



# Administrative Approval Action

Case File / Name: ASR-0060-2019  
5701 Hillsborough St

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is located on the south side of Hillsborough Street, east of Oakdale Drive and along both sides of Burton Avenue, north of Waycross Street, zoned CX-3-GR, NX-3-GR, and R10. This site has been annexed and is within the city limits.

**REQUEST:** This is a new submittal revising an approved site plan case SR-85-2018 (AA#3898). The original multifamily project consisting of 11 buildings (176 units) with associated facilities and infrastructure is now being revised to show: an additional building along Waycross Street, the reduction in size of three buildings originally approved along Waycross Street, an increase in units to 180, an increase in parking to 394 parking spaces, along with associated infrastructure. (AA#4010)

One Design Adjustment has been approved by the Development Services designee for this project related to the Block perimeter requirements of Raleigh UDO Article 8.3.

One Special Use Permit has been approved by the City of Raleigh Board of Adjustment for this project allowing a residential development swimming pool exceeding the linear dimensions and overall size as per 6.7.3 G 5 of the Unified Development Ordinance. A condition of this approval is that no organized swim events are to be held at this pool.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 9, 2019 by CHRIS BOSTIC.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Engineering**

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.
2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

### **Stormwater**



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3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Required
-------------------------------------	-------------------------

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
3. Slope easements and associated deeds of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

## **General**

1. Provide fire flow analysis.
2. A demolition permit shall be obtained.
3. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.

## **Engineering**

4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

## **Public Utilities**

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Stormwater**

6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## **Urban Forestry**

8. A tree impact permit must be obtained for the approved street scape tree installation in the right of way. This development proposes 16 street trees along Hillsborough Street, 28 under story trees along Oakland Avenue, 23 under story trees along Waycross Street, and 38 under story trees along Burton Avenue. .

***The following are required prior to issuance of building occupancy permit:***

## **General**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.



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3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

## Stormwater

6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** October 9, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

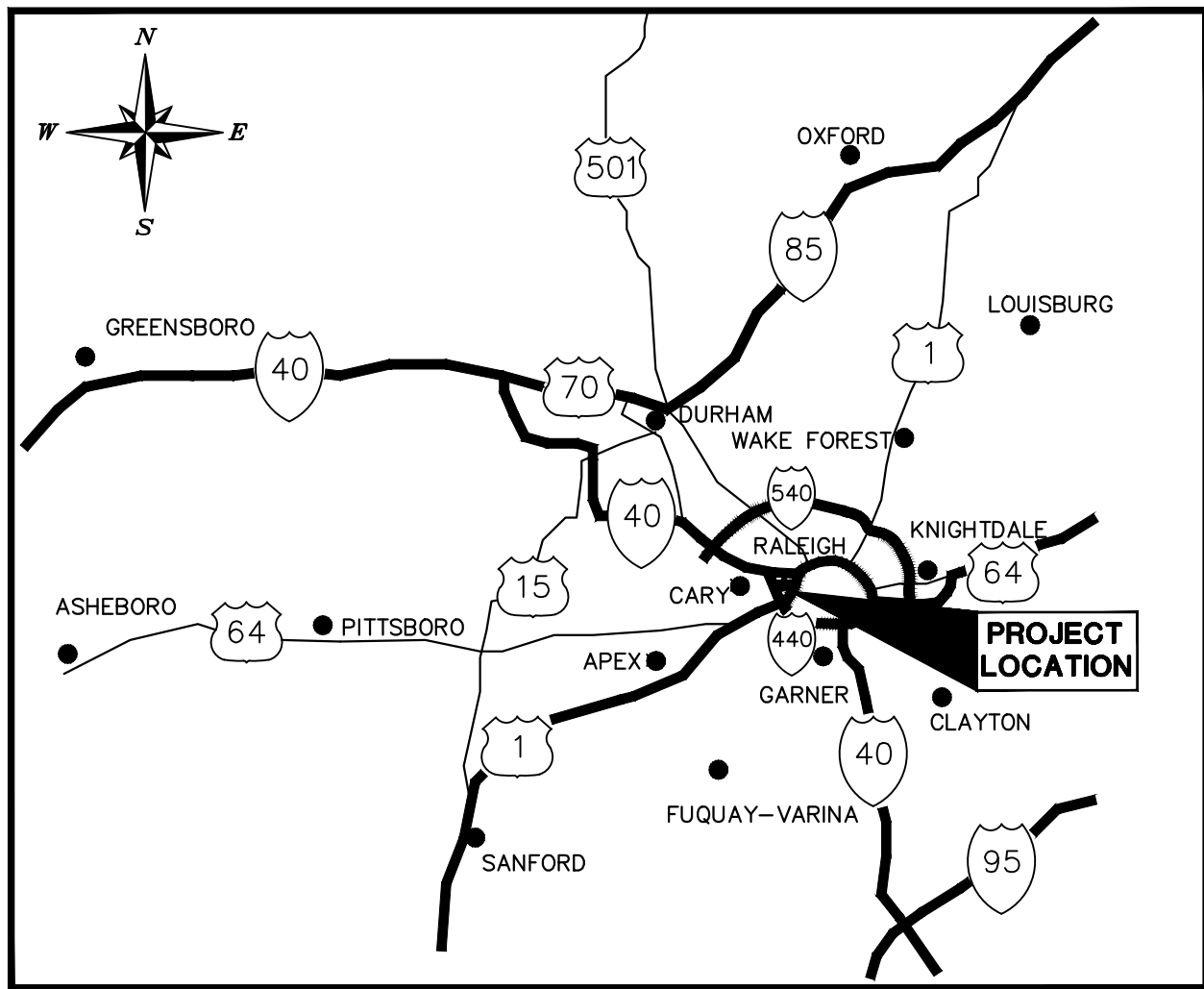
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ Date: 10/10/2019  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters



Plotted By: Bell, JJ Sheet Set: 5700 HILLSBOROUGH ST. Layout: C0.0 COVER SHEET September 25, 2019 03:26:34pm K:\RAL\DEV\118227003-5700 Hillsborough\Planning Phase\PL5 CAD Files\PlanSheets\ASR PlanSet\_2\0.0 COVER SHEET.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION  
NTS

SITE DATA									
PROPERTY INFORMATION									
EXISTING ZONING:	CX-3-GR, NX-3-GR AND R-10								
EXISTING USE:	COMMERCIAL AND SINGLE FAMILY								
TOTAL SITE AREA:	7.93 AC. (345,431 SF)								
PROPERTY SETBACKS:	<table><tr><td>CX-3-GR</td><td>R-10</td></tr><tr><td>PRIMARY STREET = 5'</td><td>10'</td></tr><tr><td>SIDE = 0'-6'</td><td>0'-6'</td></tr><tr><td>REAR = 0'-6'</td><td>20'</td></tr></table>	CX-3-GR	R-10	PRIMARY STREET = 5'	10'	SIDE = 0'-6'	0'-6'	REAR = 0'-6'	20'
CX-3-GR	R-10								
PRIMARY STREET = 5'	10'								
SIDE = 0'-6'	0'-6'								
REAR = 0'-6'	20'								
PROJECT DATA									
PROPOSED USE:	MULTI-FAMILY								
PROPOSED # OF BUILDINGS	12								
BUILDING LOT COVERAGE:	24.1% (98,343 SF / 408,597 SF)								
BLOCK PERIMETER	REQUIRED: 3000' ACTUAL: 2149'								
PARKING REQUIRED: PARKING PROVIDED:	299 SPACES 394 SPACES *SEE SHEET A0 FOR BREAKDOWN*								
SHORT TERM BIKE PARKING:	REQUIRED: 9 PROVIDED: 12								
AMENITY AREA:	SEE LANDSCAPE PLANS								
PROPOSED BUILDING HEIGHT: SITE IMPERVIOUS AREA:	SEE ARCHITECTURAL ELEVATION SHEETS EXISTING (PRE-DEV.): =86,702 SF (21.22%)  PROPOSED (POST-DEV.): =334,399 SF (81.84%)								
R-10 DENSITY CALCULATIONS	R-10 = 10 DWELLING UNITS/ACRE ALLOWED = 10 x 5.19 AC = 51.9 = 51 UNITS PROPOSED = 50 UNITS								

## PROJECT OWNER AND CONSULTANT

SITE DEVELOPER: CA VENTURES  
130 EAST RANDOLPH STREET, SUITE 2100  
CHICAGO, IL 60601  
PHONE: (312) 766-2339  
ATTN: OLIVIA PRAIS  
oprais@ca-ventures.com

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2927  
ATTN: CHRIS BOSTIC, P.E.  
chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE ST., SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2976  
ATTN: DAN GREENBERG, PLA  
dan.greenberg@kimley-horn.com

SURVEYOR: CAIN SURVEYING, P.C.  
6333 NC HWY #242 SOUTH  
BLADENBORO, NC 28320  
PHONE: (910) 648-4509  
ATTN: JIMMY F. CAIN, PLS  
jimmy@cainsurveying.com

# PRELIMINARY ASR SUBMITTAL FOR 5700 HILLSBOROUGH STREET

5700 HILLSBOROUGH STREET  
RALEIGH, NORTH CAROLINA 27606

A DEVELOPMENT BY: CA VENTURES  
130 EAST RANDOLPH STREET, SUITE 2100  
CHICAGO, IL 60601

ASR-0060-2019

PREVIOUS SR-85-18

PREVIOUS ASR TRANS #568400

PREVIOUS CONCURRENT TRANS #579736

PREVIOUS REVISION 1 CONCURRENT TRANS. #600384

CONCURRENT APPROVAL WAS OBTAINED FOR THE OVERALL SITE. BUILDING PERMITS HAVE BEEN OBTAINED FOR BUILDINGS 1 & 2 AND SIX OF THE CENTRALIZED BUILDINGS ARE CURRENTLY UNDER BUILDING REVIEW AS NOTED ON SHEET C2.0. BELOW IS A SUMMARY OF THE REVISIONS INCLUDED IN THIS SUBMITTAL:

- ONE BUILDING ADDED ALONG WAYCROSS. THE OTHER THREE BUILDINGS IN THE REVISED AREA ARE SMALLER
- NUMBER OF UNITS CHANGED FROM 176 TO 180
- NUMBER OF PARKING SPACES CHANGED FROM 427 TO 394 (REQUIRED IS 303)
- ADDED A NEW WATER SERVICE FOR THE NEW BUILDING AND SOME MODIFICATION TO THE OTHER 3 BUILDINGS IN THE IMPACTED AREA
- NO CHANGES TO IMPERVIOUS AREA OR DRAINAGE PATTERNS
- NO CHANGES TO UNDERGROUND DETENTION FACILITIES. THEIR LOCATION IS UNCHANGED FROM THE APPROVED CONCURRENT
- NO CHANGES IN PUBLIC RIGHT-OF-WAY OR PUBLIC INFRASTRUCTURE

### DEVELOPMENT SERVICES

#### Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-986-2465



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:	Planning Coordinator:										
<table><tr><th>Building Type</th><th>Site Transaction History</th></tr><tr><td><input type="checkbox"/> Detached</td><td><input checked="" type="checkbox"/> General</td></tr><tr><td><input type="checkbox"/> Attached</td><td><input type="checkbox"/> Mixed use</td></tr><tr><td><input checked="" type="checkbox"/> Apartment</td><td><input type="checkbox"/> Open lot</td></tr><tr><td><input type="checkbox"/> Townhouse</td><td><input type="checkbox"/> Civic</td></tr></table>	Building Type	Site Transaction History	<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Subdivision transaction #: Sketch transaction #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Administrative Alternate #:
Building Type	Site Transaction History										
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General										
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use										
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot										
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic										

GENERAL INFORMATION	
Development name:	5700 Hillsborough Street
Inside City limits?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Property address(es):	10 Burton Avenue & 5669 Western Blvd, Raleigh, NC 27606

Site P.I.N.(s): 0784007705 & 0784101812  
Please describe the scope of work. Include any additions, expansions, and change of use.  
Project includes construction of a multifamily residential apartment complex and associated facilities and infrastructure.

Current Property Owner/Developer Contact Name:	
NOTE: please attach purchase agreement when submitting this form.	
Company: Raleigh NP Property Owner LLC	Title:
Address: 130 East Randolph Street, Suite 2100, Chicago IL 60601	
Phone #: 312-766-2339	Email: oprais@ca-ventures.com
Applicant Name: Chris Bostic	
Company: Kimley-Horn & Associates, Inc.	Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601
Phone #: 919-677-2000	Email: chris.bostic@kimley-horn.com

Page 1 of 2

REVISION 05.01.19  
raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-GR (1.63 ac), NX-3-GR (1.27 ac), R-10 (5.03 ac)	Existing gross floor area (not to be demolished): 0
Gross site acreage: 7.93 ac	Existing gross floor area to be demolished: 32,511
# of parking spaces required: 303	New gross floor area: 107,271
# of parking spaces proposed: 394	Total sf gross (to remain and new): 107,271
Overlay District (if applicable): N/A	Proposed # of buildings: 12
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Multi-Unit Living	

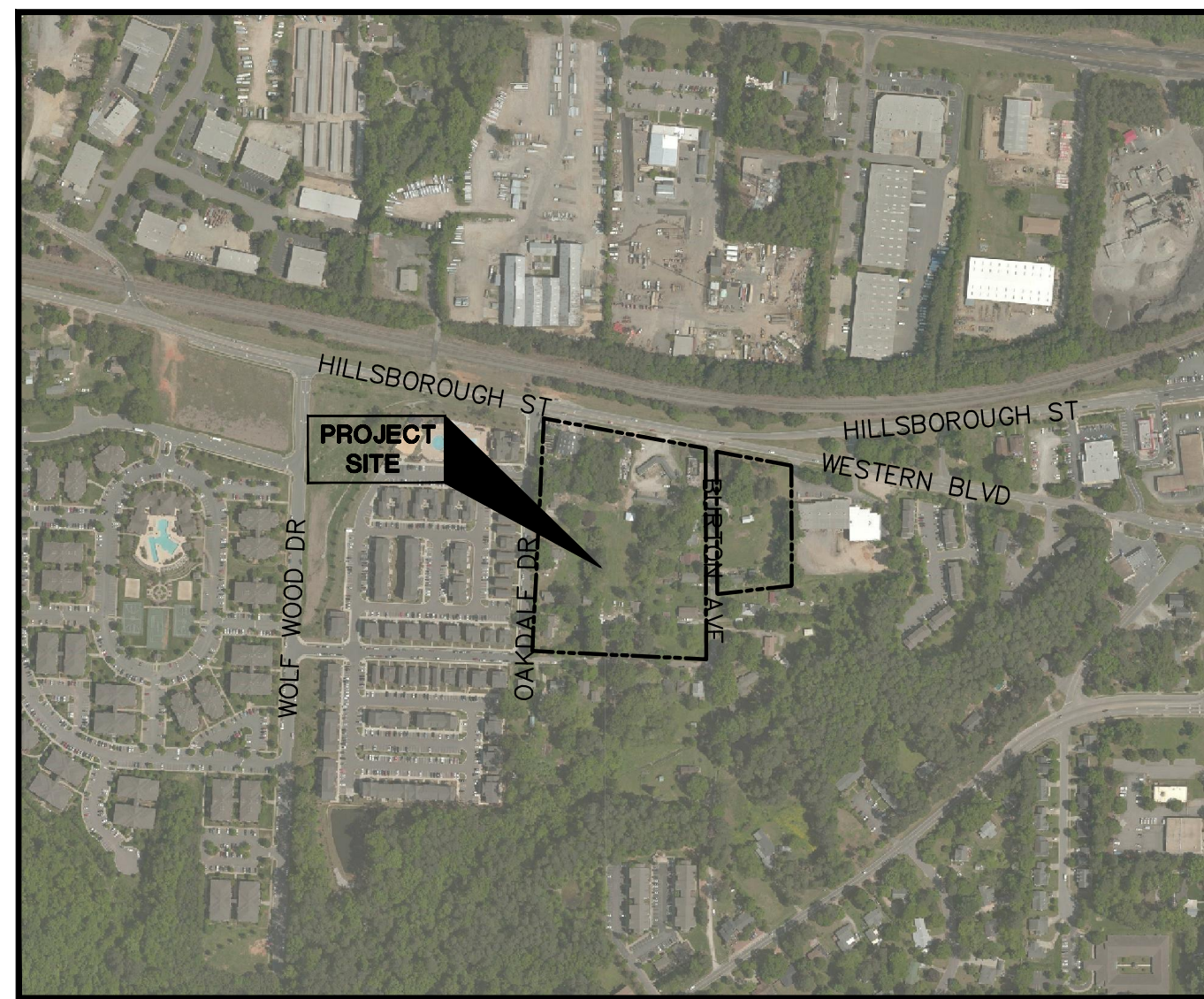
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.89 Square Feet: 85,684	Proposed Impervious Surface: Acres: 4.59 Square Feet: 207,000
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 180	Total # of hotel units: N/A
# of bedroom units: 1br: 21 2br: 58 3br: 27 4br or more: 74	
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

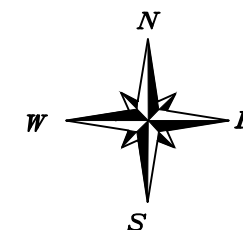
SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Kimley-Horn & Associates, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <i>Sean T. Spillman</i>	Date: 09.05.2019
Printed Name: Sean T. Spillman	

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raleighnc.gov



VICINITY MAP



SCALE: 1" = 500'

### RALEIGH BOARD OF ADJUSTMENT DECISIONS

May 13, 2019

A-18-19 - 5/13/19

Decision: Approved the Special Use Permit with the condition that no organized swim events are held at the pool.

WHEREAS, CA Ventures, property owner, requests a Special Use Permit (SUP) to construct a swimming pool, in conjunction with a new apartment complex, that exceeds the linear dimension requirement, pursuant to sections 6.7.3.G.5. and 10.2.9. of the Unified Development Ordinance on a 9.38 acre property zoned Commercial Mixed-Use-3-Green, Neighborhood Mixed-Use-3-Green and Residential-10 located at 14 Burton Avenue, 16 Burton Avenue, 18 Burton Avenue, 20 Burton Avenue, 21 Burton Avenue, 24 Burton Avenue, 5701 Hillsborough Street, 5707 Hillsborough Street, 5713 Hillsborough Street, 5715 Hillsborough Street, 5717 Hillsborough Street, 19 Oakdale Drive, 23 Oakdale Drive, 27 Oakdale Drive, 31 Oakdale Drive, 5700 Waycross Street, and 5669 Western Boulevard.

### Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	SAND FILTER DETAILS
C6.0	SITE DETAILS
L1.0	LANDSCAPE NOTES
L1.1	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A0 - A3.01	BUILDING PLANS

### NC CERTIFICATE OF AUTHORIZATION: F-0102

PREPARED IN THE OFFICE OF:

**Kimley»»Horn**

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421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 677-2000

SURVEY NOTE:  
EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOCK & CLARK, 3550 W. MARKET STREET, SUITE 200, AKRON, OHIO 44333. PHONE: 1-800-787-8397 AND DATED JULY 17, 2018. SURVEY PROVIDED BY TWT, 3500 REGENCY PARKWAY, SUITE 260, CARY, NC 27518. PHONE: 919-297-0085 AND DATED DECEMBER 6, 2018, AND DEVELOPER PLANS BY KIMLEY-HORN.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

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SEAL:

DATE:  
**JULY 9, 2019**

JOB NUMBER:  
**118227003**

**Kimley»»Horn**

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM

**PRELIMINARY**  
NOT FOR CONSTRUCTION

KHA PROJECT  
118227003  
DATE  
08/09/19  
SCALE AS SHOWN  
DESIGNED BY JCB  
DRAWN BY JCB  
CHECKED BY COB

COVER SHEET

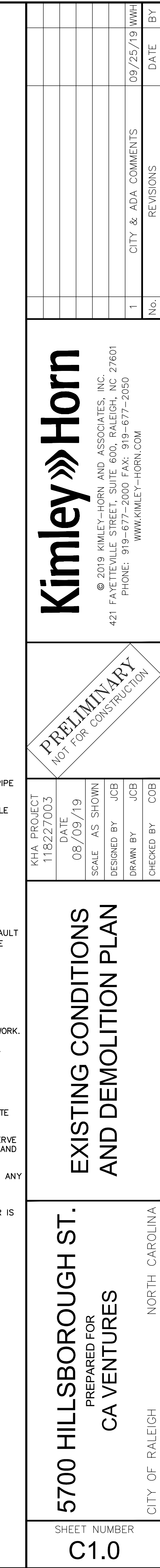
5700 HILLSBOROUGH ST.  
PREPARED FOR  
CA VENTURES

CITY OF RALEIGH NORTH CAROLINA

SHEET NUMBER  
**C0.0**

DATE  
BY



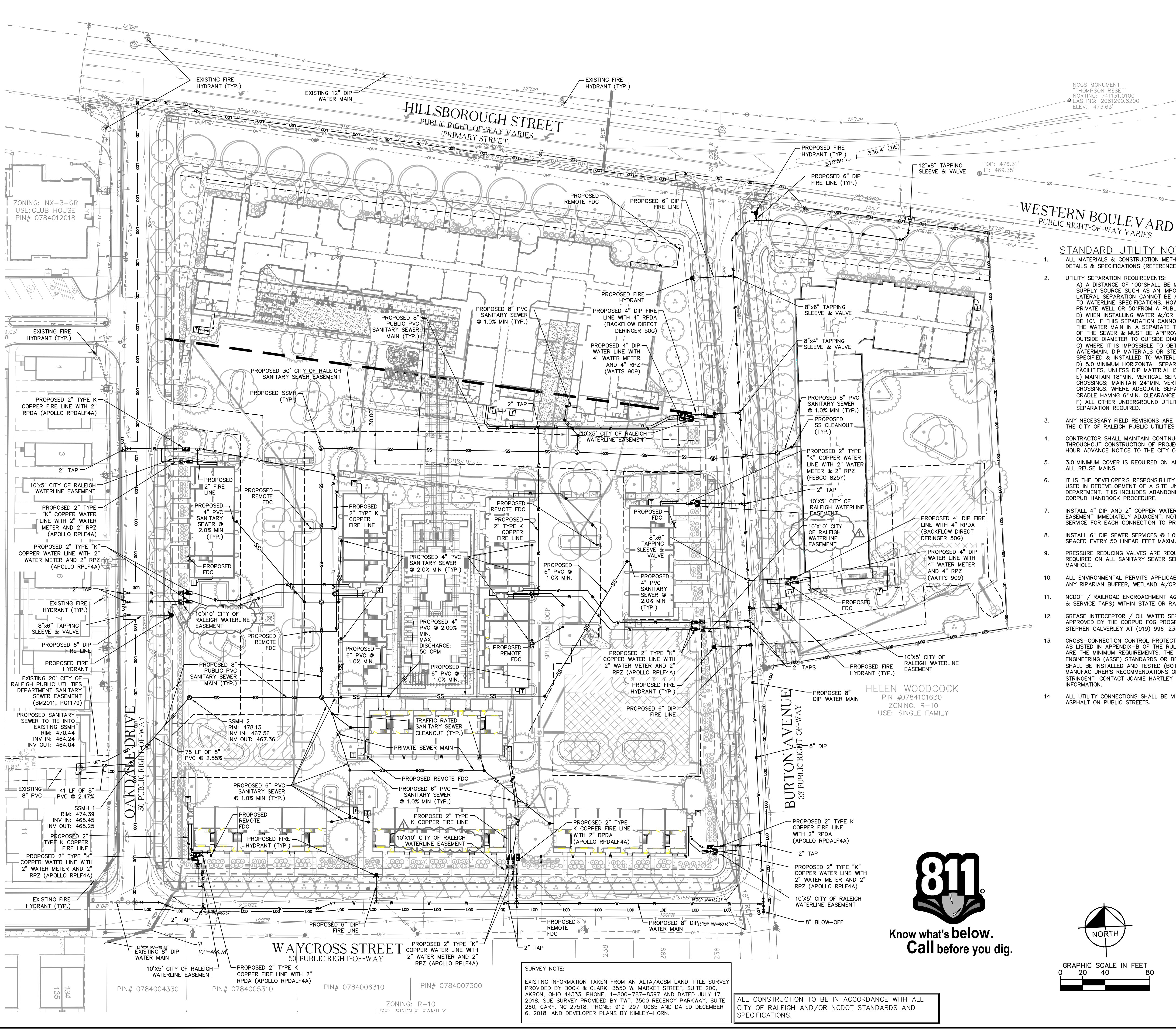








Plotted By: Bell, JJ. Sheet Set: 5700 HILLSBOROUGH ST. Layout: C4.0 UTILITY PLAN September 25, 2019 03:27:58pm K:\RAL-LOEVA\118227003-5700 Hillsborough Planning Phase P15 CAD Files\PlanSheets\_ASR\_PlanSet\_2\C4.0 UTILITY PLAN.dwg  
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UTILITY LEGEND

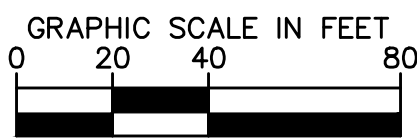
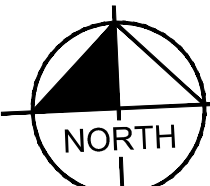
FL	PROPOSED FIRELINE
W	PROPOSED WATERLINE
SS	PROPOSED SANITARY SEWER LINE
E	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER LINE BEND
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED TRANSFORMER
OHP	EXISTING OVERHEAD POWER
W	EXISTING WATER LINE
SS	EXISTING SANITARY SEWER LINE

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:  
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.  
B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.  
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.  
D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.  
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).  
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" DIP AND 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" DIP SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- ALL UTILITY CONNECTIONS SHALL BE VIA OPEN CUT METHOD AND SHALL BE INSTALLED PRIOR TO FINAL LIFT OF ASPHALT ON PUBLIC STREETS.



Know what's below.  
Call before you dig.



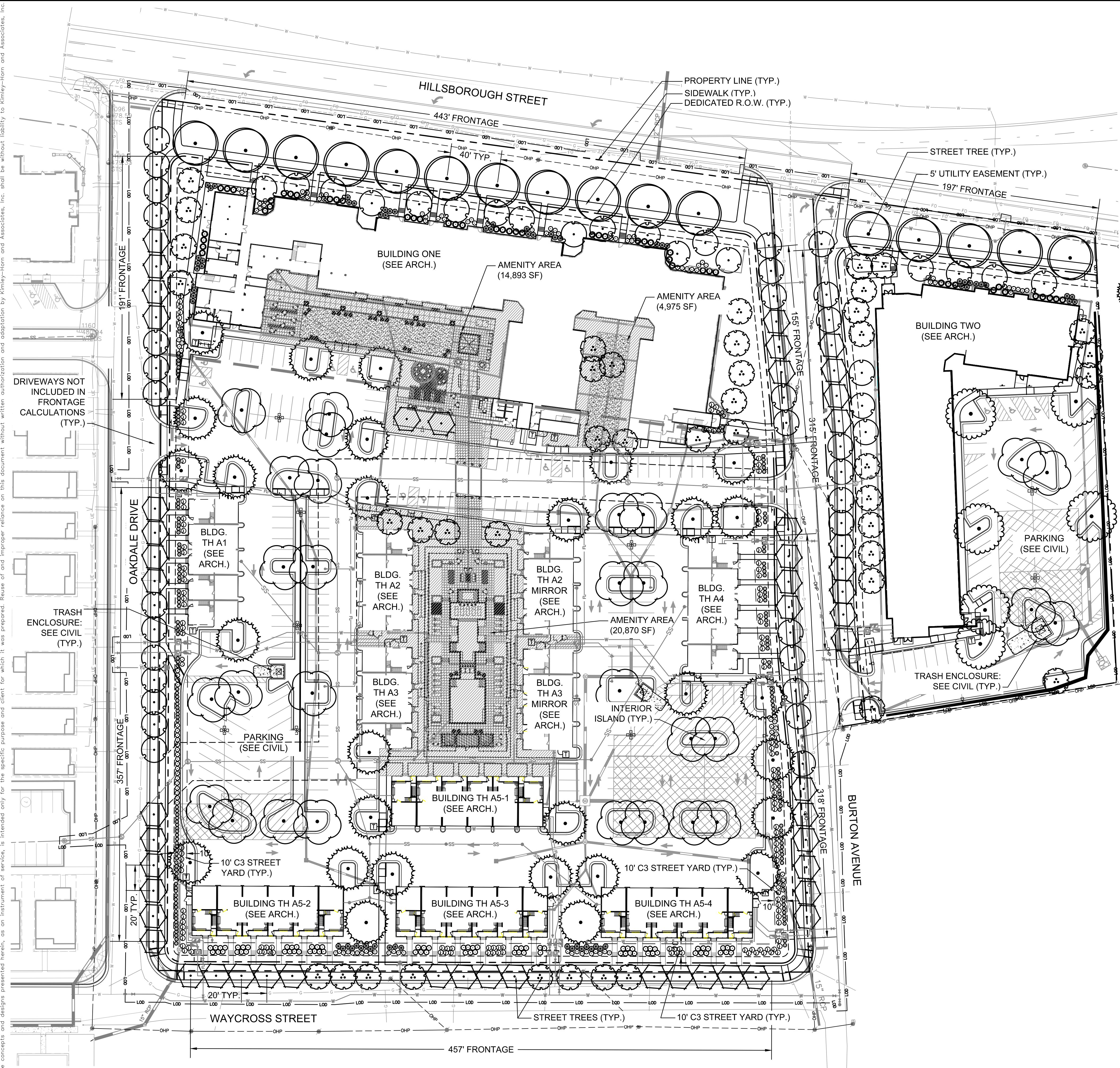
SURVEY NOTE:  
EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOCK & CLARK, 3550 W. MARKET STREET, SUITE 200, AKRON, OHIO 44333. PHONE: 1-800-787-8397 AND DATED JULY 17, 2018. SUE SURVEY PROVIDED BY TWT, 3500 RICHMOND PARKWAY, SUITE 260, CARY, NC 27518. PHONE: 919-297-0085 AND DATED DECEMBER 6, 2018, AND DEVELOPER PLANS BY KIMLEY-HORN.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

KHA PROJECT 118227003		DATE 08/09/19		SCALE AS SHOWN		DESIGNED BY JCB		DRAWN BY JCB		CHECKED BY COB					
KIMLEY»Horn										CITY & ADA COMMENTS 1		REVISIONS No.		BY DATE 05/25/19/WH	
PRELIMINARY NOT FOR CONSTRUCTION										UTILITY PLAN		5700 HILLSBOROUGH ST. PREPARED FOR CA VENTURES		NORTH CAROLINA CITY OF RALEIGH	
SHEET NUMBER C4.0															



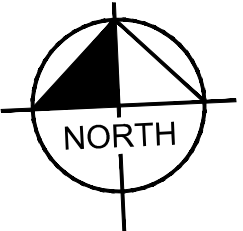
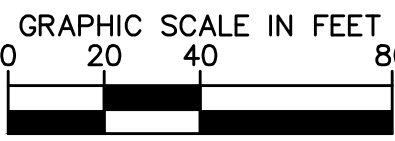
Plotted By: Bell, J.W. Sheet Set: 5700 HILLSBOROUGH ST. - L1.1 LANDSCAPE PLAN. September 25, 2019. 04:14:39pm. K:\REAL\IDEV\118227003\_5700 Hillsborough\Planning Phase\PI5\_CAD Files\PlanSheets\L1.1 LANDSCAPE PLAN.dwg  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
	29	ACER SACCHARUM 'GREEN MOUNTAIN' SUGAR MAPLE	B&B	3" CAL	12'-14' H
	42	AMELANCHIER X GRANDIFLORA 'PRINCESS DIANA' PRINCESS DIANA SERVICEBERRY	B&B		10'-12' HT.
	52	CHIONANTHUS VIRGINICUS WHITE FRINGETREE (SINGLE STEM)	B&B	1.5" CAL	10' HT.
	52	MAGNOLIA STELLATA STAR MAGNOLIA (SINGLE STEM)	B&B	1.5" CAL	10' HT.
	16	QUERCUS PHELLOS WILLOW OAK	B&B	3" CAL	12'-14' H
	29	TAXODIUM DISTICHUM 'AUTUMN GOLD' BALD CYPRESS	B&B	3" CAL	12'-14' H
	6	ULMUS AMERICANA 'VALLEY FORGE' AMERICAN ELM	B&B	3" CAL	12'-14' H
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	
	74	ABELIA X GRANDIFLORA 'ROSE CREEK' ROSE CREEK ABELIA	CONT.	18"	
	64	ILEX GLABRA 'SHAMROCK' INKBERRY	CONT.	24"	
	126	ITEA VIRGINICA 'HENRY'S GARNET' SWEETSPIRE	CONT.	18"	
	169	ILEX VOMITORIA 'NANA' DWARF YAUPON HOLLY	CONT.	18"	
	50	PRUNUS LAUROCERASUS 'OTTO LUYKEN' LUYKENS LAUREL	CONT.	24"	
	130	VIBURNUM DENTATUM 'BLUE MUFFIN' SOUTHERN ARROWWOOD	CONT.	18"	

LANDSCAPE PLAN NOTES:  
1. FOR LANDSCAPE REQUIREMENTS AND CALCULATIONS SEE TABLE ON SHEET L2.0.  
2. STREET TREE SPACING (40' O.C. ON HILLSBOROUGH STREET & 20' O.C. FOR OTHER STREETS) IS TYPICAL. IN AREAS WHERE UTILITY CONFLICTS ARISE, STREET TREE SPACING MAY BE REDUCED, BUT A MINIMUM OF 18' O.C. MUST BE PRESERVED.



SURVEY NOTE:  
EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOCK & CLARK, 3550 W. MARKET STREET, SUITE 200, AKRON, OHIO 44333. PHONE: 1-800-787-8397 AND DATED JULY 17, 2018. SUE SURVEY PROVIDED BY TWT, 3500 REGENCY PARKWAY, SUITE 260, CARY, NC 27518. PHONE: 919-297-0085 AND DATED DECEMBER 6, 2018, AND DEVELOPER PLANS BY KIMLEY-HORN.

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5700 HILLSBOROUGH ST.  
PREPARED FOR  
CA VENTURES

CITY OF RALEIGH

LANDSCAPE PLAN

KHA PROJECT  
118227003

DATE  
08/09/19

SCALE AS SHOWN

DESIGNED BY DSG

DRAWN BY DSG

CHECKED BY COB

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM

5700 HILLSBOROUGH ST.

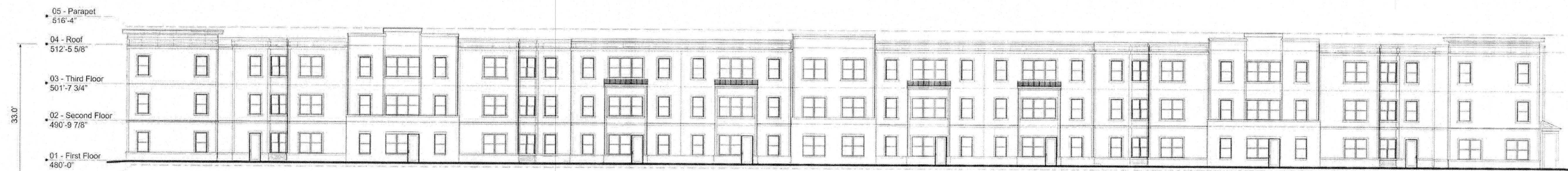
CITY OF RALEIGH

NO. 1

DATE

BY





1: Building One: Hillsborough Elevation

Scale: 1/16" = 1'-0"



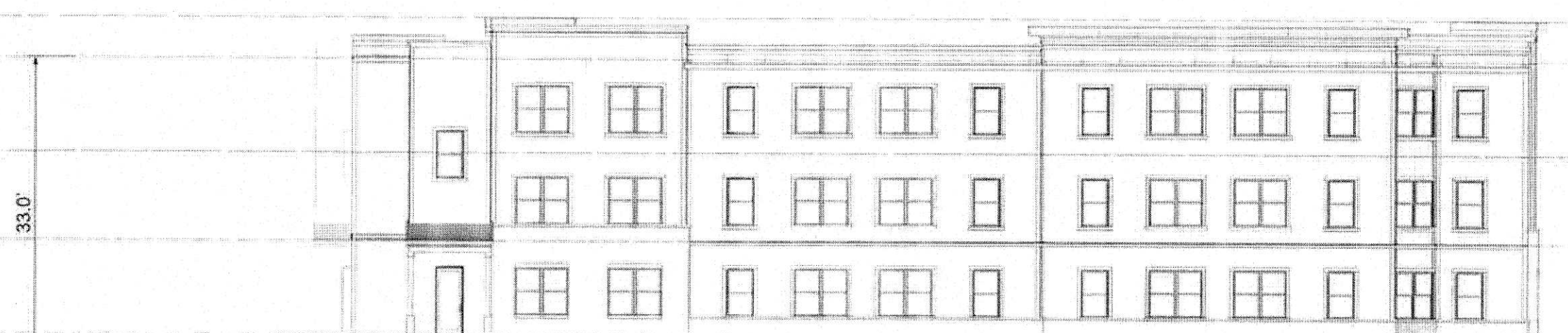
2: Building One: South Elevation

Scale: 1/16" = 1'-0"



3: Building One: Oakdale Elevation

Scale: 1/16" = 1'-0"



4: Building One: Burton Elevation

Scale: 1/16" = 1'-0"



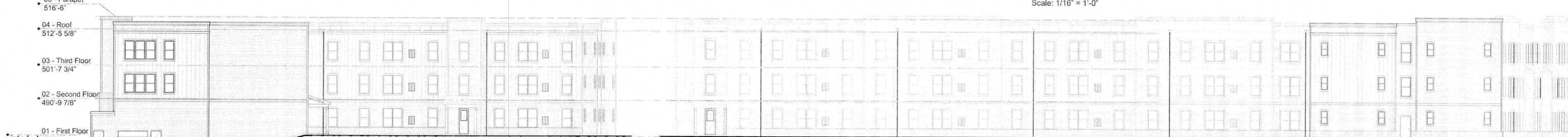
5: Building Two: Burton Elevation

Scale: 1/16" = 1'-0"



6: Building Two: Hillsborough Elevation

Scale: 1/16" = 1'-0"



7: Building Two: South Elevation

Scale: 1/16" = 1'-0"

8: Building Two: East Elevation

Scale: 1/16" = 1'-0"



## EXTERIOR ELEVATIONS

5700 HILLSBOROUGH STREET  
RALEIGH, NC

Sheet A 3.00







① TH A5-2  
FRONT ELEVATION-(Waycross) 1/8"=1'-0"



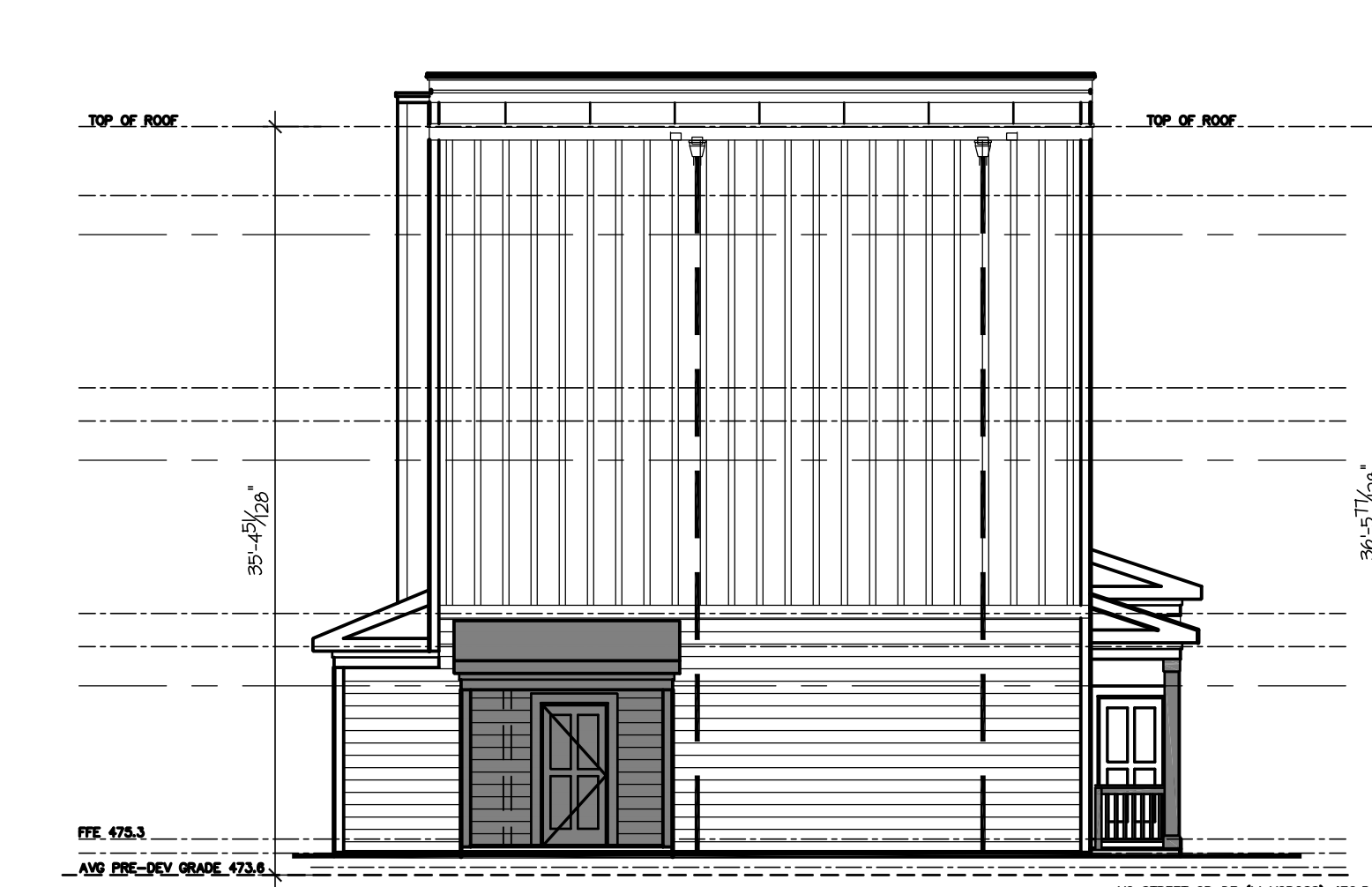
③ TH A5-3  
FRONT ELEVATION-(Waycross) 1/8"=1'-0"



⑤ TH A5-4  
FRONT ELEVATION-(Waycross) 1/8"=1'-0"



② TH A5-2  
SIDE ELEVATION-(Oakdale) 1/8"=1'-0"



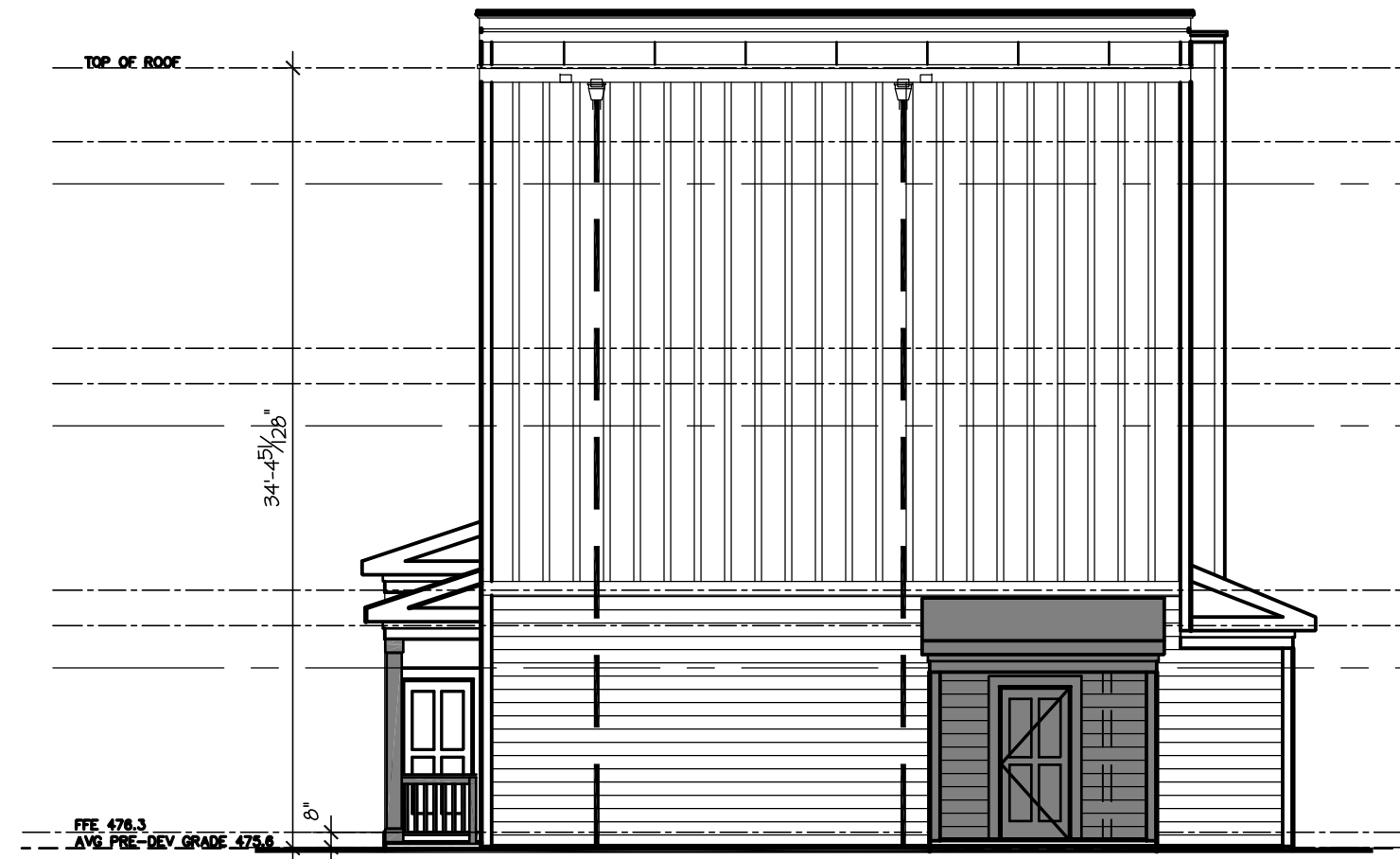
④ TH A5-3  
SIDE ELEVATION 1/8"=1'-0"



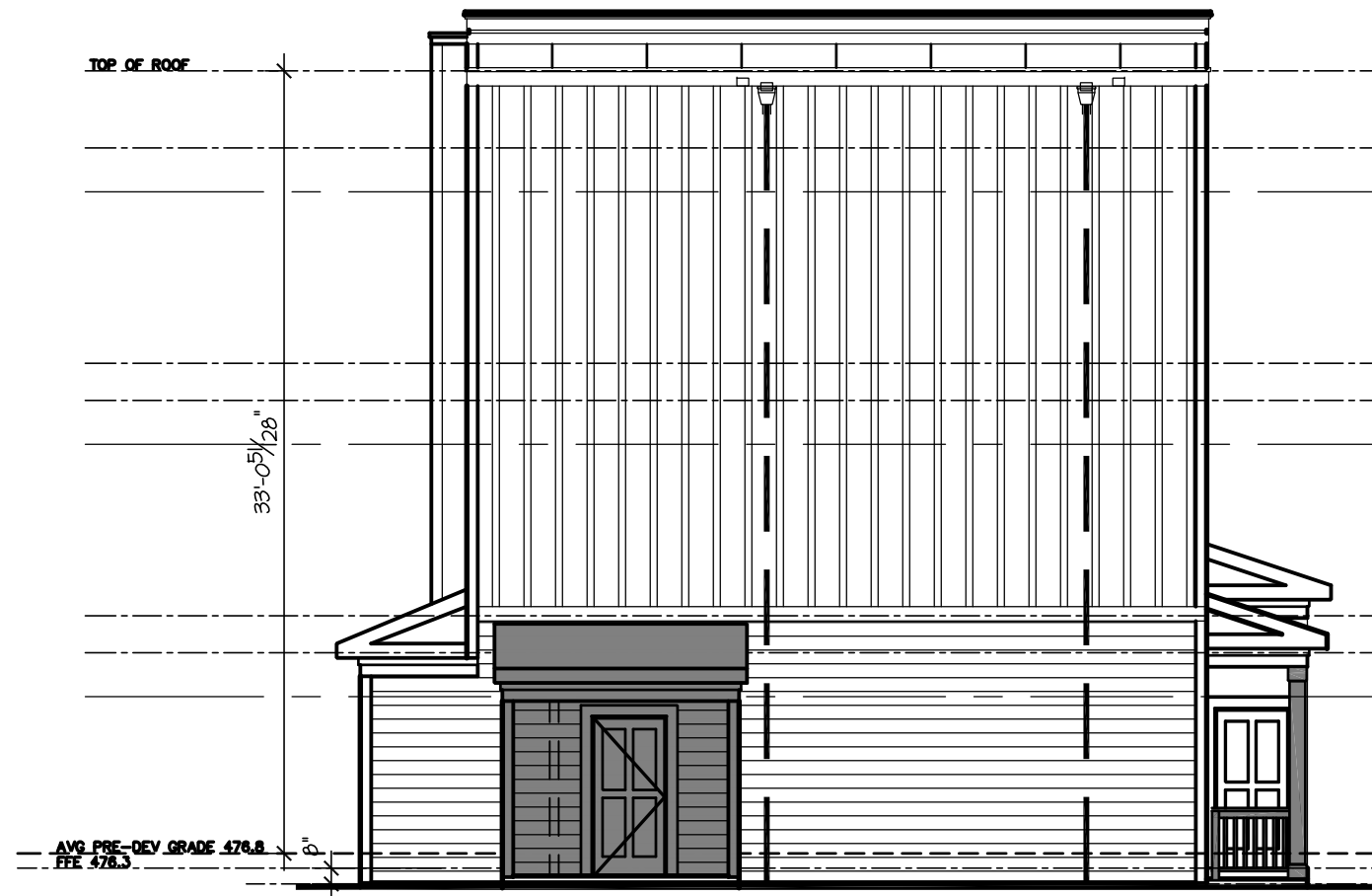
⑥ TH A5-4  
SIDE ELEVATION (Burton) 1/8"=1'-0"

SHEET A4.01  
**5700 HILLSBOROUGH STREET**  
RALEIGH, NC





① TH A5-1  
SIDE ELEVATION-(West) 1/8"=1'-0"



② TH A5-1  
SIDE ELEVATION-(East) 1/8"=1'-0"



③ TH A5-1, A5-2, A5-3, A5-4  
REAR ELEVATION 1/8"=1'-0"



SHEET A4.02  
**5700 HILLSBOROUGH STREET**  
RALEIGH, NC

