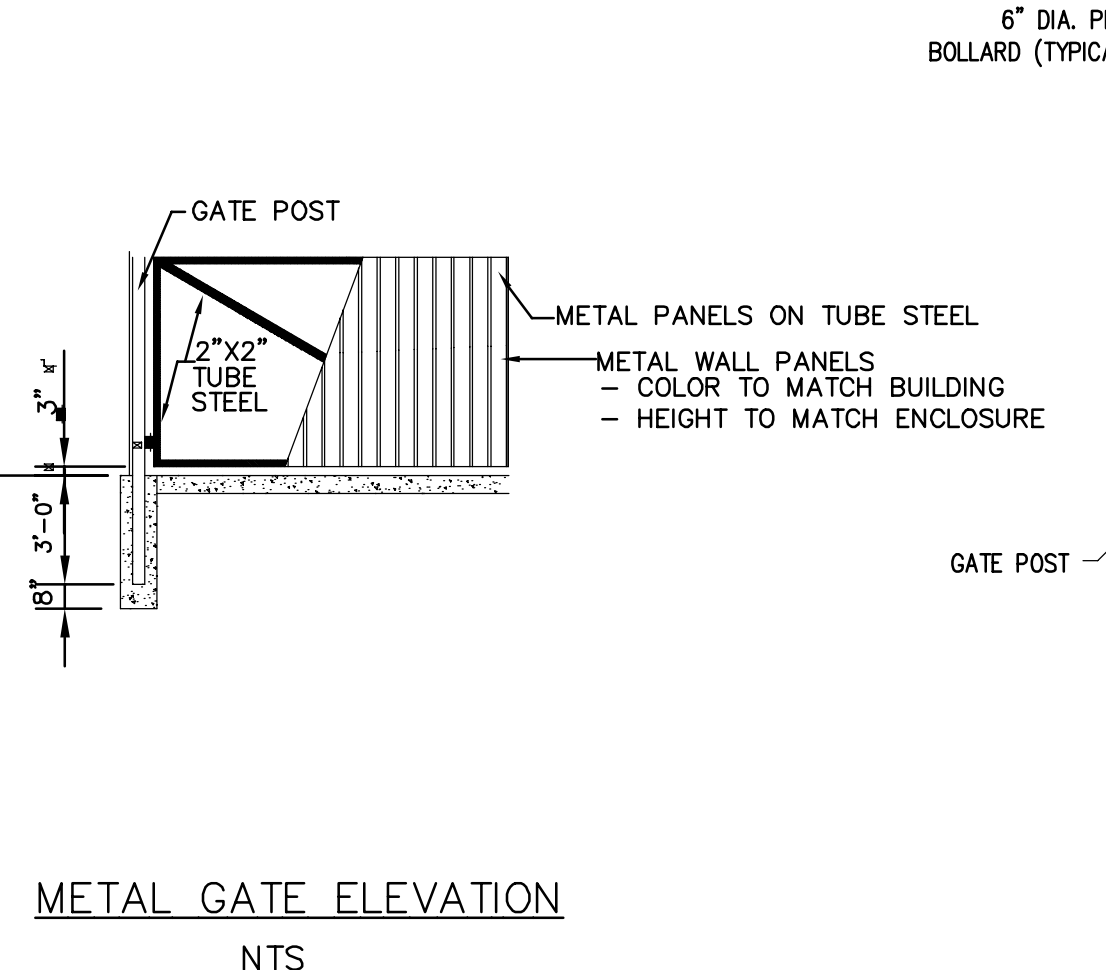
CITY OF RALEIGH
STANDARD DETAIL
TPP-01



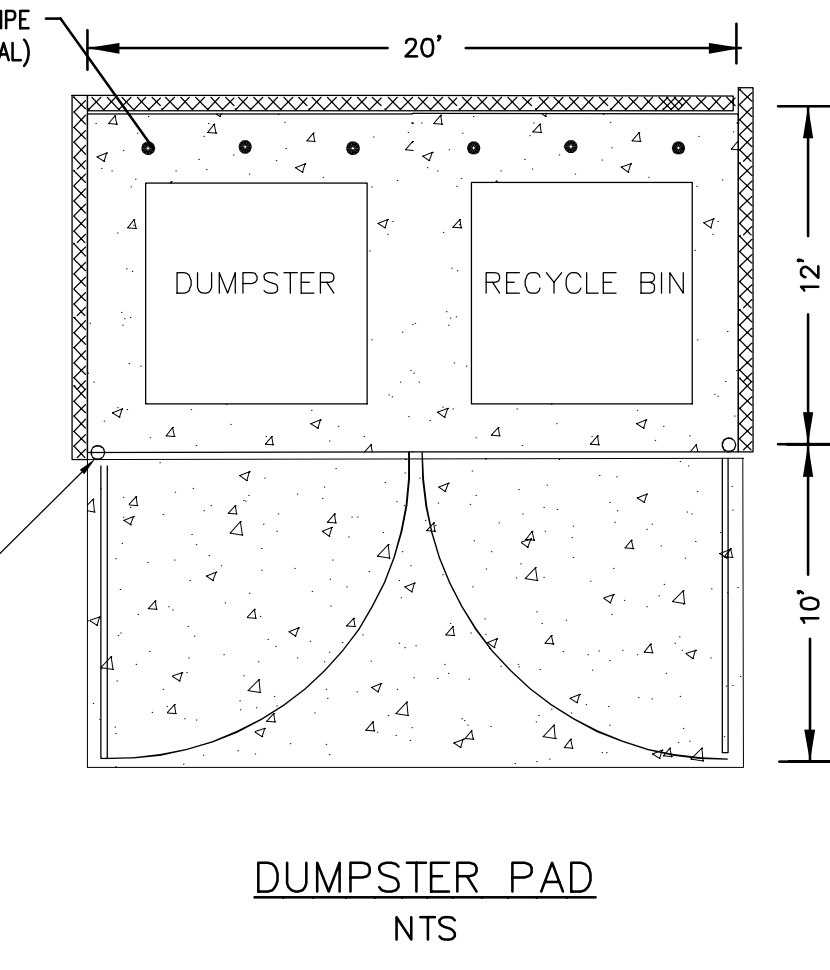
CITY OF RALEIGH
STANDARD DETAIL
TPP-08



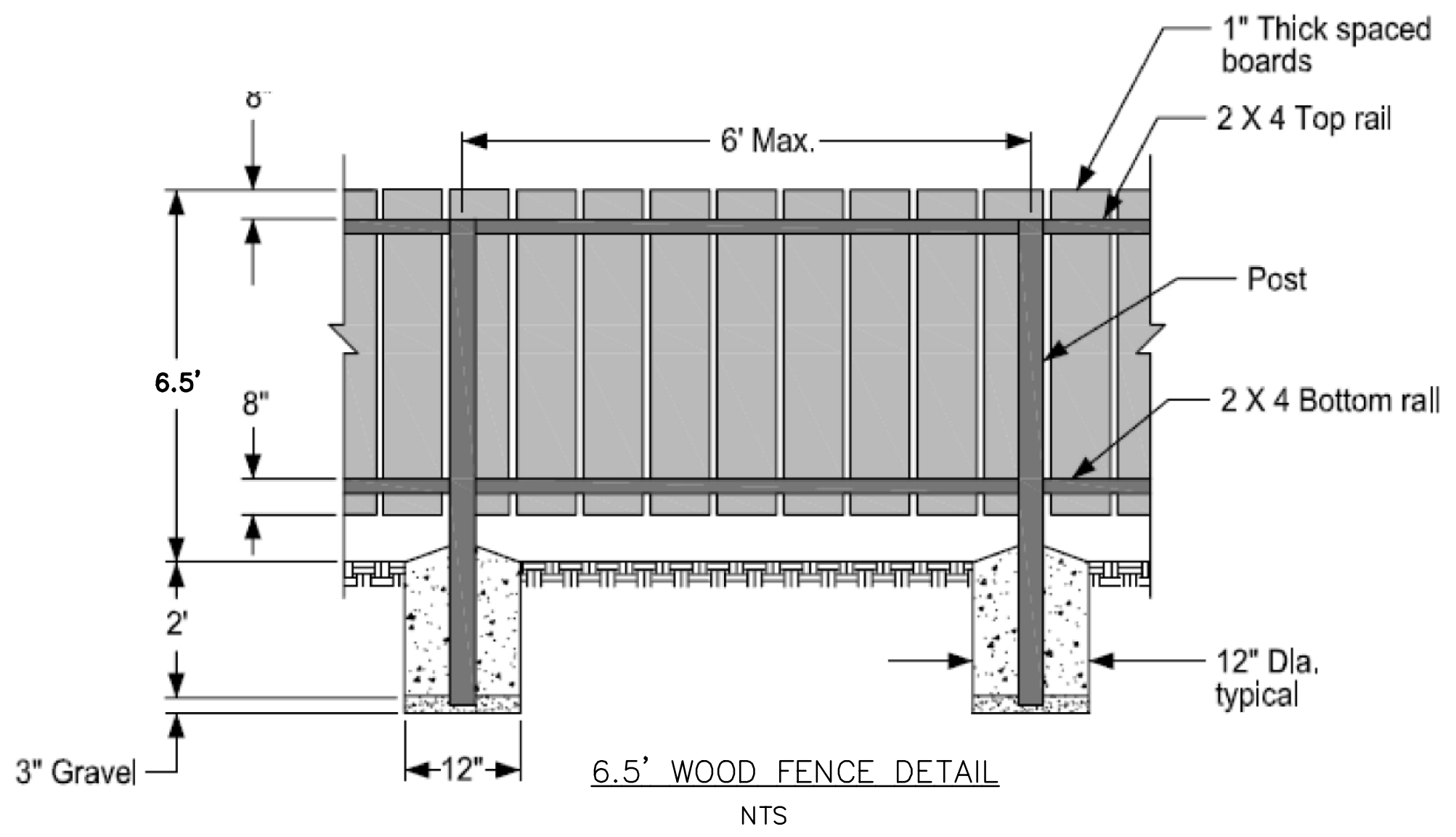
DUMPSTER SCREEN WALL SECTION
NTS



METAL GATE ELEVATION
NTS



DUMPSTER PAD
NTS



6.5' WOOD FENCE DETAIL
NTS

CITY OF RALEIGH SPECIFICATION AND DETAILS

THE DETAILS ON THIS WITHIN THESE PLANS SHALL NOT BE CONSIDERED A COMPREHENSIVE LIST OF DETAILS THAT SHOULD BE USED FOR THIS PROJECT. CONTRACTOR SHALL BE FAMILIAR WITH ALL APPLICABLE CITY OF RALEIGH DETAILS, SPECIFICATIONS AND MATERIALS. THESE ITEMS CAN BE FOUND AT THE FOLLOWING CITY OF RALEIGH WEBSITE:

<https://raleighnc.gov/water-and-sewer/services/public-utilities-handbook>

QUESTIONS REGARDING DETAILS, SPECIFICATIONS AND MATERIALS SHALL BE MADE TO THE CITY OF RALEIGH INSPECTOR OR ENGINEER PRIOR TO CONSTRUCTION.

ALL CONSTRUCTION TO BE PER CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD DRAWINGS.

Gregory DEVELOPMENT LLC

9541 INDUSTRY DRIVE, RALEIGH, NC 27603
919.779.3522
<https://gregory-development.com>

JA REALTY, LLC ASR-0059-2024

1441 KIRKLAND RD, RALEIGH, NC 27603

ZONED IX-3-CU

DETAILS

COE CAPITAL CIVIL ENGINEERING

209 N SALEM ST, STE 220, APEX, NC 27502
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REVISIONS:

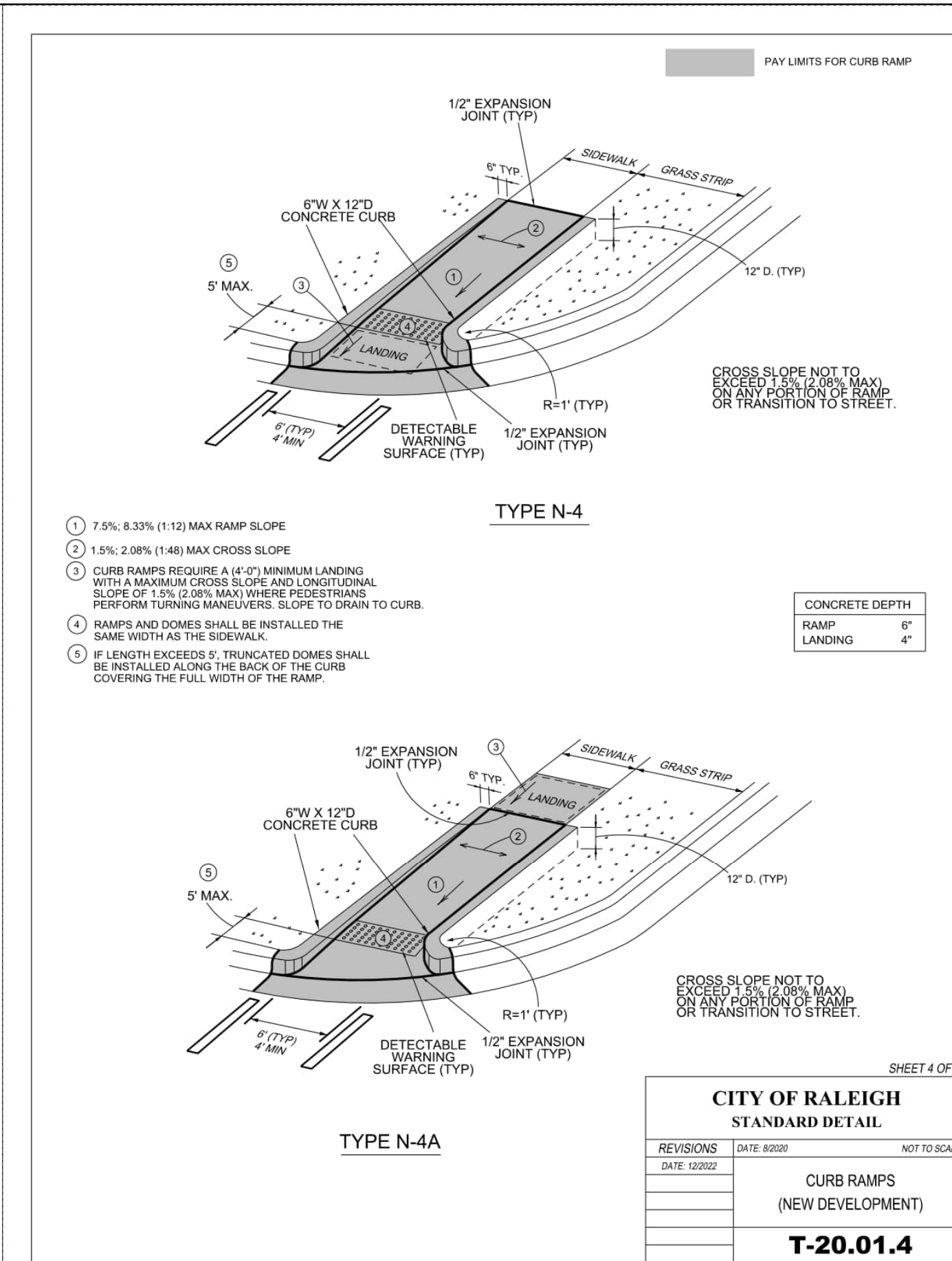
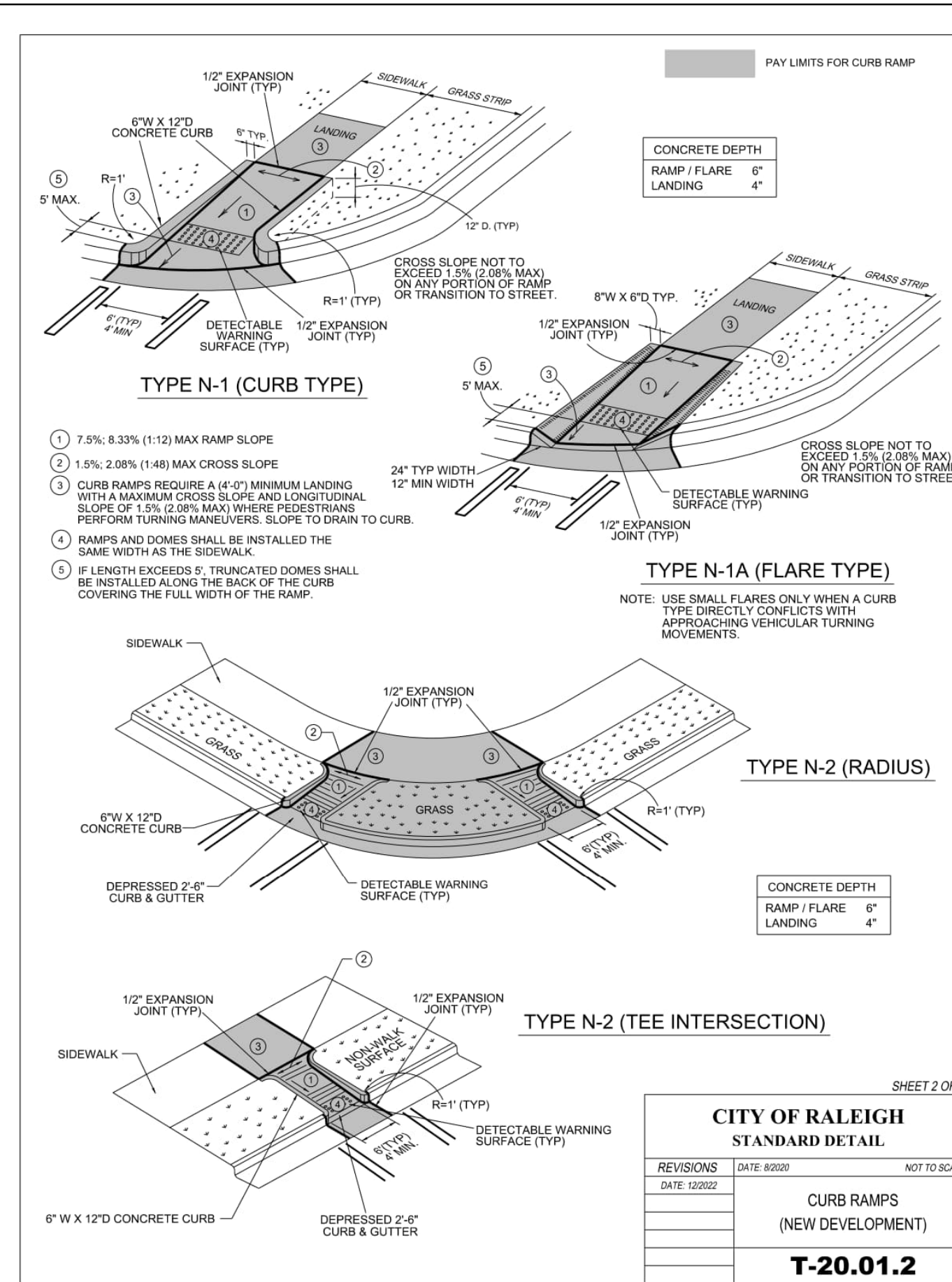
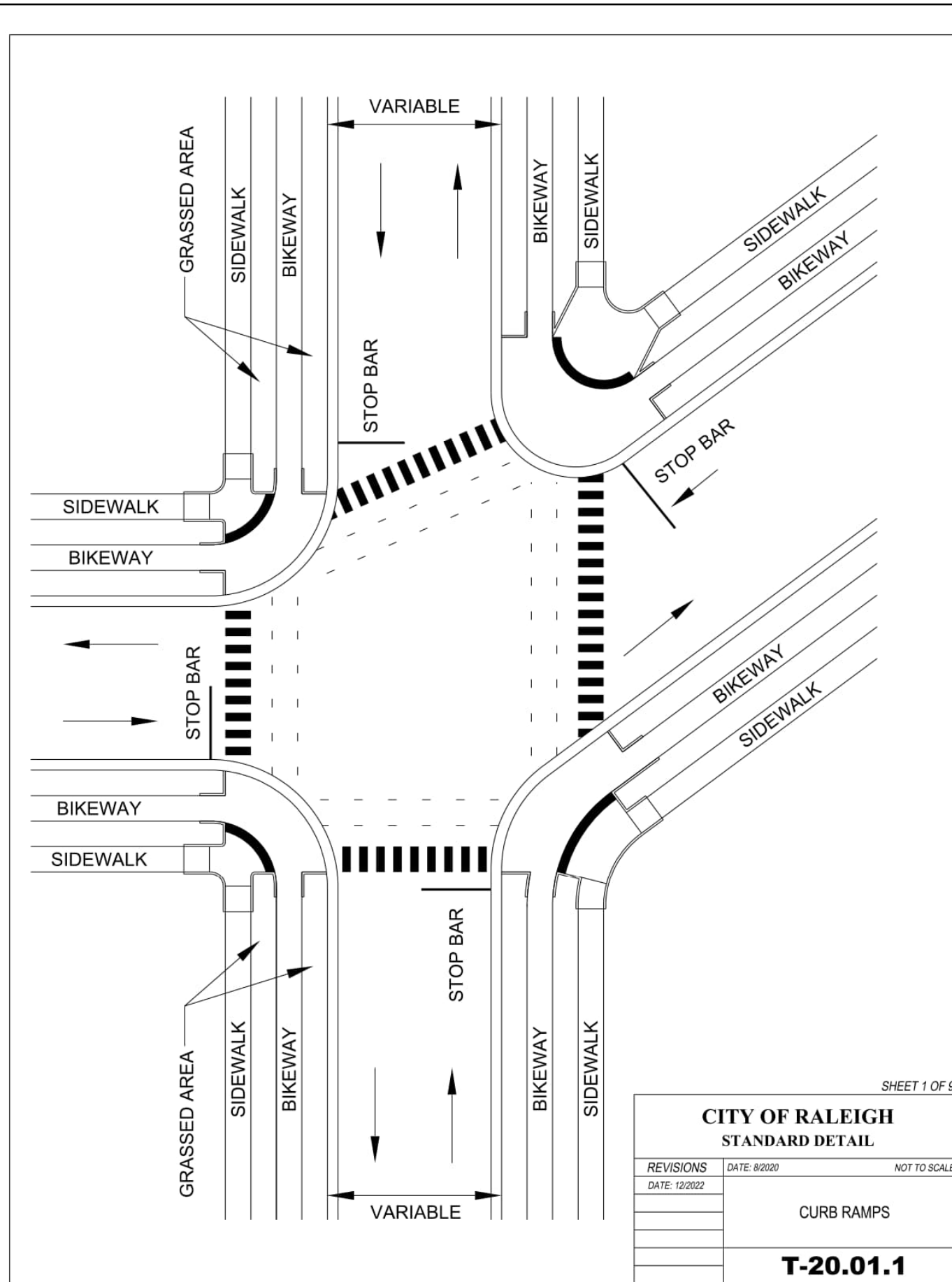
- 10/15/2024 - PER CITY OF RALEIGH COMMENTS
- 12/6/2024 - PER CITY OF RALEIGH COMMENTS
- 1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE: JANUARY 15, 2025

ISSUED FOR REVIEW

SHEET NO.

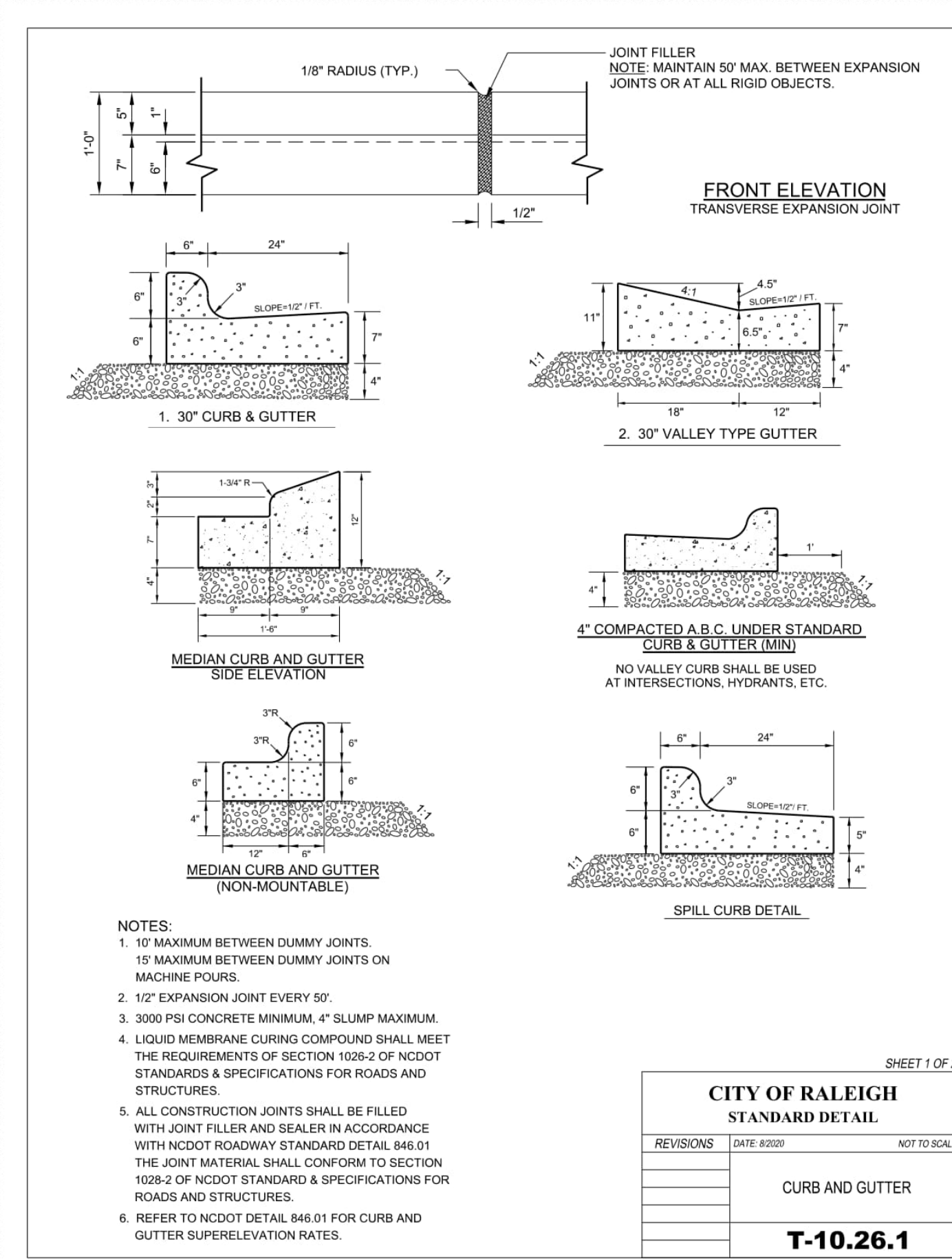
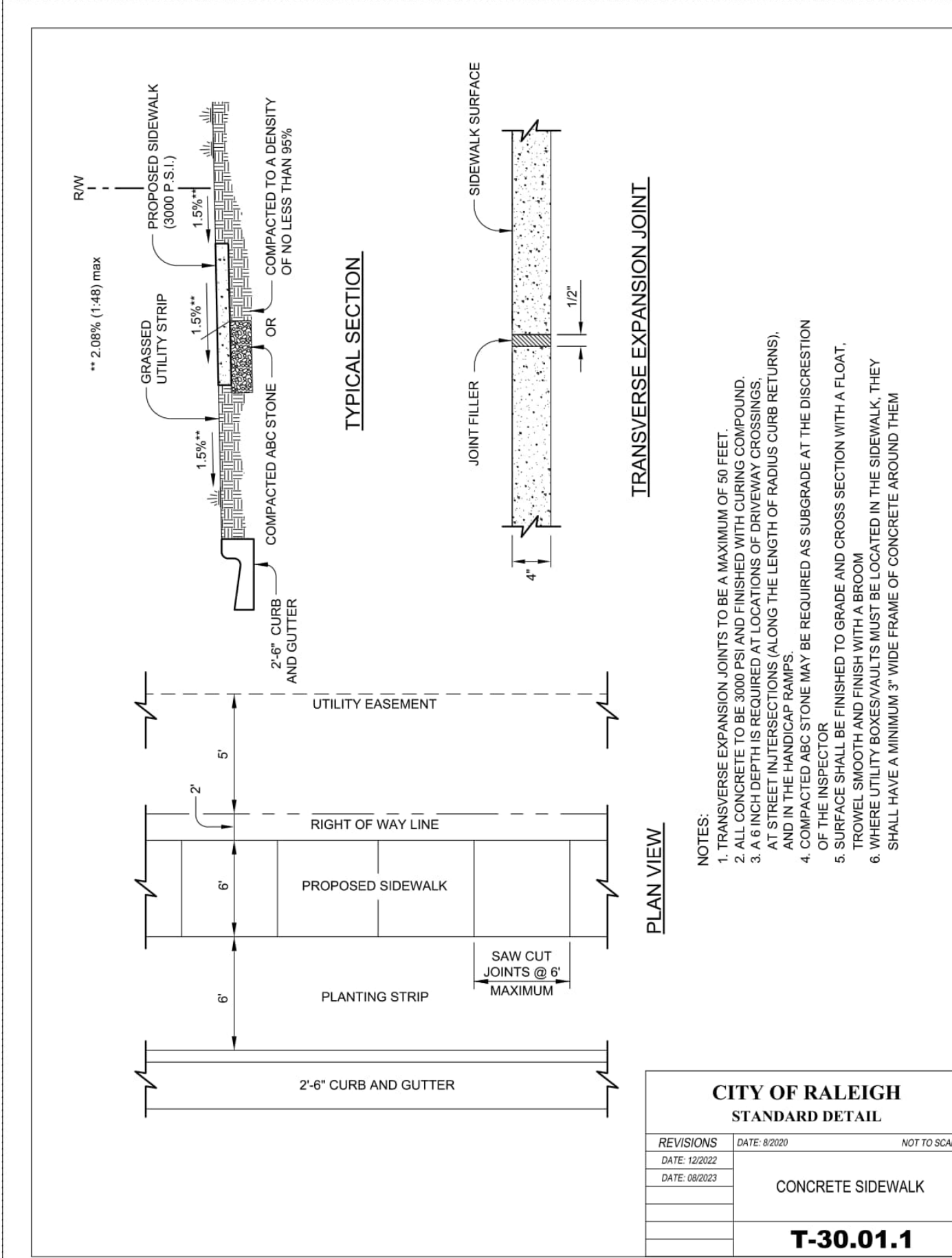
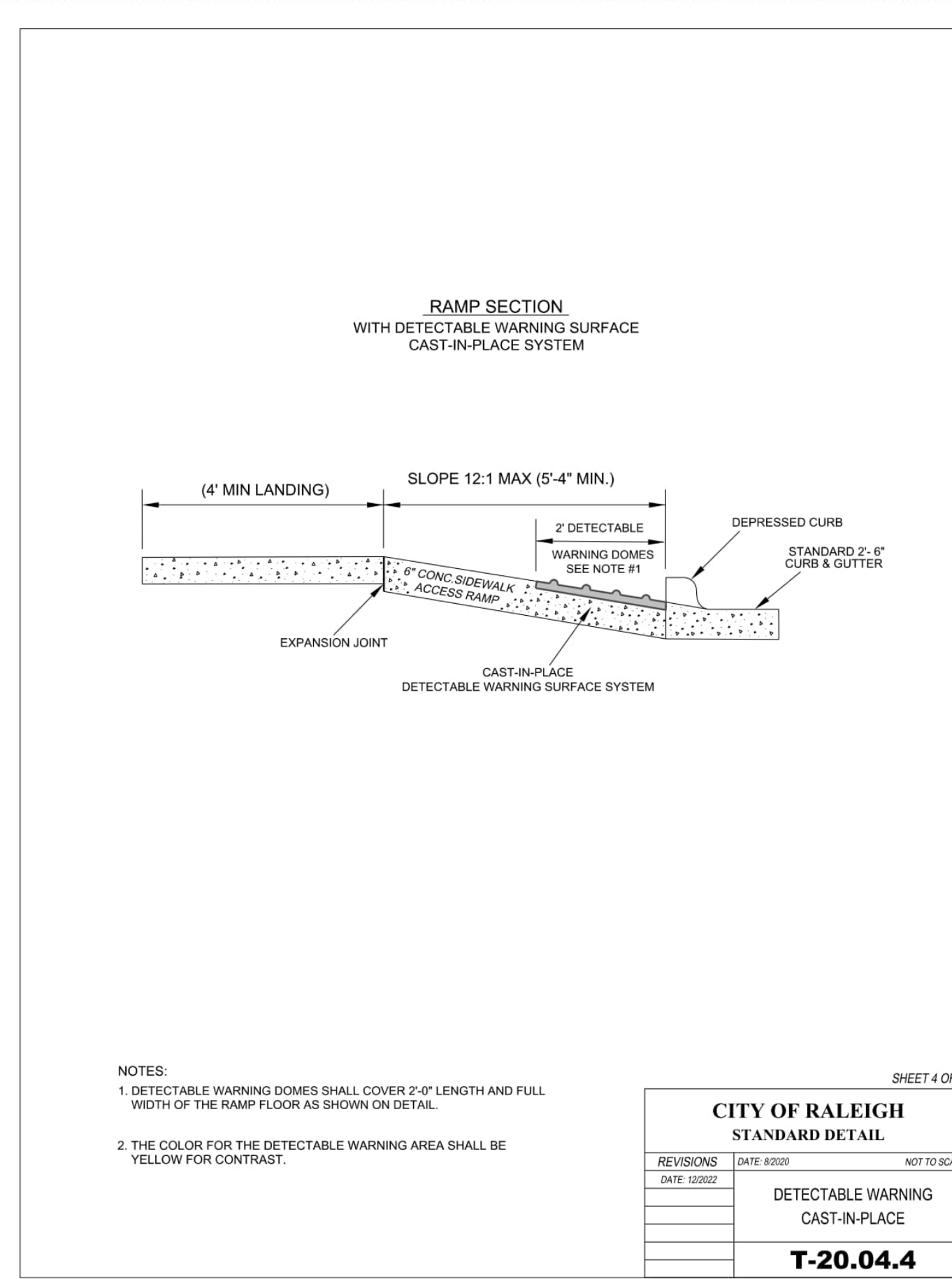
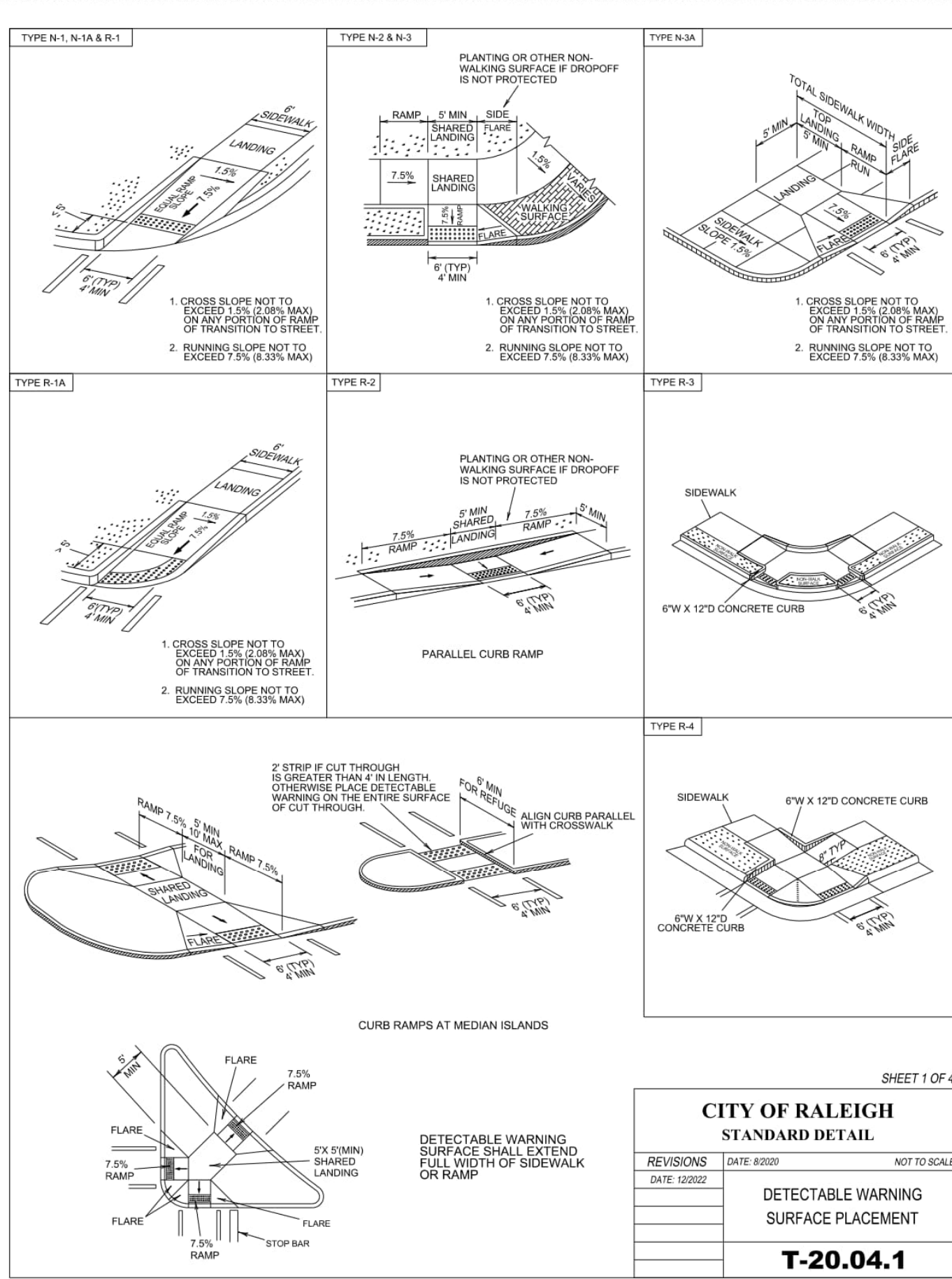
D100



CITY OF RALEIGH CURB RAMPS GENERAL NOTES

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

CITY OF RALEIGH STANDARD DETAIL CURB RAMP NOTES T-20.01.8



CITY OF RALEIGH SPECIFICATION AND DETAILS

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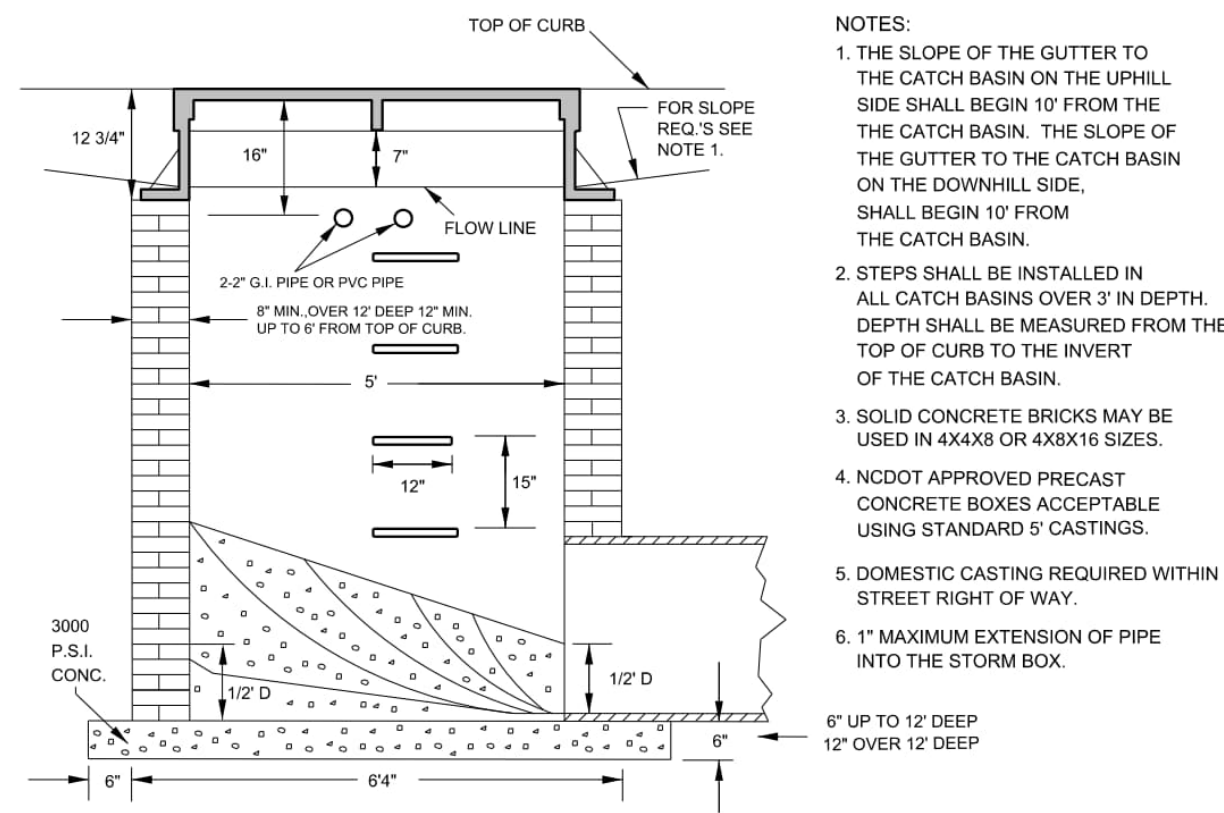


JA REALTY, LLC ASR-0059-2024
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DETAILS

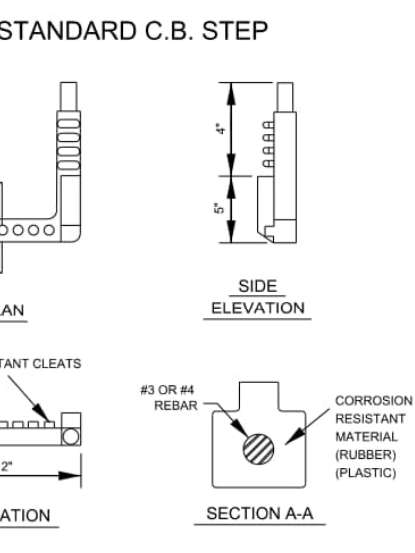


CITY OF RALEIGH STANDARD DETAIL CURB AND GUTTER T-10.26.1

DATE: JANUARY 15, 2025
 ISSUED FOR: REVIEW
 SHEET NO.: **D101**



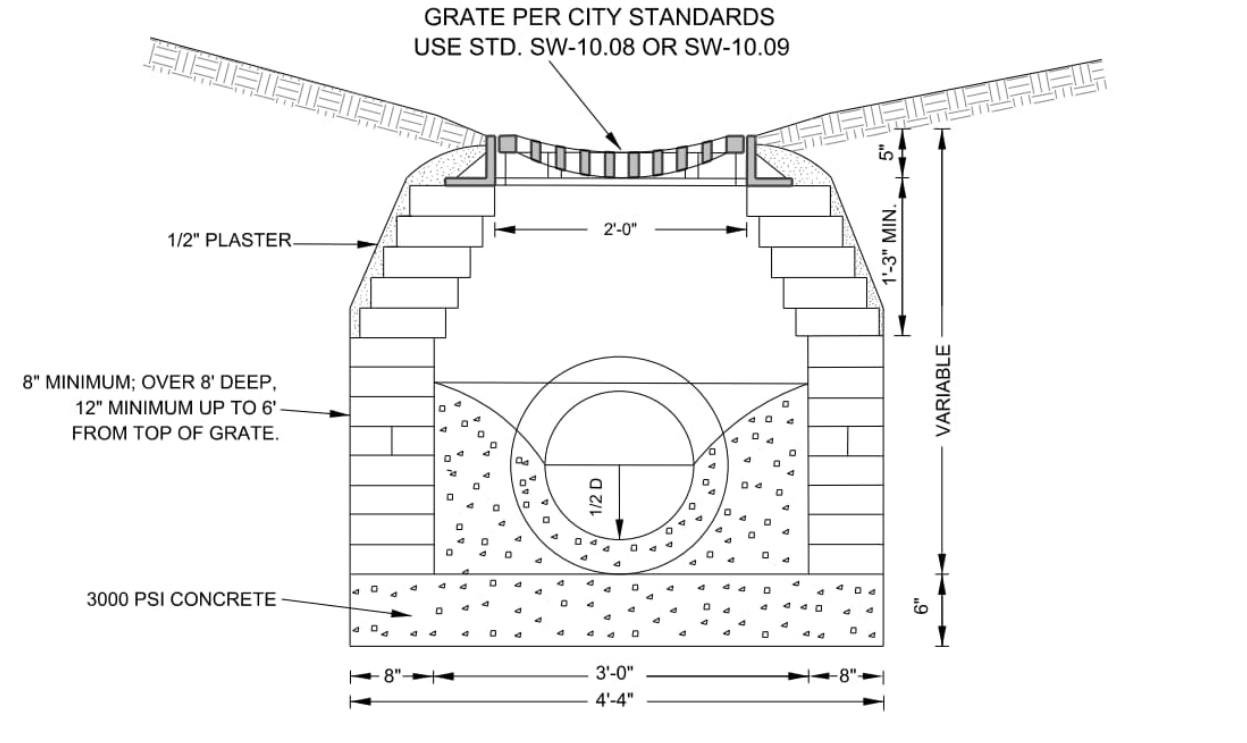
- NOTES:**
1. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE UPHILL SIDE SHALL BEGIN 10' FROM THE CATCH BASIN. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE DOWNHILL SIDE SHALL BEGIN 10' FROM THE CATCH BASIN.
 2. STEPS SHALL BE INSTALLED IN ALL CATCH BASINS OVER 3' IN DEPTH. DEPTH SHALL BE MEASURED FROM THE TOP OF CURB TO THE INVERT OF THE CATCH BASIN.
 3. SOLID CONCRETE BRICKS MAY BE USED IN 4X4X8 OR 4X8X16 SIZES.
 4. NCCOT APPROVED PRECAST CONCRETE BOXES ACCEPTABLE USING STANDARD 5' CASTINGS.
 5. DOMESTIC CASTING REQUIRED WITHIN STREET RIGHT OF WAY.
 6. 1" MAXIMUM EXTENSION OF PIPE INTO THE STORM BOX.



CITY OF RALEIGH STANDARD DETAIL

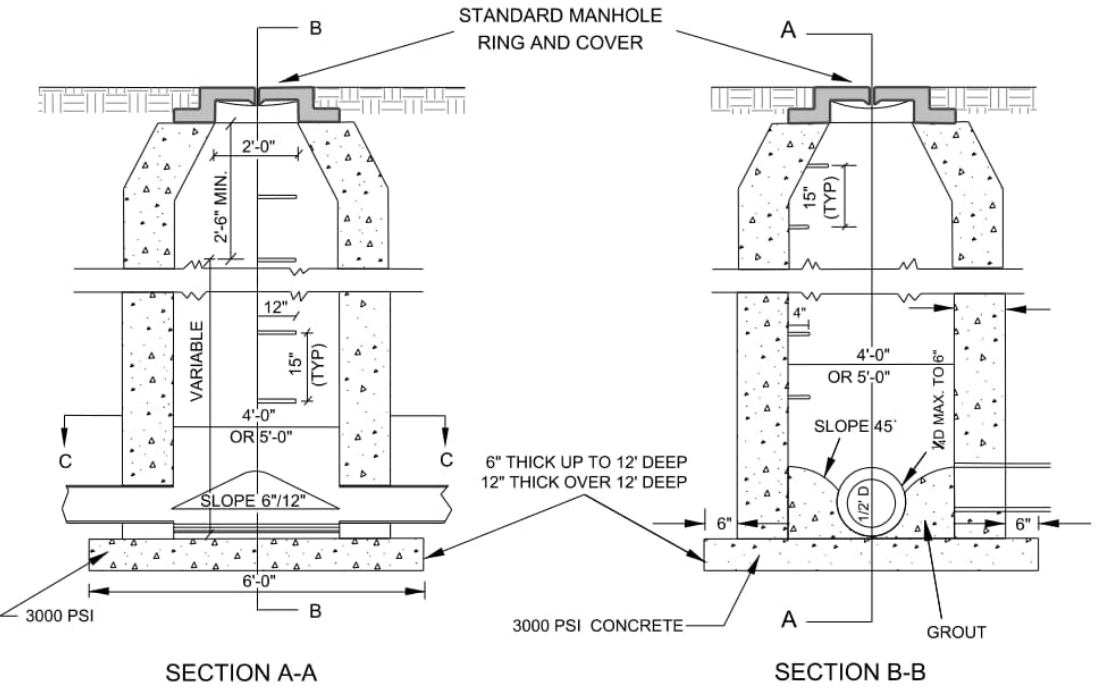
REVISIONS	DATE	BY	NOT TO SCALE
	04/10/2020		

5' OM CATCH BASIN
SW-10.01



TYPICAL MH FOR STORM SEWER

PIPE SIZE	MH DIAMETER
12-24"	4'-0"
30-42"	5'-0"
48"	6'-0"
54"	8'-0"

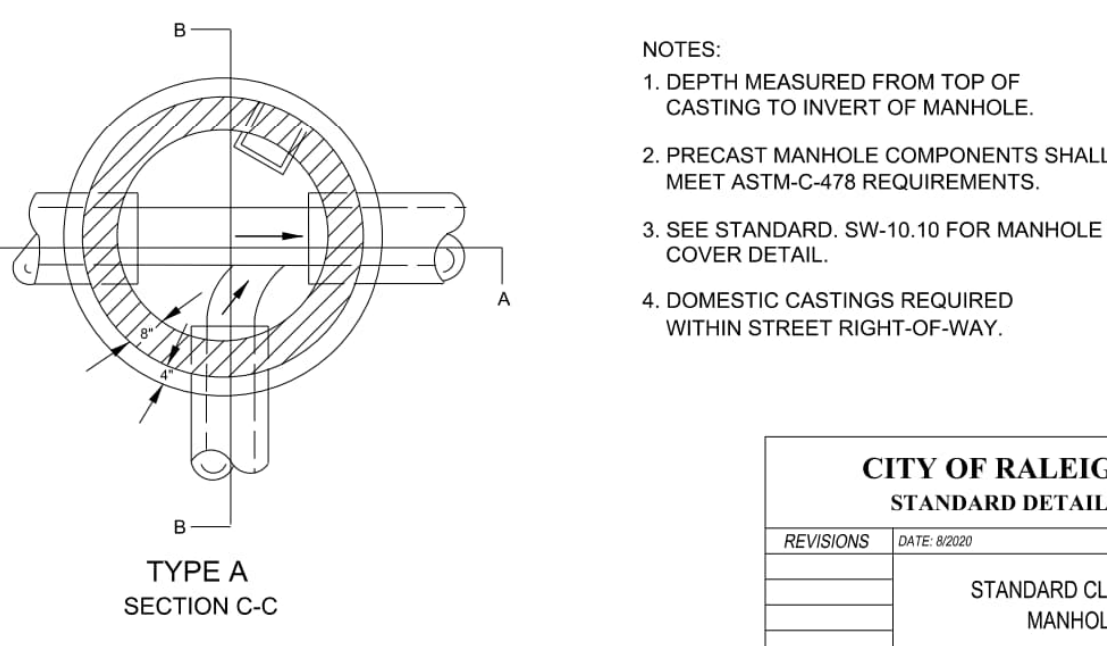


- NOTES:**
1. FOR 24" RCP & LARGER USE PIPE DIAMETER PLUS 12" FOR MINIMUM INSIDE DIMENSION.
 2. 24" X 24" CASTING WITH 12", 15" & 18" PIPE, 24" X 36" CASTING USED WITH 24" PIPE OR LARGER. IF PLACED WITHIN PUBLIC RW CASTING MUST BE TRAFFIC BEARING TYPE PER NCCOT STANDARDS.
 3. USE 4" X 4" X 8" OR 4" X 8" X 16" SOLID CONCRETE BLOCK, CAST IN PLACE OR PRECAST CONCRETE TO MEET N.C.D.O.T. STANDARDS ACCEPTABLE.
 4. STEPS SHALL BE INSTALLED IN ALL DROP INLETS OVER 3' IN DEPTH. DEPTH SHALL BE MEASURED FROM THE TOP OF GRATE TO THE INVERT OF THE DROP INLET.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE
	04/10/2020		

STANDARD DROP INLET
SW-10.03

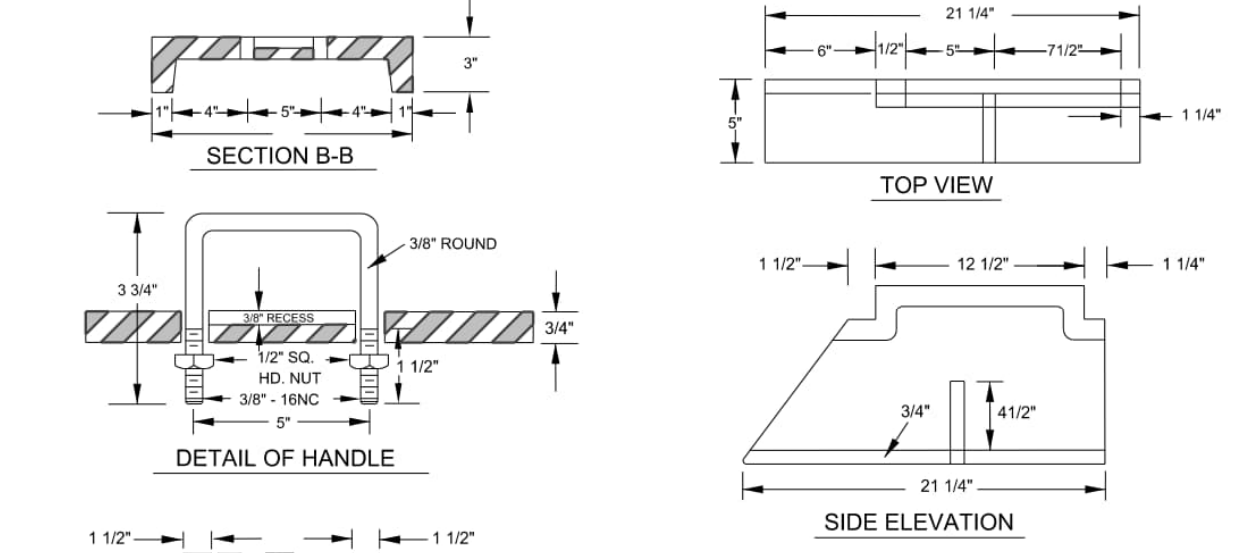
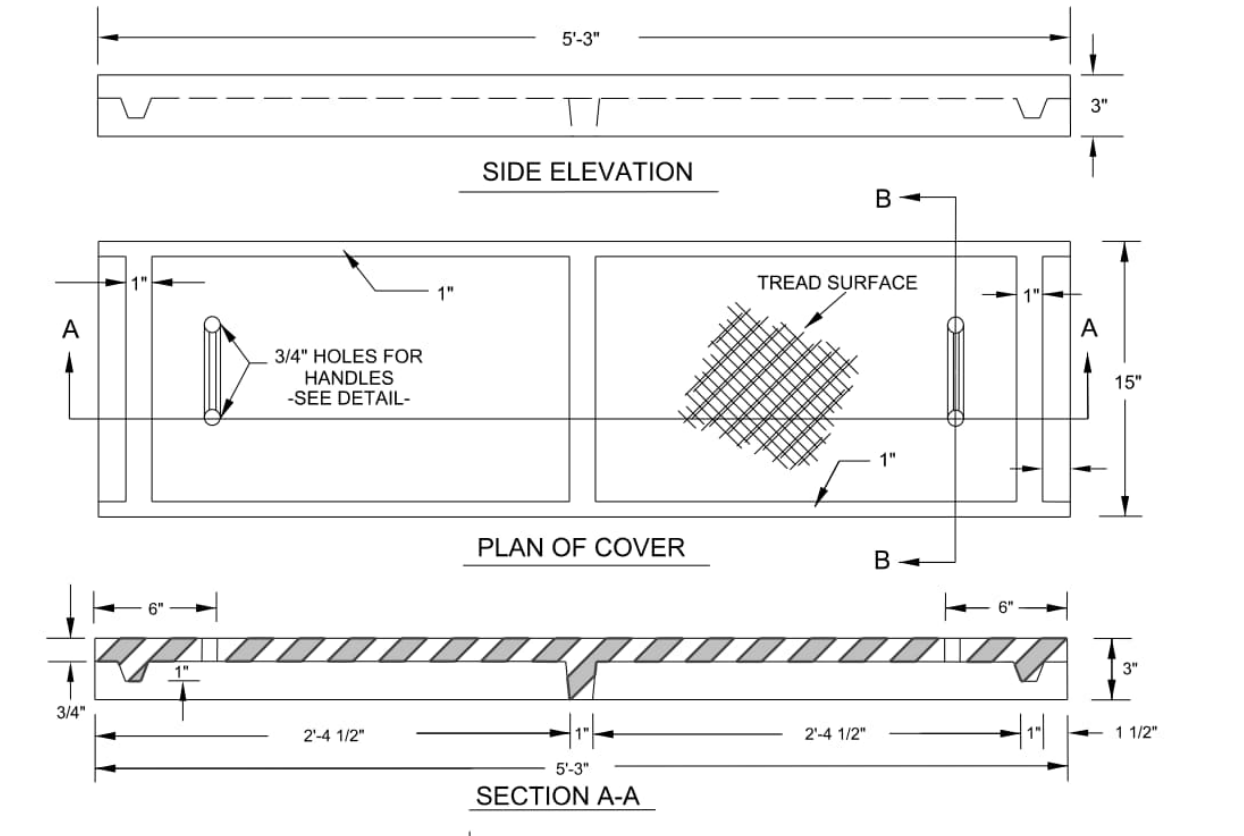


- NOTES:**
1. DEPTH MEASURED FROM TOP OF CASTING TO INVERT OF MANHOLE.
 2. PRECAST MANHOLE COMPONENTS SHALL MEET ASTM-C-478 REQUIREMENTS.
 3. SEE STANDARD, SW-10.10 FOR MANHOLE COVER DETAIL.
 4. DOMESTIC CASTINGS REQUIRED WITHIN STREET RIGHT-OF-WAY.

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE
	04/10/2020		

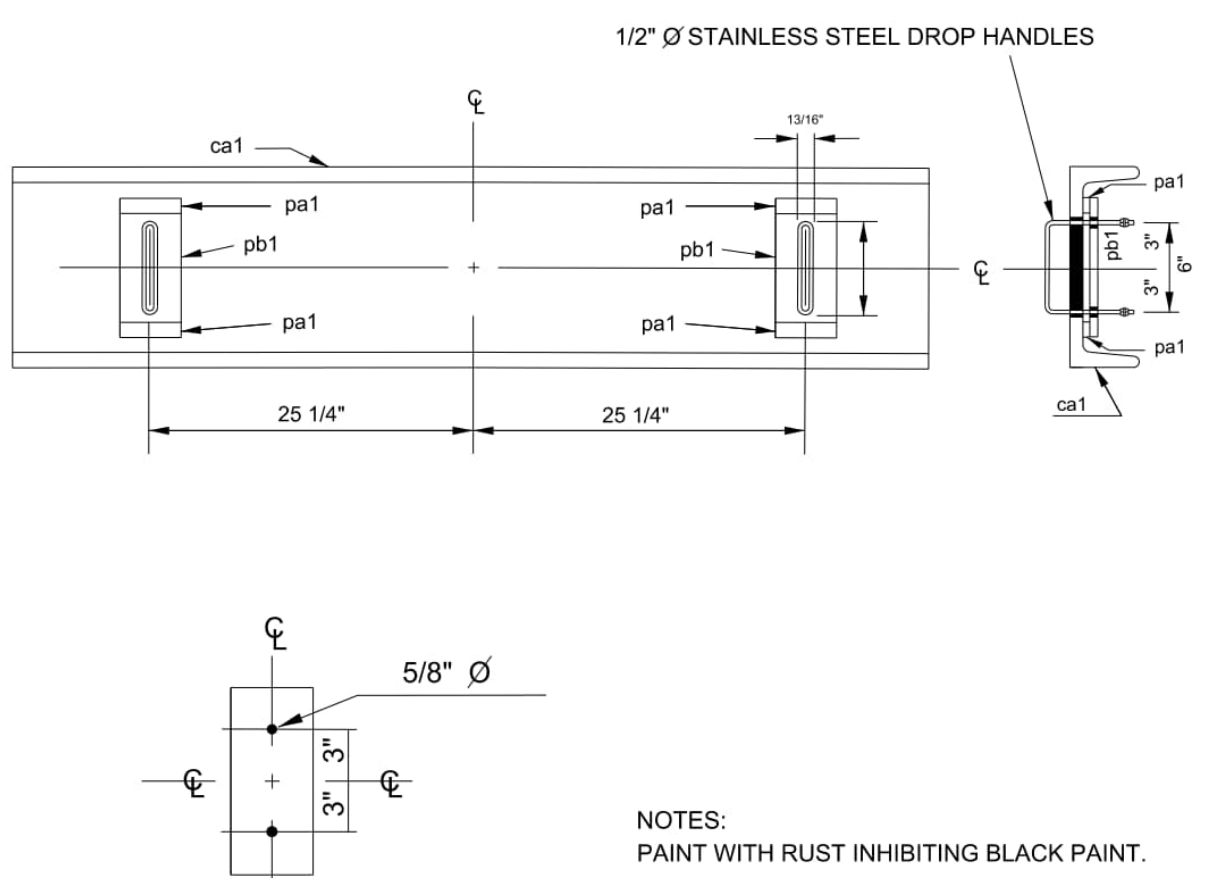
STANDARD CLASS "A" MANHOLE
SW-10.05



CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE
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CATCH BASIN CASTINGS
SW-10.06.1



- NOTES:**
1. PAINT WITH RUST INHIBITING BLACK PAINT.

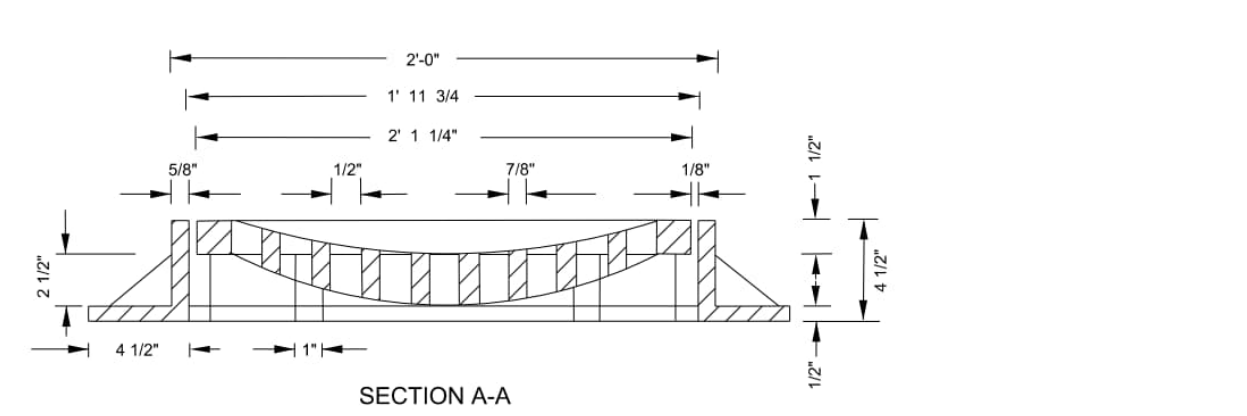
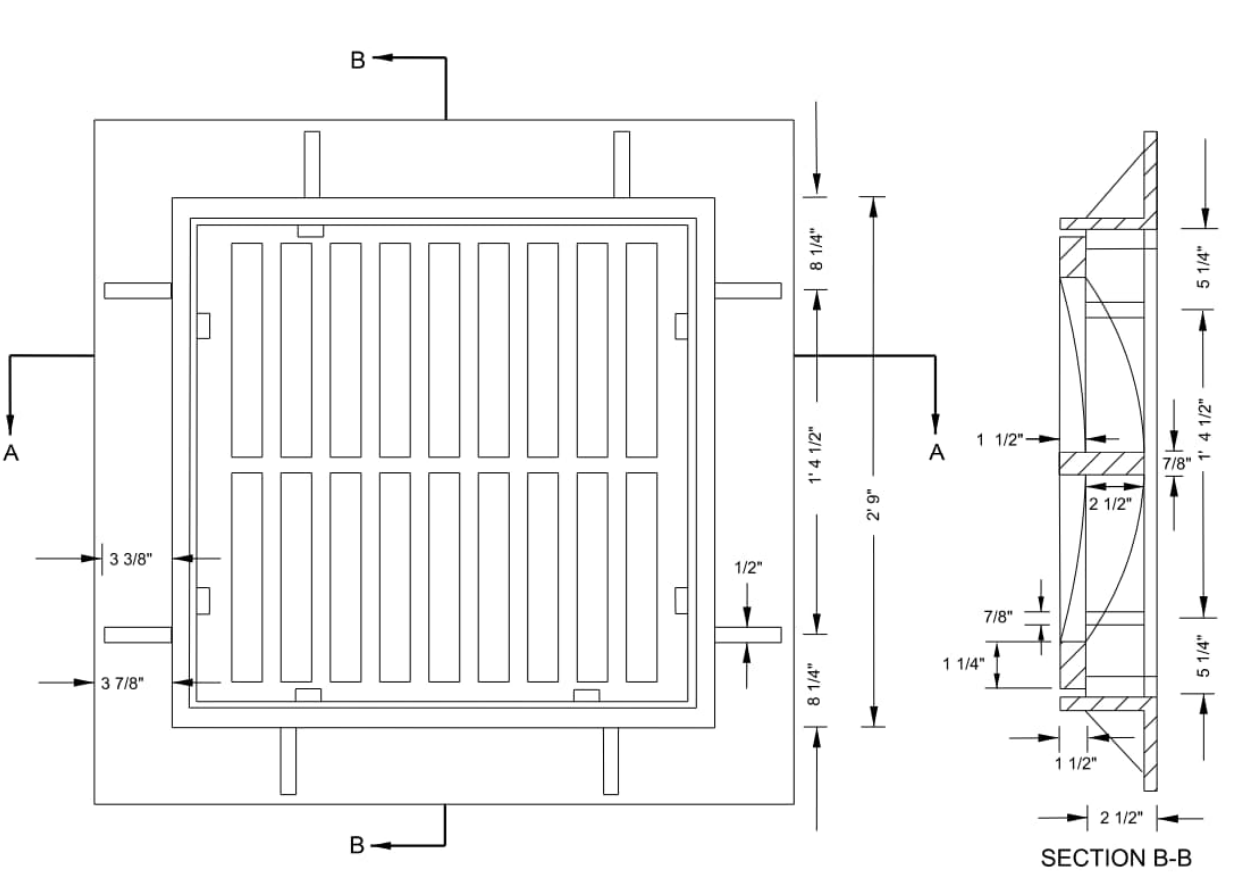
BILL OF MATERIAL

QTY	DESCRIPTION	UNIT	MARKING
1	C15 X 33.9# CHANNEL 1/2"		MK-ca1
4	1/8" X 1" H.R. FLAT BAR 3"		MK-pa1
2	3/8" X 3" H.R. FLAT BAR 10"		MK-pb1
2	1/2" STAINLESS STEEL ROUND ROD 18"		
8	1/2" STAINLESS STEEL HEX NUTS		
4	1/2" STAINLESS STEEL FLAT WASHERS		

CITY OF RALEIGH STANDARD DETAIL

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	04/10/2020		

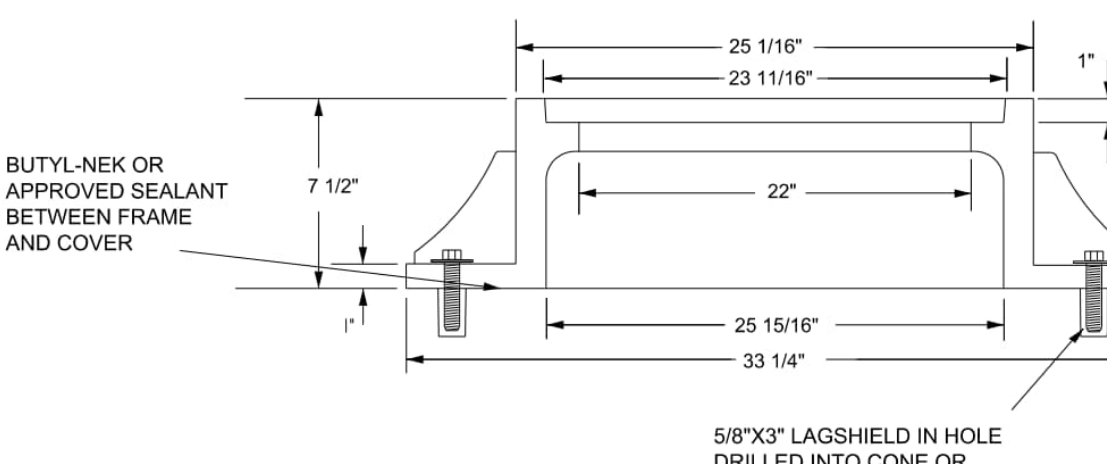
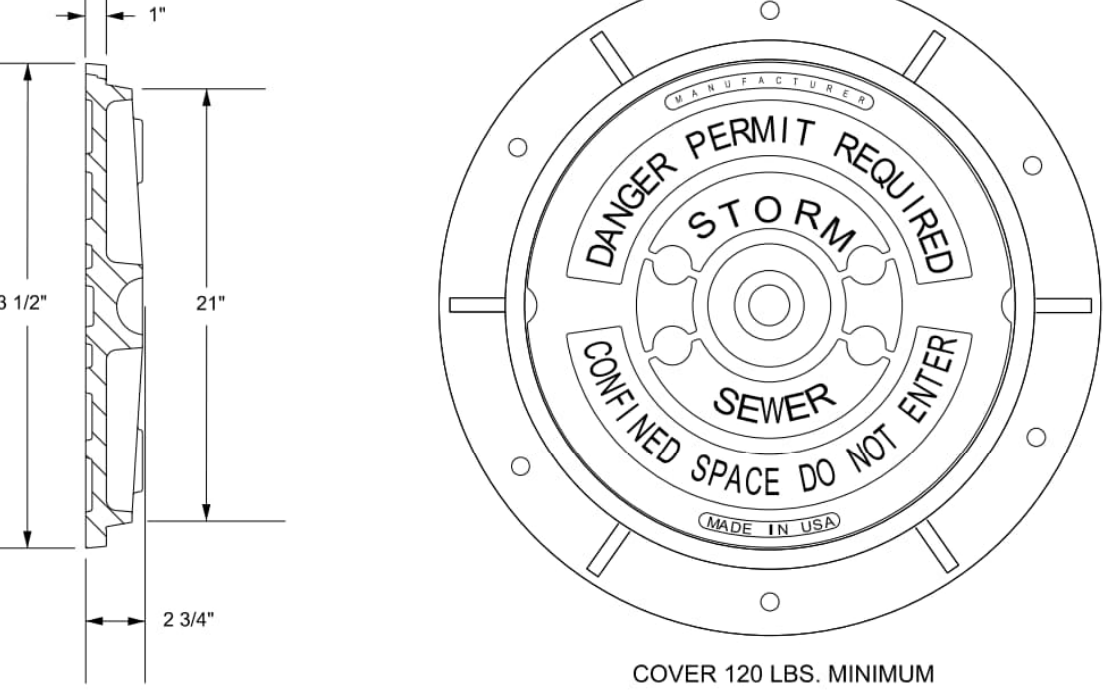
CATCH BASIN STEEL TOP
SW-10.07



CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE
	04/10/2020		

DROP INLET CASTING
SW-10.08



- NOTES:**
1. ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.
 2. FRAME SHALL BE A MINIMUM WEIGHT OF 182 LBS. WITHIN PUBLIC ROW AND 160 LBS. WITHIN EASEMENTS.
 3. COVER SHALL WEIGH A MINIMUM OF 120 LBS.
 4. ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACE SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.

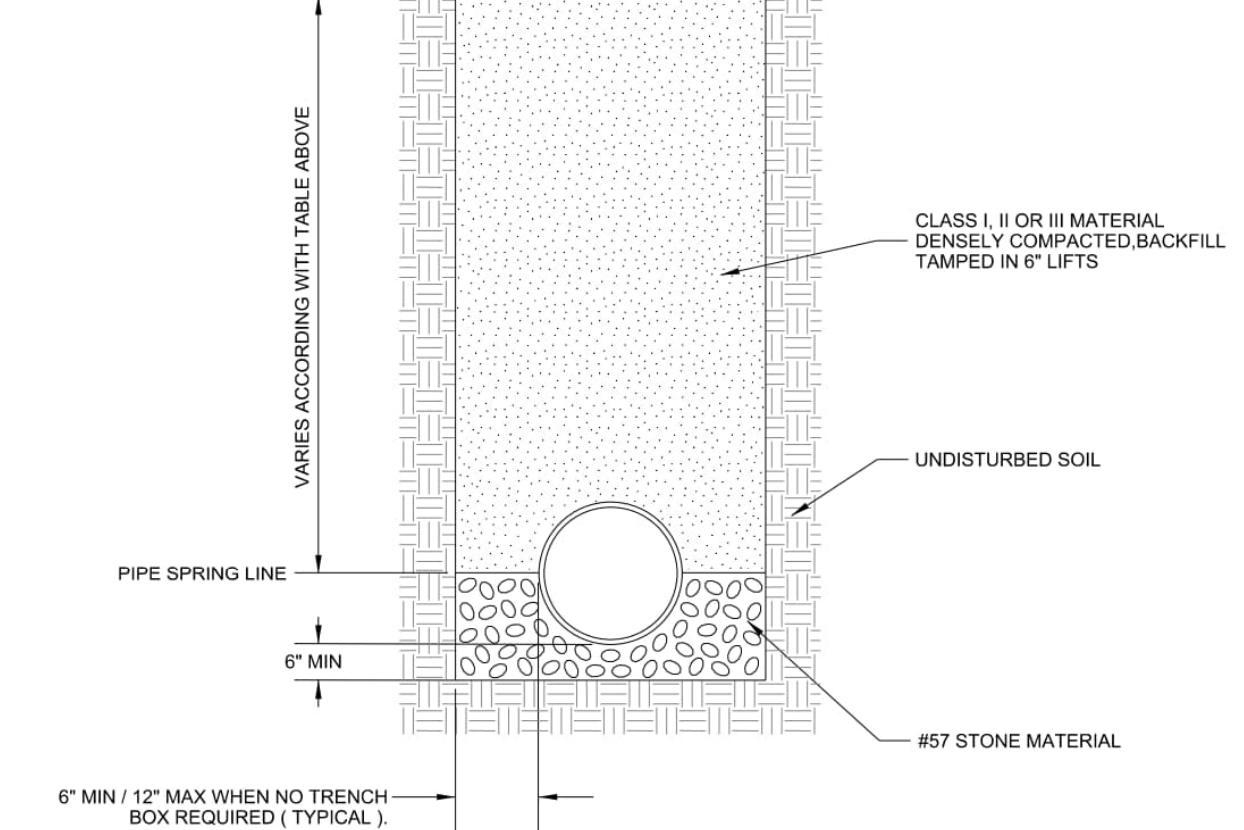
CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE
	04/10/2020		

STANDARD STORM MANHOLE COVER
SW-10.10

COVER FOR PIPES WITHIN THE R.O.W. MINIMUM PIPE CLEARANCE FROM INVERT TO SURFACE

PIPE SIZE (in)	CLEARANCE DISTANCE (ft)
15	2.4
18	2.7
24	3.3
30	3.6
36	4.4
42	4.8
48	5.4
54	6.0
60	6.5
66	7.0
72	7.6



CITY OF RALEIGH STANDARD DETAIL

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BEDDING FOR STORMWATER RCP PIPES
SW-10.14

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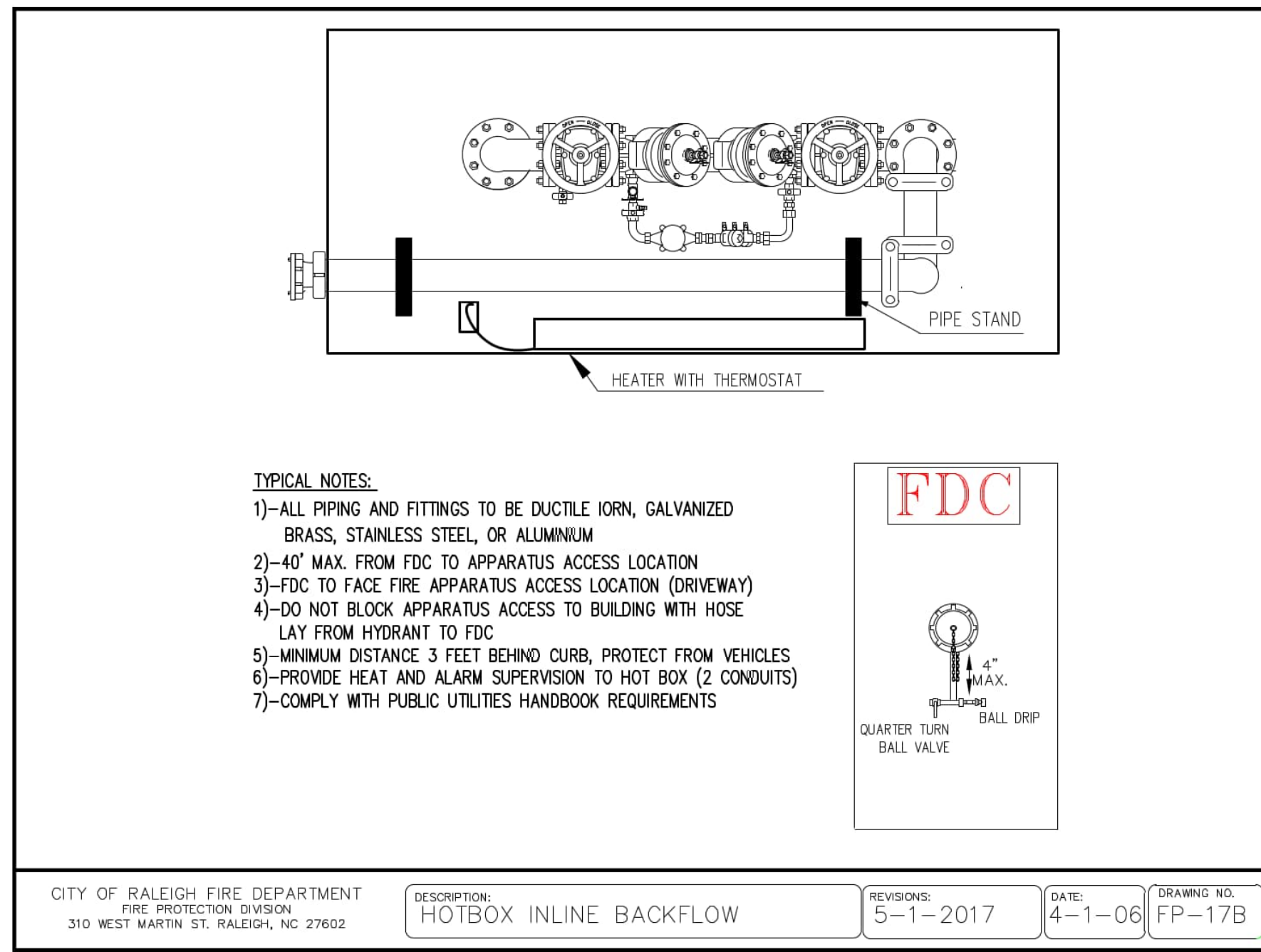
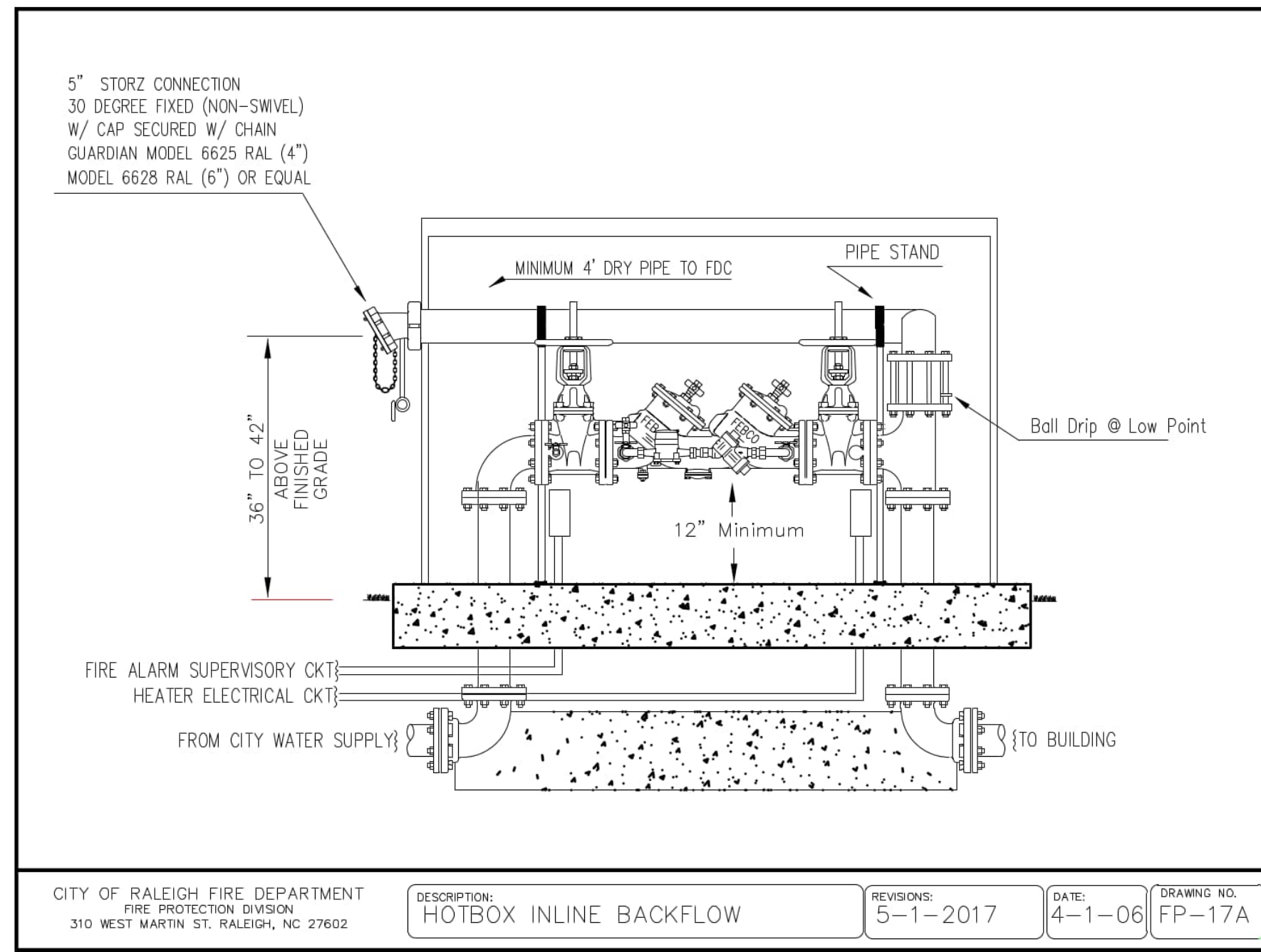
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1441 KIRKLAND RD, RALEIGH, NC 27603
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CITY OF RALEIGH DETAILS



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209 N SALEM ST, STE 220, APEX, NC 27502
PH 919 249-8587 FX 919 590-1687
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DATE: JANUARY 15, 2025
ISSUED FOR: REVIEW
SHEET NO.

D102



CITY OF RALEIGH SPECIFICATION AND DETAILS

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CITY OF RALEIGH DETAILS



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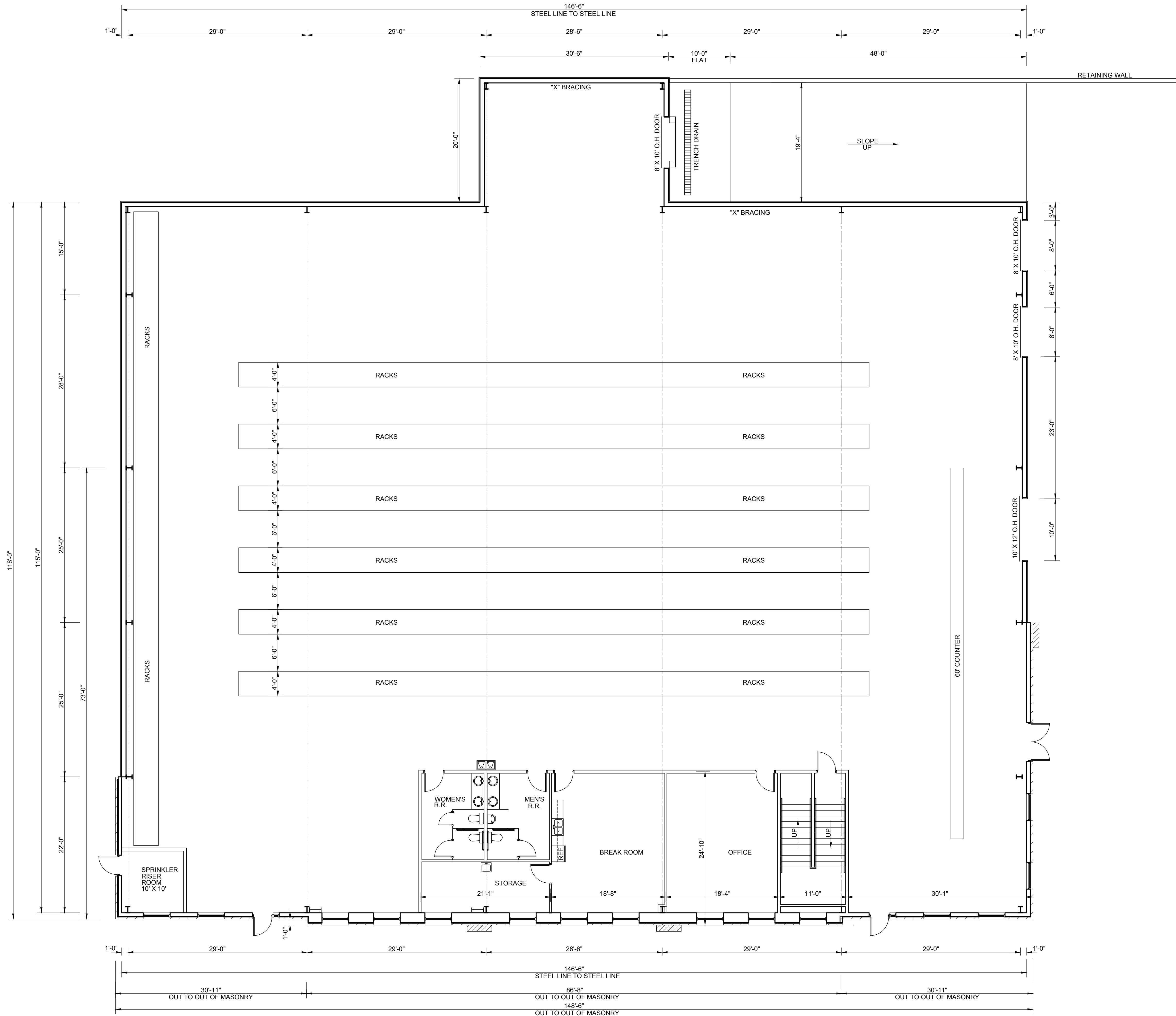
REVISIONS:
10/15/2024 - PER CITY OF RALEIGH COMMENTS
12/16/2024 - PER CITY OF RALEIGH COMMENTS
1/19/2025 - PER CITY OF RALEIGH COMMENTS

DATE
JANUARY 15, 2025

ISSUED FOR
REVIEW

SHEET NO.

D103



1
G-1

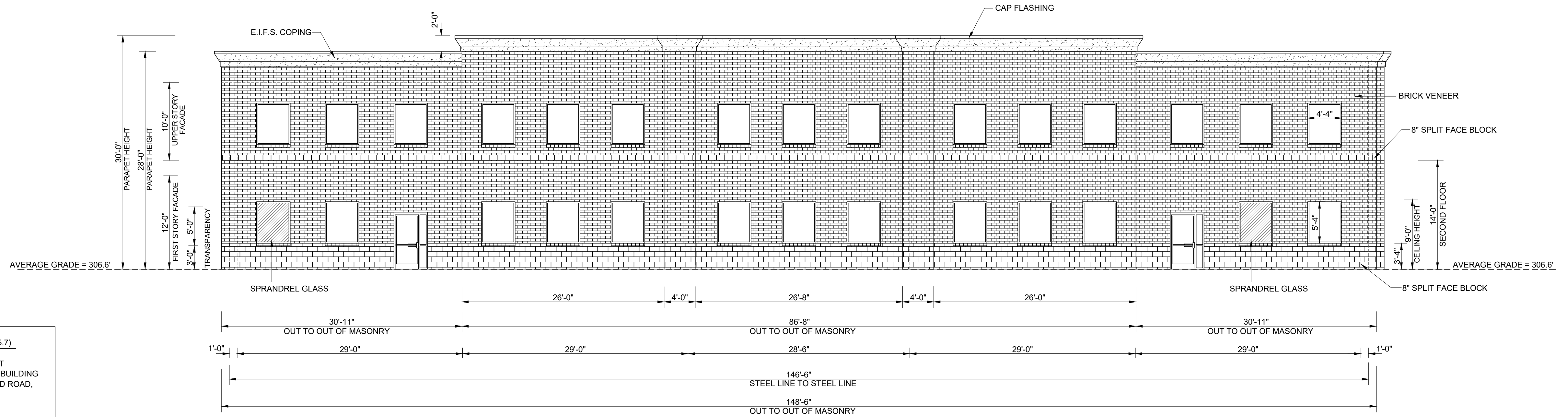
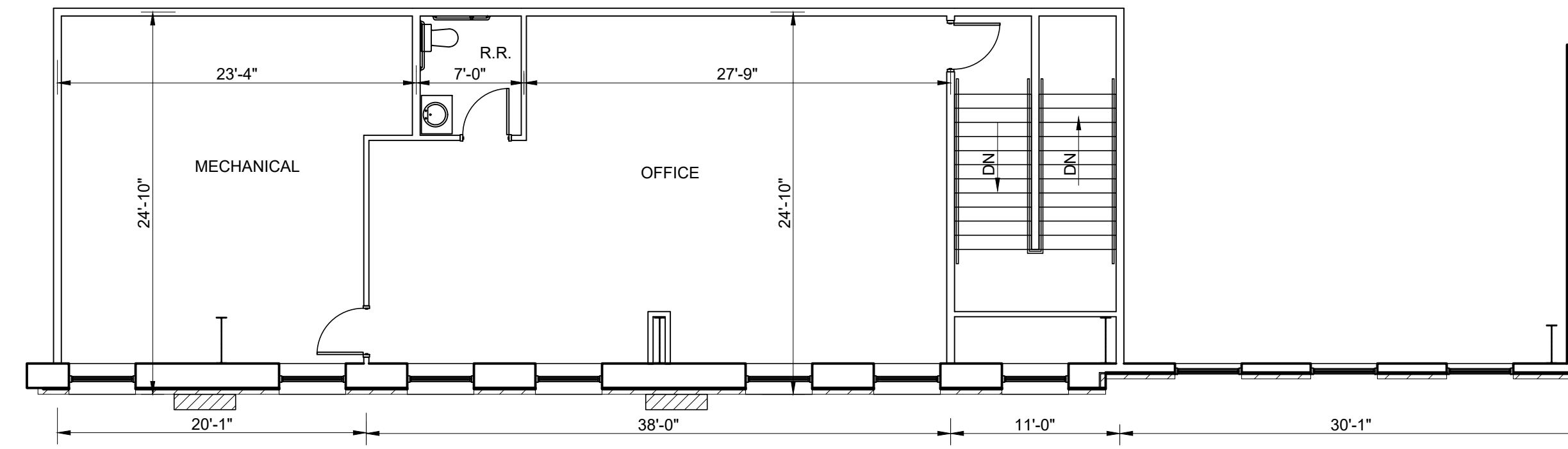
FLOOR PLAN

SCALE: 1/8"=1'-0"

REV.	DATE	DESCRIPTION

1ST FLOOR	
TRANSPARENCY CALCULATIONS	
OVERALL TOTAL AREA =	1,782 SQ. FT.
REQUIRED AREA % =	20 %
REQUIRED TRANSPARENCY =	356.4 SQ. FT.
PROVIDED AREA =	370 SQ. FT.
REQUIRED AREA BETWEEN 3'-0" & 8'-0" =	178.2 SQ. FT.
PROVIDED AREA BETWEEN 3'-0" & 8'-0" =	337 SQ. FT.

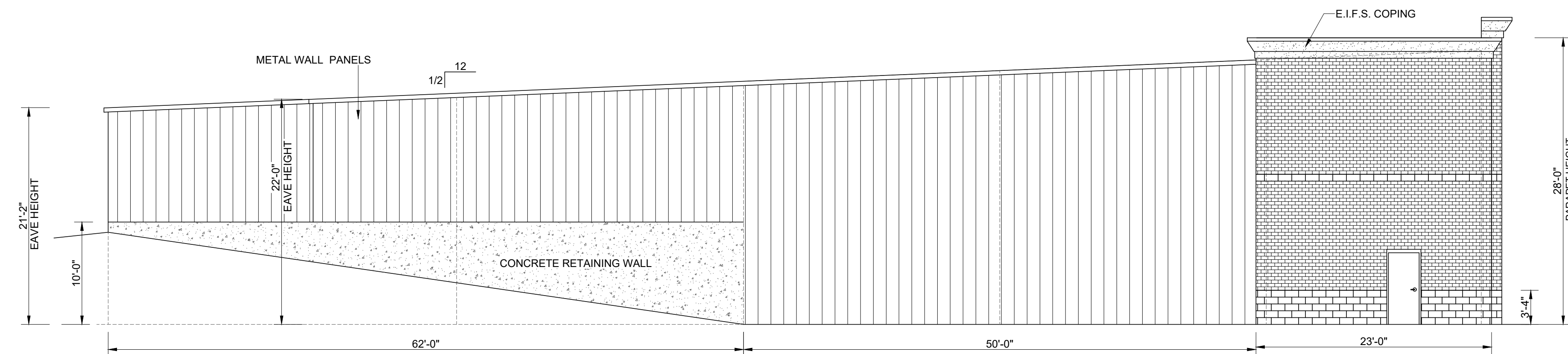
2ND FLOOR	
TRANSPARENCY CALCULATIONS	
OVERALL TOTAL AREA =	1,485 SQ. FT.
REQUIRED AREA % =	20 %
REQUIRED TRANSPARENCY =	297 SQ. FT.
PROVIDED AREA =	347 SQ. FT.



BUILDING AVERAGE GRADE TABLE (UDO SECTION 1.5.7)

THE BUILDING AVERAGE GRADE IS THE AVERAGE POST DEVELOPMENT GRADE ABOVE SEA LEVEL ALONG THE BUILDING ELEVATION MOST PARALLEL AND CLOSEST TO KIRKLAND ROAD, WHICH IS THE PRIMARY STREET.

HIGHEST GRADE ELEVATION	306.6'
LOWEST GRADE ELEVATION	306.6'
AVERAGE GRADE ELEVATION	306.6'



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SMITH ENGINEERING AND DESIGN, P.A.
1103 Gracie Place, Suite A
Goldsboro, N.C. 27534
Corporation License No. C-2241
Phone: 919.736.2141 Fax: 919.736.2142

Gregory DEVELOPMENT LLC
9541 Industry Drive
Raleigh, NC 27603 919-779-3522

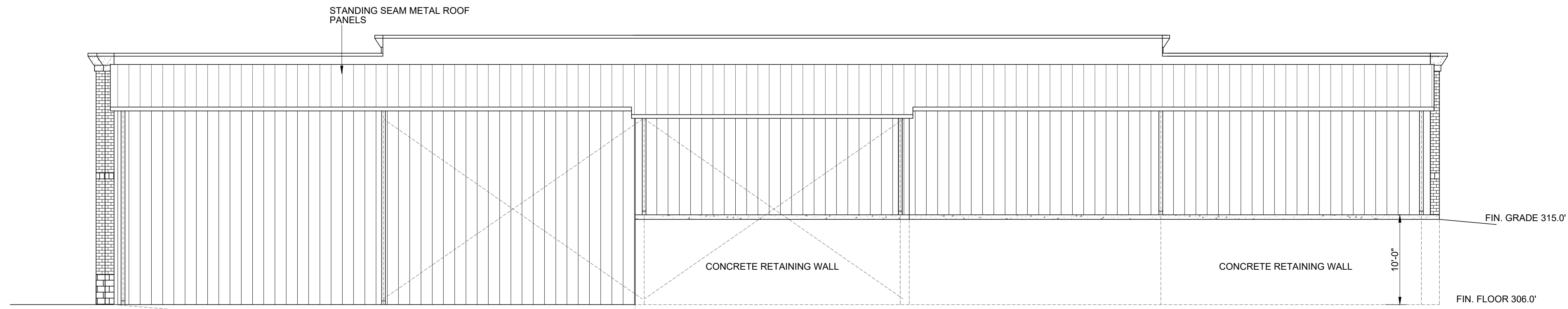
REVISIONS

REV	DATE	DESCRIPTION

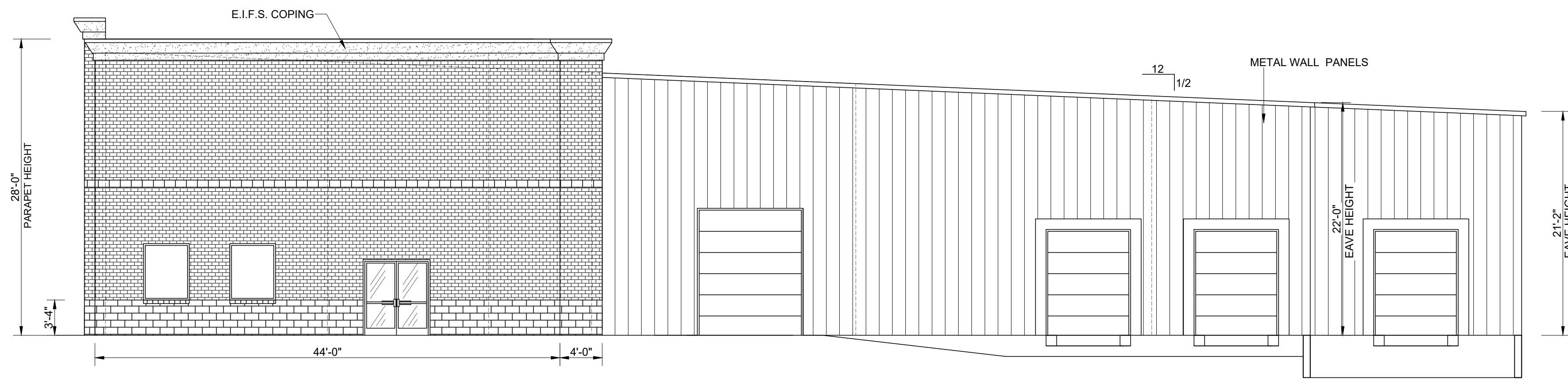
JA Realty, LLC
1441 Kirkland Road
Raleigh, NC

DATE: 17 October 2024
DRAWN BY: J.S.
SCALE: 1/8" = 1'-0"

G-2



1
G-3 **SOUTH ELEVATION**
SCALE: 1/8"=1'-0"



2
G-3 **WEST ELEVATION**
SCALE: 1/8"=1'-0"

REV.	DATE	DESCRIPTION