

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____


Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits? Yes No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use. 			
Current Property Owner/Developer Contact Name: _____			
NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0 sf
	Existing gross floor area to be demolished: 0 sf
Gross site acreage: 20.71 acs.	New gross floor area: 43,600 sf
# of parking spaces required: 261	Total sf gross (to remain and new): 43,600 sf
# of parking spaces proposed: 276	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Civic	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 acs Square Feet: 0 sf	Proposed Impervious Surface: Acres: 6.31 acs Square Feet: 275,000 sf
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: 3720172600J	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br 4br or more	
# of lots: N/A	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>Jonathan A. Allen</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: 7/16/21
Printed Name: Jonathan A. Allen	

SITE DATA TABLE

PROJECT NAME:	RALEIGH NORTH CHRISTIAN CENTER	ZONING:	R-10
PARCEL ADDRESS:	5009 LOUISBURG ROAD	OVERLAY DISTRICT:	NA
PIN NUMBER:	1726-84-7004	TOTAL TRACT ACREAGE:	20.71 ACRES
PROPERTY OWNER:	RALEIGH NORTH CHRISTIAN CENTER 6021 LOUISBURG ROAD RALEIGH, NC 27616	WATERSHED:	N/A
		RIVER BASIN:	NEUSE
		JURISDICTION:	CITY
		CURRENT USE:	VACANT
		PROPOSED USE:	CIVIC

TOTAL VEHICULAR PARKING REQUIRED:

REQUIRED SPACES: 1 SPACE PER 4 SEATS IN PRINCIPAL ASSEMBLY AREA
TOTAL SEATS = 1,043
PARKING SPACE REQUIRED = 1,043 SEATS / 4 = 261 SPACES
PARKING SPACE PROVIDED = 261 SPACES

ACCESSIBLE SPACES REQUIRED = 7
ACCESSIBLE SPACES PROVIDED = 12

BIKE PARKING REQUIRED: SHORT-TERM SPACES = NONE
LONG-TERM SPACES = NONE

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

Building Type	Site Transaction History
<input checked="" type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic
Subdivision case #: SCOPE-0052-2020	
Scoping/sketch plan case #: _____	
Certificate of Appropriateness #: _____	
Board of Adjustment #: _____	
Zoning Case #: _____	
Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Raleigh North Christian Center - New Building

Inside City limits? Yes ☒ No ☐

Property address(es): 5009 Louisburg Road

Site P.I.N.(s): 1726847004

Please describe the scope of work. Include any additions, expansions, and change of use.

Proposed +/- 43,600 sf church building with associated parking lots and access drives.

Current Property Owner/Developer Contact Name: Andre Bright

NOTE: please attach purchase agreement when submitting this form.

Company: Raleigh North Christian Center Title: Project Manager

Address: 6021 Louisburg Road, #2761, Raleigh, NC 27616

Phone #: 919-872-2512 Email: project5009@mcconling.org

Applicant Name: Jonathan Allen

Company: NV5 Engineers Address: 3300 Regency Parkway, Suite 100, Cary, NC 27518

Phone #: 919-858-1831 Email: Jonathan.Allen@nv5.com

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

GENERAL NOTES:

- All construction shall be in accordance with applicable municipality standards, specifications, and details. Work in this project shall also conform to these plans, the City of Raleigh Standards and Specifications, the latest editions of the North Carolina Department of Transportation (NCDOT) Road and Bridge Specifications, the Road and Bridge Standards, the North Carolina Erosion and Sediment Control Handbook, the North Carolina erosion and Sediment Control Regulations, the field geotechnical report, and General Design Standards. In the event of conflict between any of the standards, specifications, or plans, the most stringent shall govern.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only; the contractor is responsible for horizontally locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
- The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic control on public streets shall be in conformance with the traffic control plan, the "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use all methods approved by the engineer and applicable municipality as required to prevent all construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion.
- The contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.

GENERAL NOTES CONTINUED:

- Fill type, compaction, and moisture condition shall be according to the Geotechnical Engineer's specifications, but at a minimum, the following must be met:
Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches or any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-968. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All distances shown represent horizontal ground distances.
- Rem elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junctions Boxes.
- Storm Sewer (RCP) shall be constructed to the following classes:
Cover less than 10 feet - Class C bedding, Class III walls
Cover 10 feet to 15 feet - Class B bedding, Class III walls
Cover greater than 15 feet and less than 2 feet - Class B bedding Class IV walls
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
- All handicap ramps and associated pavement markings shall conform to ADA requirements, North Carolina State Building Code and the City of Raleigh Standard Details.
- Existing water and sewer mains/services to the property are to be verified by the contractor prior to the start of construction. The project engineer has attempted to verify sizes from relevant plans, however, exact sizes/dimensions can only be determined from field exposure of the relevant line.
- NCDOT Right-of-Way - contact project engineers and obtain all permits and encroachments (cross-check plans with special provisions, keep copies on construction site, also contact NCDOT District Office 24 hours in advance before placing curb and gutter).
- The contractor shall be responsible for contacting the City of Raleigh Inspections Department at (919) 516-2495 to obtain a street cut permit.

GENERAL NOTES CONTINUED:

- Within the sight triangles shown on this plan, no obstruction between 2 feet and 8 feet in height above the curb line elevation shall be located in whole or part. Obstructions include but are not limited to any berm, foliage, fence, wall, sign, parked vehicle or other object.
- All construction shall be in accordance with all City of Raleigh Standards and Specifications.
- All NCDOT driveway and /or encroachment permits must be obtained prior to building permit issuance.
- Solid Waste: A dumpster on-site will collect facility waste and recycling. Dumpster details are shown on these plans, along with solid waste vehicle ingress and egress.

BLOCK PERIMETER EXEMPTION:

The property being developed will contain the following land use - PLACE OF WORSHIP - and is exempt from the block perimeter requirement per UDO Section 8.3.2.A.1.b.ix.

Page 2 of 2

REVISION 02.19.21

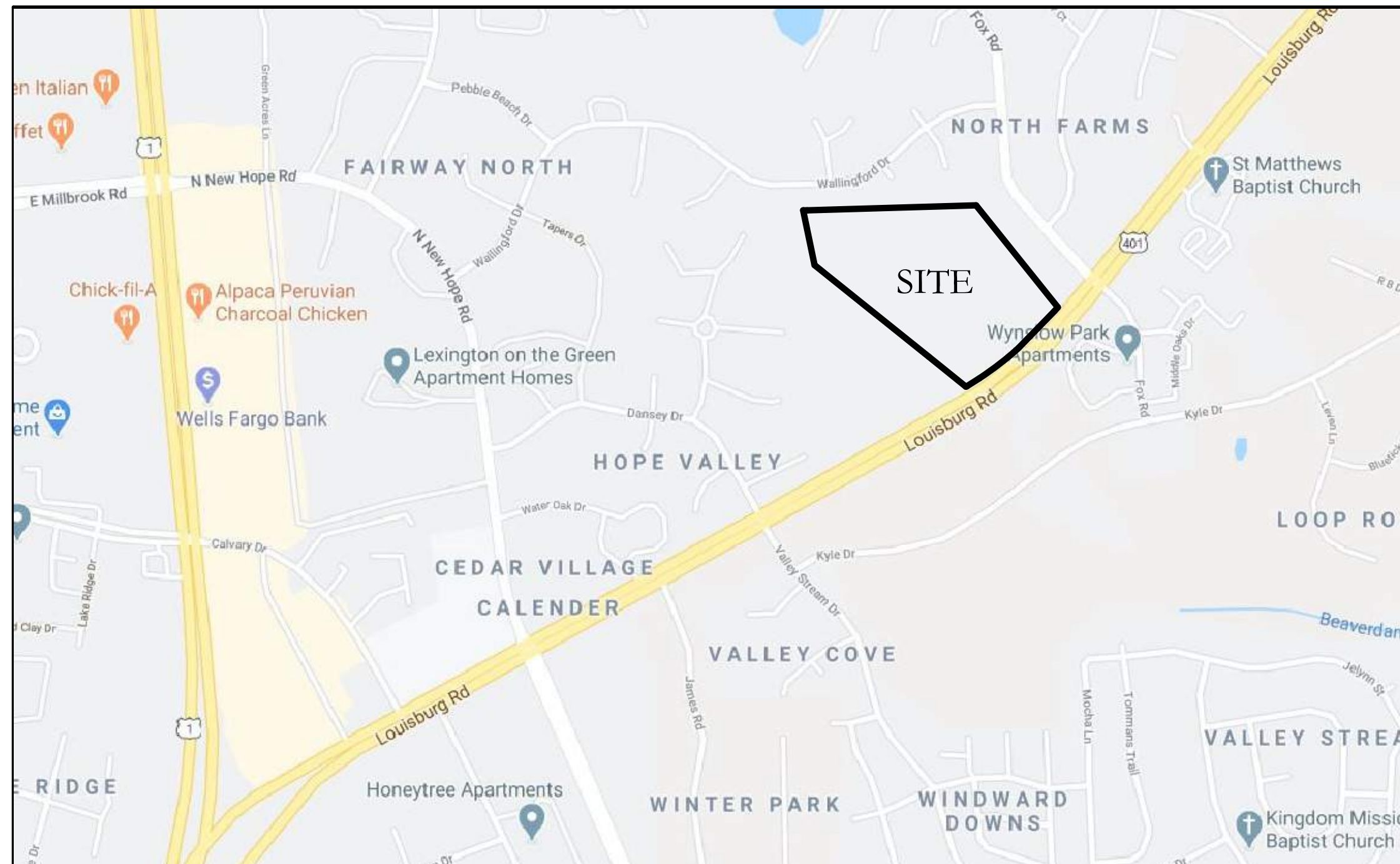
raleighnc.gov

ADMINISTRATIVE SITE REVIEW

RALEIGH NORTH CHRISTIAN CENTER

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

CITY OF RALEIGH PROJECT NUMBER ASR-0060-2021



VICINITY MAP
NOT TO SCALE

This note shall apply to each and every sheet in this set.

The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

INDEX OF SHEETS

C-000	COVER
C-100	EXISTING CONDITIONS
C-200	SITE PLAN
C-201	ROADWAY EXHIBIT
C-300	UTILITY PLAN
C-400	GRADING & DRAINAGE
C-401	POND & LEVEL SPREADER DETAILS
D-100 THRU D-101	STORM DETAILS
D-104 THRU D-107	WATER DETAILS
D-108 THRU D-110	SEWER DETAILS
D-111 THRU D-1301	SITE DETAILS
L-301	LANDSCAPE PLAN EAST
L-302	LANDSCAPE PLAN WEST
TCA-101	TCA PLAN EAST
TCA-102	TCA PLAN WEST
TCA-103	TCA SURVEY LIST
TCA-104	TCA SURVEY LIST
TCA-105	TCA SURVEY LIST
SHEET 1	LIGHTING PLAN
A3.00	EXTERIOR ELEVATIONS
A3.01	EXTERIOR ELEVATIONS
A5.04	DUMPSTER ENCLOSURE DETAILS
A5.05	MOWER SHED

Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 Louisburg Road
Raleigh, North Carolina, 27616

Engineer:
NV5 ENGINEERS & CONSULTANTS
3300 Regency Parkway, Suite 100
Cary, North Carolina, 27518
Contact: Jonathan Allen
Jonathan.Allen@NV5.com
(919) 585-1831

PUBLIC IMPROVEMENT
QUANTITIES

PHASE NUMBER (S)	0
NUMBER OF LOT (S)	0
LOT NUMBER (S) BY PHASE	0
NUMBER OF UNITS	0
LIVABLE BUILDINGS	0
OPEN SPACE	0
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER	0
PUBLIC SEWER	0
PUBLIC STREET (LF)	0
PUBLIC SIDEWALK (LF)	0

NV5

NV5 ENGINEERS & CONSULTANTS, INC.
8750 TRYON ROAD
CARY, NC 27518
P: 919.851.1912
WWW.NV5.COM
NC License # P-1333
Formerly C&V Engineers & Consultants

PRELIMINARY
DO NOT USE
FOR CONSTRUCTION

RALEIGH NORTH CHRISTIAN CENTER

Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 Louisburg Road
Raleigh, North Carolina, 27616

NO.	DATE	REMARKS
1.	10/08/21	ASR RESUBMITTAL
2.	12/10/21	ASR RESUBMITTAL
3.	01/25/22	ASR RESUBMITTAL
4.		
5.		
6.		
7.		
8.		

PROJECT NO: 2020095.00

DRAWN BY: DFB

DWG. CHECKED BY: JAA

SCALE: SEE PLAN

DATE: 2021-07-16

COVER

C-000

SITE DATA TABLE			
PROJECT NAME:	RALEIGH NORTH CHRISTIAN CENTER	ZONING:	R-10
PARCEL ADDRESS:	5009 LOUISBURG ROAD	OVERLAY DISTRICT:	NA
PIN NUMBER:	1726-84-7004	TOTAL TRACT ACREAGE:	20.71 ACRES
PROPERTY OWNER:	RALEIGH NORTH CHRISTIAN CENTER 6021 LOUISBURG ROAD RALEIGH, NC 27616	WATERSHED:	N/A
		RIVER BASIN:	NEUSE
		JURISDICTION:	CITY
		CURRENT USE:	VACANT
		PROPOSED USE:	CIVIC
TOTAL VEHICULAR PARKING REQUIRED:			
REQUIRED SPACES:			
1 SPACE PER 4 SEATS IN PRINCIPAL ASSEMBLY AREA			
TOTAL SEATS = 1,043			
PARKING SPACE REQUIRED = 1,043 SEATS / 4 = 261 SPACES			
PARKING SPACE PROVIDED = 261 SPACES			
ACCESSIBLE SPACES REQUIRED = 7			
ACCESSIBLE SPACES PROVIDED = 12			
BIKE PARKING REQUIRED: SHORT-TERM SPACES = NONE			
LONG-TERM SPACES = NONE			

- NOTES:
- Existing information shown taken from survey provided by the owner dated 03/23/13.
 - Existing utilities shown are approximate and shall be verified in the field prior to beginning work. Contractor shall contact NC One Call Center at 1-800-632-4949 for location of existing utilities prior to beginning construction. The contractor shall exercise caution when working around existing utilities to remain. Damaged utilities shall be repaired at contractors expense.
 - See architectural plans for building information.
 - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
 - Amenity area not required for civic building per UDO Section 2.2.5

NV5

NVS ENGINEERS & CONSULTANTS, INC.
6750 TRYON ROAD
CARY, NC 27518
P: 919.851.1912
WWW.NV5.COM
NC License # F-1333
Nationally Certified Engineers & Consultants

PRELIMINARY
DO NOT USE
FOR CONSTRUCTION

RALEIGH NORTH CHRISTIAN CENTER

Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 LOUISBURG ROAD
Raleigh, North Carolina, 27616

REVISIONS

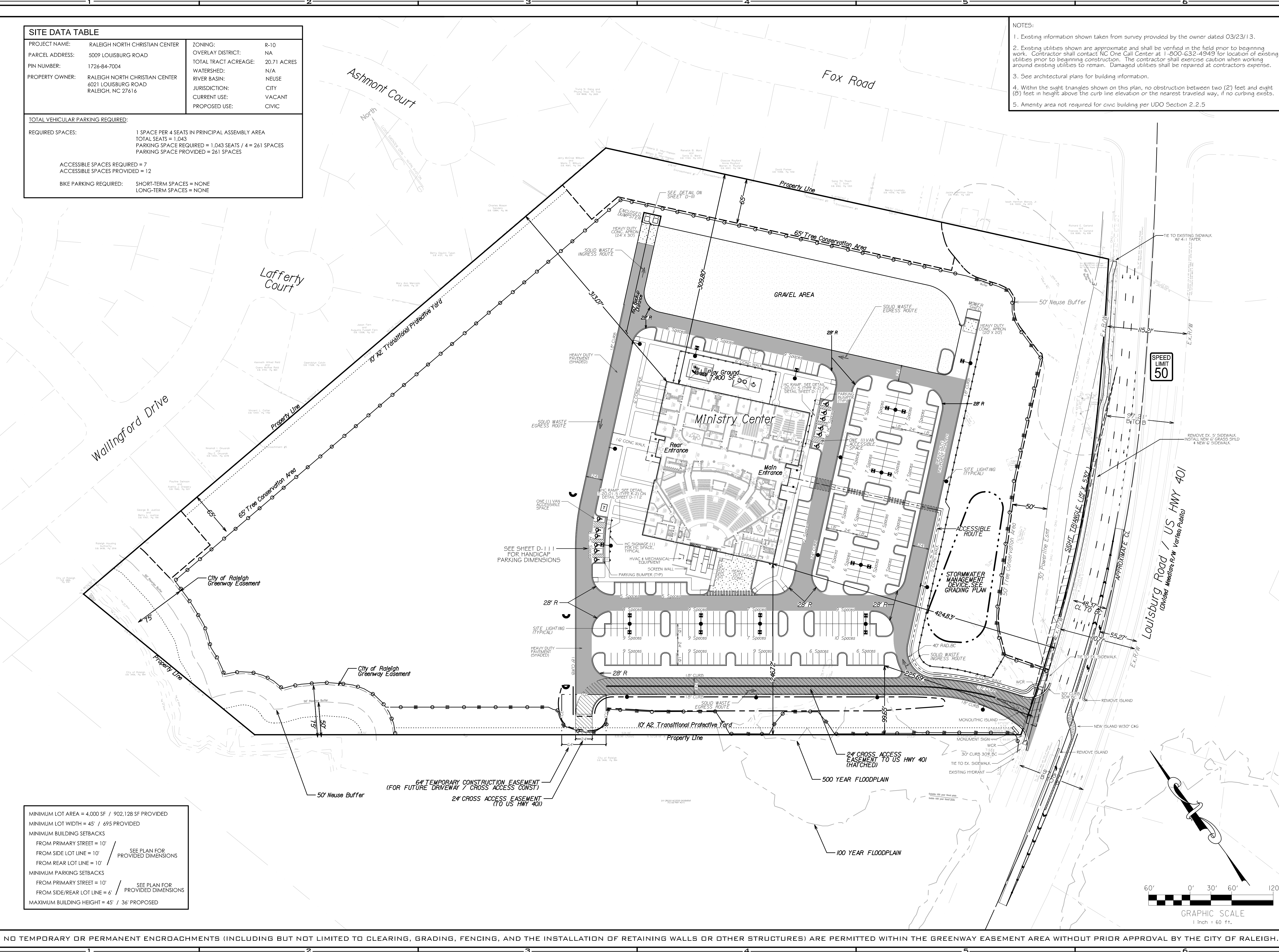
NO.	DATE	REMARKS
1.	10/08/21	ASR RESUBMITTAL
2.	12/10/21	ASR RESUBMITTAL
3.	01/25/22	ASR RESUBMITTAL
4.		
5.		
6.		
7.		
8.		

PROJECT NO: 2020095.00

DRAWN BY: DFB
DWG. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 2021-07-16

SITE PLAN

C-200



MINIMUM LOT AREA = 4,000 SF / 902,128 SF PROVIDED
MINIMUM LOT WIDTH = 45' / 695 PROVIDED
MINIMUM BUILDING SETBACKS
FROM PRIMARY STREET = 10'
FROM SIDE LOT LINE = 10'
FROM REAR LOT LINE = 10'
MINIMUM PARKING SETBACKS
FROM PRIMARY STREET = 10'
FROM SIDE/REAR LOT LINE = 6'
MAXIMUM BUILDING HEIGHT = 45' / 36' PROPOSED

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

POST DEVELOPMENT GRADES:			
	LOW	HIGH	AVERAGE
MINISTRY CENTER	271.50	271.50	271.50
DUMPSTER ENCLOSURE	269.25	269.25	269.25
MOWER SHED	268.50	268.50	268.50

-PERMIT PRINT-

10.29.21

FOR
CONSTRUCTION

FOR PRICING AND
REVIEW

Revisions
No. Description Date

MINISTRY
CENTER

RALEIGH NORTH
CHRISTIAN CENTER

5009 LOUISBURG ROAD
RALEIGH, NC 27616

Project Number

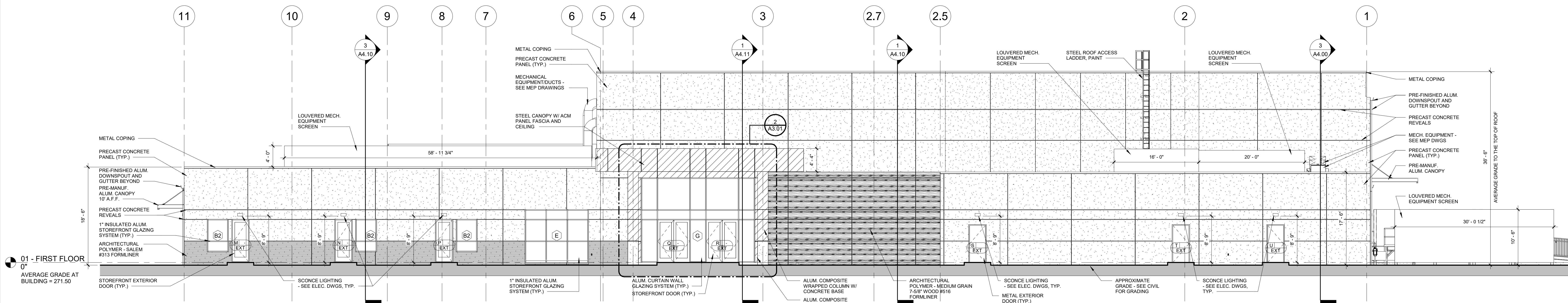
20017

Date

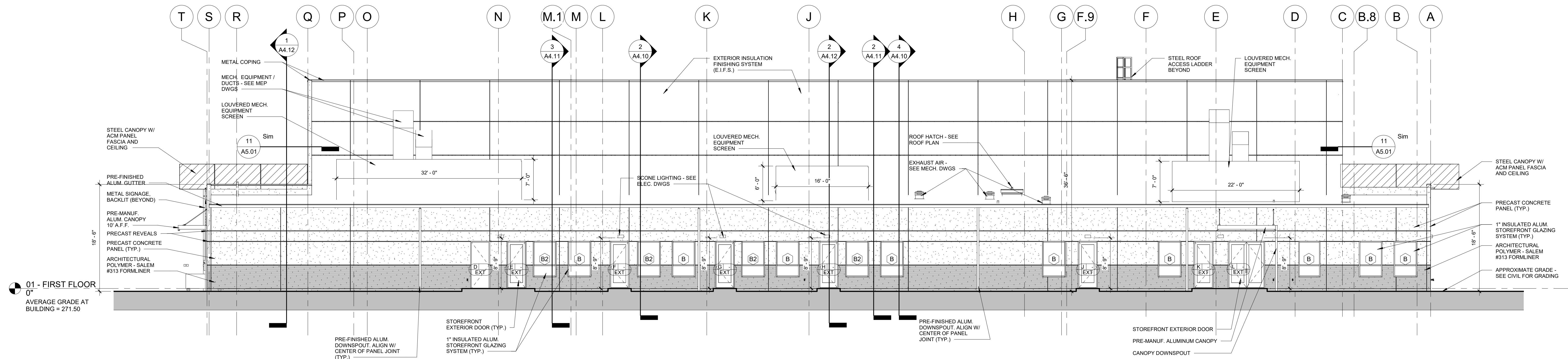
10.29.21

EXTERIOR
ELEVATIONS

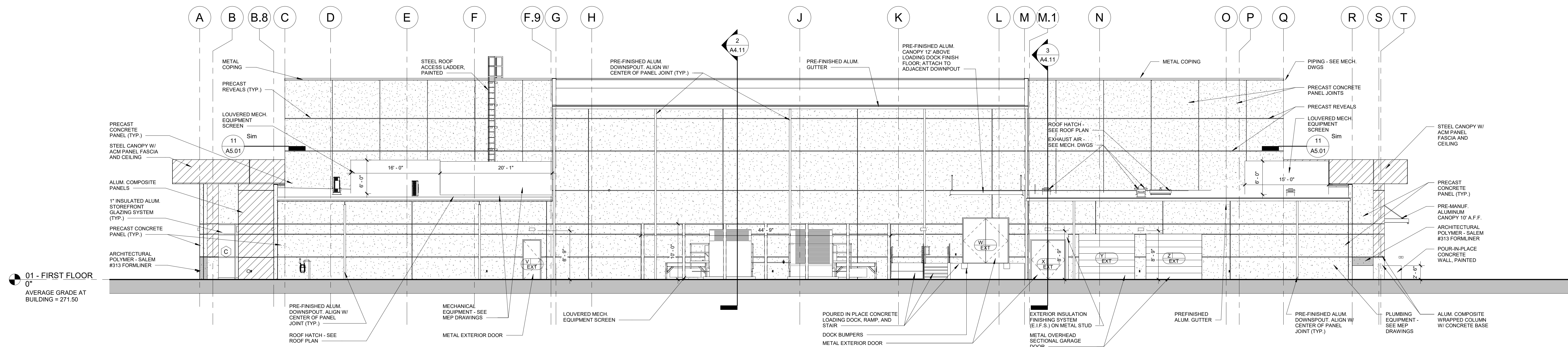
A3.00



1 NORTH ELEVATION (FACING LOUISBURG ROAD)
1/8" = 1'-0"

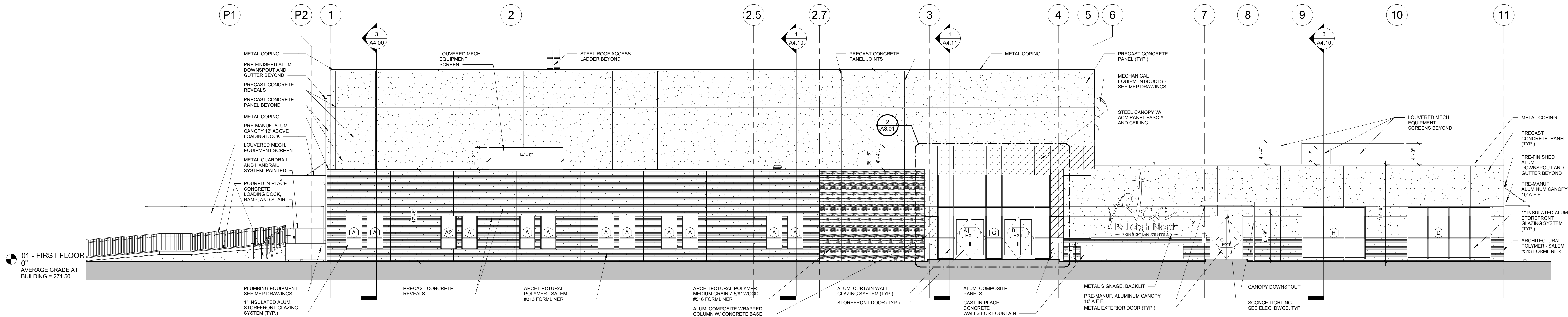


2 EAST ELEVATION
1/8" = 1'-0"

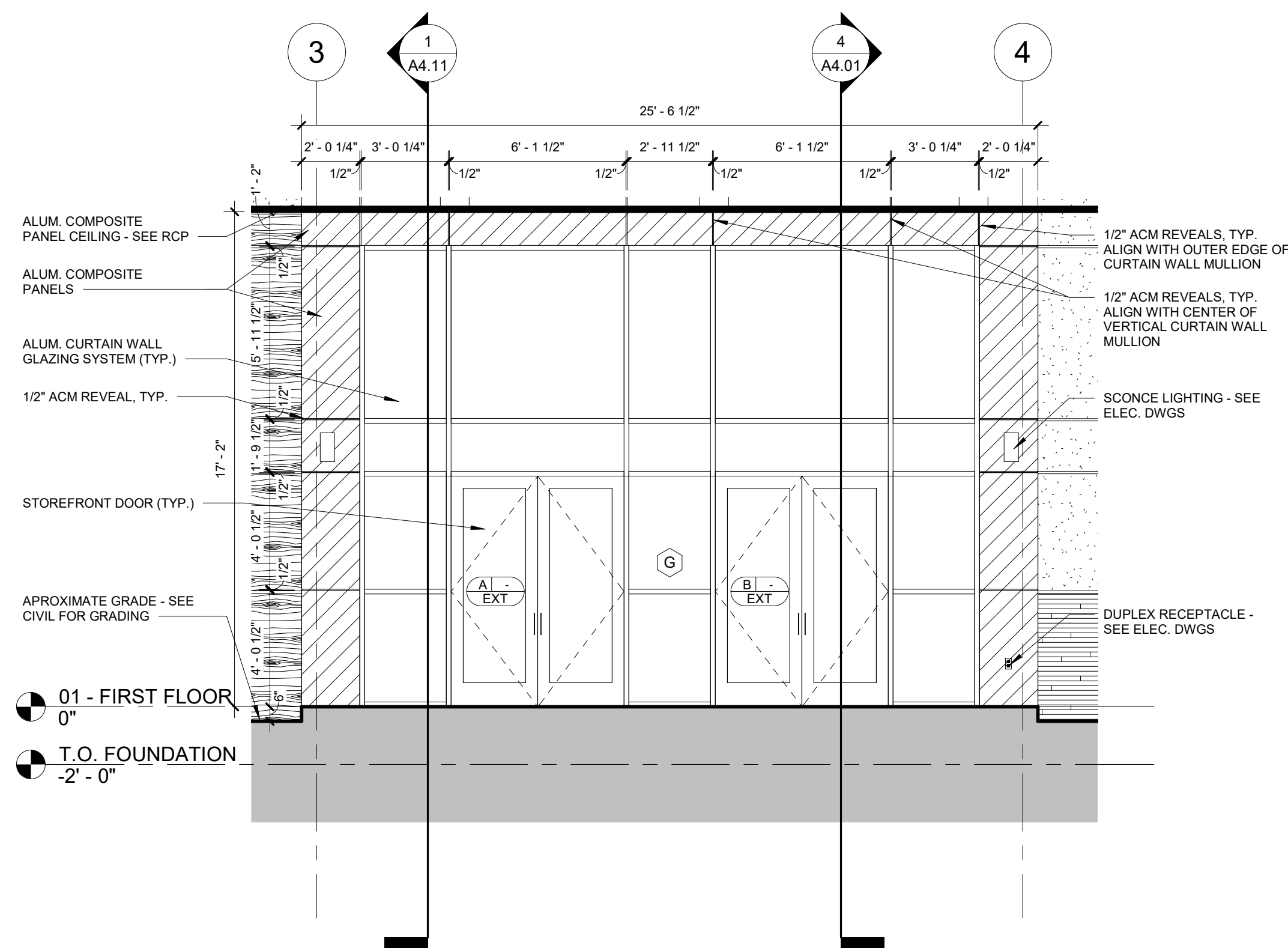


3 WEST ELEVATION
1/8" = 1'-0"

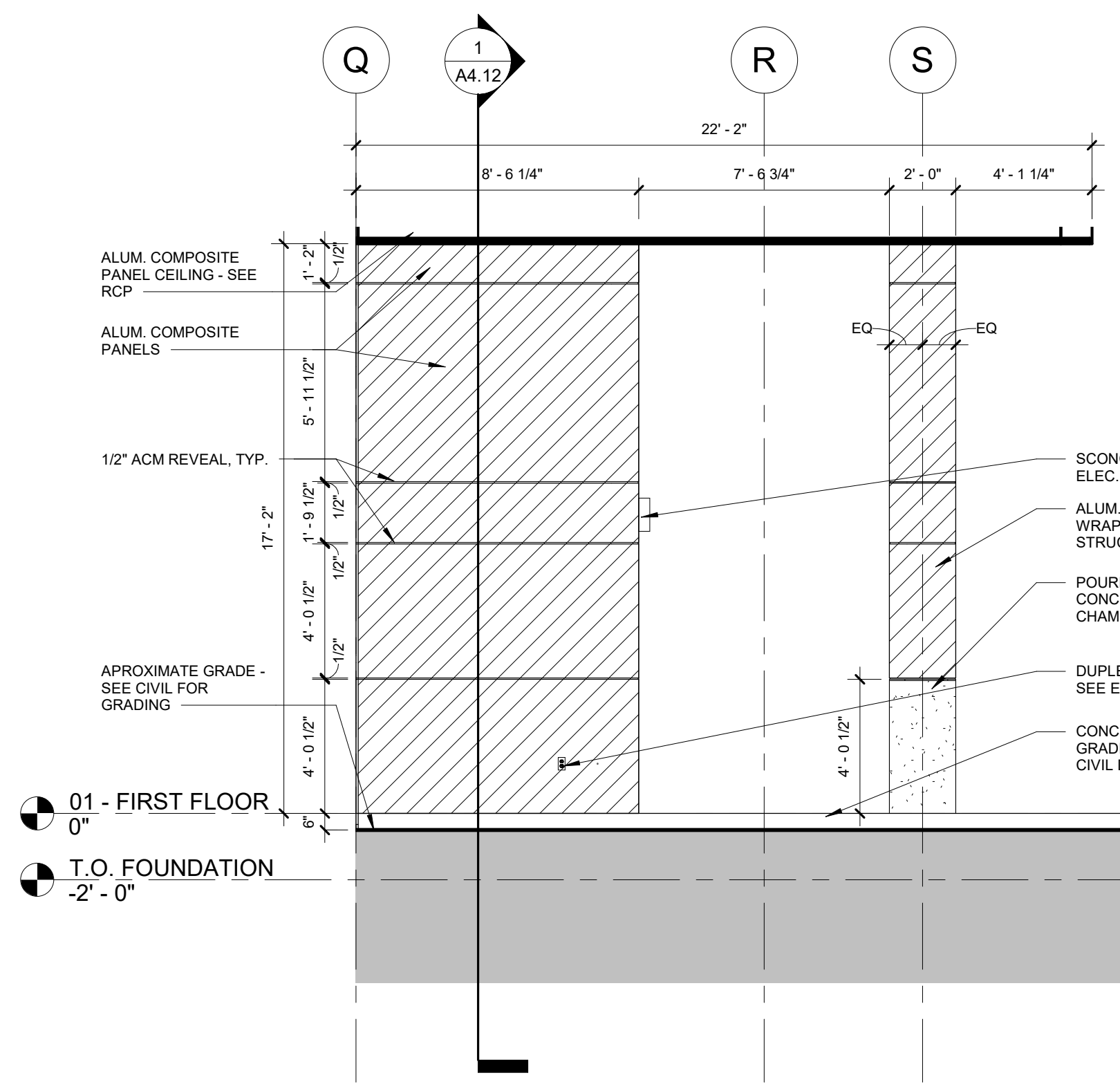
POST DEVELOPMENT GRADES:			
	LOW	HIGH	AVERAGE
MINISTRY CENTER	271.50	271.50	271.50
DUMPSTER ENCLOSURE	269.25	269.25	269.25
MOWER SHED	268.50	268.50	268.50



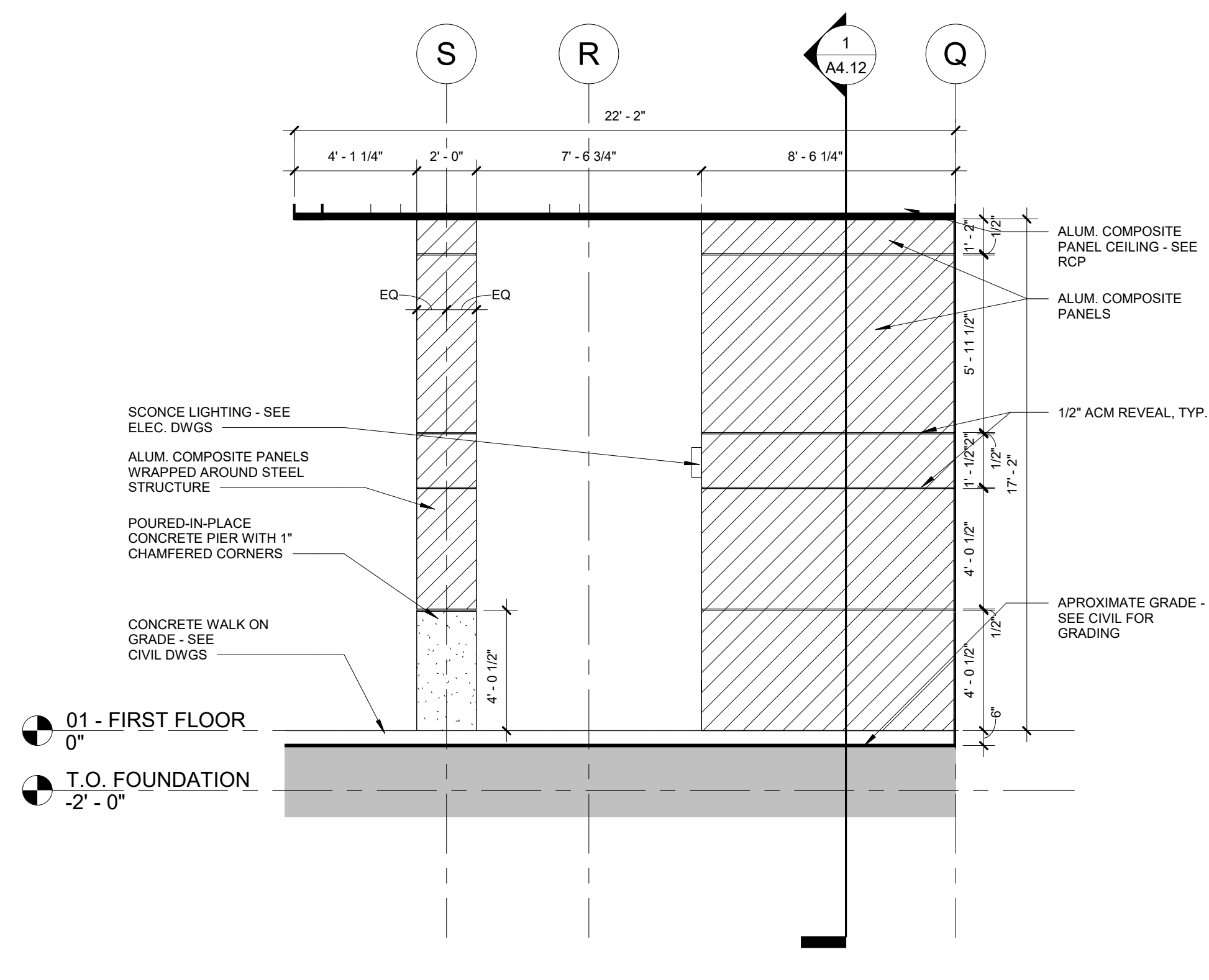
1 SOUTH ELEVATION (PRIMARY STREET FACING ELEVATION)
1/8" = 1'-0"



2 ENLARGED ELEVATION - VESTIBULE ENTRANCE
1/4" = 1'-0"



3 ENLARGED ELEVATION - VESTIBULE 1
1/4" = 1'-0"



4 ENLARGED ELEVATION - VESTIBULE 2
1/4" = 1'-0"

-PERMIT PRINT-

10.29.21
FOR
CONSTRUCTION

FOR PRICING AND
REVIEW

Revisions
No. Description Date

MINISTRY
CENTER

RALEIGH NORTH
CHRISTIAN CENTER

5009 LOUISBURG ROAD
RALEIGH, NC 27616

Project Number

20017

Date

10.29.21

EXTERIOR
ELEVATIONS

A3.01

-PERMIT PRINT-

10.29.21
FOR
CONSTRUCTION

FOR PRICING AND
REVIEW

Revisions

No.	Description	Date
1	ADDENDUM 1	11/05/21
2	ADDENDUM 2	12/14/21

MINISTRY
CENTER

RALEIGH NORTH
CHRISTIAN CENTER

5009 LOUISBURG ROAD
RALEIGH, NC 27616

Project Number

20017

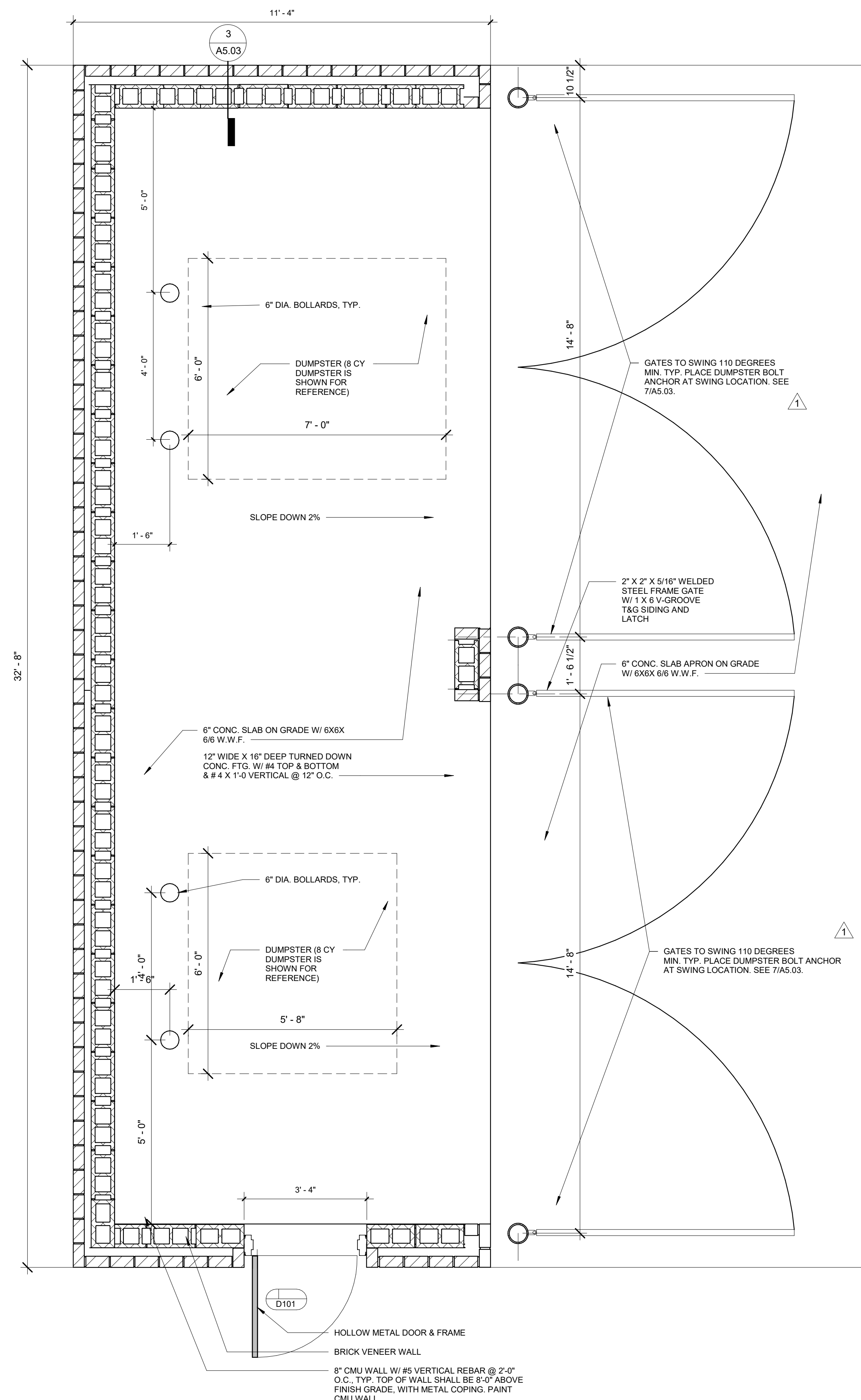
Date

10.29.21

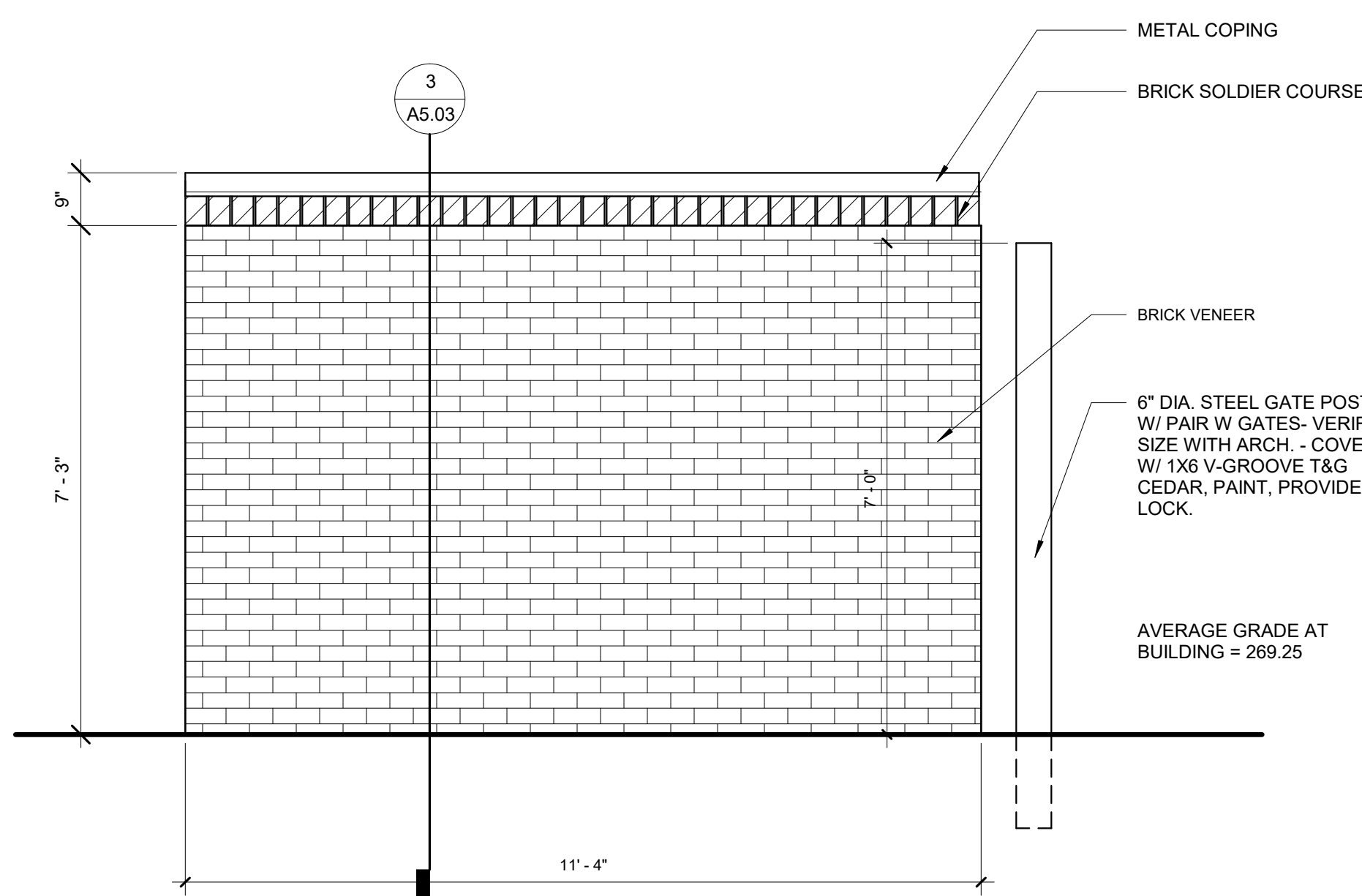
DUMPSTER
ENCLOSURE
DETAILS

A5.03

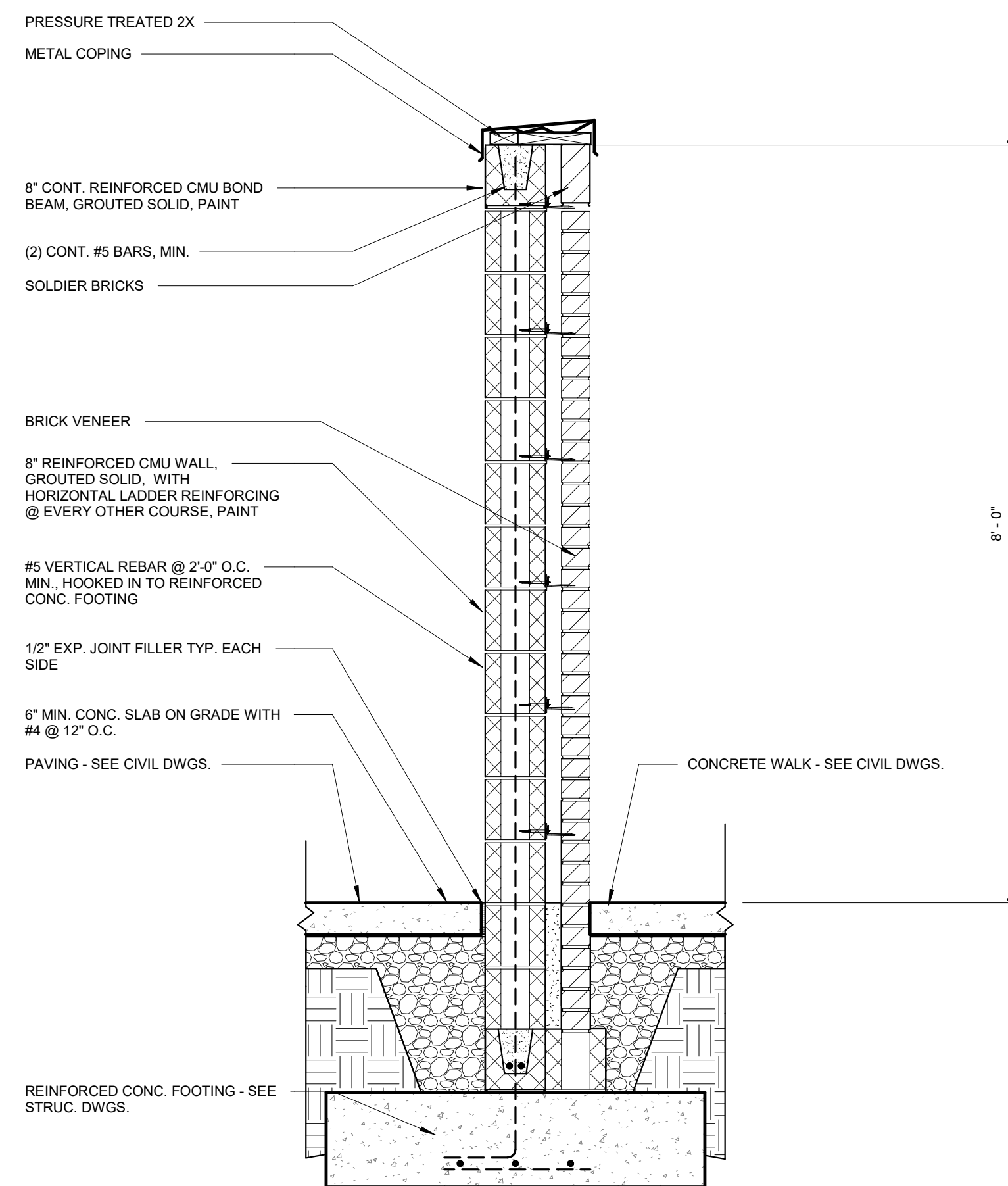
POST DEVELOPMENT GRADES:	LOW	HIGH	AVERAGE
MINISTRY CENTER	271.50	271.50	271.50
DUMPSTER ENCLOSURE	269.25	269.25	269.25
MOWER SHED	268.50	268.50	268.50



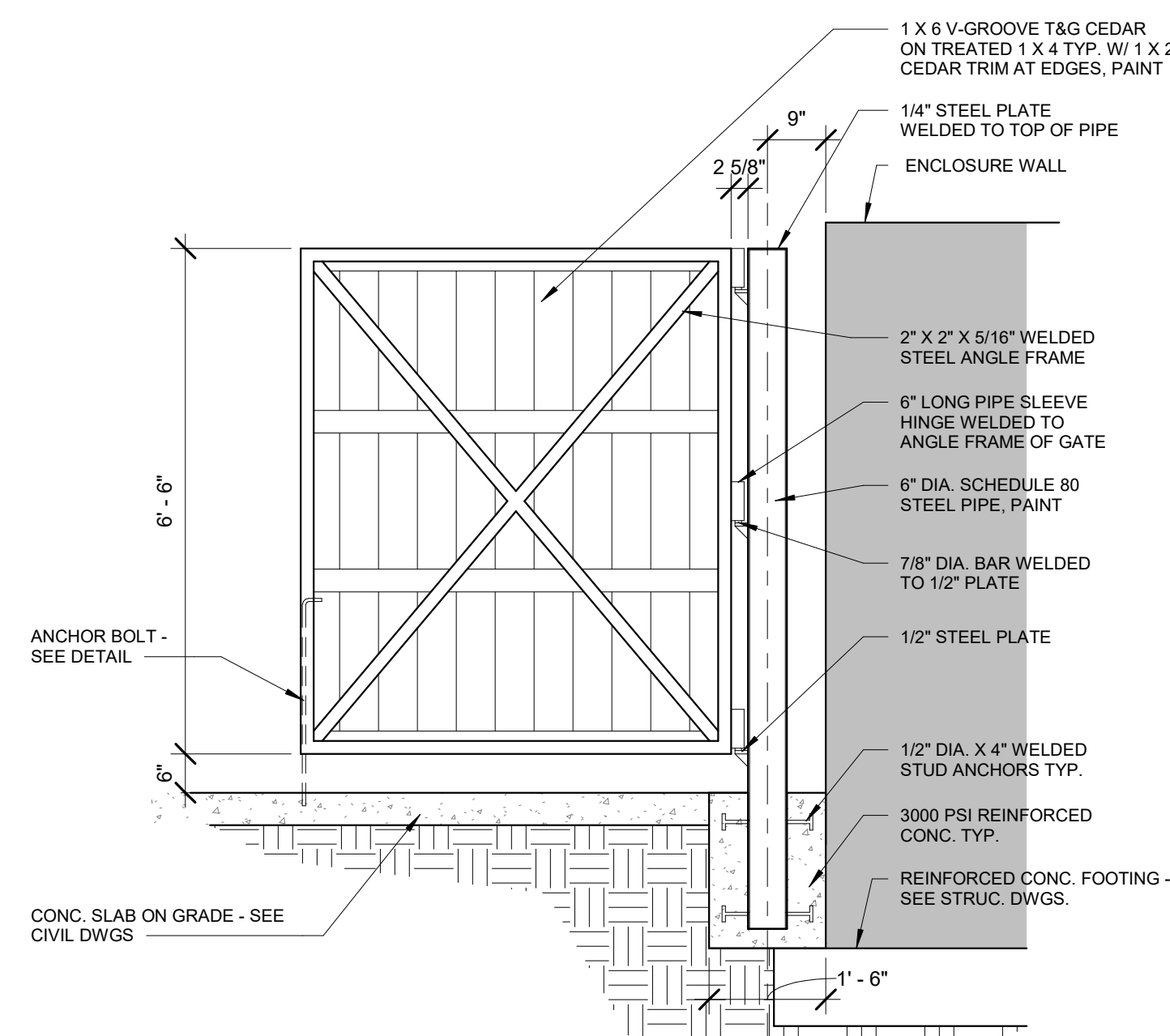
1 DUMPSTER PLAN WITH CMU WALLS
1/2" = 1'-0"



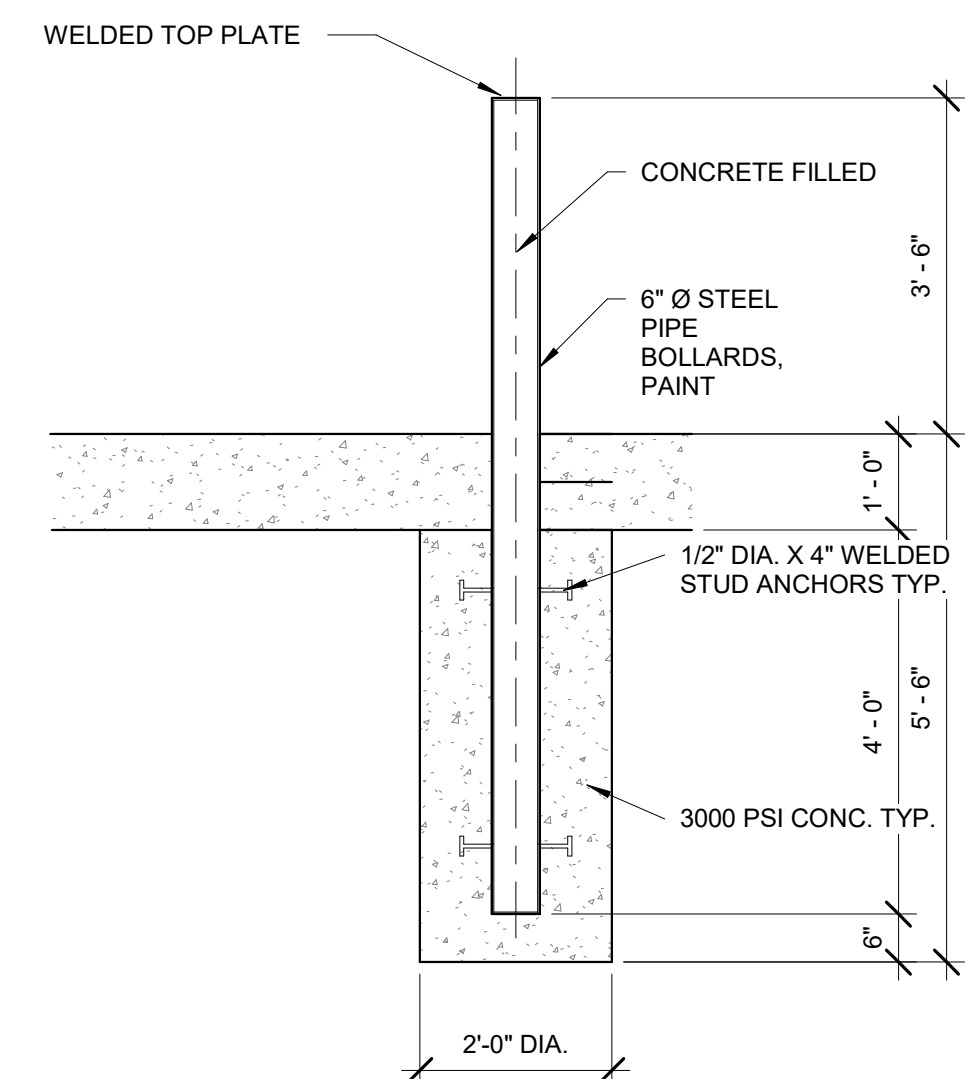
2 DUMPSTER ELEVATION
1/2" = 1'-0"



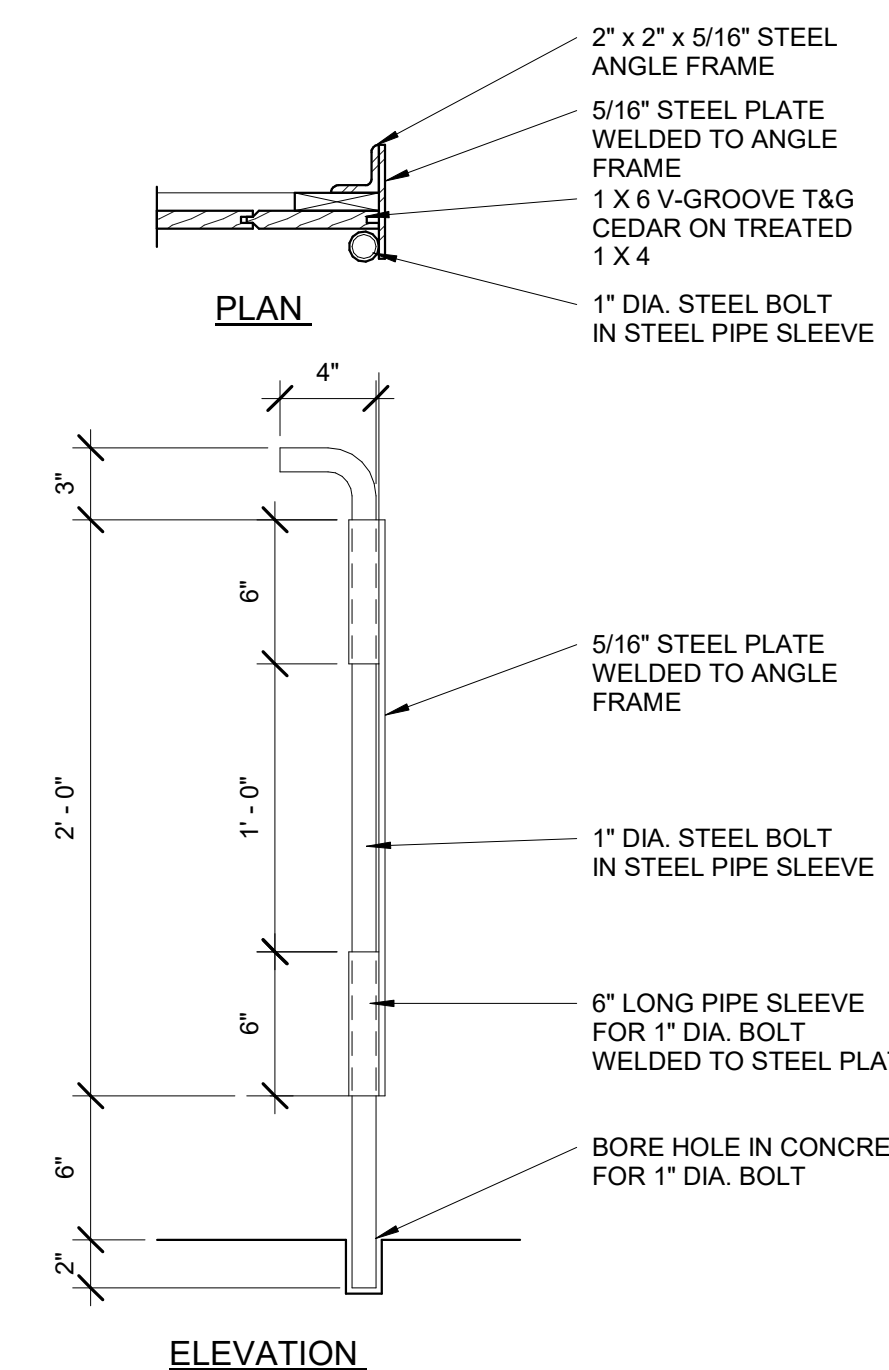
3 DUMPSTER WALL SECTION
3/4" = 1'-0"



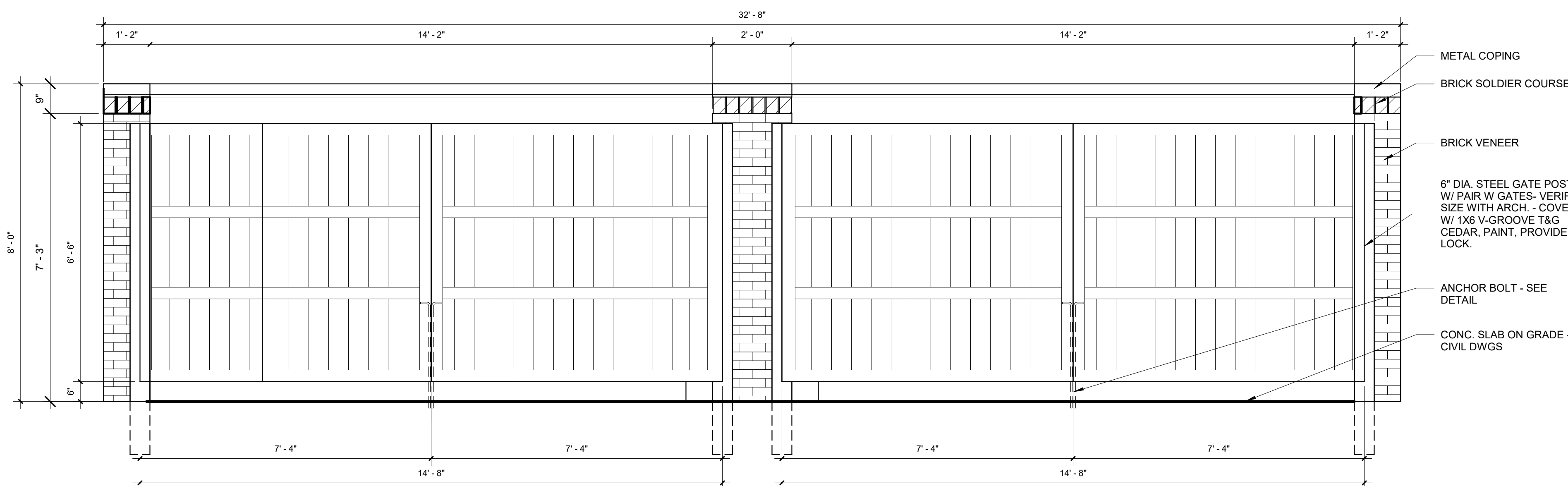
4 DUMPSTER GATE INSIDE ELEVATION
1/2" = 1'-0"



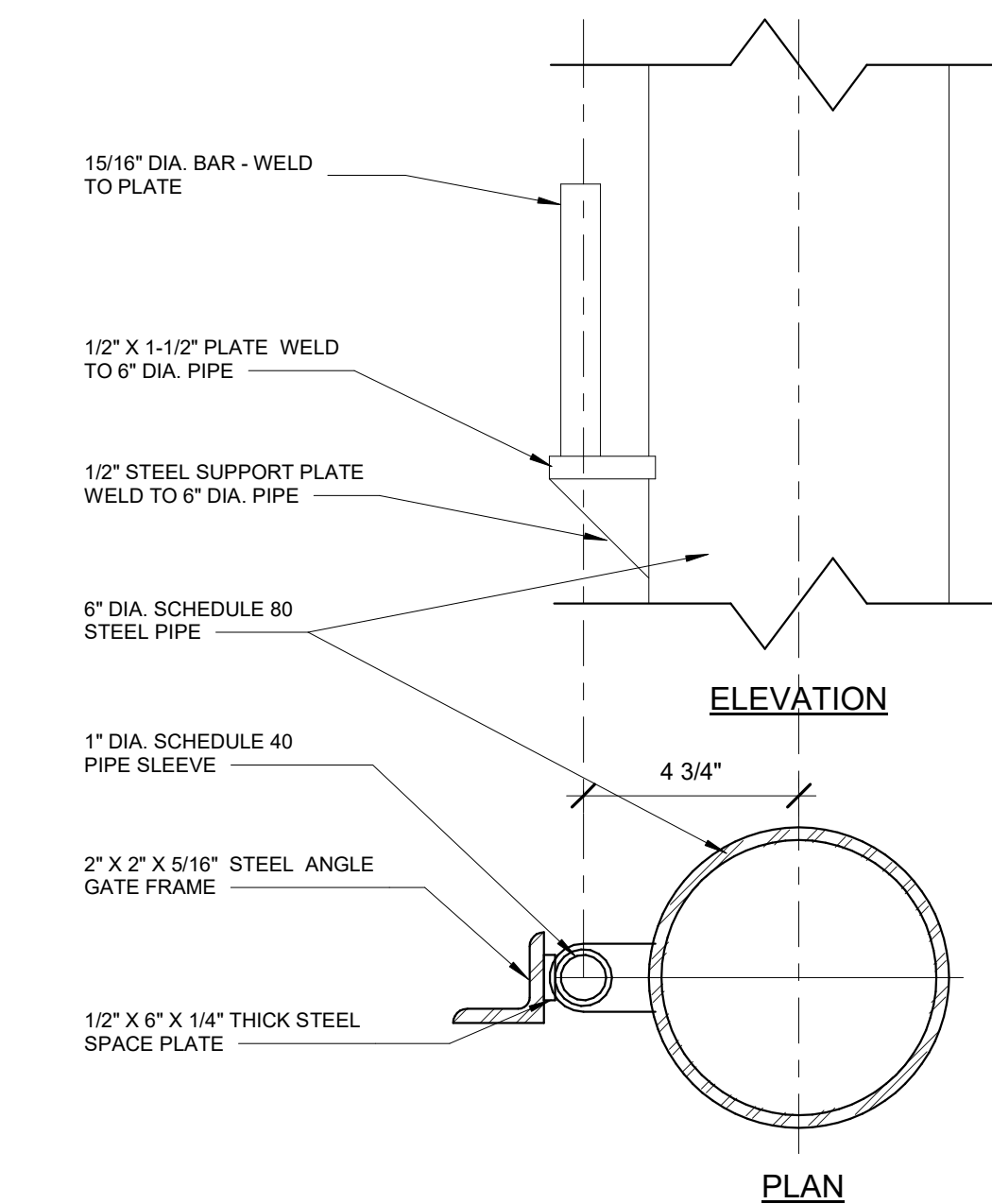
6 BOLLARD DETAIL
1/2" = 1'-0"



7 DUMPSTER BOLT DTLs
1 1/2" = 1'-0"



5 DUMPSTER FRONT ELEVATION
1/2" = 1'-0"



8 DUMPSTER HINGE DTL.
3" = 1'-0"



LIVE design group
architecture | interiors | third places

-PERMIT PRINT-

Revisions		
No.	Description	Date
1	ADDENDUM 1	11/05/21

MINISTRY

CENTER

RALEIGH NORTH
CHRISTIAN CENTER

5009 LOUISBURG ROAD
RALEIGH, NC 27616

Project Number

20017

Date _____

10.00.04

10.29.21

MOWER SHED

1 **A504**

A5.04

12/2/2021 9:52:38 AM

