

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: Kimley-Horn and Associates, Inc. Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company: Kimley-Horn and Associates, Inc.	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK

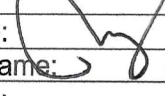
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

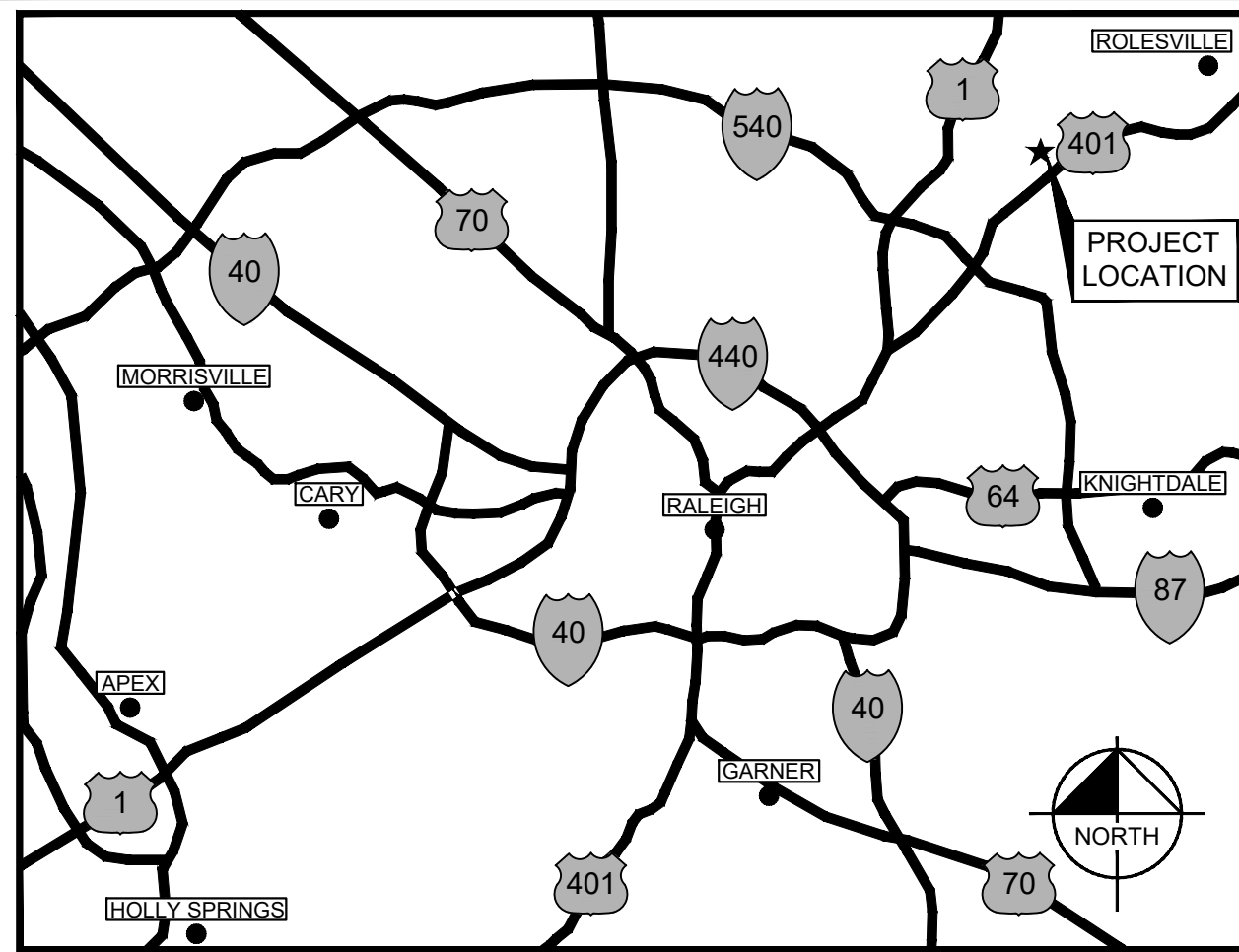
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 8/30/24
Printed Name: MATTHEW TAYLOR PRINCE	
Signature:	Date:
Printed Name:	

Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH - Layout: C-001 COVER SHEET August 30, 2024 11:43:46am. K:\RAL\LD\118128003 - Primrose Raleigh\707_CAD Files\PlanSheets\C-001 COVER SHEET.dwg
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION MAP

SCALE: NOT TO SCALE

PRIMROSE RALEIGH – CX-3-CU ZONING CONDITIONS

- 1.) THE FOLLOWING PRINCIPAL USES SHALL BE PROHIBITED: (i) ADULT ESTABLISHMENT; (ii) BAR, NIGHTCLUB, TAVERN, LOUNGE; (iii) VEHICLE SALES/RENTAL; (iv) DETENTION CENTER, JAIL, PRISON; (v) LIGHT MANUFACTURING; (vi) RESEARCH AND DEVELOPMENT; (vii) VEHICLE REPAIR (MINOR); (viii) VEHICLE REPAIR (MAJOR); (ix) OVERNIGHT LODGING; (x) SELF-SERVICE STORAGE.

NONE OF THESE USES ARE PROPOSED WITH THIS SUBDIVISION.

- 2.) THE MAXIMUM GROSS FLOOR AREA SHALL BE 50,000 SQUARE FEET.

THIS OUTPARCEL (LOT 3) PROPOSES 13,545 SF OF GROSS FLOOR AREA.
LOT 1 PROPOSES 4,725 OF GROSS FLOOR AREA.
THE MAXIMUM GROSS FLOOR AREA REMAINING IS 31,730 SF.

RIGHT-OF-WAY OBSTRUCTION NOTES:

- STREET, LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES"
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOHLER, 4130 PARKLAKE AVENUE, SUITE 130, RALEIGH, NC 27612. PHONE: 919-578-9000 AND DATED OCTOBER 15, 2021 AND DESIGN DOCUMENTS PREPARED BY KIMLEY-HORN TITLED "PERRY FARMS SUBDIVISIONS" AND DATED JUNE 19, 2024.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

PROJECT OWNERS & CONSULTANTS

OWNER/DEVELOPER

PRIMROSE SCHOOLS
3200 WINDY HILL RD. SE, STE. 1200E,
ATLANTA, GA 30339
CONTACT: MATT TAYLOR
PHONE: (617) 901-9015
EMAIL: MTAYLOR@PRIMROSESCHOOLS.COM

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., STE. 600, RALEIGH, NC 27601
CONTACT: TIM CARTER, P.E.
PHONE: (919) 677-2197
EMAIL: TIM.CARTER@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT

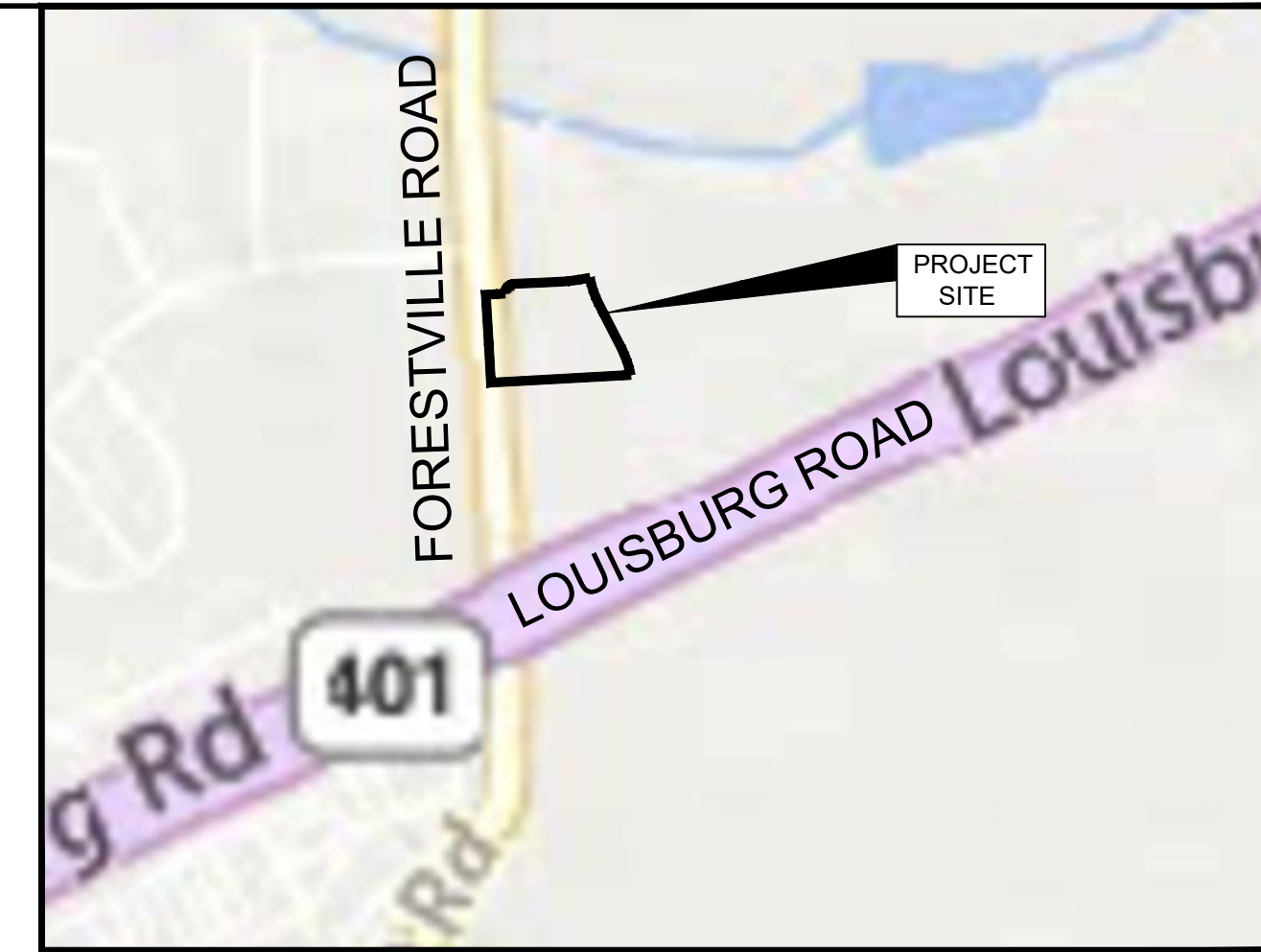
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST., STE. 600, RALEIGH, NC 27601
CONTACT: ADAM FULLERTON, P.L.A.
PHONE: (919) 653-2927
EMAIL: ADAM.FULLERTON@KIMLEY-HORN.COM

SURVEYOR

BOHLER
4130 PARKLAKE AVE., STE. 130, RALEIGH, NC 27612
CONTACT: THOMAS E. TEABO, PLS
PHONE: (919) 578-9000

ADMINISTRATIVE SITE REVIEW FOR:
PRIMROSE RALEIGH
ASR- -2024
SUB-0002-2022 (SUBDIVISION)
Z-34-20

8601 LOUISBURG RD
RALEIGH, NORTH CAROLINA 27587
A DEVELOPMENT BY:
PRIMROSE SCHOOLS
3200 WINDY HILL RD. SE, STE 1200E
ATLANTA, GEORGIA 30339



VICINITY MAP

SCALE: 1" = 500'

No.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
#F-0102 WWW.KIMLEY-HORN.COM PHONE: 919.677.2000 FAX: 919.677.2050
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMO PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
L-100	LANDSCAPE PLAN
L-200	LANDSCAPE DETAILS
A1.0-A5.0	ARCHITECTURAL ELEVATIONS

NOT FOR CONSTRUCTION
PRELIMINARY

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	TRC
118128003	8/19/2024	AS SHOWN	JAA	JAA	JAA	

NOTE: LIGHTING PLAN WILL BE PROVIDED AT SPR

Administrative Site Review Application
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2200

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Office Use Only: Case # _____ Planner (print): _____

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: 20-08-0003.0002SPN.0043.2022
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #:
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #:
<input type="checkbox"/> Open lot		Design Alternate #:

Development name: Primrose Raleigh
Inside City limits? Yes No
Property address(es): 8601 Louisburg Rd, Wake Forest, NC 27587
Site P.I.N.(s): 1748614939
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
Project includes construction of a child care facility and the associated infrastructure

Current Property Owner(s): Comet Development LLC
Company: _____ Title: _____
Address: 309 Gallimore Dairy Road Suite 102, Greensboro, NC 27409
Phone #: (704) 333-2393 Email: mkb@cambridgeprop.com
Applicant Name (if different from owner. See "who can apply" in instructions): Tim Carter, PE
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
Company: Kimley-Horn and Associates, Inc. Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601

Phone #: (919) 677-2197 Email: tim.carter@kimley-horn.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: Matt Taylor
Company: Primrose Schools Title: _____
Address: 3200 Windy Hill Road SE, Suite 1200E, Atlanta, GA 30339
Phone #: (617) 901-9015 Email: mtaylor@primroseschools.com
Applicant Name: Tim Carter, PE
Company: Kimley-Horn and Associates, Inc. Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601
Phone #: (919) 677-2197 Email: tim.carter@kimley-horn.com

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): CX-3-CU	Existing gross floor area (not to be demolished): 0	Total of gross (to remain and new): 13,545	Total of hotel bedrooms: 0
Gross site acreage: 5.30	Existing gross floor area to be demolished: 0	Proposed # of buildings: 1	Total # of hotel bedrooms: 0
# of parking spaces proposed: 51	New gross floor area: 13,545	Proposed # of stories for each: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
Max # parking permitted (7.1.2.C): No max	Total of gross (to remain and new): 13,545	Proposed # of basement levels (UDO 1.5.7.A.6): 0	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No
Overlay District (if applicable): N/A	Proposed # of stories for each: 1		
Existing use (UDO 6.1.4): Vacant Lot	Proposed # of stories for each: 1		
Proposed use (UDO 6.1.4): Child care Facility	Proposed # of basement levels (UDO 1.5.7.A.6): 0		

STORMWATER INFORMATION

Impermeable Area on Parcel(s):		Impermeable Area for Compliance (includes ROW):	
Existing (sf): 14,567	Proposed total (sf): 63,223	Existing (sf):	Proposed total (sf):

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: 0	Total # of hotel bedrooms: 0
# of bedroom units: 1br 0 2br 0 3br 0 4br or more 0	

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or permit holder or agent or contract to purchase or lease land, or an authorized agent of the landowner. An agent holder may also apply for development approval for such development as is authorized by the easement.
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.
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The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-705(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: _____ Date: 8/30/24
Printed Name: Matt Taylor
Signature: _____ Date: _____
Printed Name: _____

PREPARED IN THE OFFICE OF:

NC CERTIFICATE OF AUTHORIZATION: F-0102

Kimley»Horn

© 2024 Kimley-Horn and Associates, Inc.
421 FAYETTEVILLE STREET – SUITE 600 – RALEIGH, NORTH CAROLINA 27601
PHONE: (919) 677-2000

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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AUGUST 16, 2024 **011440033**

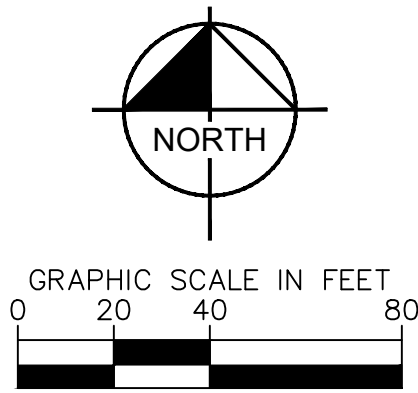
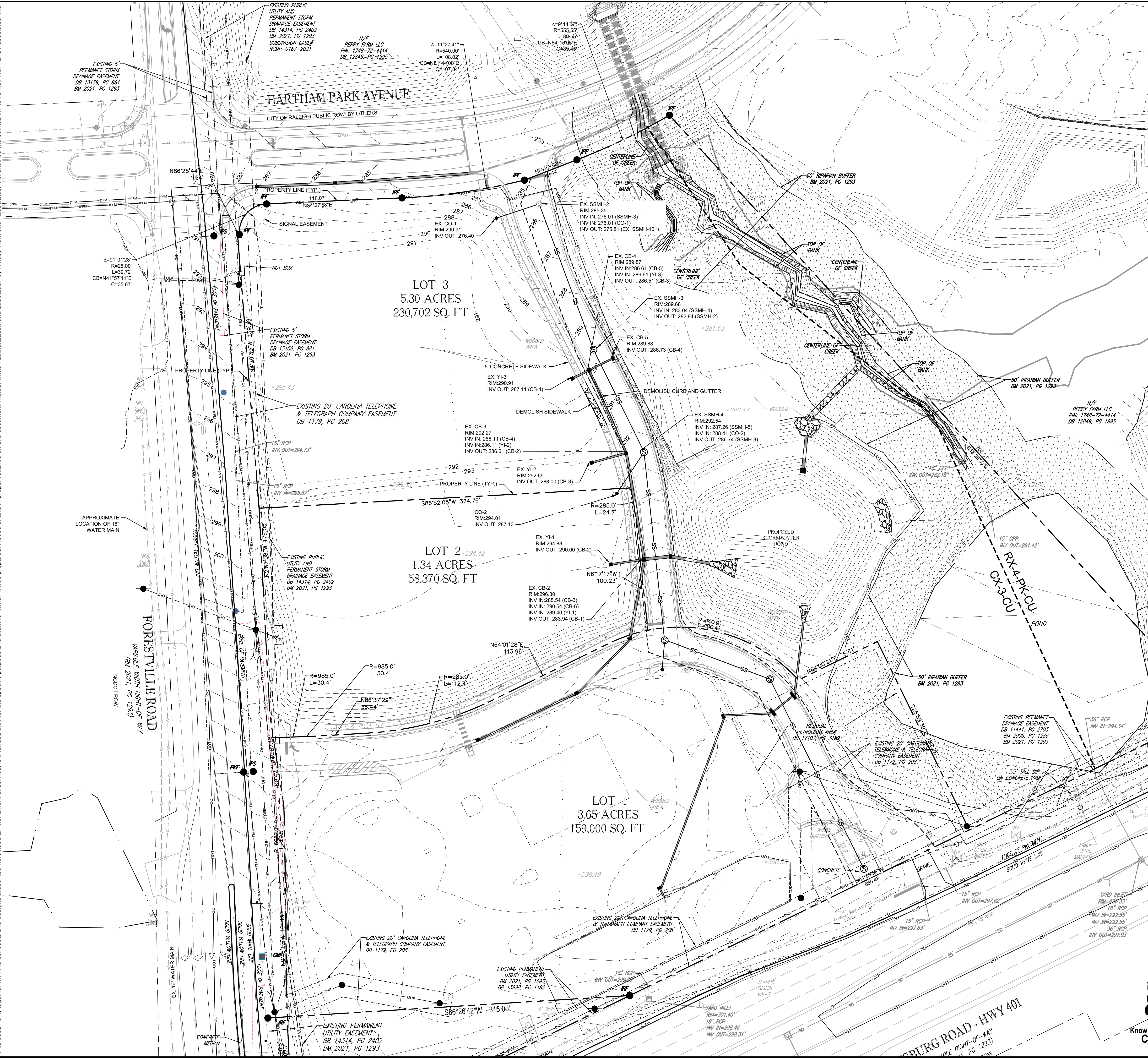
811
Know what's below.
Call before you dig.

PRIMROSE RALEIGH
PREPARED FOR
PRIMROSE SCHOOLS

COVER SHEET

SHEET NUMBER
C0.0

Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH Layout: C1.0 EXISTING CONDITIONS AND DEMOLITION PLAN August 30, 2024 11:24:28am K:\RAL...
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



DEMOLITION LEGEND	
	PROPERTY LINE
	CLEARING LIMITS
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE ITEM / TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK/PAVEMENT TO BE REMOVED

DEMOLITION NOTES

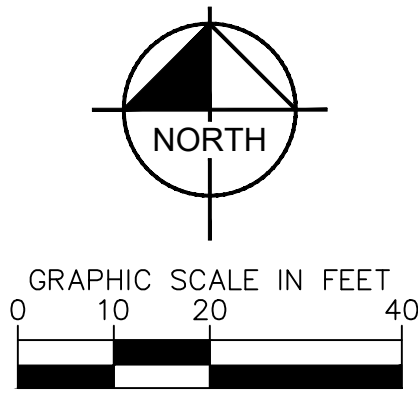
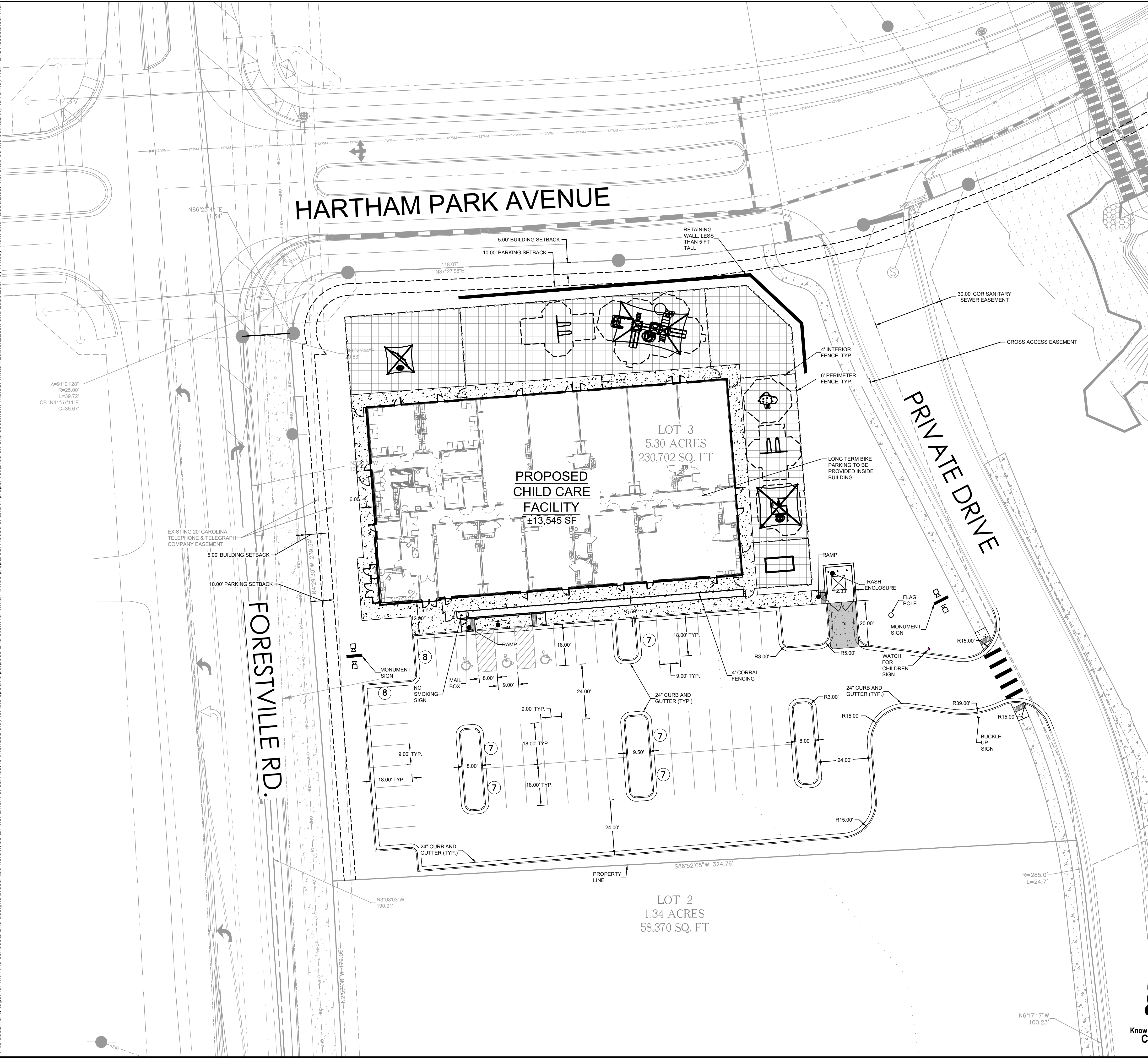
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
- SAW CUT AND REMOVE CONCRETE CURB AND SIDEWALK TO LIMITS REQUIRED FOR NEW WORK.
- REMOVE VEGETATION AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
- DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE PER STATE REGULATIONS.
- ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNFORESEEN OR ADVERSE CONDITIONS, INCLUDING UNCHARTED UTILITIES, DISCOVERED DURING DEMOLITION OPERATIONS.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.

SURVEY NOTE:
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOHLER, 4130 PARKLAKE AVENUE, SUITE 130, RALEIGH, NC 27612. PHONE: 919-578-9000 AND DATED OCTOBER 15, 2021 AND DESIGN DOCUMENTS PREPARED BY KIMLEY-HORN TITLED "PERRY FARMS SUBDIVISION" AND DATED JUNE 19, 2024.



		KHA PROJECT 118128003	
		DATE 8/19/2024	
SCALE AS SHOWN DESIGNED BY JAA DRAWN BY JAA CHECKED BY TRC		SHEET NUMBER C1.0	
		CITY OF RALEIGH	
EXISTING CONDITIONS AND DEMOLITION PLAN		PRELIMINARY NOT FOR CONSTRUCTION	
PRIMROSE RALEIGH PREPARED FOR PRIMROSE SCHOOLS		RALEIGH, NC	
REVISIONS No. DATE BY		REVISIONS No. DATE BY	

Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH Layout: C2.0 PRELIMINARY SITE PLAN August 30, 2024 11:24:15 AM K:\RAL_LDEV\18128003_Primrose Raleigh\07_CAD Files\Site\Sheet\C2.0 PRELIMINARY SITE PLAN.dwg
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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	TURF
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE

SITE DATA	
PROPERTY INFORMATION	
EXISTING ZONING:	CX-3-CU
EXISTING USE:	VACANT
PROPOSED USE:	CHILD CARE FACILITY
TOTAL SITE AREA:	5.30 AC (230,702 SF)
GENERAL BUILDING SETBACKS:	PRIMARY STREET = 5' SIDE STREET = 5' REAR/SIDE LOT LINE = 0' OR 6'
PARKING SETBACKS:	PRIMARY STREET = 10' SIDE STREET = 10' REAR/SIDE LOT LINE = 0' OR 3'
PROJECT DATA	
PIN#	1748614939
PROPOSED # OF BUILDINGS:	1
BUILDING FLOOR AREA:	13,545 SF
PARKING:	REQUIRED: DAYCARE (MAX) - NONE PROVIDED: 51 SPACES
ACCESSIBLE PARKING:	REQUIRED: 3 SPACES PROVIDED: 3 SPACES (1 VAN ACCESSIBLE)
SHORT-TERM BIKE PARKING:	REQUIRED: NONE PROVIDED: 0 SPACES
LONG-TERM BIKE PARKING:	REQUIRED: DAYCARE = 1 SPACE PER 10,000 SF, MINIMUM 4 PROVIDED: 4 SPACES
BUILDING HEIGHT:	50' MAX. BUILDING HAS A MAXIMUM BLANK WALL HEIGHT OF 20' (SEE ELEVATIONS SHEETS)
AMENITY AREA:	REQUIRED: 10% OF SITE AREA = 230,702 SF * 10% = 23,070 SF PROVIDED: 31,374 SF

SURVEY NOTE:
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOHLER, 4130 PARKLAKE AVENUE, SUITE 130, RALEIGH, NC 27612. PHONE: 919-578-9000 AND DATED OCTOBER 15, 2021 AND DESIGN DOCUMENTS PREPARED BY KIMLEY-HORN TITLED "PERRY FARMS SUBDIVISION" AND DATED JUNE 19, 2024.

Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 #F-0102 WWW.KIMLEY-HORN.COM PHONE: 919-677-2000 FAX: 919-677-2050
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

REVISIONS

No.	DATE	BY

PRELIMINARY SITE PLAN

NOT FOR CONSTRUCTION

KHA PROJECT
118128003

DATE
8/19/2024

SCALE AS SHOWN

DESIGNED BY JAA

DRAWN BY JAA

CHECKED BY TRC

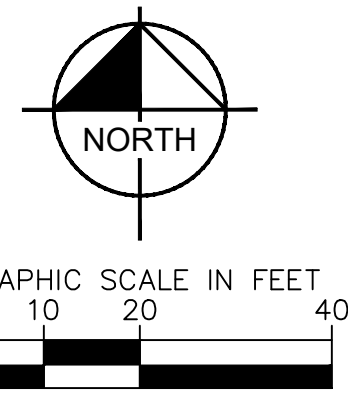
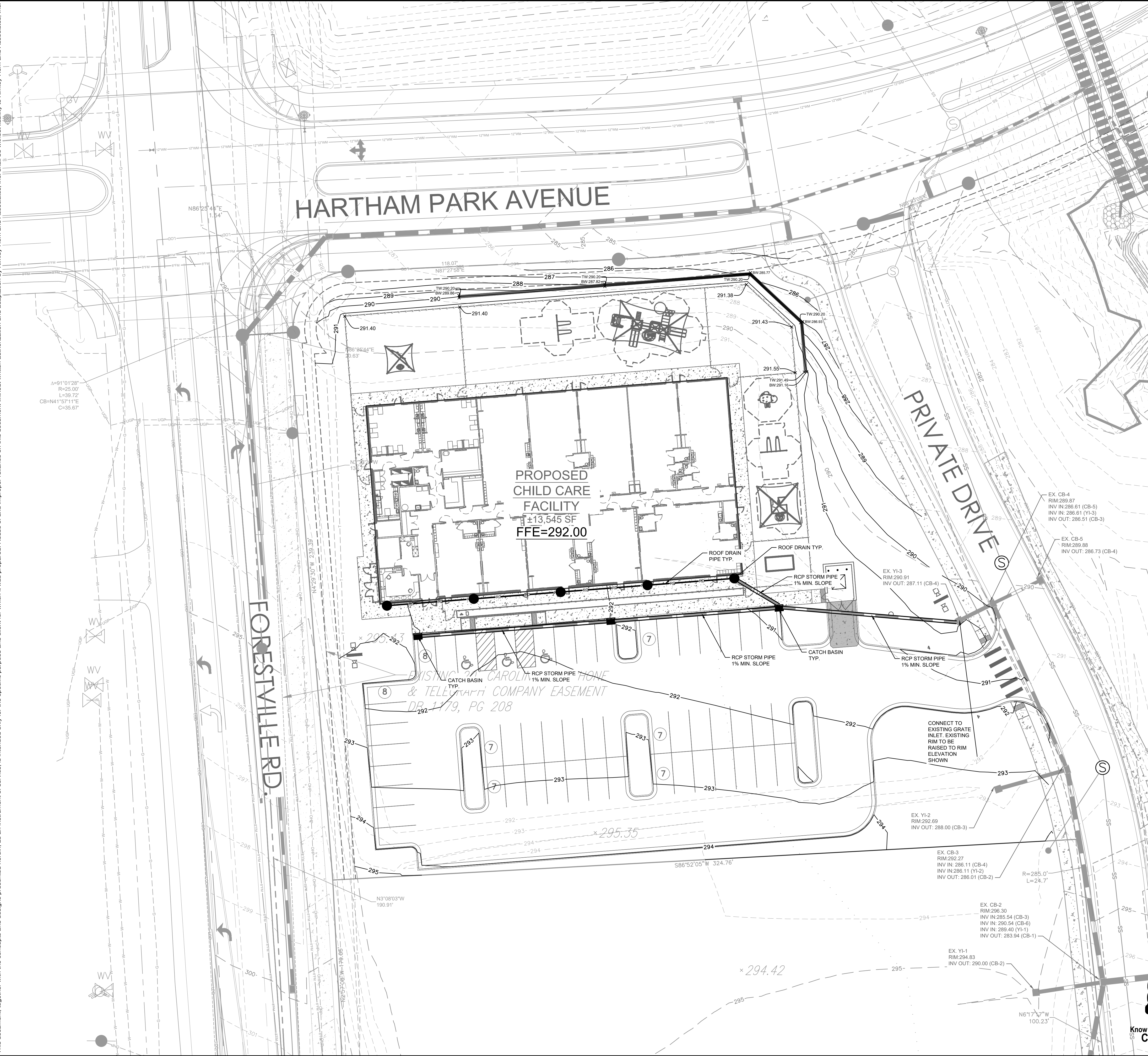
PRIMROSE RALEIGH
PREPARED FOR
PRIMROSE SCHOOLS

RALEIGH NC

SHEET NUMBER
C2.0

811
Know what's below.
Call before you dig.

Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH Layout: C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN August 30, 2024 11:30:47am K:\RAL_LDEV118128003_Primrose Raleigh\07_CAD Files\PlanSheets\C3.0 PRELIMINARY GRADING AND DRAINAGE PLAN.dwg
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GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)

PROPOSED CHILD CARE FACILITY
 ±13,545 SF
 FFE=292.00

FORESTVILLE RD.

PRIVATE DRIVE

HARTHAM PARK AVENUE

DISTINGUISH CAROLINA HOME & TELEMARK COMPANY EASEMENT DR 1179, PG 208

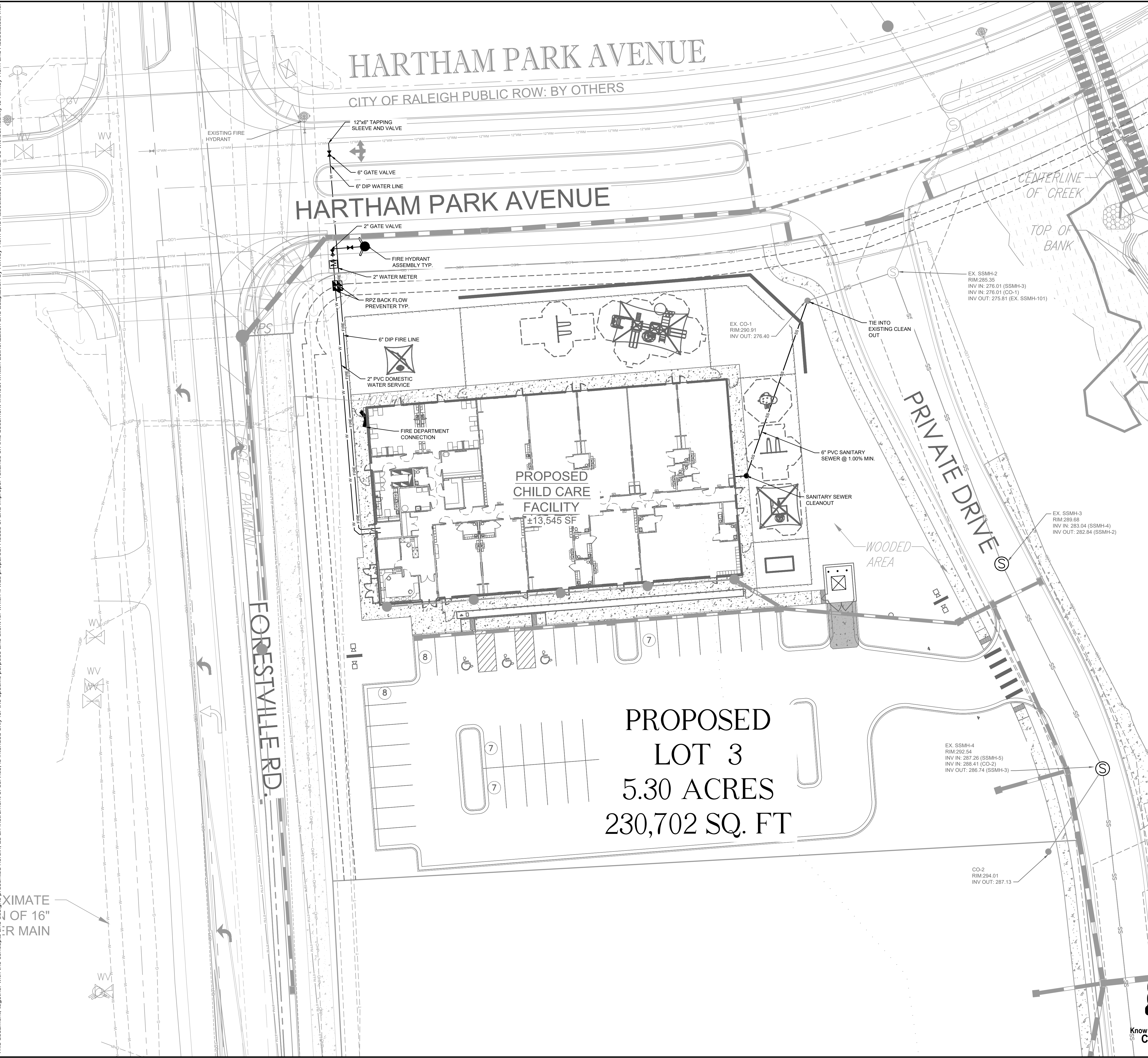
GEOTECH NOTE:
 GEOTECHNICAL BORING INFORMATION WAS PROVIDED WITHIN A PRELIMINARY GEOTECHNICAL ENGINEERING REPORT PREPARED BY XXX.XXX.XXX.XXX, DATED XXXXXXXXX.

SURVEY NOTE:
 EXISTING INFORMATION TAKEN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY BOHLER, 4130 PARKLAKE AVENUE, SUITE 130, RALEIGH, NC 27612. PHONE: 919-578-9000 AND DATED OCTOBER 15, 2021 AND DESIGN DOCUMENTS PREPARED BY KIMLEY-HORN TITLED "PERRY FARMS SUBDIVISION" AND DATED JUNE 19, 2024.



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	KHA PROJECT: 118128003 DATE: 8/19/2024 SCALE: AS SHOWN DESIGNED BY: JAA DRAWN BY: JAA CHECKED BY: TRC
PRELIMINARY GRADING AND DRAINAGE PLAN	NC
PRIMROSE RALEIGH PREPARED FOR PRIMROSE SCHOOLS	RALEIGH
SHEET NUMBER C3.0	REVISIONS No. DATE BY

Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH Layout: C4.0 PRELIMINARY UTILITY PLAN August 30, 2024 11:32:47am K:\RAL_L\DEV\18128003_Primrose Raleigh\07_CAD Files\Sheets\C4.0 PRELIMINARY UTILITY PLAN.dwg
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HARTHAM PARK AVENUE
CITY OF RALEIGH PUBLIC ROW: BY OTHERS

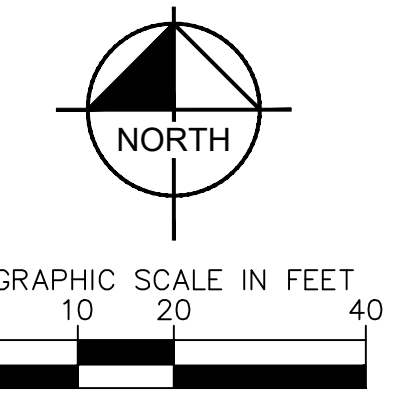
HARTHAM PARK AVENUE

PROPOSED
CHILD CARE
FACILITY
±13,545 SF

PROPOSED
LOT 3
5.30 ACRES
230,702 SQ. FT

FORESTVILLE RD.

PRIVATE DRIVE



UTILITY LEGEND	
---	PROPERTY LINE
W	WATER LINE
FW	FIRE LINE
SS	SANITARY SEWER LINE
E	ELECTRIC
FO	FIBER OPTIC
G	GAS
P	POWER
T	TELECOMMUNICATION
TV	CABLE
□	LIGHT POLE
⊞	WATER METER
⊞	GATE VALVE
⊞	POINT OF CONNECTION
⊞	BACKFLOW PREVENTOR
⊞	PIPE TEE/BENDS
⊞	REDUCER
⊞	FIRE HYDRANT (FH)
⊞	FIRE DEPARTMENT CONNECTION (FDC)
⊞	SANITARY SEWER CLEANOUT (SSCO)
⊞	SANITARY SEWER MANHOLE (SSMH)
⊞	SANITARY SEWER GREASE TRAP

NO.	REVISIONS	DATE	BY
1			
2			
3			
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NOT FOR CONSTRUCTION

KHA PROJECT	118128003
DATE	8/19/2024
SCALE	AS SHOWN
DESIGNED BY	JAA
DRAWN BY	JAA
CHECKED BY	TRC

PRIMROSE RALEIGH
PREPARED FOR
PRIMROSE SCHOOLS
RALEIGH NC

PRELIMINARY UTILITY
PLAN

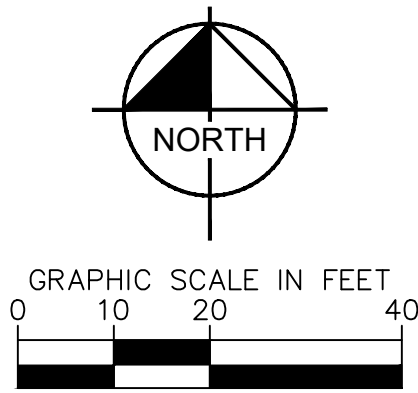
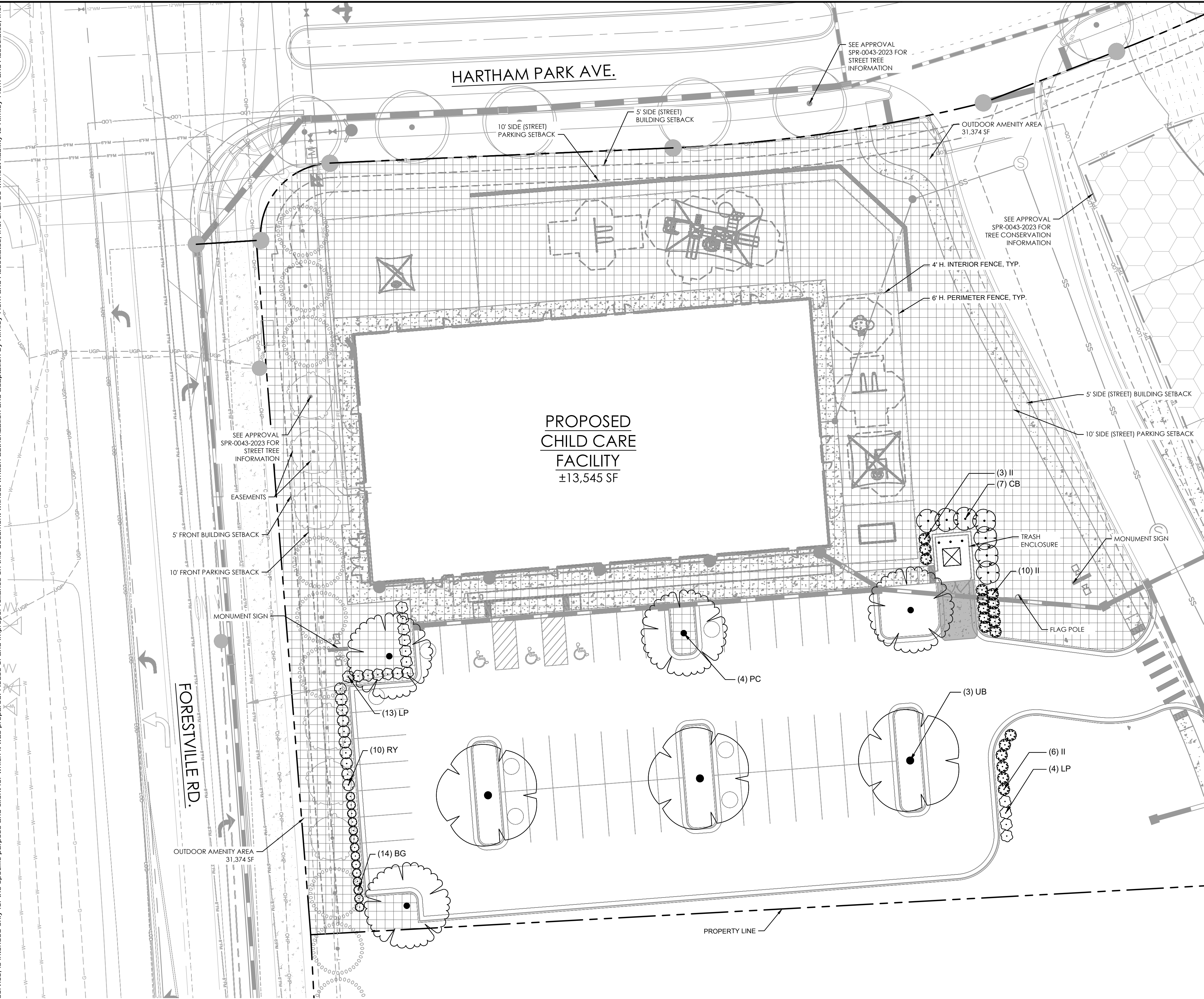
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C4.0

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Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH Layout: L-100 LANDSCAPE PLAN August 29, 2024 12:41:46pm K:\RAL_LDEV\118128003_Primrose Raleigh\07_CAD Files\PlanSheets\L-100.dwg
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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	HEIGHT
TREES							
	PC	4	PISTACIA CHINENSIS	CHINESE PISTACHE	B & B	2.5" CAL.	10'-12' HT.
	UB	3	ULMUS PARVIFOLIA 'UPMTF'	BOSQUE® LACEBARK ELM	B & B	2.5" CAL.	10'-12' HT.
SHRUBS							
	BG	14	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	5 GAL		18" MIN.
	CB	7	CAMELLIA JAPONICA 'BLACK TIE'	BLACK TIE CAMELLIA	5 GAL		18" MIN.
	II	19	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	5 GAL		18" MIN.
	LP	17	LOROPETALUM CHINENSE 'PEACK'	PURPLE PIXIE FRINGE FLOWER	5 GAL		18" MIN.
	RY	10	RHODODENDRON X 'ROBLEX'	AUTUMN LILY® ENCORE® AZALEA	5 GAL		18" MIN.

LANDSCAPE PLAN LEGEND	TOTAL PROVIDED
	OUTDOOR AMENITY AREA 31,374 SF

AREA TO BE LANDSCAPED	CODE REQUIREMENT	LOCATION	LINEAR FEET / PARKING SPACES	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
STREET TREES	SHADE TREES SPACED 40' O.C.	HARTHAM PARK AVE	322 LF	322 / 40 = 8 SHADE TREES	8 EXISTING SHADE TREES	SECTION 7.2.4
	UNDERSTORY TREES SPACED 20' O.C. (DUE TO OVERHEAD POWER)	FORESTVILLE ROAD	260 LF	260 / 20 = 13 SHADE TREES	13 EXISTING SHADE TREES	
PARKING LOT	1 SHADE TREE / 10 SPACES AND 2,000 SF PARKING AREA 30 SHRUBS / 100 LF	PARKING LOT	56 SPACES 2,381 SF 170 LF	56 / 10 = 6 SHADE TREES 2,381 SF / 2,000 = 2 SHADE TREE (170 LF / 100) * 30 = 51 SHRUBS	7 SHADE TREES 57 SHRUBS	SECTION 7.1.7

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

REVISIONS

No.	DATE	BY

KHA PROJECT
118128003

DATE
8/19/2024

SCALE
AS SHOWN

DESIGNED BY
JAA

DRAWN BY
JAA

CHECKED BY
TRC

PRIMROSE RALEIGH
PREPARED FOR
PRIMROSE SCHOOLS

LANDSCAPE PLAN

NC

SHEET NUMBER
L-100

RALEIGH

Plotted By: Alexander, Jamal Sheet Set: PRIMROSE RALEIGH Layout: L-200 LANDSCAPE DETAILS August 29, 2024 12:41:55pm K:\RAL_DEV\118128003_Primrose Raleigh\07_CAD Files\PlanSheets\L-DET_L-200.dwg
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DO NOT PRUNE LEADER. PRUNE OR CUT ONLY DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB

MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM

PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL.

ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION:
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
 TREES@RALEIGHNC.GOV
 WWW.RALEIGHNC.GOV

NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL	
REVISIONS	DATE: 8/20/24 NOT TO SCALE
1	12/20/19
TREE PLANTING DETAIL	
TPP-03	

1
L-200
STANDARD TREE PLANTING
N.T.S.

PLANT SPACING NOTES:

- SEE PLANTING PLAN FOR GROUNDCOVER PLANTING AREAS.
- PLANTS SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
- SEE PLANT SCHEDULE FOR PLANT SPACING REQUIREMENTS ("X" DIMENSION IN THIS DETAIL).

SHRUB AND ORNAMENTAL GRASS PLANTING NOTES:

- ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
- ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
- MULCH TYPE FOR PROJECT: DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
- PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.
- ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
- SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED BY CERTIFIED TESTING AGENCY.
- SEE PLAN FOR SPACING.

SOIL AMENDMENT NOTES:

- SOIL INSTRUCTIONS FOR ALL NEW PLANTING AREAS (INCLUDING SEED AREAS) AT PREVIOUSLY PAVED LOCATIONS: REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS. FOR ALL AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES, THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 12" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. FOR ALL AREAS TO RECEIVE SOD AND / OR SEED, THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 3" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS.
- SOIL INSTRUCTIONS FOR ALL EXISTING PLANTING AREAS (NOT PREVIOUSLY PAVED LOCATIONS): THE CONTRACTOR SHALL TAKE A MINIMUM OF FOUR (4) SAMPLES THROUGHOUT THE PROJECT SITE AND SHALL SUBMIT THEM TO BE TESTED TO A CERTIFIED SOIL TESTING AGENCY. THE CONTRACTOR SHALL AMEND ALL EXISTING SOIL WITHIN EXISTING DISTURBED PLANTING AREAS PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES SHALL BE AMENDED TO A DEPTH OF 6" MINIMUM. AREAS TO RECEIVE SOD SHALL BE AMENDED TO A DEPTH OF 3" MINIMUM.

EXISTING SITE TREE AND SHRUB MAINTENANCE NOTES:

- LIMB TREES ON SITE TO A MINIMUM HEIGHT OF 8', MEASURED FROM ADJACENT GRADE OF STREET, PAVING, OR LANDSCAPE AREA.
- PRUNE SHRUBS WITHIN VEHICLE SIGHT DISTANCE TRIANGLES TO A MAXIMUM HEIGHT OF 30" FROM GRADE OF ADJACENT STREET.
- CROWN CLEANING AND ELEVATION PRUNING SHALL BE COMPLETED FOR ALL EXISTING CANOPY TREES BY ISC CERTIFIED ARBORIST. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH PROJECT LANDSCAPE ARCHITECT, OWNER, CITY ARBORIST, AND PROJECT ARBORIST PRIOR TO ENGAGING IN ANY PRUNING ACTIVITIES.

2
L-200
PLANT SPACING
1/2" = 1'-0"

3
L-200
SHRUB AND ORNAMENTAL GRASS PLANTING
1/2" = 1'-0" SECTION

GENERAL LANDSCAPE NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE THREE(3) INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND LANDSCAPED SURFACES).
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL COMPLETELY WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
- THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH IN DARK BROWN OR CURRENT CITY OF RALEIGH STANDARD TO A DEPTH OF THREE (3) INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND THE RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO). FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
- THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT WEED GROWTH.

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- SOIL INSTRUCTIONS FOR ALL NEW PLANTING AREAS (INCLUDING SEED AREAS) AT PREVIOUSLY PAVED LOCATIONS: REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS. FOR ALL AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVERS, AND / OR ORNAMENTAL GRASSES, THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 12" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS. FOR ALL AREAS TO RECEIVE SOD AND / OR SEED, THE CONTRACTOR SHALL REMOVE EXISTING SOIL AND ADD 3" OF NEW TOPSOIL TO MEET THE PLANTING MIX STANDARDS. TOPSOIL SHALL BE TESTED BY A CERTIFIED SOIL TESTING AGENCY AND SHALL BE AMENDED PER THE RECOMMENDATIONS FOUND WITHIN THE SOILS ANALYSIS.
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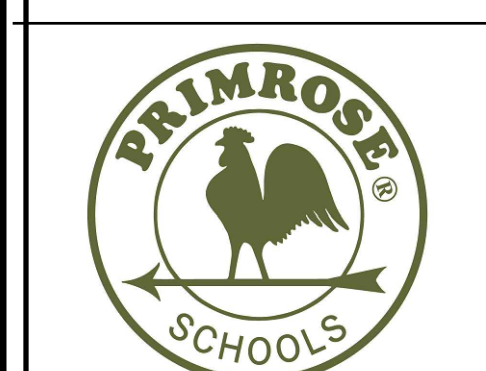


KHA PROJECT 118128003		DATE 8/19/2024	SCALE AS SHOWN	DESIGNED BY JAA	DRAWN BY JAA	CHECKED BY TRC	
LANDSCAPE DETAILS							
PRIMROSE RALEIGH PREPARED FOR PRIMROSE SCHOOLS							
RALEIGH NC							
SHEET NUMBER L-200							
						REVISIONS	DATE
						No.	
						7	
						6	
						5	
						4	
						3	
						2	
						1	

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ADA ARCHITECTS
17710 Detroit Avenue, Lakewood, Ohio 44107
Phone (216) 521-9134 Fax (216) 521-1624
www.adaarchitects.com

PRIMROSE SCHOOLS:
ROLESVILLE, NC
FORESTVILLE RD.

REVISIONS

#	DATE	TYPE
1		
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EXTERIOR ELEVATIONS

DATE 08/15/2024
JOB NO. 23397

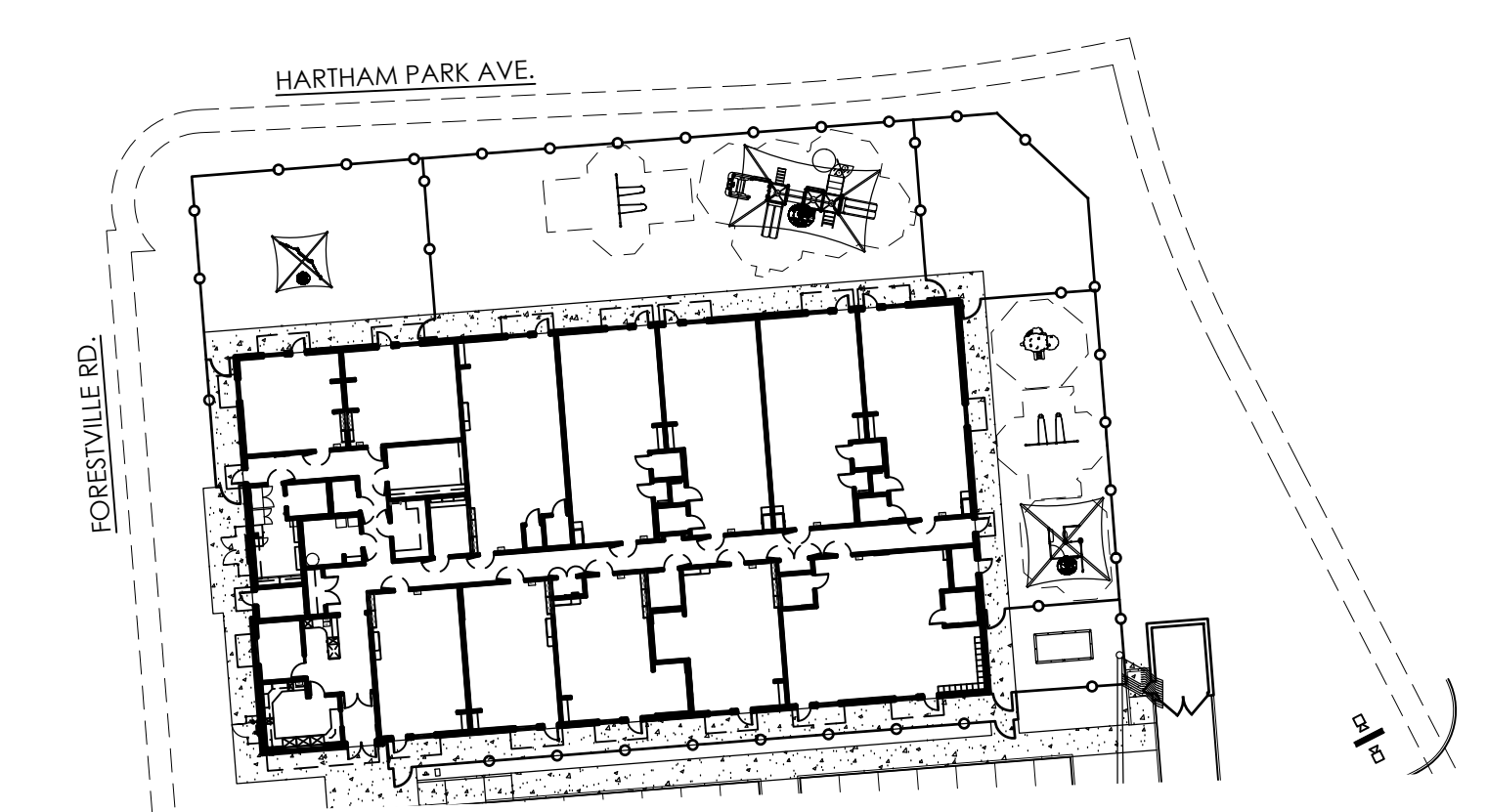
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SHEET NO.

ELEVATION KEYED NOTES

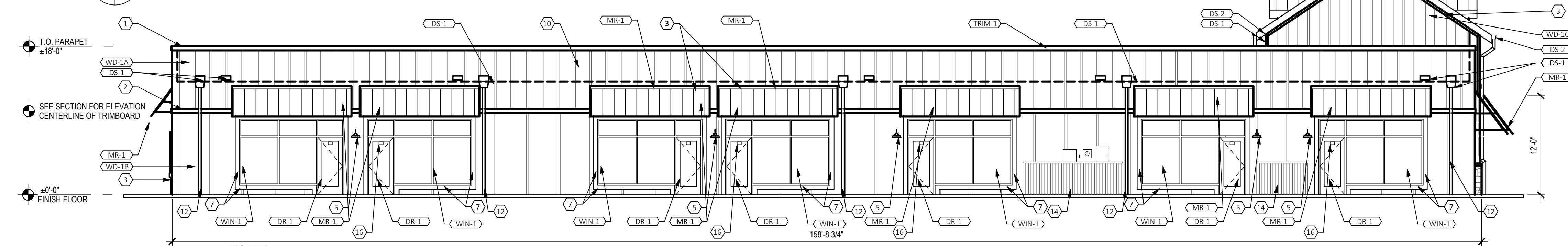
- 5/4 x 8 TRIMBOARD, WD - 2
- 5/4 x 6 TRIMBOARD, WD - 2
- 5/4 x 4 TRIMBOARD, WD - 2
- 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL.
- LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- TRIM BOARD AT OFFICE & CONF ROOM WINDOWS: HORIZ TO BE 5/4 x 6, VERT TO BE 5/4 x 4, BOTH WD-3
- TRIM BOARD AT ALL EXTERIOR DOORS AND CLASSROOM WINDOWS TO BE 5/4 x 6, WD - 3
- 60" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL
- CUPOLA WITH WEATHERVANE. PAINT ALL SURFACES TO MATCH "ARCTIC WHITE", ROOF TO BE MR - 1 REFER TO 1A/A6.3 FOR CONSTRUCTION.
- ROOF LINE BEHIND PARAPET WALL.
- GLAZING TO RECEIVE WINDOW FILM, TINT - 1. SEE FINISH SCHEDULE SHEET A2.2
- DOWNSPOUTS TIED INTO UNDERGROUND STORM SEWER BELOW GRADE.
- KNOX BOX OR APPROVED EQUAL. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL
- 4' - 0" HIGH SOLID VINYL FENCE WITH (2) 3' - 0" W GATES. COLOR TO MATCH "ARCTIC WHITE"
- BEIGE ALUMINUM PLAQUE W/6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL.
- 4" REFLECTIVE NUMBERS SEE SIGNAGE PACKAGE

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION	SPECIFICATION
MR-1	METAL ROOF	BERRIDGE CEE-LOCK SYSTEM. COLOR: DARK BRONZE.
ST-1	STONE WAINGSCOT	CORONADO: EASTERN MOUNTAIN LEDGE, HURON
ST-2	STONE CAP @ WAINGSCOT	CORONADO: CHISELED STONE SILL. COLOR: LIGHT GREY.
TRIM	MISC METAL TRIM & FLASHING	ANY MISC METAL FLASHING AND TRIM NOT NOTED AS TRIM-1 OR TRIM-2 SHOULD MATCH COLOR OF ADJACENT SURFACE. CONTACT ARCHITECT FOR DIRECTION AS REQ'D.
TRIM-1	MTL TRIM @ PARAPET CAP	BM COLOR REVIEW HOC - 21 WINTER WHITE. (COLOR TO MATCH "ARCTIC WHITE")
TRIM-2	MTL TRIM @ METAL ROOF	COLOR: TO MATCH "MR-1"
WD-1A	BOARD & BATTEN SIDING (ABOVE 10' - 0")	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (2 1/2" WIDE @ 2' - 0" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE
WD-1B	BOARD & BATTEN SIDING (BELOW 10' - 0")	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (3 1/2" WIDE @ 4' - 0" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE
WD-1C	BOARD & BATTEN SIDING (@ ENTER TOWER)	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (2 1/2" WIDE @ 16" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE
WD-2	TRIM (FASCIA, FRIEZE, RUNNING TRIM)	HARDIE TRIM BOARDS, 5/4 NT3 SMOOTH, VARIOUS WIDTHS AS REQUIRED (SEE ELEVATIONS). COLOR: ARCTIC WHITE (PRIMED AND FIELD PAINTED)
WD-3	TRIM (DOOR AND WINDOW TRIM)	HARDIE TRIM BOARDS, 5/4 NT3 SMOOTH, VARIOUS WIDTHS AS REQUIRED (SEE ELEVATIONS) COLOR: AGED PEWTER (PRIMED AND FIELD PAINTED)
WD-4	TRIM (FASCIA TRIM @ METAL ROOF)	HARDIE TRIM BOARDS, 5/4 NT3 SMOOTH, SEE WALL SECTIONS FOR SIZE. COLOR: PAINT TO MATCH MR-1
ACC-1	SHUTTERS	EKENA MILLWORK: TWO BATTEN W/Z-BAR BOARD & BATTEN COMPOSITE SHUTTERS. 3' - 6" T x 1' - 6" W. SHUTTERS TO BE ORDERED PRIMED, PAINT TO MATCH "AGED PEWTER"
ACC-2	LOUVERS	EKENA MILLWORK: 65"W X 21 3/4"H X 1 1/4" P, PITCH 8:12 TRIANGLE GABLE VENT, NON-FUNCTIONAL. ITEM NO. GVTR65X21D (COLOR TO MATCH "ARCTIC WHITE")
WV-1	WEATHER VANE	LARGE COPPER ROOSTER WEATHERVANE. SEE 1A/A6.3 FOR ADDITIONAL INFORMATION.
DS-1	SCUPPERS, DOWNSPOUTS	BM COLOR REVIEW HOC - 21 WINTER WHITE. (COLOR TO MATCH "ARCTIC WHITE"); 6" GUTTERS AND 6" DOWNSPOUTS U.N.C.
DS-2	GUTTERS ALONG METAL ROOF	COLOR: TO MATCH "MR - 1"
DR-1	STOREFRONT	KAWNEER
DR-2	FULL LITE DOOR	EXTERIOR INSULATED METAL FULL LITE DOOR; COLOR (INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
WIN-1	STOREFRONT	KAWNEER
WIN-2	VINYL WINDOWS (@ OFFICE)	BUILDER SERIES 1100 RECTANGLE. COLOR: WHITE. SEE WINDOW SCHEDULE

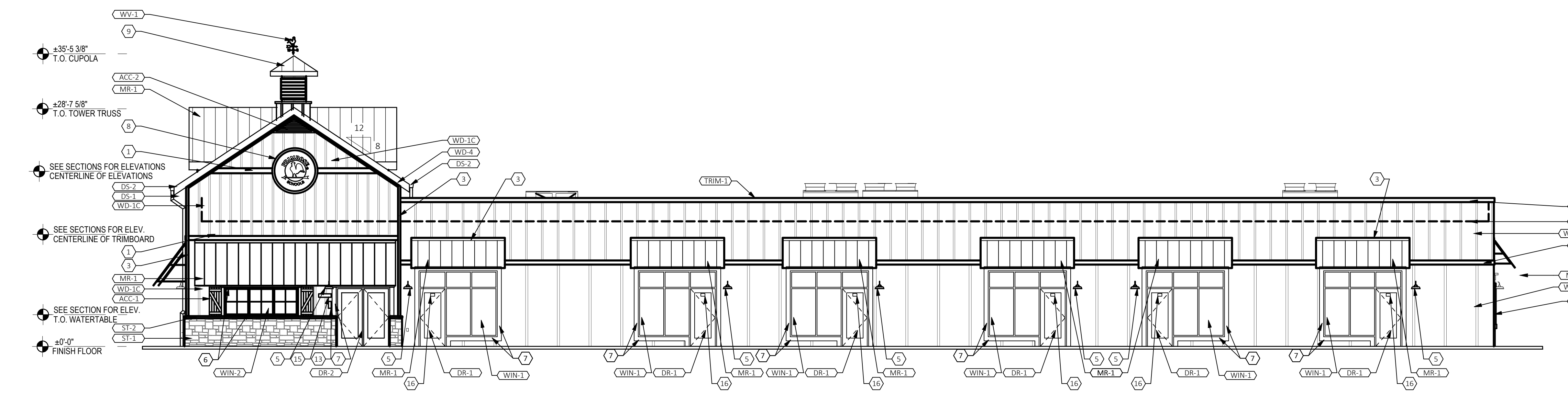


KEY PLAN
NTS

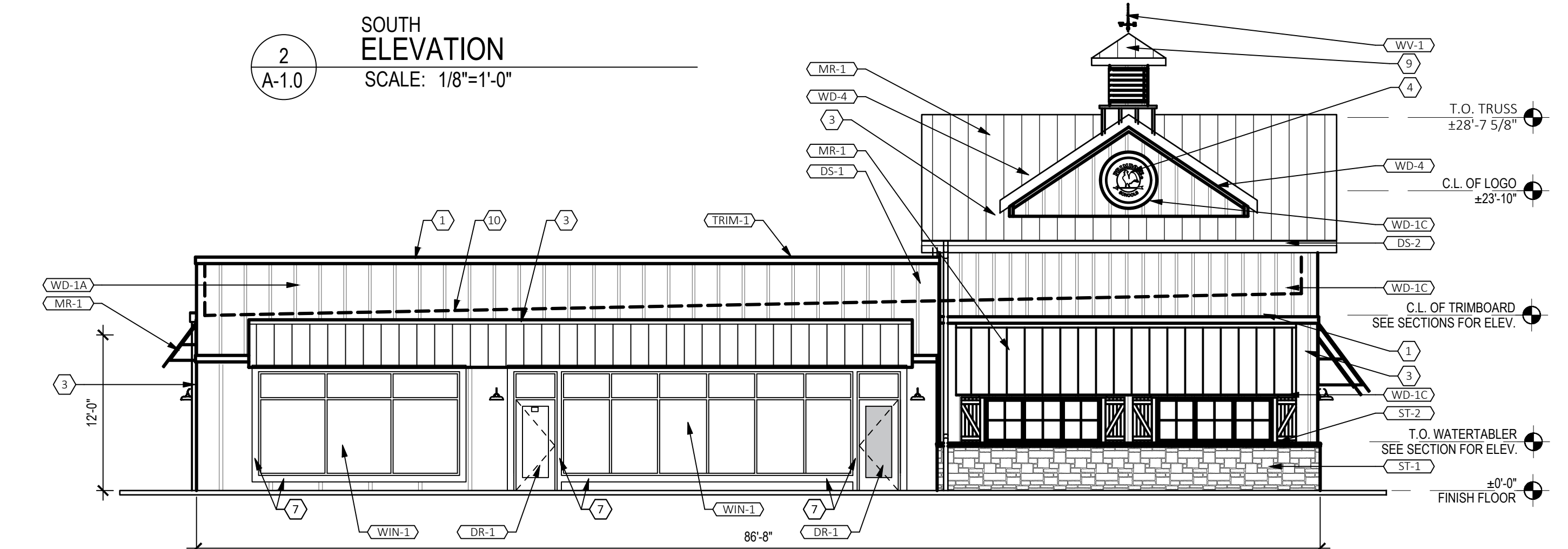


1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

TRANSPARENCY REQUIRED: 33% OR 623.0 SF
TRANSPARENCY PROVIDED: 34.5% OR 651.0 SF

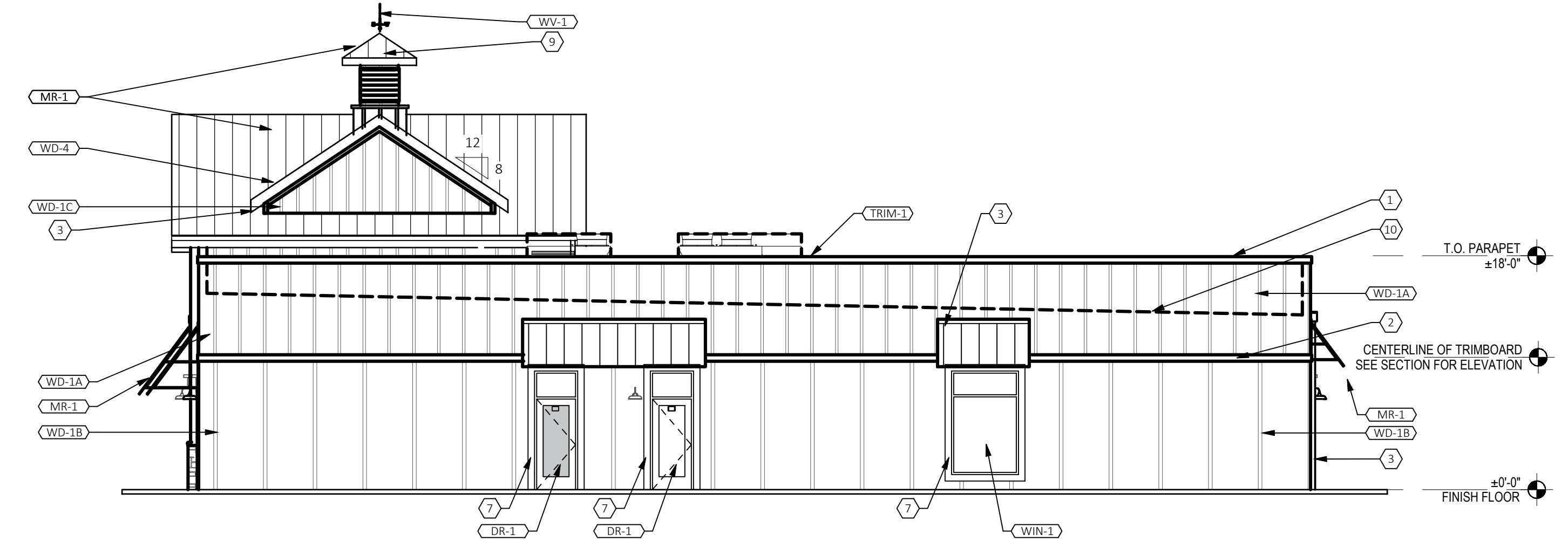


2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 WEST ELEVATION
SCALE: 1/8"=1'-0"

TRANSPARENCY REQUIRED: 33% OR 341.55 SF
TRANSPARENCY PROVIDED: 38.5% OR 399.0 SF

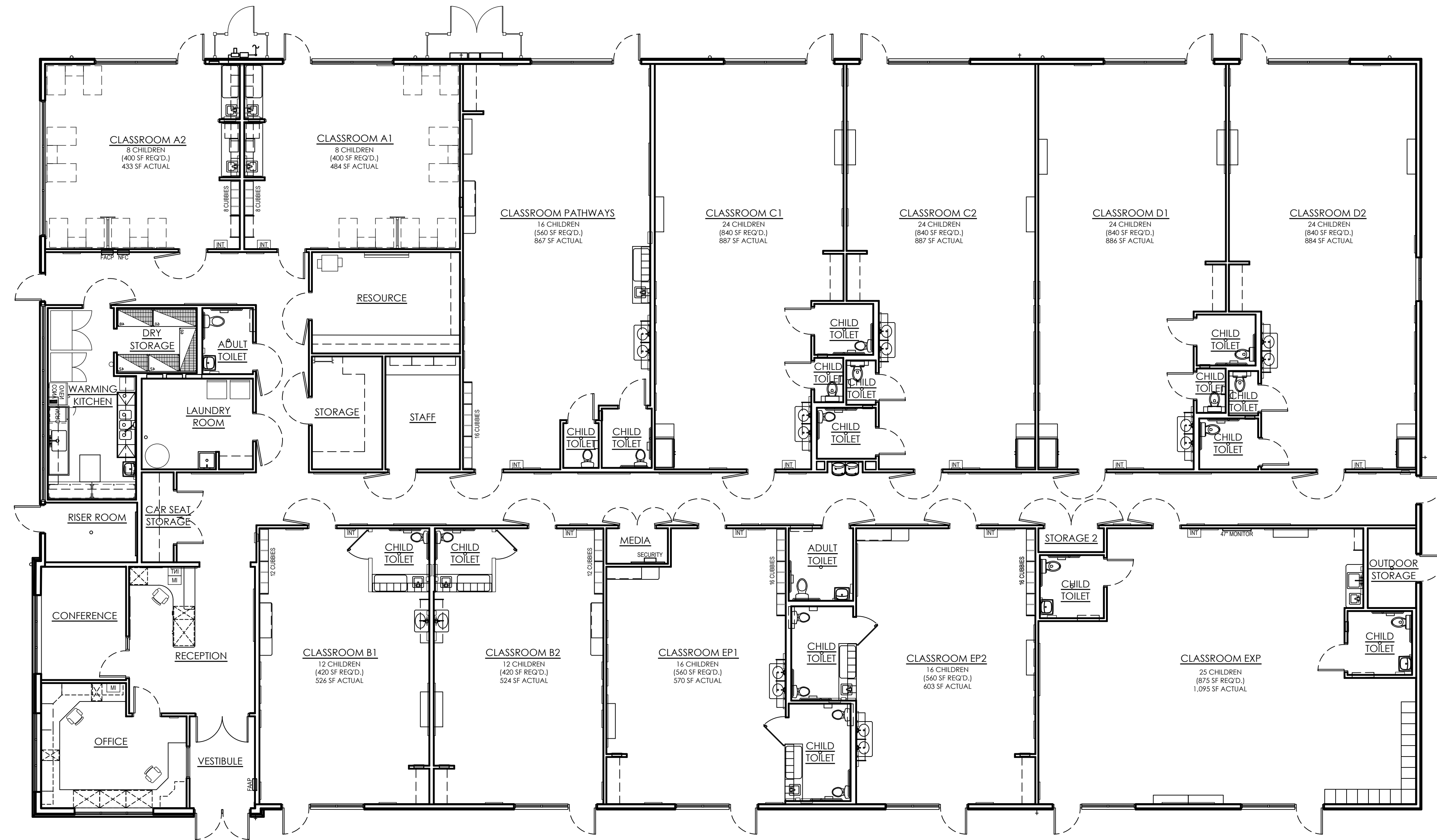


4 EAST ELEVATION
SCALE: 1/8"=1'-0"

CLASSROOM	AGES			RATIO			MAX GROUP SIZE			SQUARE FOOTAGE / FTE			TOTAL SQUARE FOOTAGE		PROPOSED CAPACITY	
	PSFC	NC	PROPOSED	PSFC	NC	PROPOSED	PSFC	NC	PROPOSED	PSFC	NC	PROPOSED	REQUIRED	PROPOSED	CHILD	STAFF
A1 - INFANTS	0 - 12 MONTHS	0 - 12 MONTHS	0 - 12 MONTHS	1:4	1:5	1:4	8	10	8	50	25	50	400	484	8	2
A2 - INFANTS	0 - 12 MONTHS	0 - 12 MONTHS	0 - 12 MONTHS	1:4	1:5	1:4	8	10	8	50	25	50	400	433	8	2
B1 - TODDLERS	12 - 24 MONTHS	12 - 24 MONTHS	12 - 24 MONTHS	1:6	1:6	1:6	12	12	12	35	25	35	420	524	12	2
B2 - TODDLERS	12 - 24 MONTHS	12 - 24 MONTHS	12 - 24 MONTHS	1:6	1:6	1:6	12	12	12	35	25	35	420	524	12	2
EP1 - EARLY PRESCHOOL	24 - 29 MONTHS	2 - 3 YEARS	24 - 29 MONTHS	1:8	1:10	1:8	16	20	16	35	25	35	560	570	16	2
EP2 - EARLY PRESCHOOL	30 - 35 MONTHS	2 - 3 YEARS	30 - 35 MONTHS	1:8	1:10	1:8	16	20	16	35	25	35	560	603	16	2
PW - PATHWAYS	30 - 42 MONTHS	2 - 3 YEARS	30 - 42 MONTHS	1:8	1:10	1:8	16	20	16	35	25	35	560	867	16	2
C1 - PRESCHOOL	3 YEARS	3 - 4 YEARS	3 YEARS	1:12	1:15	1:12	24	25	24	35	25	35	840	887	24	2
C2 - PRESCHOOL	3 YEARS	3 - 4 YEARS	3 YEARS	1:12	1:15	1:12	24	25	24	35	25	35	840	887	24	2
D1 - PRE KINDERGARTEN	4 YEARS	4 - 5 YEARS	4 YEARS	1:12	1:20	1:12	24	25	24	35	25	35	840	886	24	2
D2 - PRE KINDERGARTEN	4 YEARS	4 - 5 YEARS	4 YEARS	1:12	1:20	1:12	24	25	24	35	25	35	840	884	24	2
EXP - EXPLORERS	5 YEARS +	5 YEARS +	5 YEARS +	1:15	1:25	1:15	30	25	25	35	25	35	875	1095	25	2
TOTALS:													7555	8646	209	24

BUILDING: ±13,545 SF
 PROVIDES AT LEAST 75 SQUARE FEET OF USABLE SPACE PER CHILD USING THE OUTDOOR LEARNING ENVIRONMENT AT ONE TIME.
 PLAYGROUND: ±3,975 SF
 PLAYGROUND PROVIDED: ±10,293 SF

NORTH CAROLINA PLUMBING CODE REQUIRES SEPARATE TOILET FACILITIES FOR MALE AND FEMALE CHILDREN.
 PARTITIONS AND HAND SINKS MAY BE REQUIRED IN POTTY PODS. ADDITIONAL VERIFICATION REQUIRED.



FIT PLAN A
 SCALE 1/8"=1'-0"

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FIT PLAN

DATE 08/15/2024

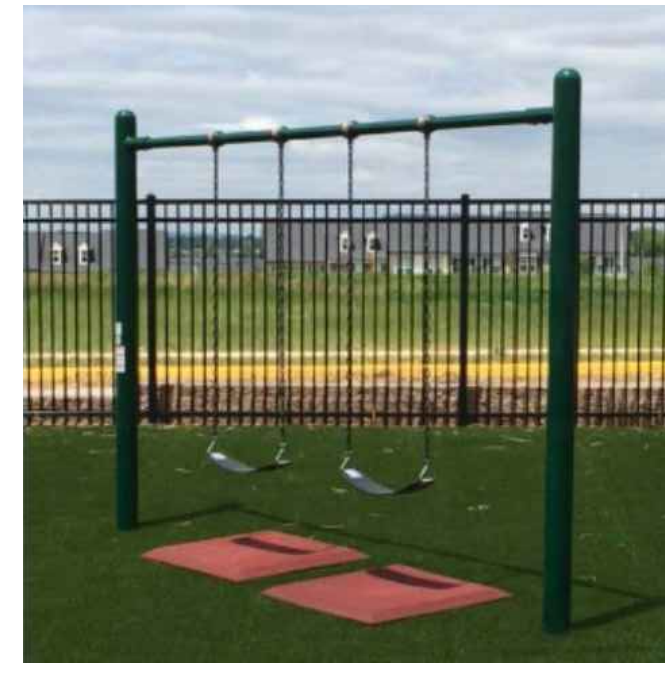
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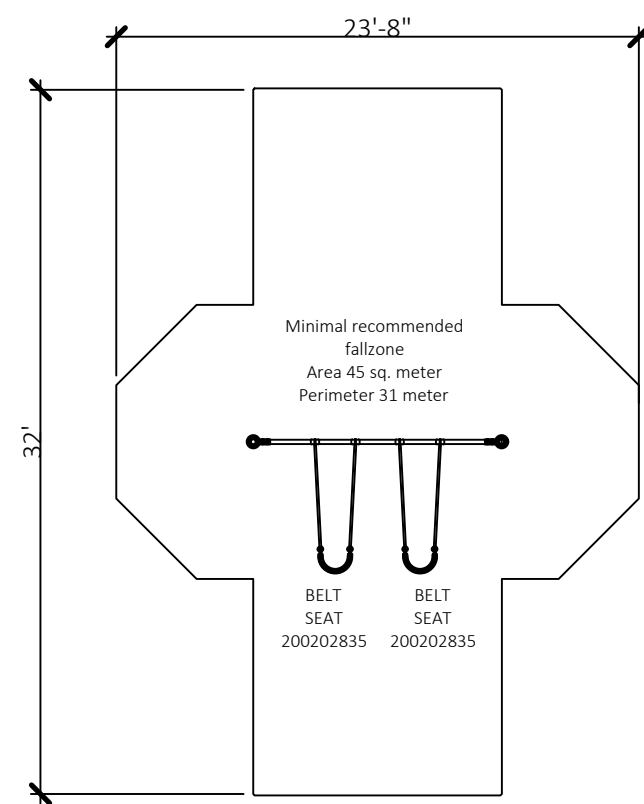
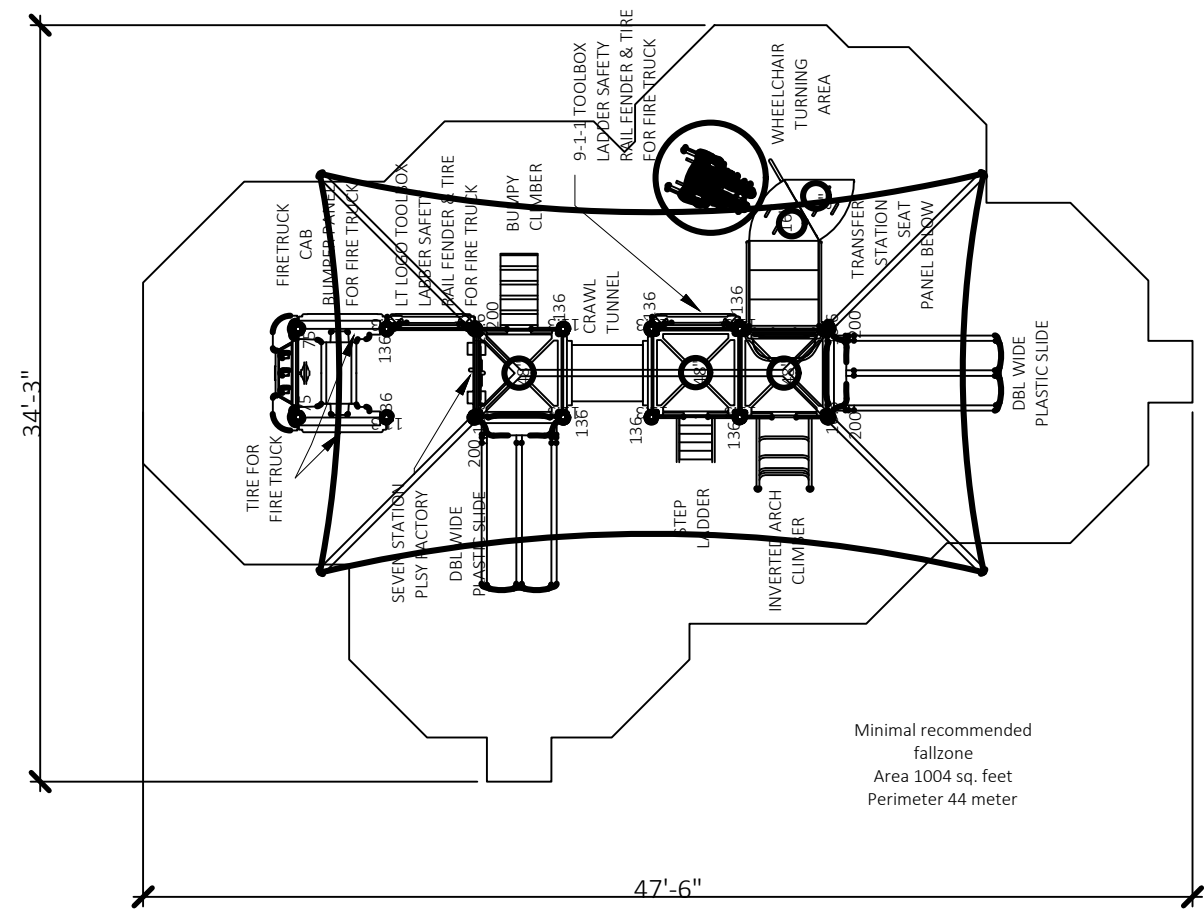
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PRESCHOOL / AFTER SCHOOL - FIRE TRUCK UNIT WITH SHADE TOPPER



PRESCHOOL / AFTER SCHOOL - BELT SWINGS



1 AFTER SCHOOL/PRESCHOOL PLAYGROUND EQUIPMENT
A4.0 SCALE: NTS



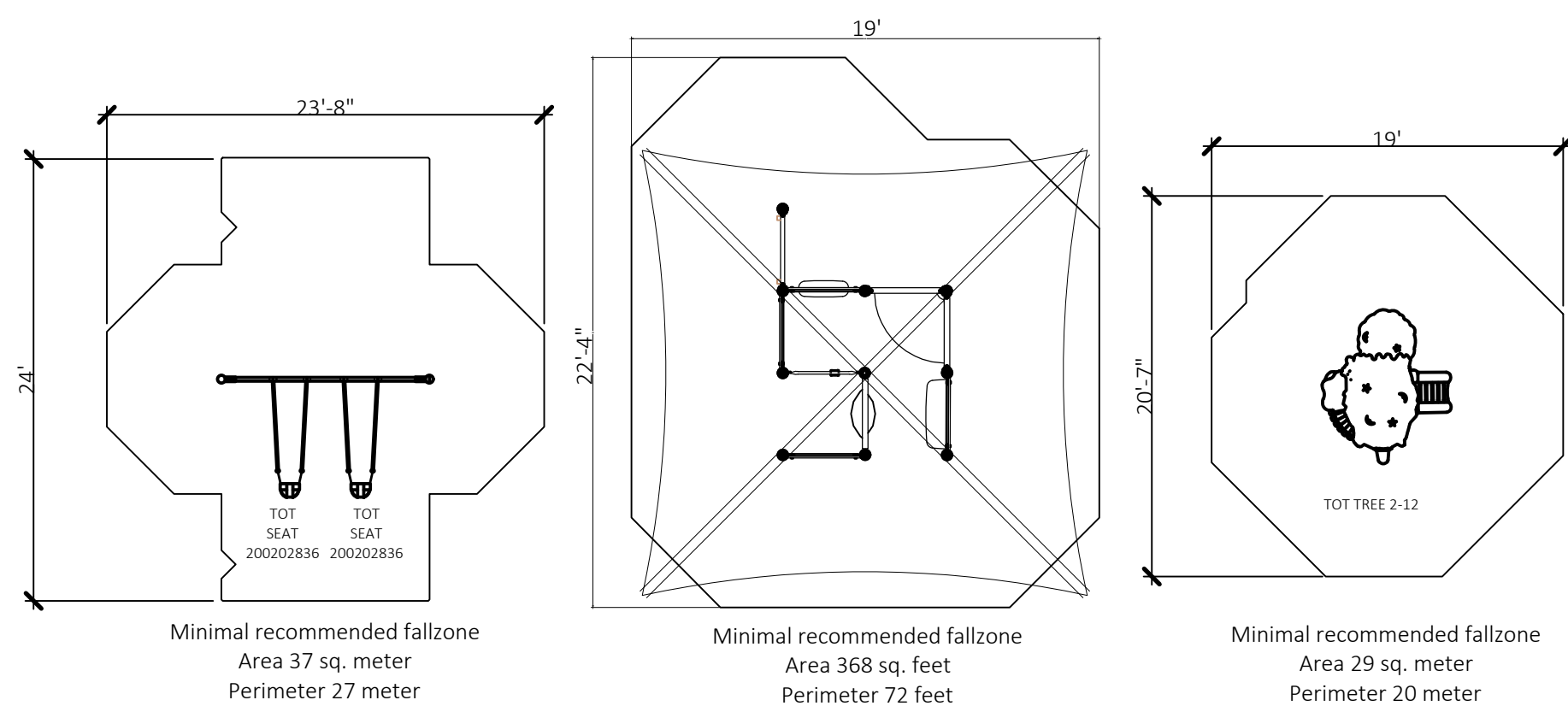
EARLY PRESCHOOL - MAXPLAY TOT SWINGS



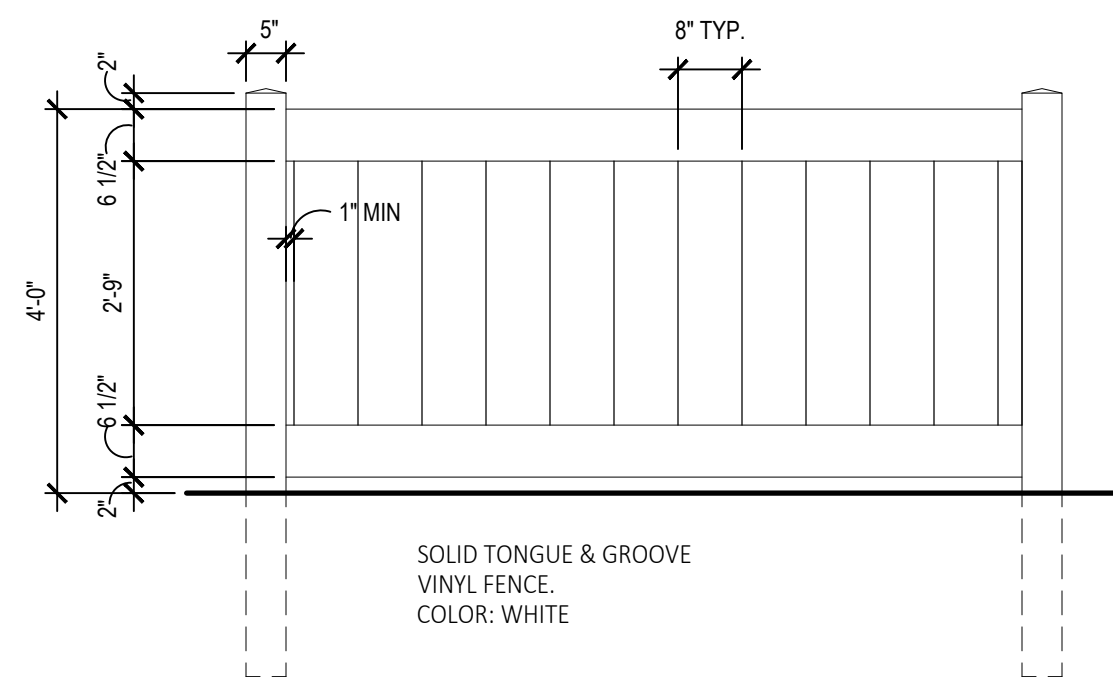
EARLY PRESCHOOL - PB GROUND UNIT WITH SHADE TOPPER



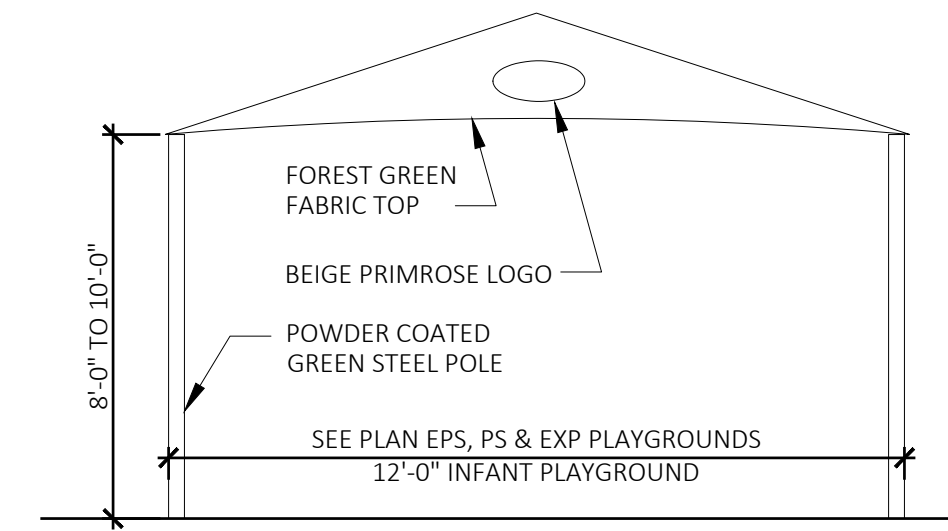
EARLY PRESCHOOL - TOT TREE



2 EARLY PRESCHOOL PLAYGROUND EQUIPMENT
A4.0 SCALE: NTS



7 VINYL FENCE ELEVATION
A4.0 SCALE: 1/2" = 1'-0"



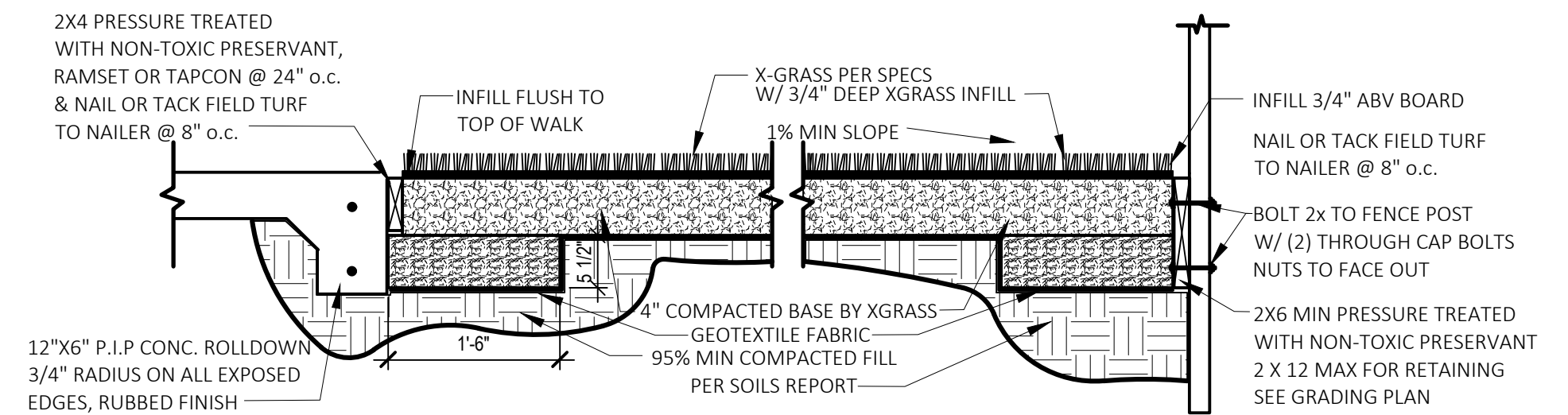
3 SHADE SHELTER
A4.0 SCALE: 1/4" = 1'-0"



INFANT - 3 PANEL UNIT WITH 12'X12'X8' INDEPENDENT SHADE

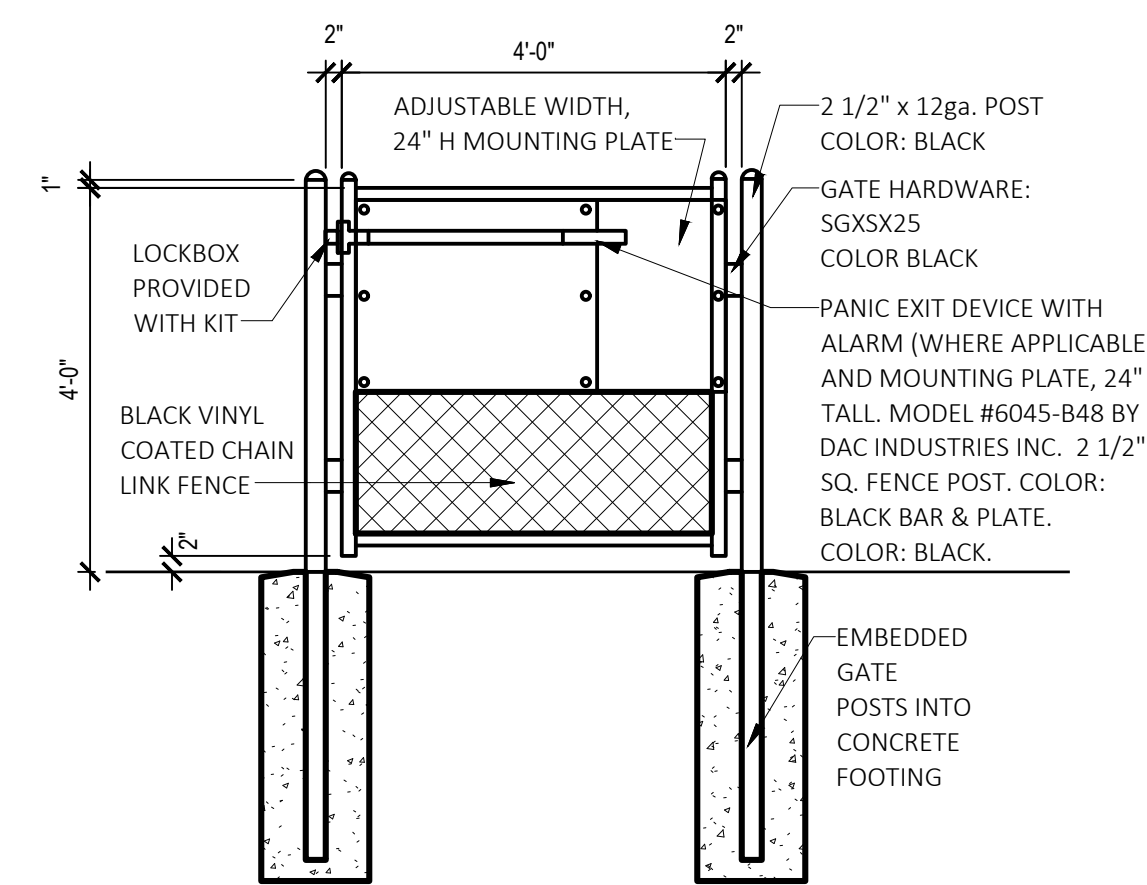


PRIMROSE PATCH

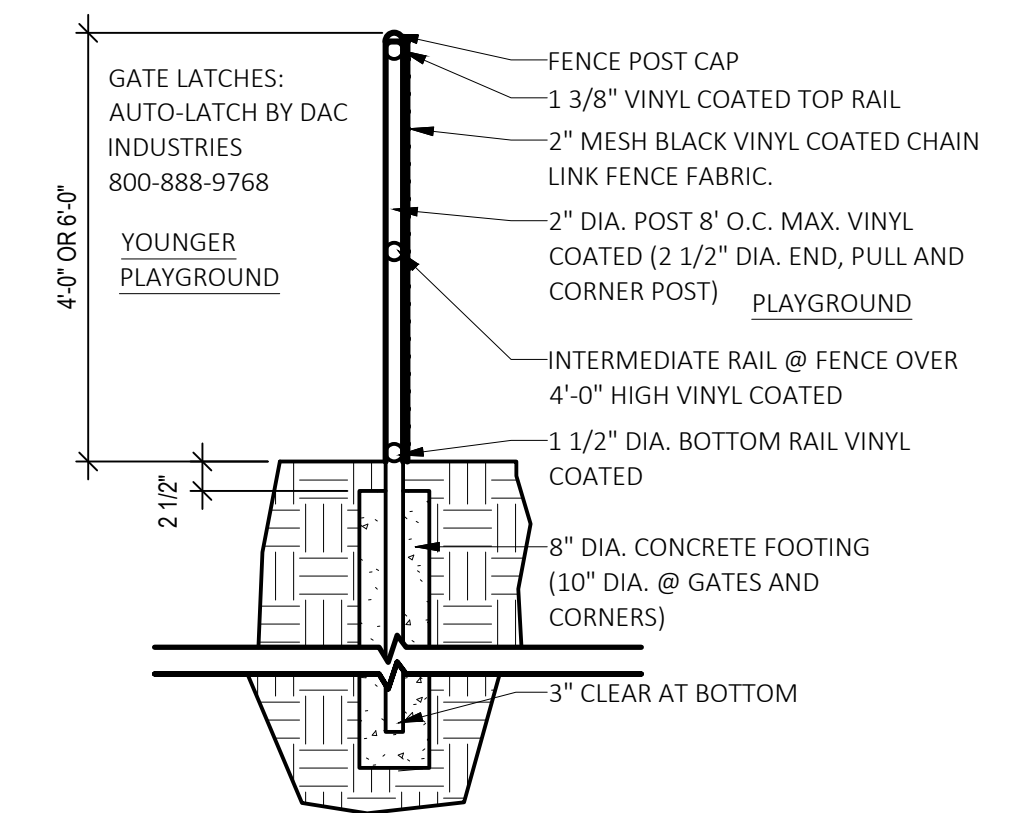


NOTES:
FALL SURFACING SHALL COMPLY WITH ASTM F1951 FOR WHEELCHAIR ACCESSIBILITY & ASTM F1292 FOR FALL ATTENUATION.

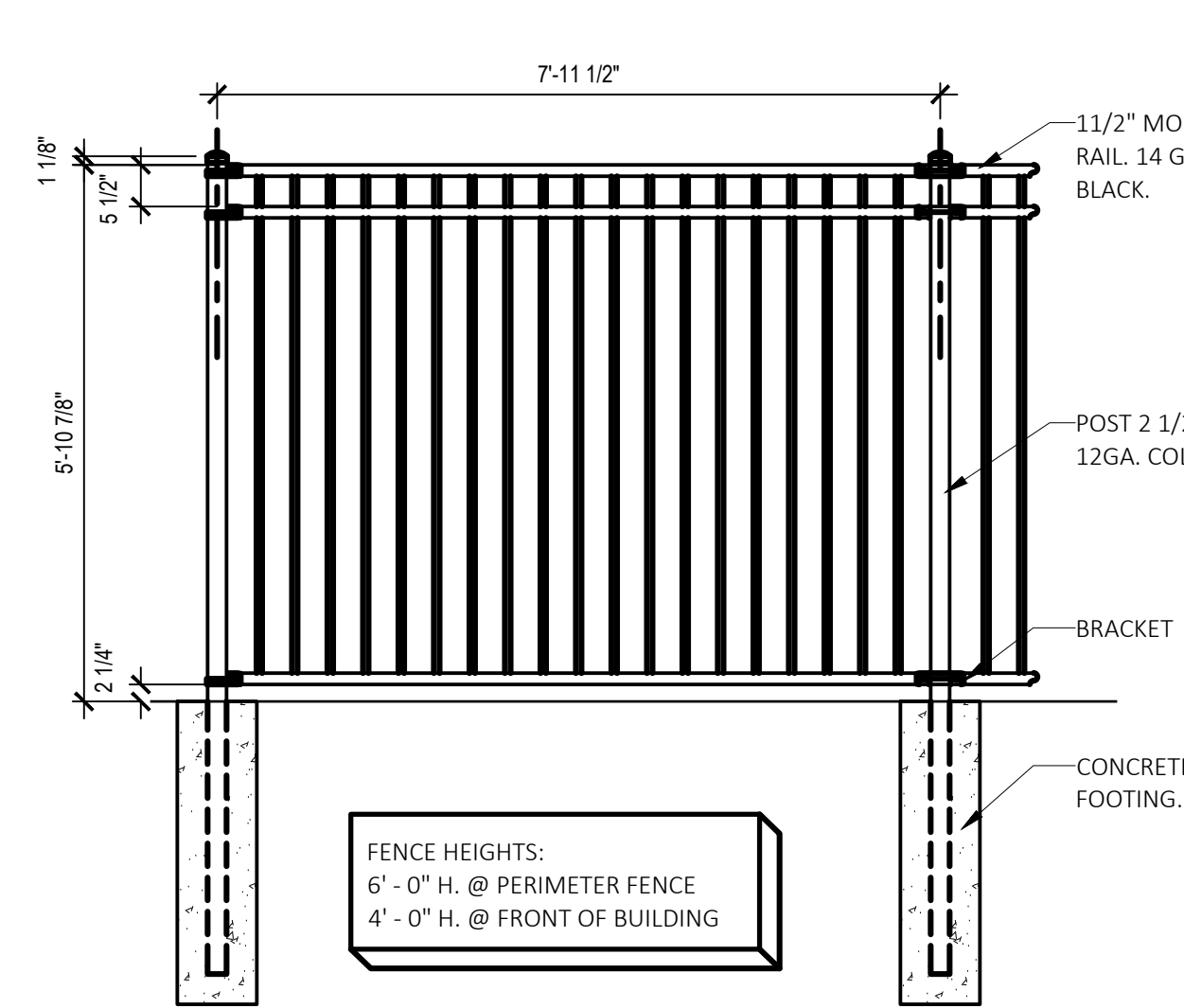
4 ARTIFICIAL TURF
A4.0 SCALE: 3/4" = 1'-0"



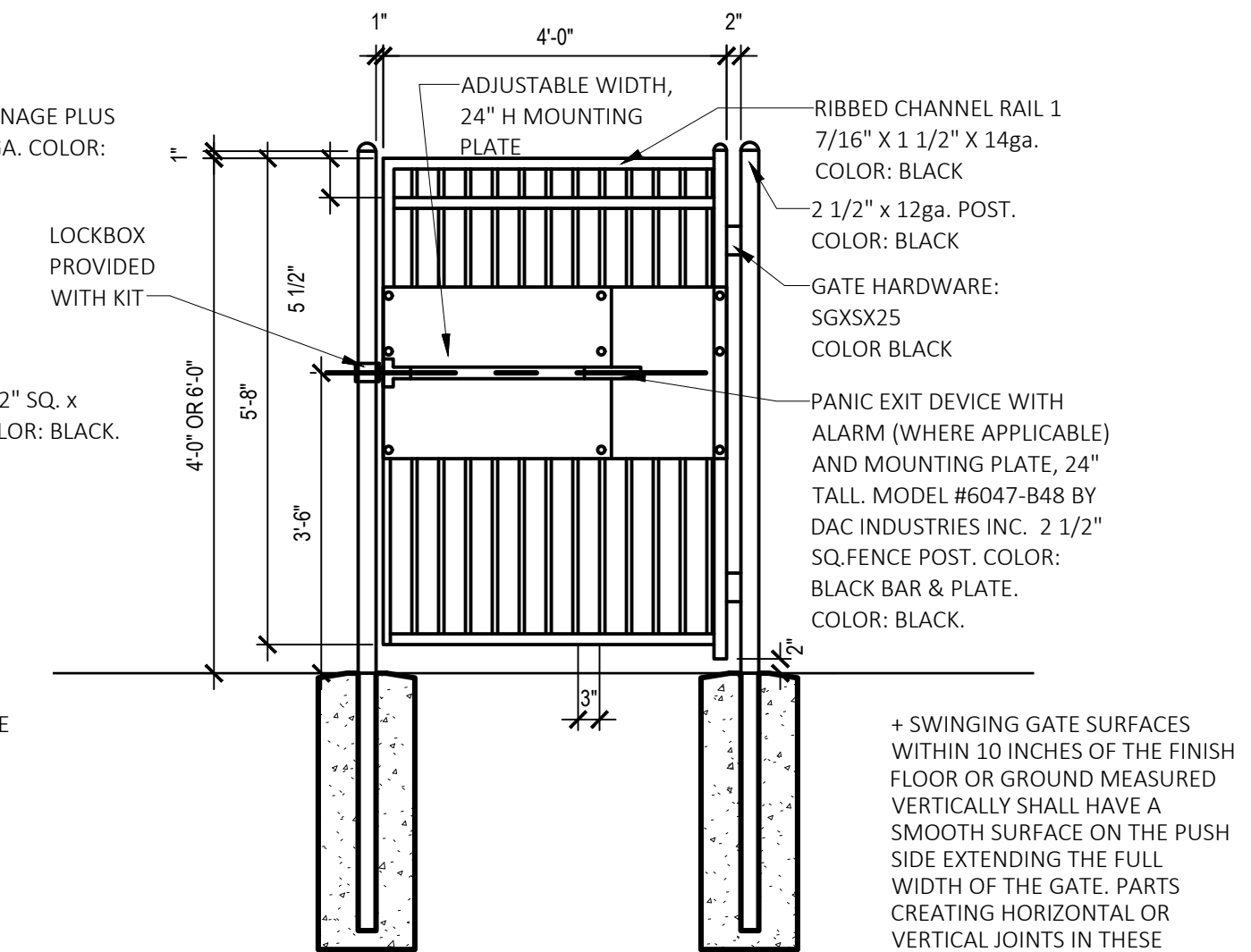
5 GATE ELEVATION
A4.0 SCALE: 1/2" = 1'-0"



6 CHAIN LINK FENCE
A4.0 SCALE: 3/4" = 1'-0"



8 FENCE ELEVATION
A4.0 SCALE: 1/2" = 1'-0"



9 GATE ELEVATION
A4.0 SCALE: 1/2" = 1'-0"

* SWINGING GATE SURFACES WITHIN 10 INCHES OF THE FINISH FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16 INCH OF THE SAME PLANE AS THE OTHER. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED.

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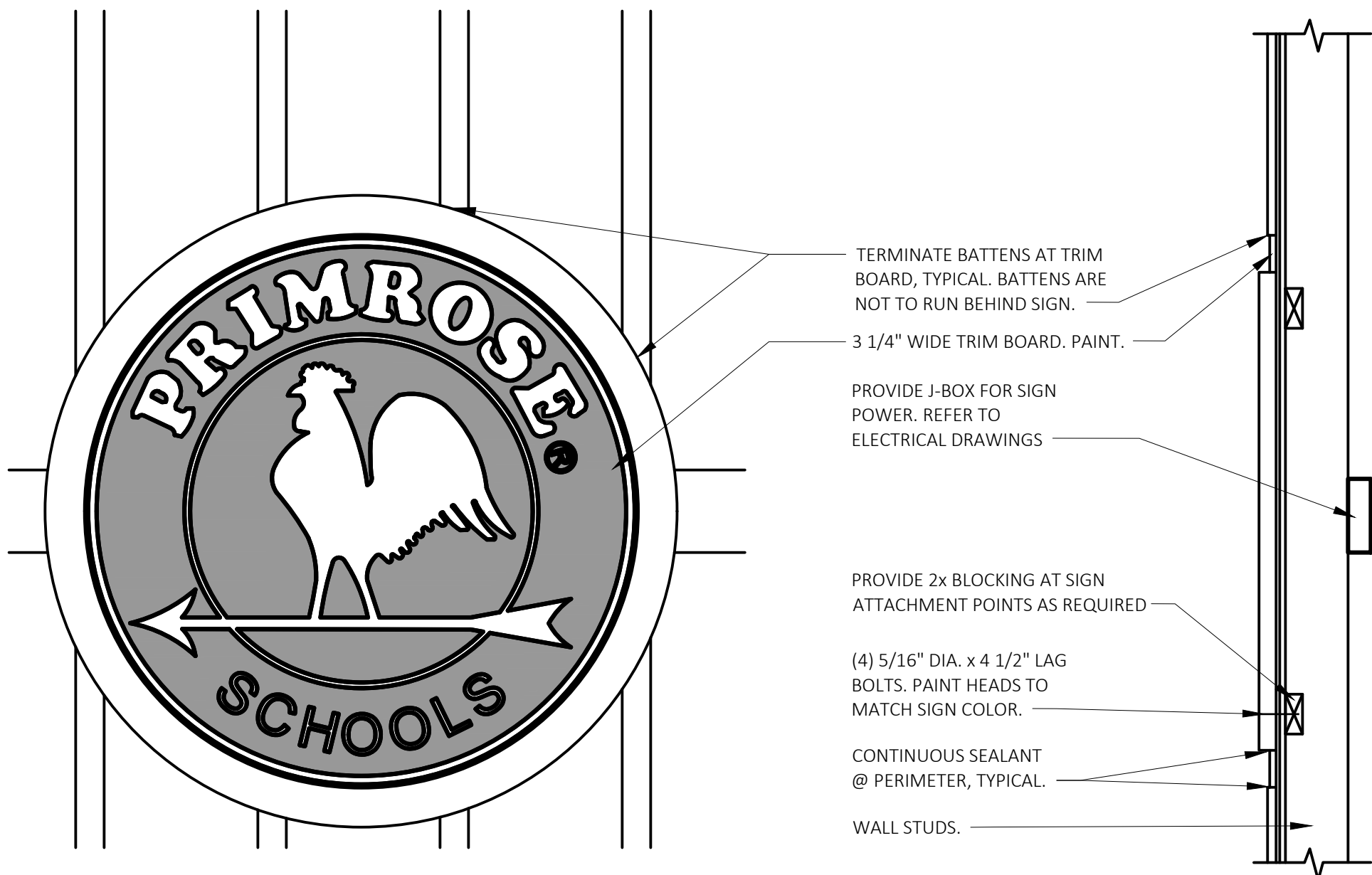
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PLAYGROUND DETAILS

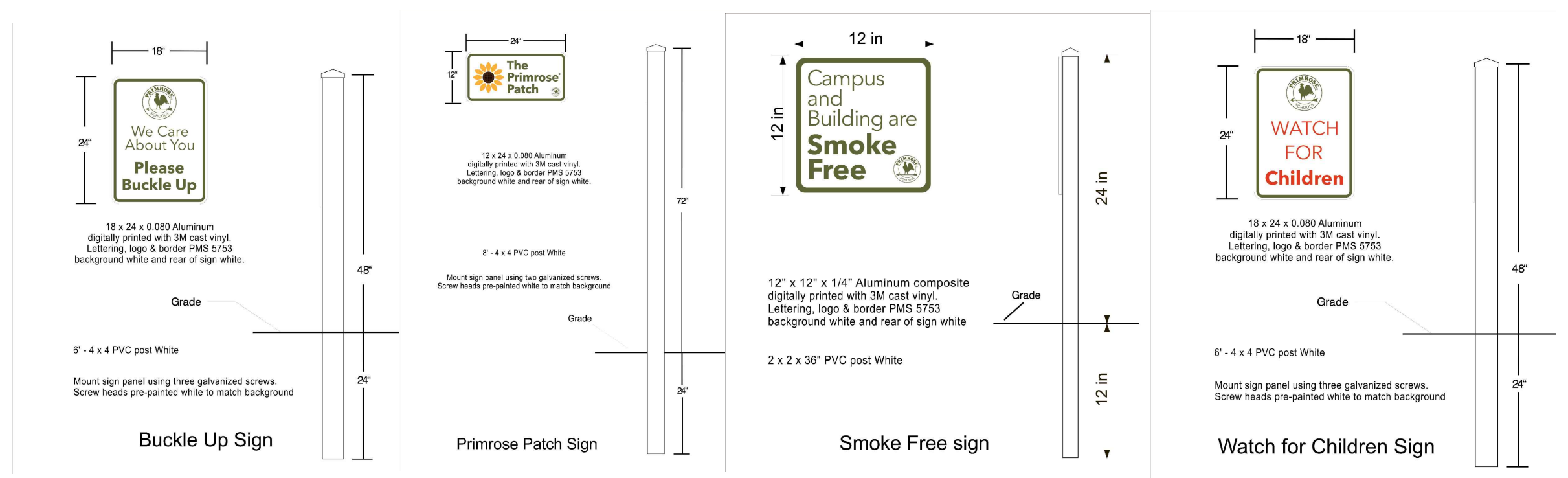
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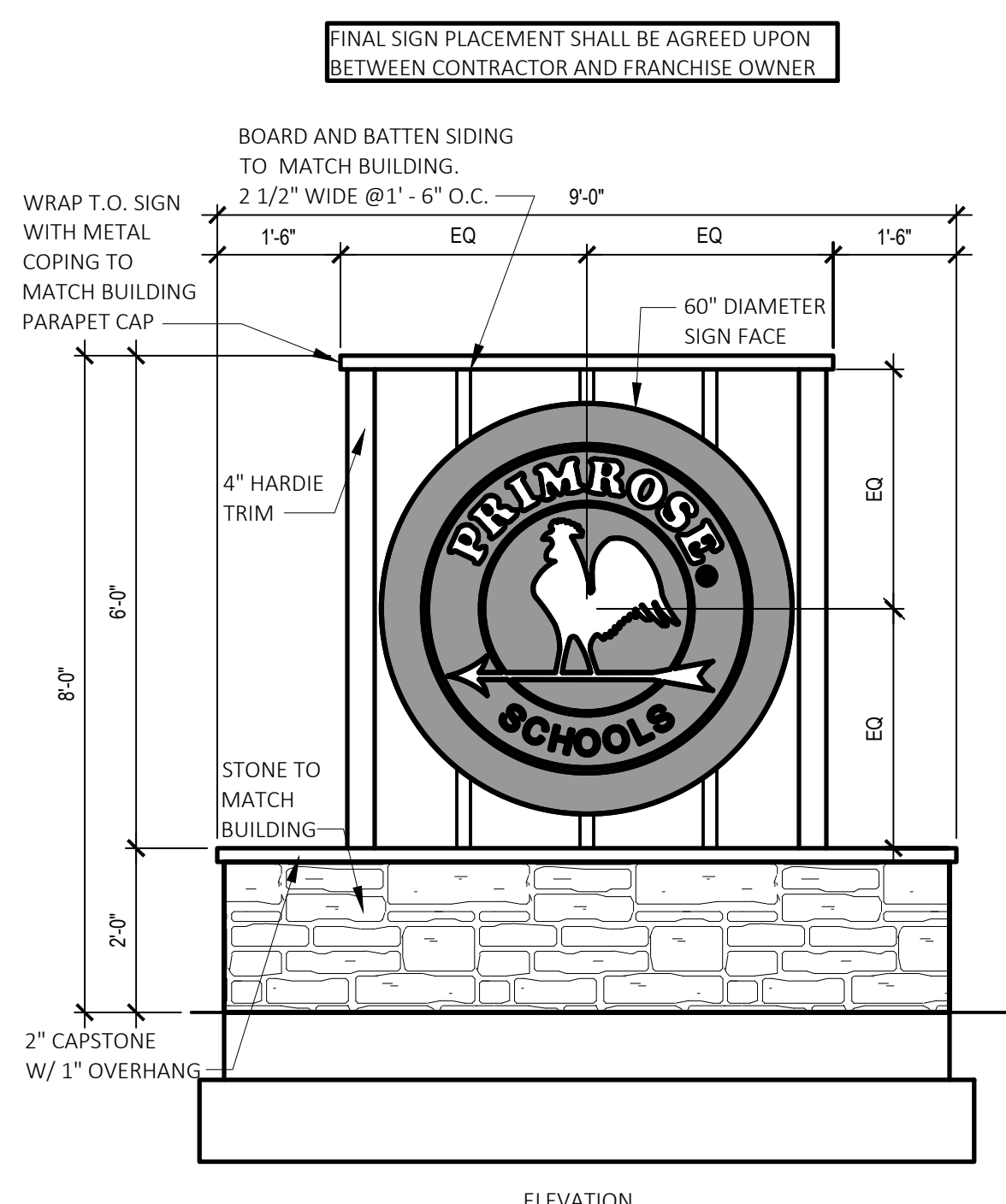
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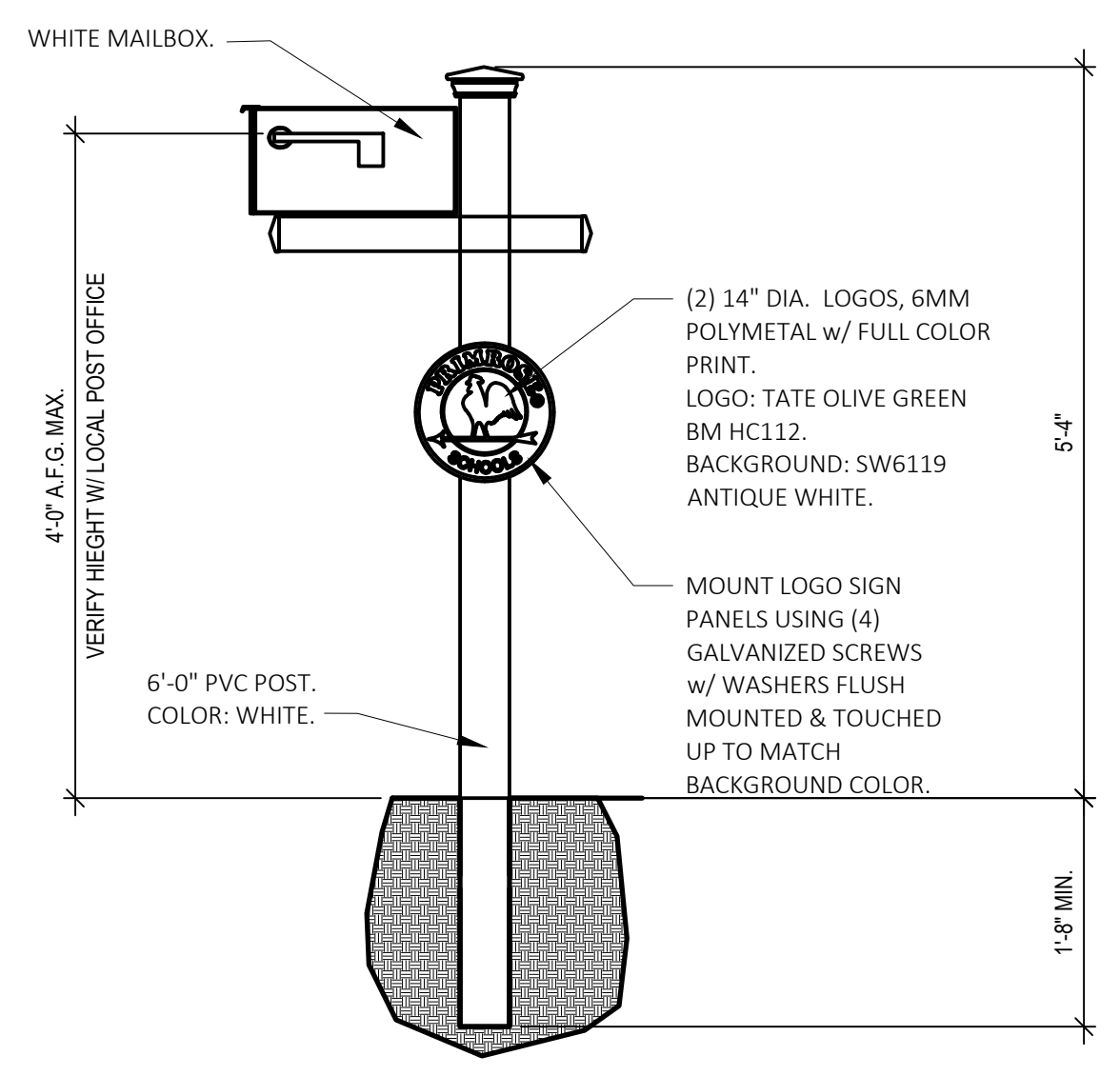
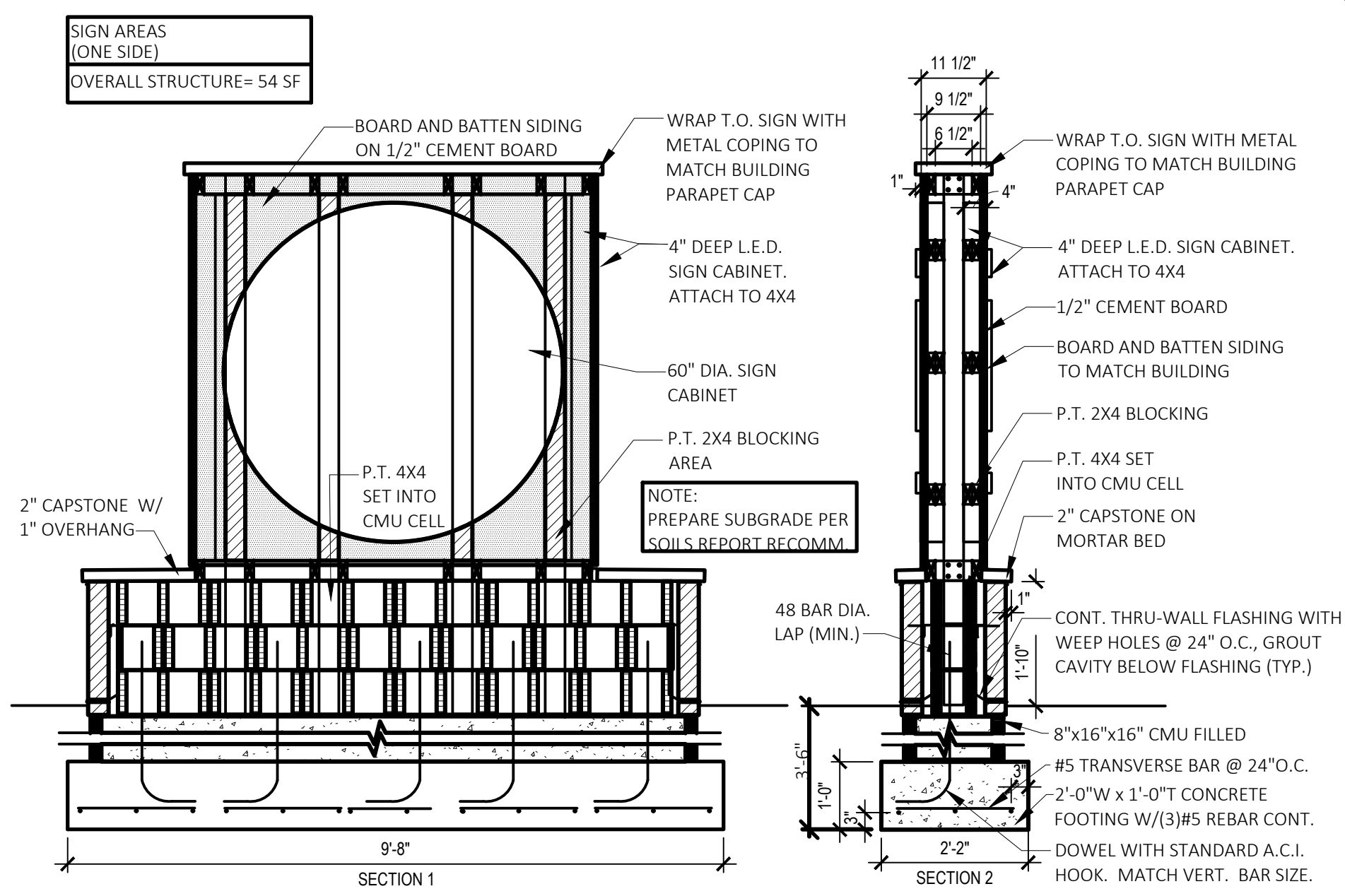
1 SIGN MOUNTING
A5.0 SCALE: 1" = 1'-0"



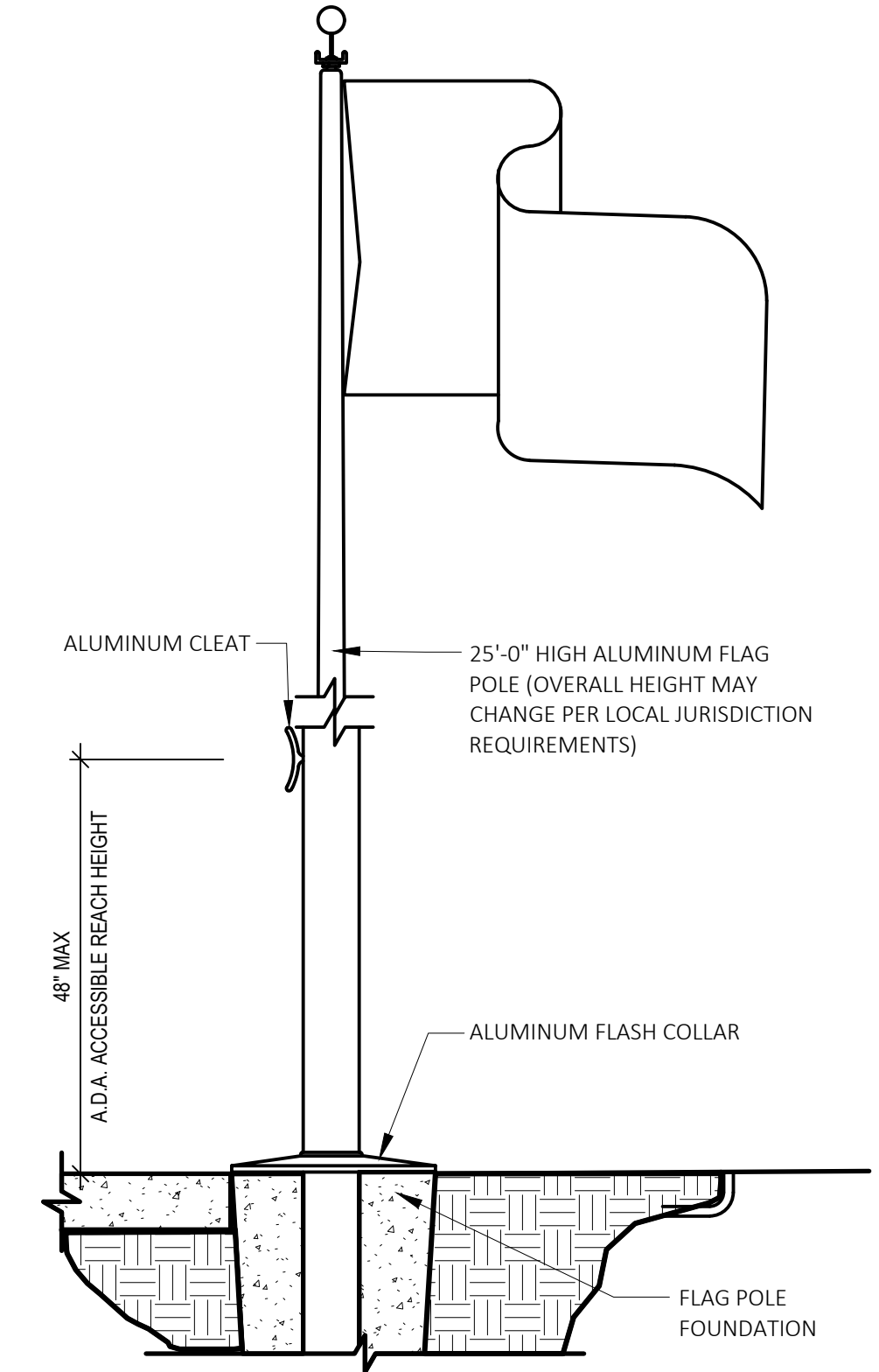
2 SITE SIGNAGE PACKAGE
A5.0 SCALE: NTS



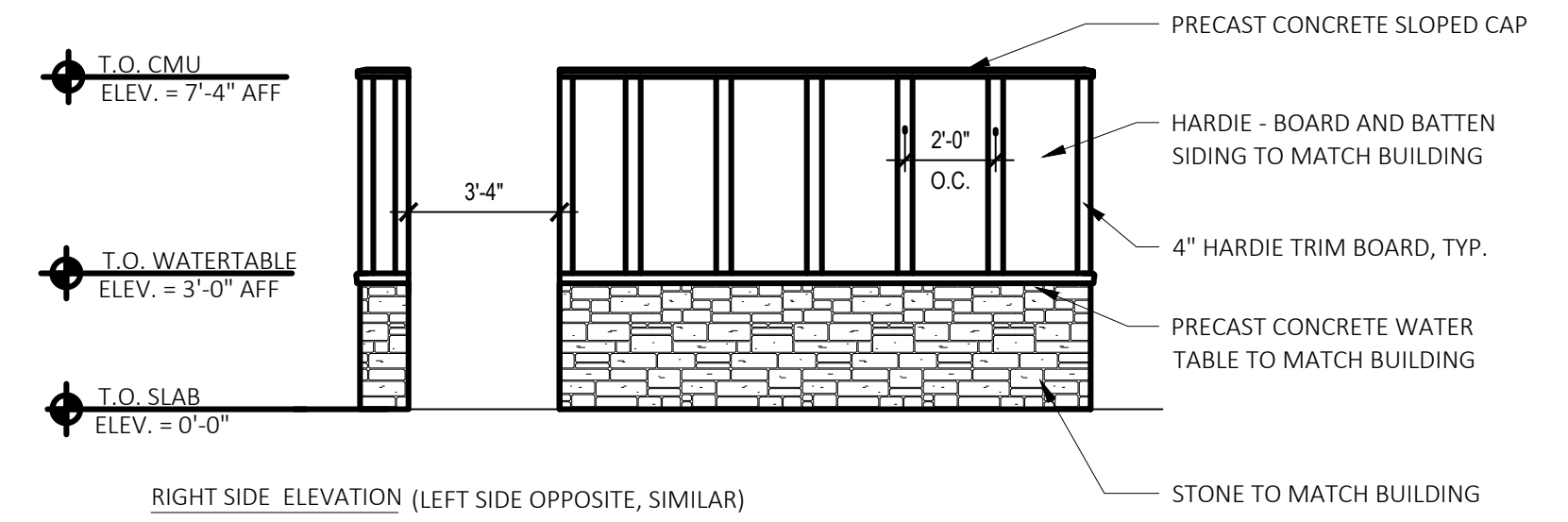
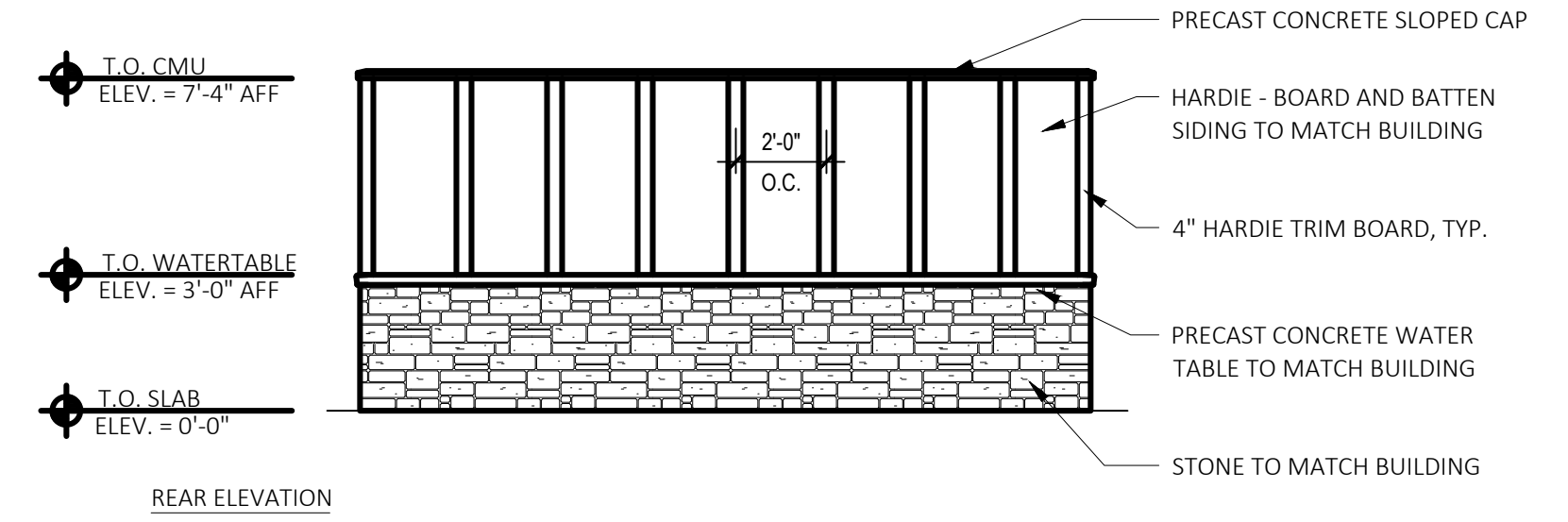
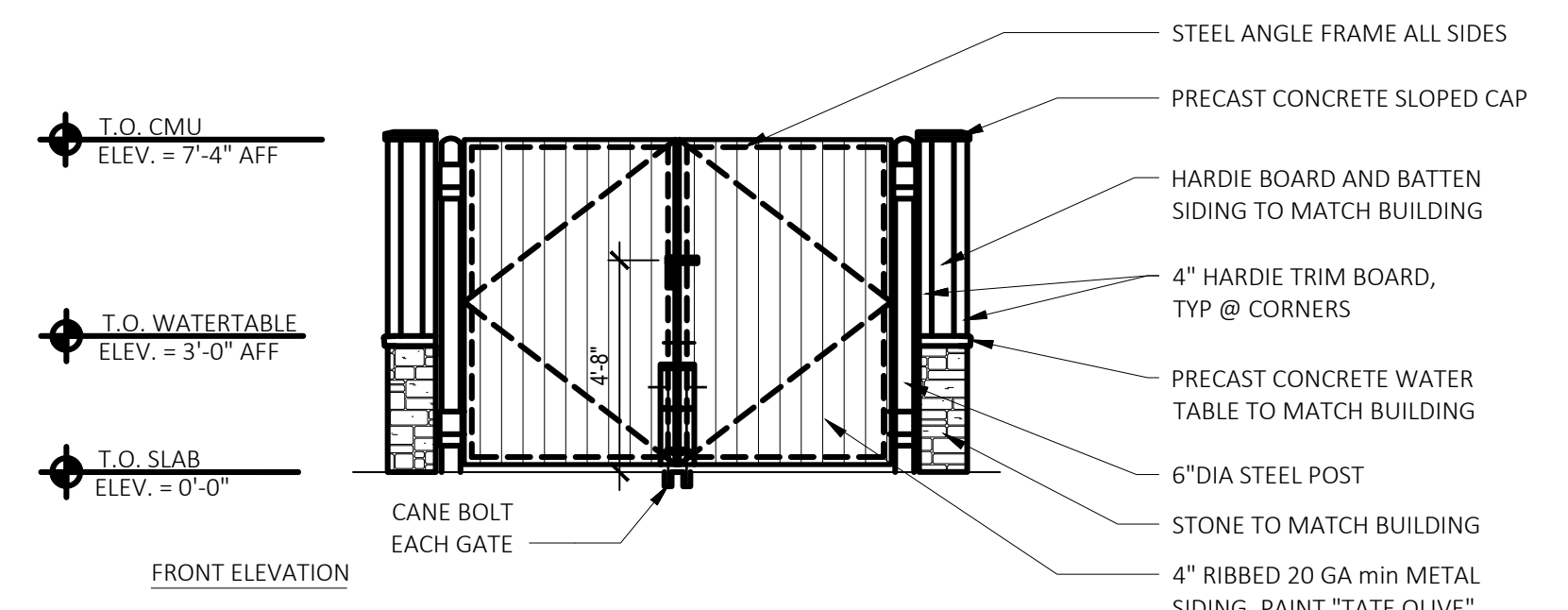
3 MONUMENT SIGN
A5.0 SCALE: 1/2" = 1'-0"



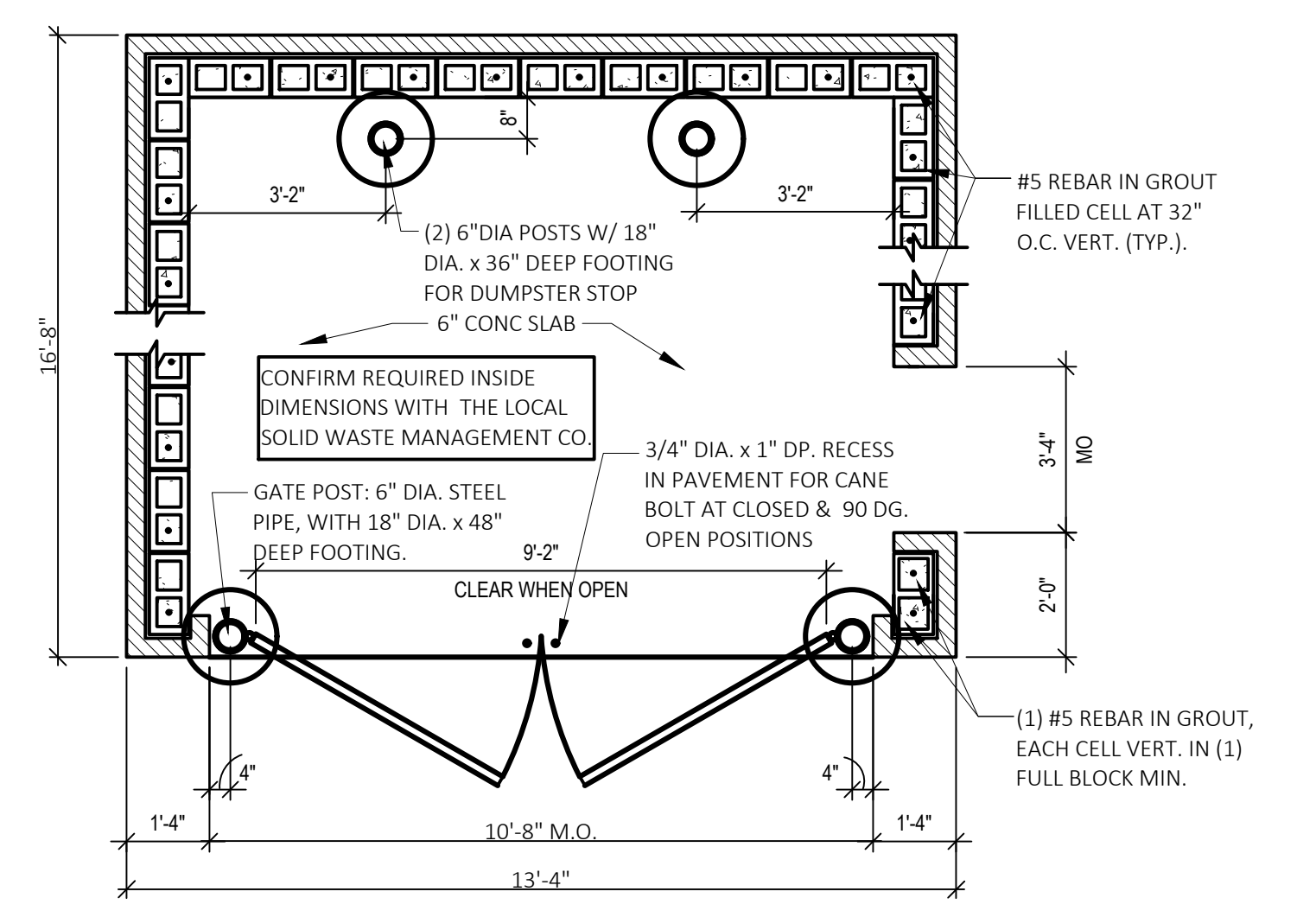
4 USPS MAIL BOX
A5.0 SCALE: 3/4" = 1'-0"



5 FLAG POLE
A5.0 SCALE: 1" = 1'-0"

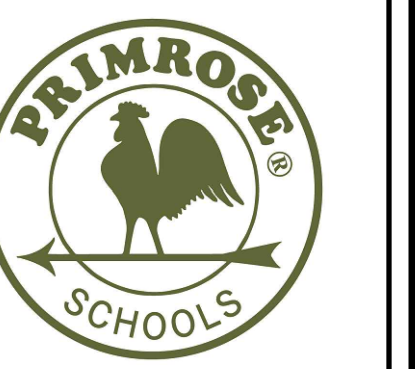


6 DUMPSTER ELEVATION
A5.0 SCALE: 1/4" = 1'-0"



7 DUMPSTER PLAN
A5.0 SCALE: 3/8" = 1'-0"

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