



Administrative Approval Action

Case File / Name: ASR-0060-2021
DSLCL - Raleigh North Christian Center

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the northwest side of Louisburg Road and located within the corporate city limits of the City of Raleigh. The current address listed as 5009 Louisburg Rd, PIN # 1726847004.

REQUEST: Development of a 43,600 sf church building with associated improvements such as surface parking and access drives. The existing property is 20.71 acres, zoned R-10.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 25, 2022 by NV5 ENGINEERING.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Lighting Plan will be reviewed at SPR

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | |
|-------------------------------------|----------------------------------|
| <input checked="" type="checkbox"/> | Cross Access Agreements Required |
|-------------------------------------|----------------------------------|

| | |
|--|--|
| | |
|--|--|

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The plans propose a temporary construction easement for construction of the cross access. This needs to be obtained.

Engineering

2. A cross access agreement among the lots identified as the proposed development and PIN 1726832555. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d) shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.



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3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.088 acres of tree conservation area

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas by Urban Forestry Staff.
3. All street lights and street signs required as part of the development approval are installed.
4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 29, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the



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construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alycia Bailey Taylor Date: 03/02/2022
Development Services Dir/Designee
Staff Coordinator: Cara Russell

CITY OF RALEIGH PROJECT NUMBER ASR-0060-2021

| SITE DATA TABLE | | | |
|---|---|----------------------|----------------|
| PROJECT NAME: | RAILBORN NORTH CHRYSLER CENTER | ZONING: | R-10 |
| PARCEL ADDRESS: | 1001 LOUIEBURG ROAD | OVERLAY DISTRICT: | NA |
| LOT NUMBER: | 17044-0004 | TOTAL TRACT ACREAGE: | 20.71 ACRES |
| PROPERTY OWNER: | RAILBORN NORTH CHRYSLER CENTER 6031 LOUIEBURG ROAD RAILBORN, NC 27614 | WATERED: | N/A |
| | | WETLANDS: | NEUSE |
| | | CURRENT USE: | CRP |
| | | PROPOSED USE: | VACANT CHRC |
| <u>TOTAL VEHICULAR PARKING REQUIRED:</u> | | | |
| REQUIRED SPACES: | | | |
| 1 SPACE PER 4 SEATS IN PRINCIPAL ASSEMBLY AREA TOTAL SEATS = 1045 PARKING SPACE REQUIRED = 1045 SEATS / 4 = 261 SPACES PARKING SPACE PROVIDED = 261 SPACES | | | |
| ACCESSIBLE SPACES REQUIRED: | | | |
| ACCESSIBLE SPACES PROVIDED = 12 | | | |
| BIKE PARKING REQUIRED: | | | |
| SHORT TERM SPACES = NONE LONG TERM SPACES = NONE | | | |

[illegible]

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)

SITE DATA

Zoning district (if more than one, please provide the acreage of each)
R-10

Gross site acreage: 20.71 acs.
of parking spaces required: 291
of parking spaces proposed: 261
Overlay District (if applicable): NA
Existing use (UDO B.1.4): Vacant
Proposed use (UDO B.1.4): Civic

BUILDING DATA

Existing gross floor area (not to be demolished): 0 sf
Existing gross floor area to be demolished: 0 sf
New gross floor area: 43,600 sf
Total # of gross (to remain and new): 43,600 sf
Proposed # of buildings: 1
Proposed # of stories for each: 1

STORMWATER INFORMATION

Existing Impervious Surface:
Acres: _____ Square Feet: 5sf
Proposed Impervious Surface:
Acres: 4.31 acs Square Feet: 276,000 sf

Is this a flood hazard area? Yes ☐ No ☒ If yes, please provide:

Alluvial soils: _____ Flood study: _____

FEMA Map Panel #: 37051200J

Neuse River Buffer Yes ☒ No ☐ Wetlands Yes ☐ No ☒

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 12R Total # of total units: NA
of bedroom units: 12R 4br or more
of lots: N/A Is your project a cottage court? Yes ☐ No ☒

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted and that in accordance with the provisions and regulations of the City of Raleigh Land Use Development Ordinance.

_____, Jonathan A. Allen
and in response to administrative comments, resubmit plans and appeal regarding this application, and will receive the City's final decision on this application, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states application will require after 150 days of inactivity.

Signature: _____

Date: 7/16/21

Printed Name: Jonathan A. Allen

GENERAL NOTES (CONTINUED)

21. **Within the sight triangles shown on this plan, no obstruction between 2 feet and 8 feet in height above the curb or driveway surface located at or within or past Obstruction Excludes but are not limited to any barn, building, fence, wall, sign, parked vehicle or other object.**
22. **All construction shall be in accordance with all City of Raleigh Ordinances and Specifications.**
23. **ALL/CDOT driveway and/or encroachment permits must be obtained prior to building permit issuance.**
24. **Side View: A complete side-view profile of the road and existing. Computer details are shown on these plans, along with color code vehicle shapes and signs.**

BLOCK PROHIBITED EXEMPTION

The property being developed **shall** contain the following: **land use = PLACE OF WORSHIP** and is exempt from the minimum replacement per USD Section 6.3.2.2.4.1.1.1.

VICINITY MAP
NOT TO SCALE

| | |
|------------------|-------------------------------|
| C-000 | COVER |
| C-100 | EXISTING CONDITIONS |
| C-200 | SITE PLAN |
| C-201 | ROADWAY EXHIBIT |
| C-300 | UTILITY PLAN |
| C-400 | GRODING & DRAINAGE |
| C-500 | POND & LEVEL SPREADER DETAILS |
| D-100 THRU D-101 | WATER DETAILS |
| D-104 THRU D-107 | STORM DETAILS |
| D-108 THRU D-110 | SEWER DETAILS |
| D-111 THRU D-112 | SITE DETAILS |
| L-301 | LANDSCAPE PLAN EAST |
| L-302 | LANDSCAPE PLAN WEST |
| TCA-101 | TCA PLAN EAST |
| TCA-102 | TCA PLAN WEST |
| TCA-103 | TCA SURVEY LIST |
| TCA-104 | TCA SURVEY LIST |
| TCA-105 | TCA SURVEY LIST |
| SHEET 1 | LIGHTING PLAN |
| A3.00 | EXTERIOR ELEVATIONS |
| A3.01 | EXTERIOR ELEVATIONS |
| A5.04 | DUMPSITER ENCLOSURE DETAILS |
| A5.05 | MOWER SHED |

Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 Louisburg Road
Raleigh, North Carolina, 27616

Engineer:
NV5 ENGINEERS & CONSULTANTS
 3300 Regency Parkway, Suite 100
 Cary, North Carolina, 27518
 Contact: Jonathan Allen
 Jonathan.Allen@NV5.com
 (919) 585-1831

PUBLIC IMPROVEMENT

| | |
|---------------------------|---|
| PHASE NUMBER (S) | 0 |
| NUMBER OF LOT (S) | 0 |
| LOT NUMBER (S) BY PHASE | 0 |
| NUMBER OF UNITS | 0 |
| LIVABLE BUILDINGS | 0 |
| OPEN SPACE | 0 |
| NUMBER OF OPEN SPACE LOTS | 0 |
| PUBLIC WATER | 0 |
| PUBLIC SEWER | 0 |
| PUBLIC STREET (LF) | 0 |
| PUBLIC SIDEWALK (LF) | 0 |

Cara Russell

Digitally signed by Cara Russell
DN: C=US,
E=cara.russell@raleighnc.gov,
O=City of Raleigh Planning and
Development Department,
OU=Current Planning, CN=Cara
Russell
Reason: I am approving this
document
Date: 2022.02.25 12:28:53-05'00'

NIV 5

NIVS ENGINEERS & CONSULTANTS, INC.
6750 TRYON ROAD
CARY, NC 27518
P: 919.851.1912 www.NIVS.com
NC License # P-4333
formerly CALVIN ENGINEERS & CONSULTANTS

**PRELIMINARY
DO NOT USE
FOR CONSTRUCTION**

RALEIGH NORTH CHRISTIAN CENTER

Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 Louisburg Road
Raleigh, North Carolina, 27616

| NO | DATE | REVISIONS |
|----|----------|-----------------|
| 1. | 10/08/21 | ASR RESUBMITTAL |
| 2. | 12/10/21 | ASR RESUBMITTAL |
| 3. | 01/25/22 | ASR RESUBMITTAL |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |
| 8. | | |

PROJECT NO: 2020095.0

| | |
|------------------|----------|
| DRAWN BY: | DFE |
| OWG. CHECKED BY: | JAA |
| SCALE: | SEE PLAN |

COVER

C-000

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND / OR NCDDT STANDARDS AND SPECIFICATIONS



NV5

NVS ENGINEERS & CONSULTANTS, INC.
10000 WOODHURST DRIVE
CARY, NC 27513
919.487.1237
WWW.NVS.ENG

**PRELIMINARY
DO NOT USE
FOR CONSTRUCTION**

RALEIGH NORTH CHRISTIAN CENTER

Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 Louisa Road
Raleigh, North Carolina, 27616

| REVISIONS | |
|-----------|----------|
| NO. | DATE |
| 1 | 12/10/21 |
| 2 | 01/25/22 |
| 3 | 01/25/22 |
| 4 | 01/25/22 |
| 5 | 01/25/22 |
| 6 | 01/25/22 |
| 7 | 01/25/22 |
| 8 | 01/25/22 |

PROJECT NO: 2020095.00

DRAWN BY: DFB
CHKD. CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 2021-07-16

EXISTING
CONDITIONS

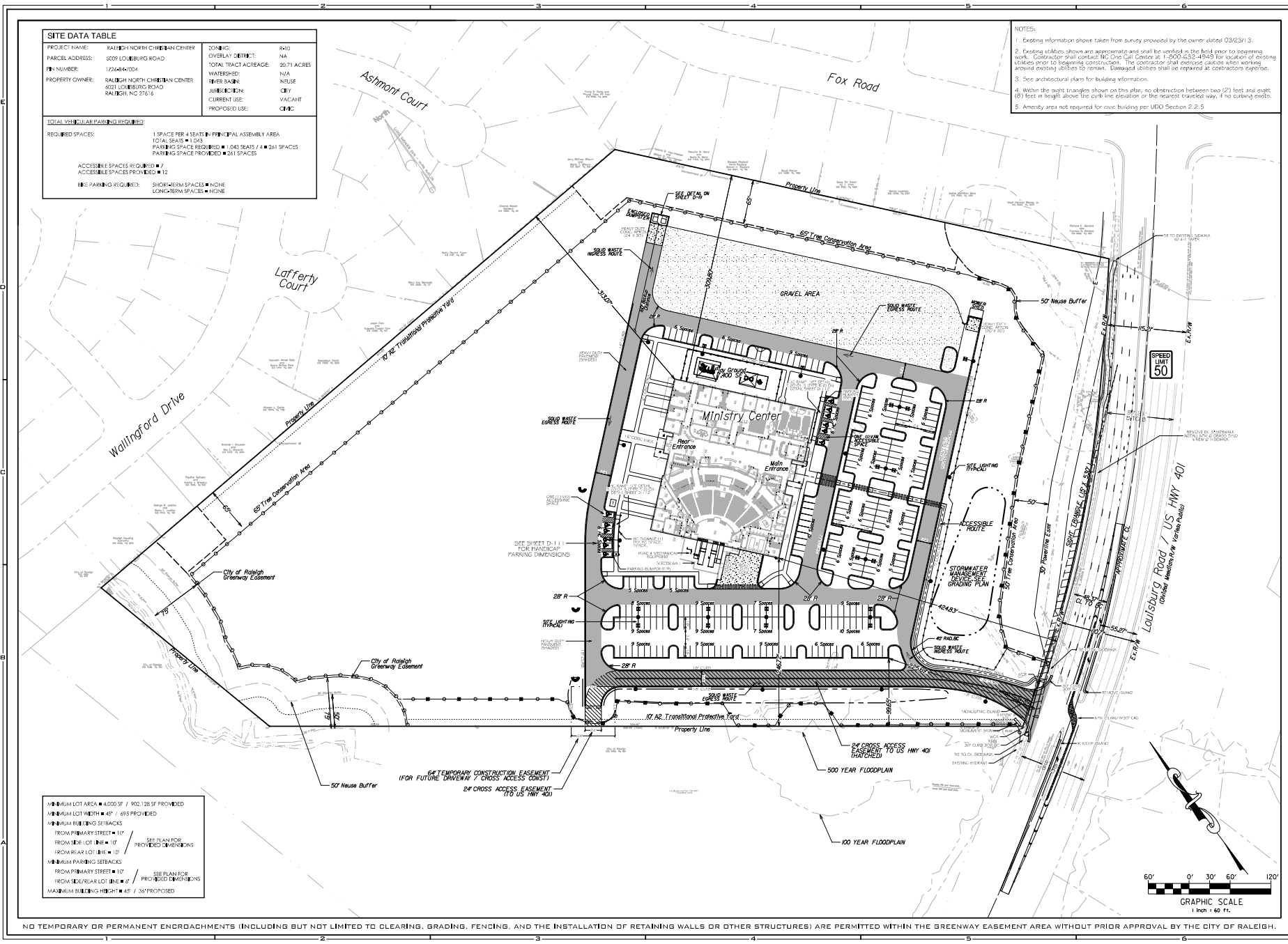
C-100

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS

| SITE DATA TABLE | | | |
|-----------------|--|----------------------|-------------|
| PROJECT NAME: | RALEIGH NORTH CHRISTIAN CENTER | CONVING: | R410 |
| PARCEL ADDRESS: | 5009 LOUISBURG ROAD | OVERLAY DISTRICT: | NA |
| PARCEL NUMBER: | 1726484/004 | TOTAL TRACT ACREAGE: | 20.71 ACRES |
| PROPERTY OWNER: | RALEIGH NORTH CHRISTIAN CENTER 6021 LOUISBURG ROAD RALEIGH, NC 27616 | WATERSHED: | N/A |
| | | DEVELOPER: | NEUSE |
| | | JURISDICTION: | CITY |
| | | CURRENT USE: | VACANT |
| | | PROPOSED USE: | CNC |

| TOTAL VEHICULAR PARKING REQUIRED: | |
|-----------------------------------|--|
| REQUIRED SPACES: | 1 SPACE PER 4 SEATS IN PRINCIPAL ASSEMBLY AREA TOTAL SEATS: 1,043 PARKING SPACE REQUIRED: 1,043 SEATS / 4 = 261 SPACES PARKING SPACE PROVIDED: 261 SPACES |
| ACCESSIBLE SPACES REQUIRED: 7 | |
| ACCESSIBLE SPACES PROVIDED: 12 | |
| LONG-TERM PARKING REQUIRED: | SHORT-TERM SPACES: NONE LONG-TERM SPACES: NONE |

- NOTES:
- Existing information shown taken from survey provided by the owner dated 03/23/13.
 - Existing utilities shown are approximate and shall be verified in the field prior to beginning work. Contractor shall contact NC One Call Center at 1-800-633-4363 for location of existing utilities prior to beginning construction. The contractor shall exercise caution when working around existing utilities to remain. Damaged utilities shall be repaired at contractor's expense.
 - See architectural plans for building information.
 - Within the sight triangles shown on this plan, no obstruction between two (2) feet and eight (8) feet in height above the curb line elevation or the nearest traveled way, if no curbing exists.
 - Amenity area not required for over building per UDO Section 2.2.5



| |
|---|
| MINIMUM LOT AREA: 4000 SF / 902,128 SF PROVIDED |
| MINIMUM LOT WIDTH: 40' / 695 PROVIDED |
| MINIMUM BUILDING SETBACKS |
| FROM PRIMARY STREET: 10' / SEE PLAN FOR PROVIDED DIMENSIONS |
| FROM SIDE LOT LINE: 10' |
| FROM REAR LOT LINE: 10' |
| MINIMUM PARKING SETBACKS |
| FROM PRIMARY STREET: 10' / SEE PLAN FOR PROVIDED DIMENSIONS |
| FROM SIDE/REAR LOT LINE: 5' / 34' PROPOSED |
| MAXIMUM BUILDING HEIGHT: 45' / 34' PROPOSED |

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

NV 5
NVS ENGINEERS & CONSULTANTS, INC.
10000 N. RICHMOND AVE.
SUITE 200
DURHAM, NC 27618
919.486.1237
www.nvs.com

**PRELIMINARY
DO NOT USE
FOR CONSTRUCTION**

RALEIGH NORTH CHRISTIAN CENTER
Owner:
RALEIGH NORTH CHRISTIAN CENTER
6021 LOUISBURG ROAD
Raleigh, North Carolina, 27616

| REVISIONS | |
|------------|----------|
| REVISION | DATE |
| 1. REMARKS | 12/10/21 |
| 2. REMARKS | 01/25/22 |
| 3. REMARKS | 02/01/22 |
| 4. REMARKS | 02/01/22 |
| 5. REMARKS | 02/01/22 |
| 6. REMARKS | 02/01/22 |
| 7. REMARKS | 02/01/22 |
| 8. REMARKS | 02/01/22 |

PROJECT NO: 2020095.00
DRAWN BY: DFB
CHECKED BY: JAA
SCALE: SEE PLAN
DATE: 2021-07-16

SITE PLAN
C-200

PLANT MATERIAL LIST - WEST

| QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT | COMMENTS |
|------------------|------------------------|-----------------|---------------------------------|-------------|----------|
| TREES | | | | | |
| 1 | QUERCUS PHELLOS | WILLOW OAK | 10' MIN. HT., 3" MIN. CAL. | B-B | SPECIMEN |
| UNIVERSITY TREES | | | | | |
| 1 | QUERCUS CAMPAUPES | EASTERN REDBUD | 8' FT. MIN. HT., 1.5" MIN. CAL. | CONT OR B-B | |
| 2 | CORNUS KOUSA | KOUSA DOGWOOD | 8' FT. MIN. HT., 1.5" MIN. CAL. | CONT OR B-B | |
| 3 | MAGNOLIA X SOULANGEANA | SAUPEY MAGNOLIA | 8' FT. MIN. HT., 1.5" MIN. CAL. | CONT OR B-B | |

NOTE:

1. PLANT SYMBOLS OVERLAP PLANT MATERIAL LIST QUANTITIES & PLANT LABELS. SHOULD THERE BE AN ERROR IN QUANTITY COUNTS, SPACING FOR PLANT MATERIAL IS REPRESENTED BY PLANT SYMBOLS ON THE PLAN.
2. 4" ORGANIC DOUBLE-SHEDDED BARK MULCH REQUIRED IN ALL PLANTING BEDS.
3. BERMUDA SOI OR SEED ALL DISTURBED AREAS NOT PAVED OR IN A LANDSCAPE BED. SOI AREAS BETWEEN BUILDINGS, BUILDINGS AND PARKING, AND THE ENTRY WALKWAY, CIRCLE.

City of Raleigh UDO Section 7.2.7. Design and Installation

A. Certificate of Compliance Required

1. The Development Services Director cannot issue a certificate of compliance until all landscaping has been installed in accordance with the requirements of this UDO.
2. A temporary certificate of compliance may be issued when the Development Services Director determines that due to the unavailability of plant material or weather concerns, planting landscaping would jeopardize the health of plant materials for a period of up to 1 year following the date of application for a certificate of compliance. The applicant shall make the following arrangements to secure a temporary certificate of compliance:
 - a. Produce a contract binding for 1 year from the date approved by the City, for the completion of the landscape work. Such contract shall specify that the work shall be completed before or during the year immediately following the date of application for a certificate of compliance. The City shall not be a party or a third party beneficiary to the contract.
 - b. The applicant shall also agree in writing that they, their successors or assigns, shall provide the required planting within the one-year period, as a condition for obtaining a certificate of compliance for the principal use so long as the principal use shall continue. The applicant shall also agree that the principal use shall be discontinued if the required planting is not provided. Violations of these provisions shall constitute an unauthorized illegal occupancy of the principal use.

LANDSCAPE REQUIREMENTS: SEE SHEET L-301

- TRANSITIONAL PROTECTIVE YARD: SEE L-301
STREET PROTECTIVE YARD: SEE L-301
VEHICULAR PARKING LOT LANDSCAPING: SEE L-301
SCREENING OF GROUND-MOUNTED EQUIPMENT: SEE L-301

LANDSCAPE NOTES:

1. If any discrepancies occur between quantities of material shown on the plan and quantities listed in the plant list, the quantities graphically shown on the plan shall take precedence.
2. For planting areas adjacent to VSA, the size of the planting area and of plant material at maturity shall allow for a two and one-half feet wide bumper overhang measured from the back of curb.
3. No tree shall be located within 5' of a sidewalk or 20' of a lighting location.
4. No tree shall be located within 5' of a sidewalk or 20' of a lighting location.
5. Contractor is responsible to review all utility locations prior to excavation or material installation.
6. All landscape materials shall be in accordance with the "American Standard for Nursery Stock".
7. For planting areas, remove all pavement, gravel sub-base and construction debris; remove compacted soil and add 24" of new topsoil or fill and amend top 24" of existing soil to meet typical planting standards for trees (within entire minimum area of 300 square feet per tree).
8. Contractor is responsible for soil preparation, addition of nutrient and fertilization per testing as outlined in specifications.
9. In addition to the soil mixture, landscape contractor is responsible for providing and installing any necessary and amendments, as indicated by soil test, as well as an adequate drainage system for planting beds. Landscape contractor is responsible for providing an environment suitable for the growth of healthy plant material.
10. Soil amendments shall be uniformly spread and mixed into top 12" of soil.
11. All plant beds and new trees shall be mulched with 4" thick layer of organic, double-shedded hardwood mulch.
12. Contractor is responsible for the soil preparation and seeding of all new lawn and disturbed existing lawn areas.

0 20' 40' 80'
Scale: 1"=40'

NV5

NVS ENGINEERS & CONSULTANTS, INC.
10000 N. RICHMOND AVE.
SUITE 200
DURHAM, NC 27703
P: 919.286.1212
F: 919.286.1213
www.nv5.com

**RALEIGH NORTH
CHRISTIAN CENTER CHURCH**

OWNER
RALEIGH NORTH CHRISTIAN CENTER
6021 Louisa Road
Raleigh, North Carolina, 27616

| DATE | REVISIONS |
|------------|-------------------|
| 12/10/2021 | 1. INITIAL DESIGN |
| 12/10/2021 | 2. FINAL DESIGN |

| | |
|-------------|------------|
| PROJECT NO. | 2020005.01 |
| DESIGNED BY | DMK, SCB |
| CHECKED BY | SCB |
| SCALE | SEE PLAN |
| DATE | 2021-07-16 |

**WEST
LANDSCAPE PLAN**

L-302



LIVE design group
collaborative | creative | collaborative

MINISTRY CENTER
5009 LOUISBURG ROAD RALEIGH, NC 27616
10.29.21

-PERMIT PRINT-
10.29.21
**FOR
CONSTRUCTION**
FOR PRICING AND

| Revisions | | |
|-----------|-------------|------|
| No. | Description | Date |

MINISTRY
CENTER

RALEIGH NORTH
CHRISTIAN CENTER
5009 LOUISBURG ROAD
RALEIGH, NC 27616

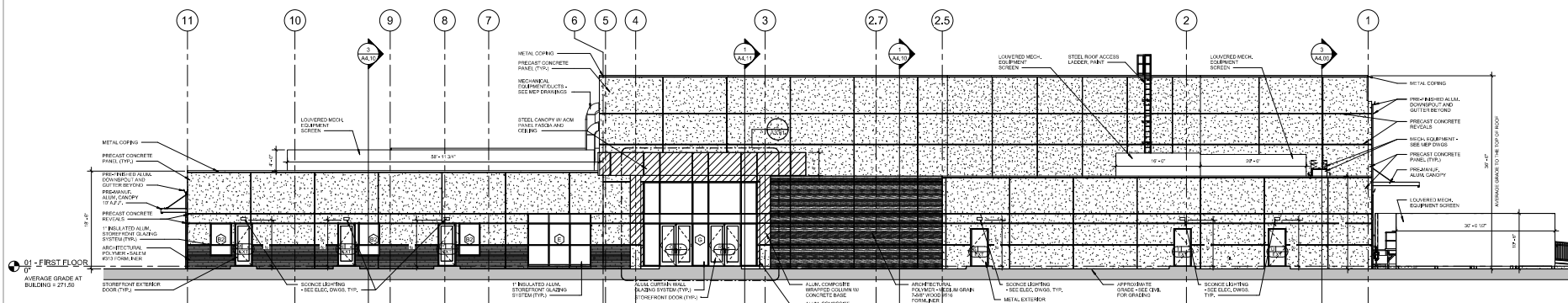
Project Number
20017

Date
10.02.24

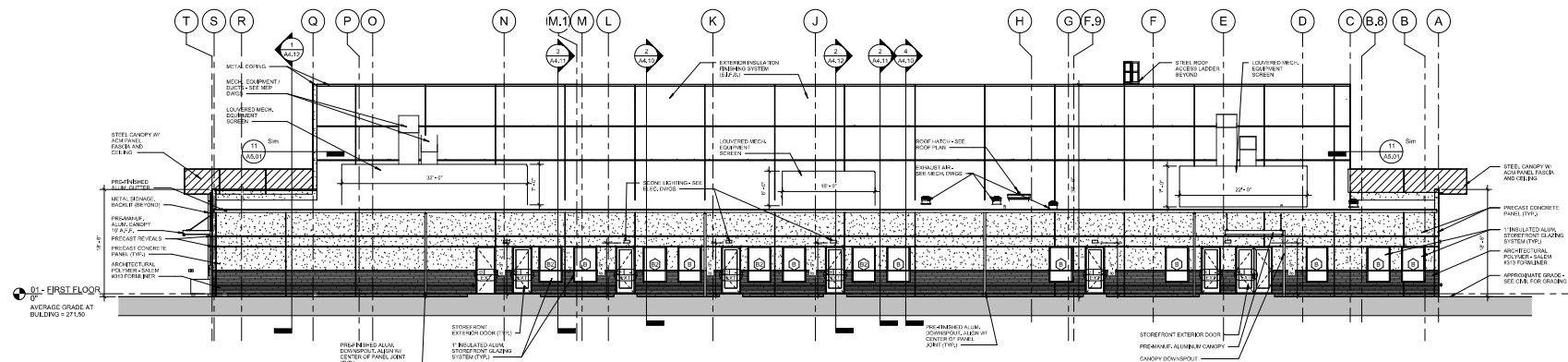
10.29.21
EXTERIOR

ELEVATIONS

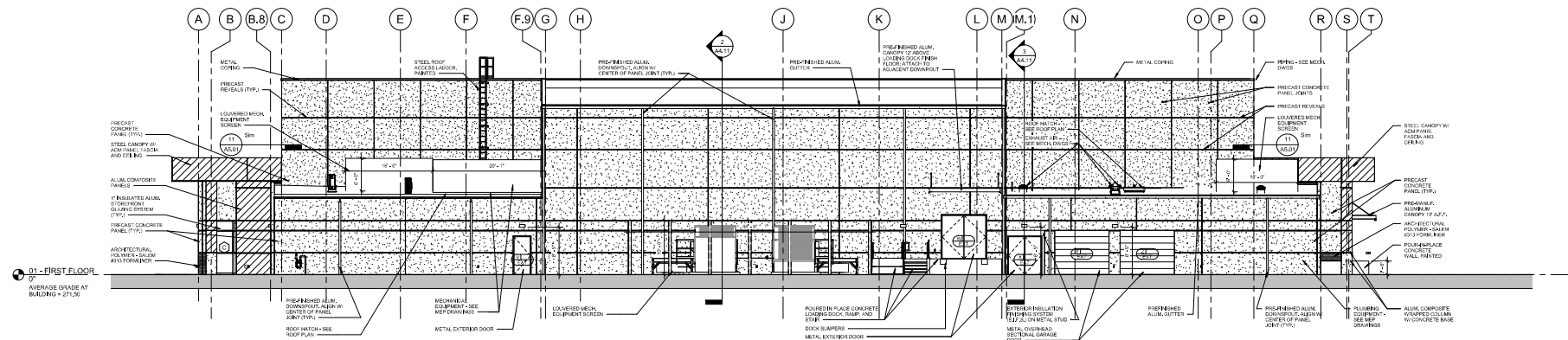
A3.00



1 NORTH ELEVATION (FACING LOUISBURG ROAD)
1/8" = 1'-0"

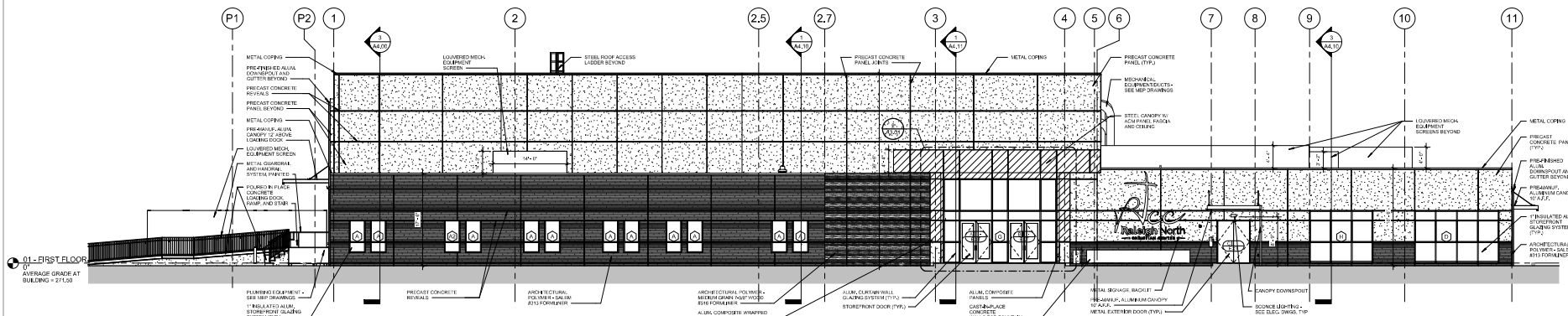


2 EAST ELEVATION
1/8" = 1'-0"

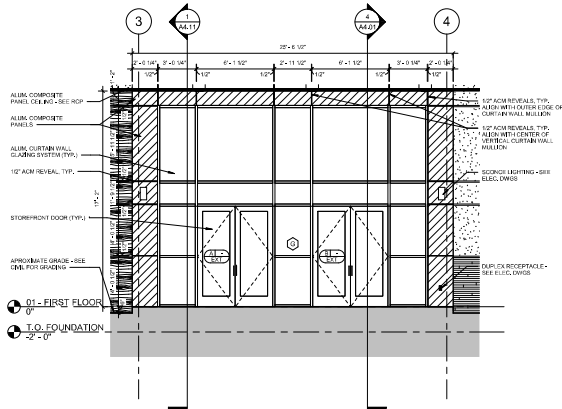


③ WEST ELEVATION
1/8" = 1'-0"

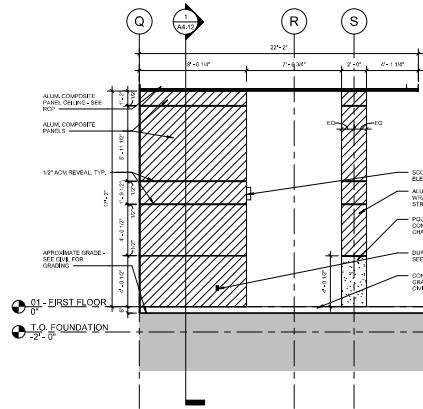
| SHEET REVISIONS | | | |
|-----------------|----------|----|------|
| NO. | DATE | BY | APP. |
| 1 | 10/29/21 | JD | JD |
| 2 | 10/29/21 | JD | JD |
| 3 | 10/29/21 | JD | JD |
| 4 | 10/29/21 | JD | JD |



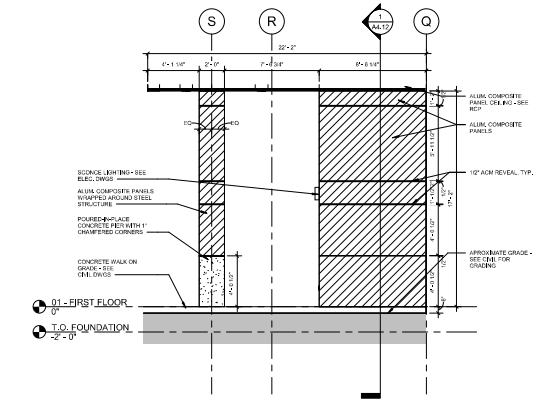
1 SOUTH ELEVATION (PRIMARY STREET FACING ELEVATION)
1/8" = 1'-0"



2 ENLARGED ELEVATION - VESTIBULE ENTRANCE
1/4" = 1'-0"

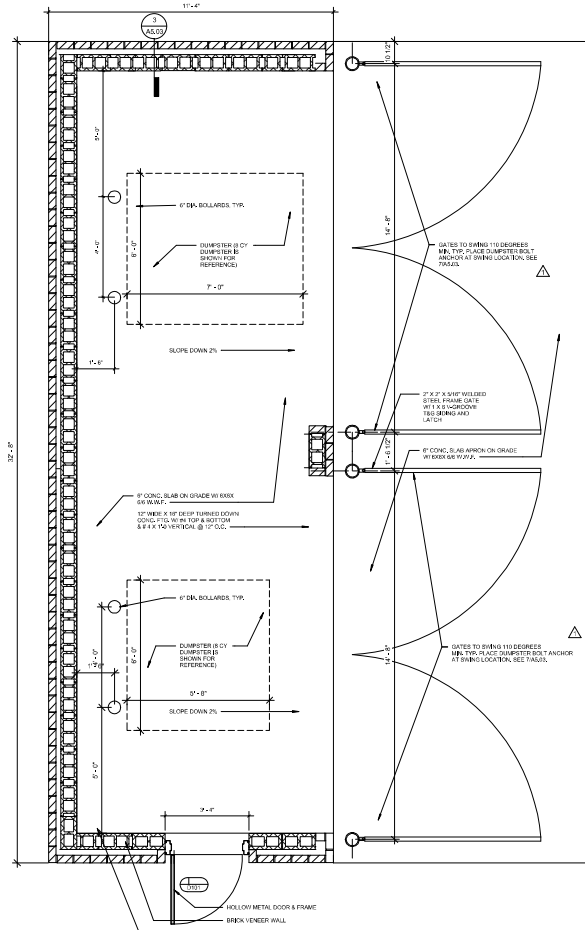


3 ENLARGED ELEVATION - VESTIBULE 1
1/4" = 1'-0"

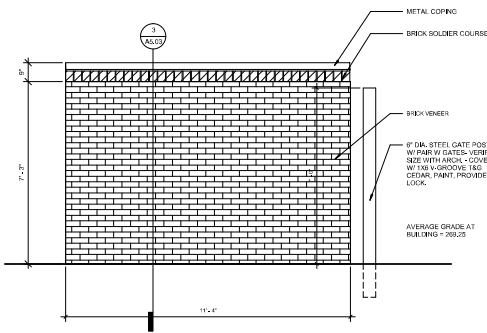


4 ENLARGED ELEVATION - VESTIBULE 2
1/4" = 1'-0"

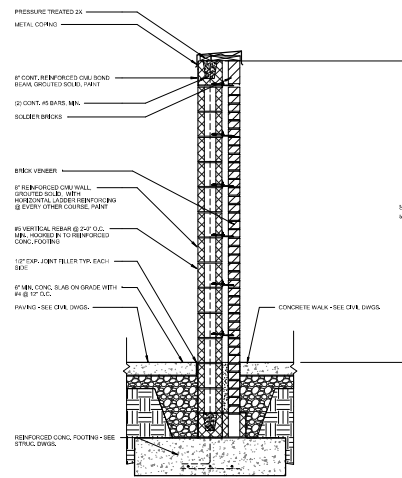
| LAST DEVELOPMENT | DATE | BY | APPROVED |
|--------------------|----------|-------|----------|
| MINISTRY CENTER | 10/29/21 | 27/21 | 27/21 |
| DUMPSTER ENCLOSURE | 10/29/21 | 27/21 | 27/21 |
| MOVING SHEET | 10/29/21 | 27/21 | 27/21 |



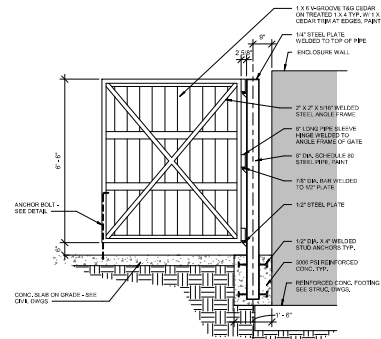
1 DUMPSTER PLAN WITH CMU WALLS
1/2" = 1'-0"



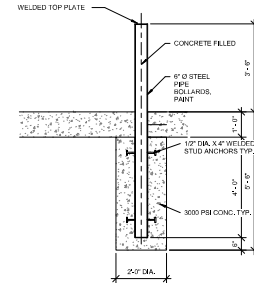
2 DUMPSTER ELEVATION
1/2" = 1'-0"



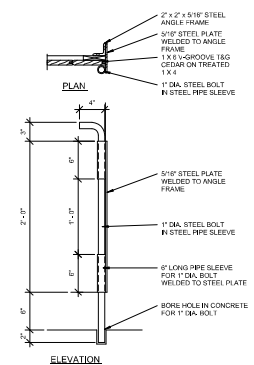
3 DUMPSTER WALL SECTION
3/4" = 1'-0"



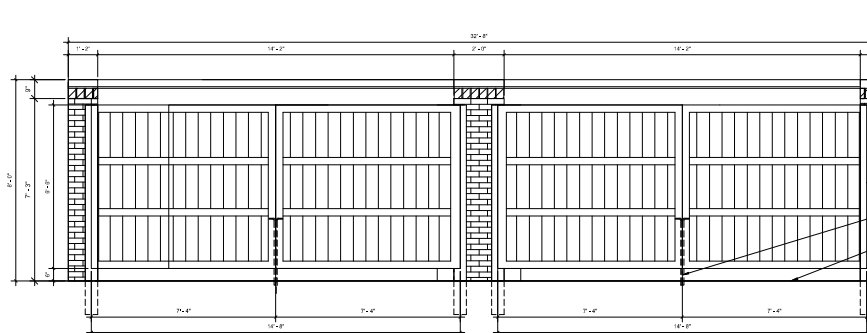
4 DUMPSTER GATE INSIDE ELEVATION
1/2" = 1'-0"



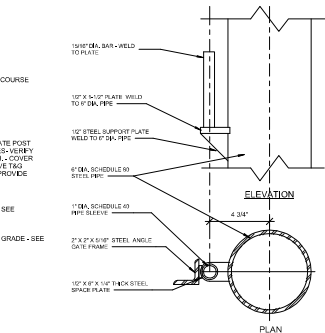
6 BOLLARD DETAIL
1/2" = 1'-0"



7 DUMPSTER BOLT DTLS
1 1/2" = 1'-0"

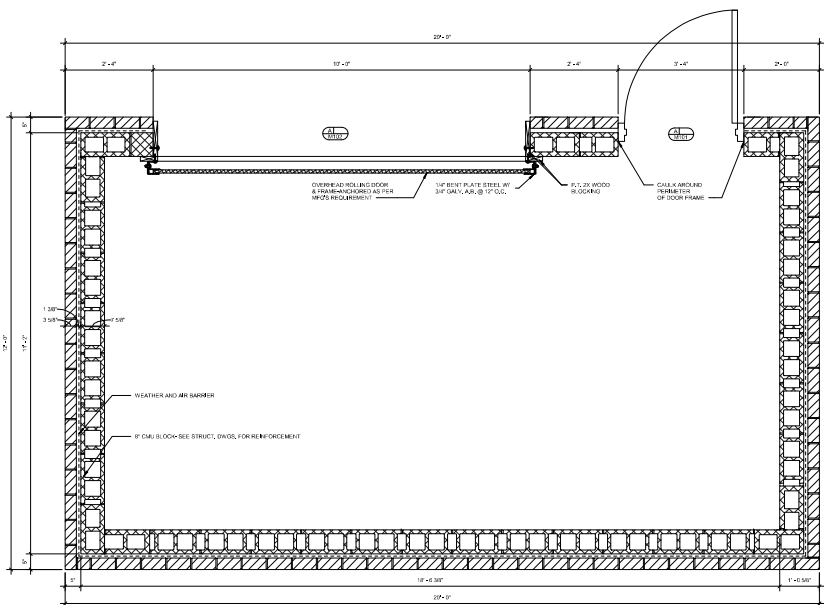


5 DUMPSTER FRONT ELEVATION
1/2" = 1'-0"

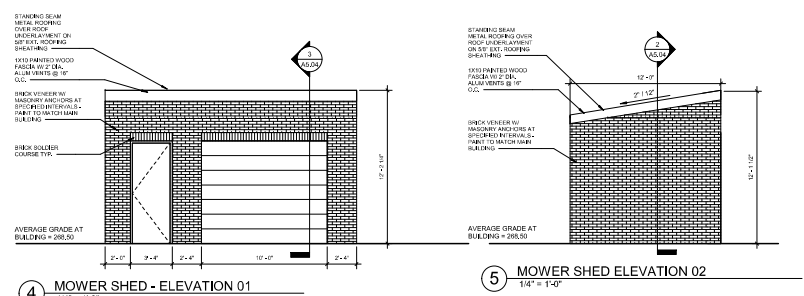


8 DUMPSTER HINGE DTLS
3" = 1'-0"

| ITEM | QTY | UNIT | AMOUNT |
|------------------|-------|---------|--------|
| MINISTRY CENTER | 28.00 | SQ. FT. | 28.00 |
| CHURCH ENCLOSURE | 28.00 | SQ. FT. | 28.00 |
| MOWER SHED | 28.00 | SQ. FT. | 28.00 |

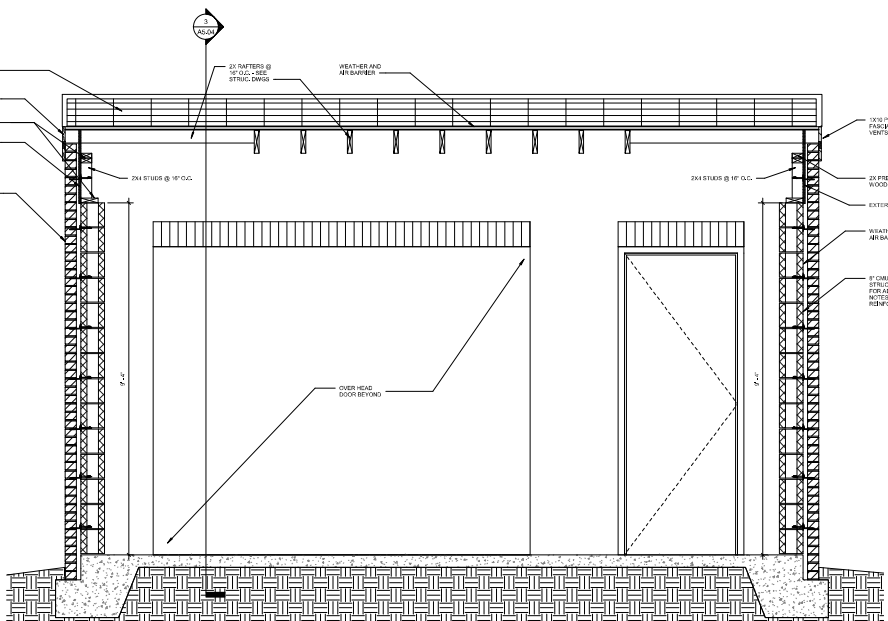


1 UTILITY SHED PLAN
3/4" = 1'-0"

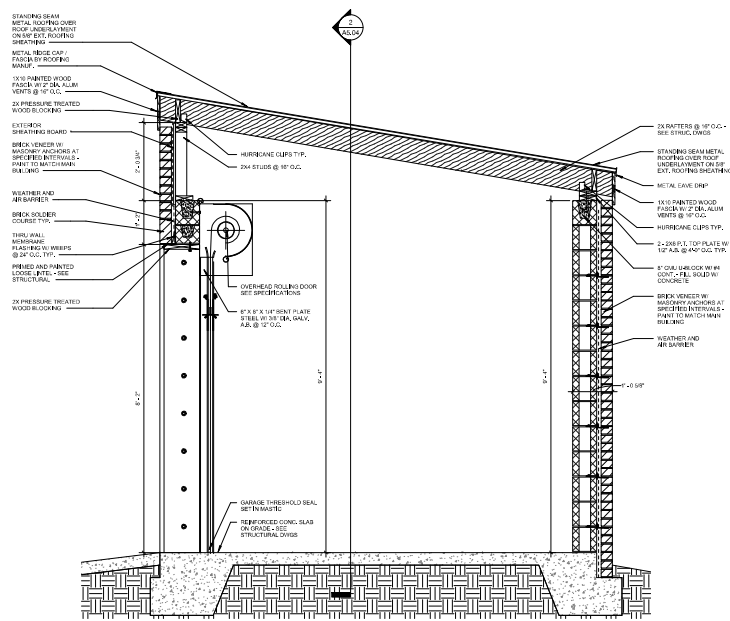


4 MOWER SHED - ELEVATION 01
1/4" = 1'-0"

5 MOWER SHED ELEVATION 02
1/4" = 1'-0"



2 UTILITY SHED SECTION
3/4" = 1'-0"



3 UTILITY SHED SECTION .01
3/4" = 1'-0"