



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

| Building and Development Type (Check all that apply) | | Site Transaction History |
|--|---|--|
| <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot | <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option | Subdivision case #: <u>SUB-0034-2023</u> Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: <u>TCZ-28-22</u> Design Alternate #: _____ |

GENERAL INFORMATION

Development name: Yardly Buffalo Village - Dunkin' Donuts

Inside City limits? Yes No

Property address(es): 5101 Forestville Rd

Site P.I.N.(s): 1746422158

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Construction of Dunkin Donuts, and associated utilities and site infrastructure.

Current Property Owner(s): Evan Conder

Company: VSI Raleigh, LLC Title: Partner

Address: 106 E 8th Avenue, Rome, GA 30161

Phone #: 502-558-8698 Email: e.conder@vsouth.com

Applicant Name (if different from owner. See "who can apply" in instructions):

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: VSI Raleigh, LLC Address:

| | |
|---|--|
| Phone #: | Email: |
| NOTE: please attach purchase agreement or contract, lease or easement when submitting this form. | |
| Developer Contact: Evan Conder | |
| Company: VSI Raleigh LLC | Title: Partner |
| Address: 120 West Trinity Place, Suite 400, Decatur, GA 30030 | |
| Phone #: 502-558-8698 | Email: e.conder@vsouth.com |
| Applicant Name: Katie Witt, PE | |
| Company: Kimley-Horn | Address: 300 S Main Street, Suite 212, Holly Springs, NC 27540 |
| Phone #: 984 275 3559 | Email: Katie.Witt@Kimley-Horn.com |

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

| SITE DATA | BUILDING DATA |
|---|---|
| Zoning district(s) (please provide the acreage of each): CX-3-CU (+/-1.0 AC) | Existing gross floor area (not to be demolished): 0 SF |
| Gross site acreage: +/-1.0 AC | Existing gross floor area to be demolished: 0 SF |
| # of parking spaces proposed: 15 Standard, 2 ADA | New gross floor area: 1850 SF |
| Max # parking permitted (7.1.2.C): 19 Spaces Max | Total sf gross (to remain and new): 1850 SF |
| Overlay District (if applicable): N/A | Proposed # of buildings: 1 |
| Existing use (UDO 6.1.4): Vacant | Proposed # of stories for each: 1 |
| Proposed use (UDO 6.1.4): Resturant | Proposed # of basement levels (UDO 1.5.7.A.6) 0 |

STORMWATER INFORMATION

| | |
|---|--|
| Imperious Area on Parcel(s): Existing (sf) <u>10,442</u> Proposed total (sf) <u>26,150</u> | Impervious Area for Compliance (includes ROW): Existing (sf) <u>10,442</u> Proposed total (sf) <u>26,150</u> |
|---|--|

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

| | |
|---|---|
| Total # of dwelling units: N/A | Total # of hotel bedrooms: N/A |
| # of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____ | |
| # of lots: | Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No |
| | A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No |

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

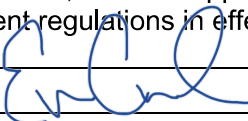
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date: 09.26.23

Printed Name: Evan Conder

ADMINISTRATIVE SITE REVIEW FOR

YARDLY BUFFALOE VILLAGE - DUNKIN DONUTS

ASR-XXXX-XXXX

BUFFALOE ROAD

RALEIGH, WAKE COUNTY, NORTH CAROLINA

Administrative Site Review Application
 Planning and Development Department
 100 West Trinity Place, Suite 400, Decatur, GA 30030
 Phone: (502) 558-8698 | Email: e.conder@vscouth.com

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 19.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 19.2.8 to determine the site plan fee. If assistance determining a Site Plan Fee is needed, a Site Plan Fee Verification request can be submitted online via the [Request and Verification Page](#). (Note: There is a fee for this verification service.)

Site Plan Fee: Tier Two Site Plan Tier Three Site Plan

Building and Development Type
 Check all that apply:

| | | |
|-------------------------------------|--|--|
| <input type="checkbox"/> Detached | <input checked="" type="checkbox"/> General | Subdivision case # SUB-0034-2023 |
| <input type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Boeing/aircraft plan case # _____ |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Care | Certificate of Appropriateness # _____ |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Cottage Court | Board of Adjustment # _____ |
| <input type="checkbox"/> Tiny house | <input type="checkbox"/> Frequent Transit Development Option | Zoning Case # ZCZ-28-22 |
| <input type="checkbox"/> Open lot | <input type="checkbox"/> Design Alternative # _____ | |

GENERAL INFORMATION

Development name: Yardly Buffalo Village - Dunkin' Donuts

Trade City limits? Yes No

Property address(es): 5101 Forestville Rd

Site P.I.N. (s): 1746422158

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4):

Construction of Dunkin' Donuts, and associated utilities and site infrastructure.

Current Property Owner(s): Evan Conder
 Company: VSI Raleigh, LLC
 Address: 120 West Trinity Place, Suite 400, Decatur, GA 30030
 Phone #: 502-558-8698 | Email: e.conder@vscouth.com

Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: VSI Raleigh, LLC | Address: _____

Page 1 of 3 | Revision 1.0.1.0 | raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE
 (Applicable to all developments)

| SITE DATA | | BUILDING DATA | |
|---|---|--|--|
| Zoning district (please provide the acreage of each): CX-3-CU (1+1.5 AC) | Existing gross floor area (not to be demolished): 0 SF | Existing gross floor area to be demolished: 0 SF | |
| Gross site acreage: 1+1.5 AC | New gross floor area: 1850 SF | Total of gross floor area (new and existing): 1850 SF | |
| # of parking spaces proposed: 19 Standard, 2 ADA | | | |
| Max # of parking stalls: 19 Standard, 2 ADA | | | |
| Overly shaded (if applicable): N/A | Proposed # of stories for each: 1 | | |
| Existing use (UDO 6.1.4): Vacant | Proposed # of assessment levels (UDO 13.7.A.6): 0 | | |
| Proposed use (UDO 6.1.4): Restaurant | | | |

STORMWATER INFORMATION

| Impervious Area on Parcel(s): | | Impervious Area for Compliance (includes ROW): | |
|-------------------------------|-----------------------------|--|-----------------------------|
| Existing (sf): 10,442 | Proposed total (sf): 26,150 | Existing (sf): 10,442 | Proposed total (sf): 26,150 |

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

| | |
|---------------------------------|---|
| Total # of dwelling units: N/A | Total # of hotel bedrooms: N/A |
| # of bedroom units: 19r 29r 39r | 40r or more: _____ |
| # of lots: _____ | Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/> |
| | A frequent transit development? Yes <input type="checkbox"/> No <input type="checkbox"/> |

Continue to Applicant Signature Block on Page Three.

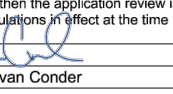
Page 2 of 3 | Revision 1.0.1.0 | raleighnc.gov

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-40(b)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as authorized by the assessment.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-40(b)) to make this application, as specified in the application. The undersigned also acknowledges that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-40(b).

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application reverts to discretionary and a new application is required to proceed and the development requirements in effect at the time permit processing is resumed shall apply to the new application.

Signature:  Date: 09.28.23
 (Print name): Evan Conder

Page 3 of 3 | Revision 1.0.1.0 | raleighnc.gov



NOTES:

- LIGHTING PLAN TO BE PROVIDED WITH SITE PERMIT REVIEW.
- TREE CONSERVATION PLANS PROPOSED WITH COR CASE #SUB-0034-2023.

Sheet List Table

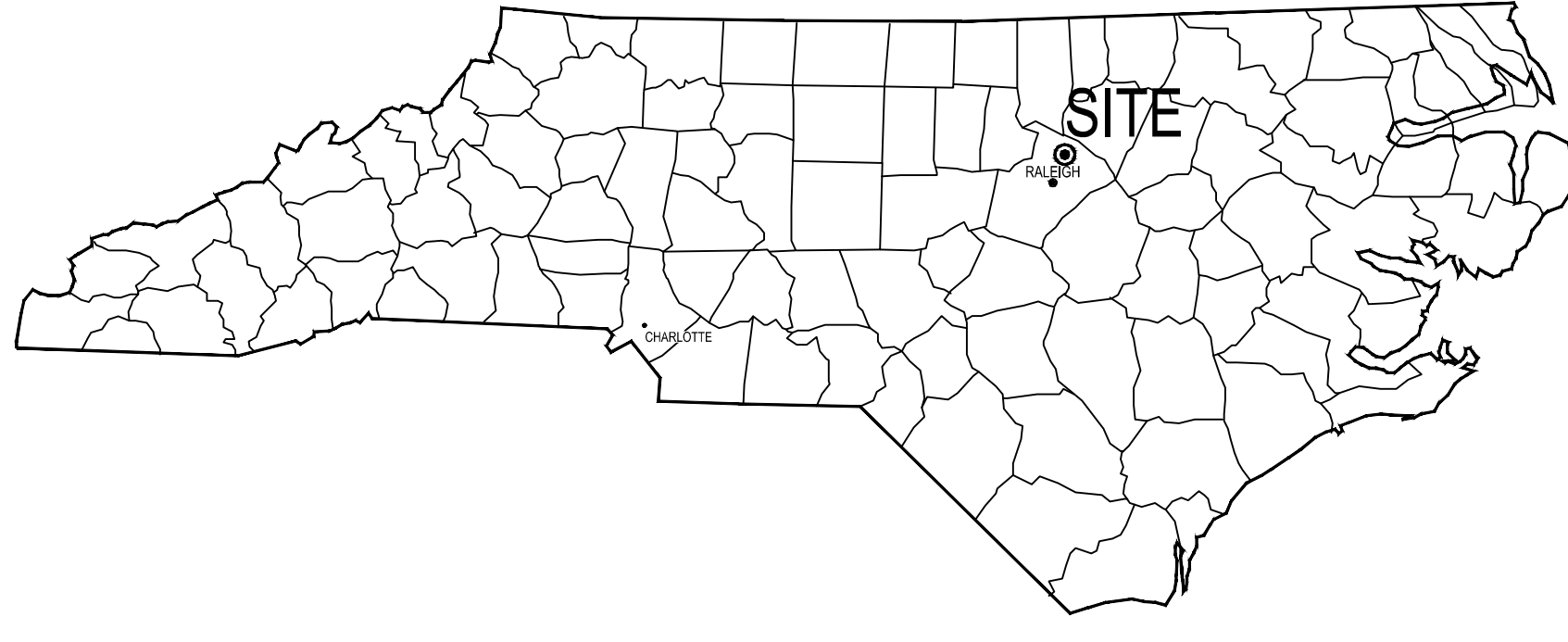
| Sheet Number | Sheet Title |
|--------------|---------------------------|
| C001 | COVER SHEET |
| C002 | ZONING CONDITIONS |
| C003 | APPROVAL LETTERS |
| C100 | EXISTING CONDITIONS |
| C101 | DEMOLITION PLAN |
| C200 | SITE PLAN |
| C300 | GRADING AND DRAINAGE PLAN |
| C400 | UTILITY PLAN |
| L100 | LANDSCAPE PLAN |
| A-1.0 | FLOOR PLAN |
| A-5.0 | EXTERIOR ELEVATIONS |
| A-5.1 | EXTERIOR ELEVATIONS |

SITE DATA TABLE

| PROPERTY INFORMATION | |
|---|---|
| PROJECT NAME: | YARDLY BUFFALOE VILLAGE - DUNKIN DONUTS |
| CURRENT OWNER(S): | VSI RALEIGH LLC |
| JURISDICTION: | CITY OF RALEIGH |
| PIN #s: | 1746-42-2158 |
| STREET ADDRESS: | 5101 FORESTVILLE ROAD |
| SITE SIZE & COVERAGE | |
| EXISTING ACREAGE: | 1.00 AC |
| GROSS BUILDING SQUARE FOOTAGE (PROJECT LIMITS): | 1,850 SF |
| MAXIMUM BUILDING HEIGHT: | 3 STORIES / 50' MAX |
| PROVIDED AMENITY SPACE: | N/A |
| ZONING | |
| EXISTING ZONING: | CX-3-CU |
| PROPOSED ZONING: | CX-3-CU |
| EXISTING USE (WITHIN PROJECT LIMITS): | VACANT LOT |
| PROPOSED USE (WITHIN PROJECT LIMITS): | COMMERCIAL |
| FRONTAGE REQUIREMENTS: | N/A |
| BUILDING / STRUCTURE SETBACK REQUIREMENTS | |
| PRIMARY STREET (FORESTVILLE ROAD): | 10' MINIMUM |
| SIDE STREET: | N/A |
| SIDE / REAR PROPERTY LINE: | 10' MINIMUM |
| PARKING SETBACK REQUIREMENTS | |
| PRIMARY STREET (FORESTVILLE RD): | 0' MINIMUM |
| SIDE STREET: | N/A |
| SIDE / REAR PROPERTY LINE: | 0' MINIMUM |
| OFF-STREET PARKING | |
| PARKING MAXIMUM (CX-3-CU): | 19 SPACES |
| PROVIDED PARKING: | 15 SPACES |
| PROVIDED HANDICAP PARKING: | 2 SPACES |
| PROVIDED BICYCLE PARKING: | 0 SPACES |

ADDRESS TABLE

| ADDRESS | PIN | PARCEL ID/REID | COUNTY |
|-----------------------|---------------|----------------|--------|
| 5101 FORESTVILLE ROAD | #1746-42-2158 | #0404462 | WAKE |



PROJECT OWNER AND CONSULTANT INFORMATION

| | | |
|--|--|---|
| DEVELOPER: VSI RALEIGH, LLC 120 WEST TRINITY PLACE SUITE 400 DECATUR, GEORGIA 30030 PHONE (502) 558-8698 CONTACT: EVAN CONDER | ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET SUITE 212 HOLLY SPRINGS, NORTH CAROLINA 27540 PHONE (984) 275-3559 CONTACT: KATIE WITT, P.E. | SURVEYOR: ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NORTH CAROLINA 27103 PHONE (336) 765-2377 FAX (336) 760-8886 CONTACT: DAVID K. ALLEY, PLS |
|--|--|---|

NOT FOR CONSTRUCTION

GEOMETRIC CONTROL
 HORIZONTAL DATUM:
 NAD 83 (2011)
 VERTICAL DATUM:
 NAVD 88
 DRAWING UNITS:
 U.S. SURVEY FEET



Kimley-Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH MAIN STREET, SUITE 212, HOLLY SPRINGS, NC 27540
 PHONE: 984-275-3559
 WWW.KIMLEY-HORN.COM
 NC LICENSE #F-102

PRELIMINARY
NOT FOR CONSTRUCTION

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | JMC |
| CHECKED BY | KLW |

COVER SHEET

DUNKIN DONUTS
 PREPARED FOR
 VENTURE SOUTH
 INVESTMENTS LLC

SHEET NUMBER
C001

Plotted By: Larson, Sydney | Sheet Set: Dunkin Donuts ASR | Layout: C001 COVER SHEET | September 27, 2023 11:43:11am | kimley-horn.com | CL_HSP_C001 | PRJ017270 | taylor.morrison@kh.com | 019 | raleigh-buffaloe02 - DWG | plansheets\dunkin donuts asr | plansheets\C001 - COVER SHEET.dwg

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ZONING CONDITIONS:

TCZ-28-22 - 0 BUFFALOE ROAD, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) [MODIFIED CONDITIONS].

AMENDED CONDITIONS DATED: APRIL 13, 2022

- A. THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINS) 1746-42-7078 (DEED BOOK 16 I 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-6877 (DEED BOOK 9050, PAGE 759, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.
- B. PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:
 - i. DORMITORY, FRATERNITY, SORORITY;
 - ii. ADULT ESTABLISHMENTS;
 - iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
 - iv. FUNERAL HOME;
 - v. ANIMAL CARE (INDOOR);
 - vi. VETERINARY CLINIC/HOSPITAL;
 - vii. DETENTION CENTER, JAIL, PRISON;
 - viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
 - ix. EMERGENCY SHELTER - TYPE B;
 - x. BOWLING ALLEY;
 - xi. MINI-WAREHOUSE STORAGE FACILITY.
- C. THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A.I - IX SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.
- D. THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) U E SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.
- E. NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS. AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.
- F. OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.
- G. RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.
- H. NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.
- I. POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE. NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.
- J. PRIOR TO LOT RECORDATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA. THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.
- K. UNTIL THE THREE LANES ON THE BUFFALOE ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.
- L. DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.
 - 1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALOE ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALOE ROAD.
 - 2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF- WAY OF EITHER BUFFALOE ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.
 - 3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.
 - 4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.
 - 5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.
- M. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

Z-27-22 - 5221 AND 5225 FORESTVILLE ROAD, ON ITS EAST SIDE, LOCATED ONE THIRD OF A MILE SOUTH OF ITS INTERSECTION WITH BUFFALOE ROAD, BEING WAKE COUNTY PINS 1746308877 & 1746410189. APPROXIMATELY 14.6 ACRES REZONED TO RESIDENTIAL MIXED USE-3 STORIES- CONDITIONAL USE (RX-3-CU).

CONDITIONS DATED: OCTOBER 10, 2022

- 1. RESIDENTIAL DENSITY SHALL BE LIMITED TO 204 UNITS.
- 2. AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.
- 3. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4. THAT ARE PERMITTED, LIMITED OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED:
 - (I) CEMETERY;
 - (II) SCHOOL, PUBLIC OR PRIVATE (K-12);
 - (III) DAY CARE CENTER; (IV) HEALTH CLUB;
 - (V) MEDICAL; OFFICE;
 - (VI) OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (250 SEATS);
 - (VII) BED AND BREAKFAST;
 - (IX) HOSPITALITY HOUSE;
 - (X) PARKING FACILITY;
 - (XI) COPY CENTER;
 - (XII) OPTOMETRIST;
 - (XIII) EATING ESTABLISHMENT;
 - (XIV) RETAIL SALES.

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
300 SOUTH MAIN ST. SUITE 212, HOLLY SPRINGS, NC 27540
PHONE: 919-275-3659
WWW.KIMLEY-HORN.COM
NC LICENSE #P-1612

PRELIMINARY
NOT FOR CONSTRUCTION

| | | | | | |
|------------|------------|----------|-------------|----------|------------|
| KH PROJECT | DATE | SCALE | DESIGNED BY | DRAWN BY | CHECKED BY |
| 017270019 | 09/27/2023 | AS SHOWN | JMC | JMC | KLW |

ZONING CONDITIONS

DUNKIN DONUTS
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
RALEIGH NC



Know what's below.
Call before you dig.

SHEET NUMBER
C002

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Covallier, Jessica - Sheet: Smt.Dunkin Donuts ASR - Layout: C003 APPROVAL LETTERS - September 25, 2023 01:39:24pm - \\kimley-horn.com\CL\HSP\CHL_PRA\017270 - 017270 - bbyor_morrison\019 - raleigh-buffalo\02 - DWG\plan sheets\dunkin_donuts_osr_plan sheets\C004 - APPROVAL LETTERS.dwg



Know what's below.
Call before you dig.

DUNKIN DONUTS
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC

RALEIGH

NC

APPROVAL LETTERS

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | JMC |
| CHECKED BY | KLV |

PRELIMINARY
NOT FOR CONSTRUCTION



© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
300 SOUTH MAIN ST. SUITE 212, HOLLY SPRINGS, NC 27540
PHONE: 984-275-3659
WWW.KIMLEY-HORN.COM
NC LICENSE #P-502

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LEGEND

| | |
|----------------------------|-------|
| EXISTING IRON PIN | ○ EIP |
| EXISTING REBAR | ○ EIR |
| NO POINT SET | ● NPS |
| IRON REBAR SET | ● IRS |
| CABLE PEDESTAL | ⊕ |
| TELEPHONE MANHOLE | ⊕ |
| TELEPHONE PEDESTAL | ⊕ |
| FLOOD LIGHT | ⊕ |
| GUY WIRE | ⊕ |
| LIGHT POLE | ⊕ |
| ELECTRIC MANHOLE | ⊕ |
| ELECTRIC METER | ⊕ |
| ELECTRIC TRANSFORMER | ⊕ |
| UTILITY POLE | ⊕ |
| BOLLARD | ⊕ |
| GAS METER | ⊕ |
| GAS VALVE | ⊕ |
| SEWER CLEAN OUT | ⊕ |
| SEWER MANHOLE | ⊕ |
| SIGN | ⊕ |
| CATCH BASIN | ⊕ |
| CURB INLET | ⊕ |
| DROP \ YARD INLET | ⊕ |
| FLARED END SECTION | ⊕ |
| STORM MANHOLE | ⊕ |
| HANDICAP | ⊕ |
| FIRE HYDRANT | ⊕ |
| WATER MANHOLE | ⊕ |
| WATER METER | ⊕ |
| WATER VALVE | ⊕ |
| WELL | ⊕ |
| MANHOLE | ⊕ |
| PRESSURE INDICATOR VALVE | ⊕ |
| PIV | ⊕ |
| TREE | ⊕ |
| RIGHT-OF-WAY | ⊕ |
| CONCRETE MONUMENT | ⊕ |
| CHORD | ⊕ |
| SIGHT EASEMENT | ⊕ |
| DEED BOOK | ⊕ |
| PLAT BOOK | ⊕ |
| CURB AND GUTTER | ⊕ |
| REINFORCED CONC PIPE | ⊕ |
| CORRUGATED METAL PIPE | ⊕ |
| CORRUGATED PLASTIC PIPE | ⊕ |
| BOUNDARY LINE | ⊕ |
| RIGHT-OF-WAY LINE | ⊕ |
| UNSURVEYED PROPERTY LINE | ⊕ |
| SANITARY SEWER LINE | ⊕ |
| UNDERGROUND ELECTRIC LINE | ⊕ |
| ELECTRIC LINE | ⊕ |
| TREE LINE | ⊕ |
| WATER LINE | ⊕ |
| FENCE LINE | ⊕ |
| EDGE OF GRAVEL | ⊕ |
| EDGE OF PAVEMENT | ⊕ |
| TELEPHONE LINE | ⊕ |
| UNDERGROUND TELEPHONE LINE | ⊕ |
| OVERHEAD UTILITY EASEMENT | ⊕ |
| UNDERGROUND FIBER OPTICS | ⊕ |

Kimley **Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH MAIN ST. SUITE 212, HOLLY SPRINGS, NC 27540
 PHONE: 919-275-3659
 WWW.KIMLEY-HORN.COM
 NC LICENSE #P-102

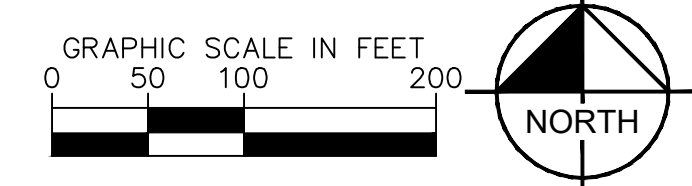
PRELIMINARY
 NOT FOR CONSTRUCTION

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | KLW |
| CHECKED BY | KLW |

EXISTING CONDITIONS

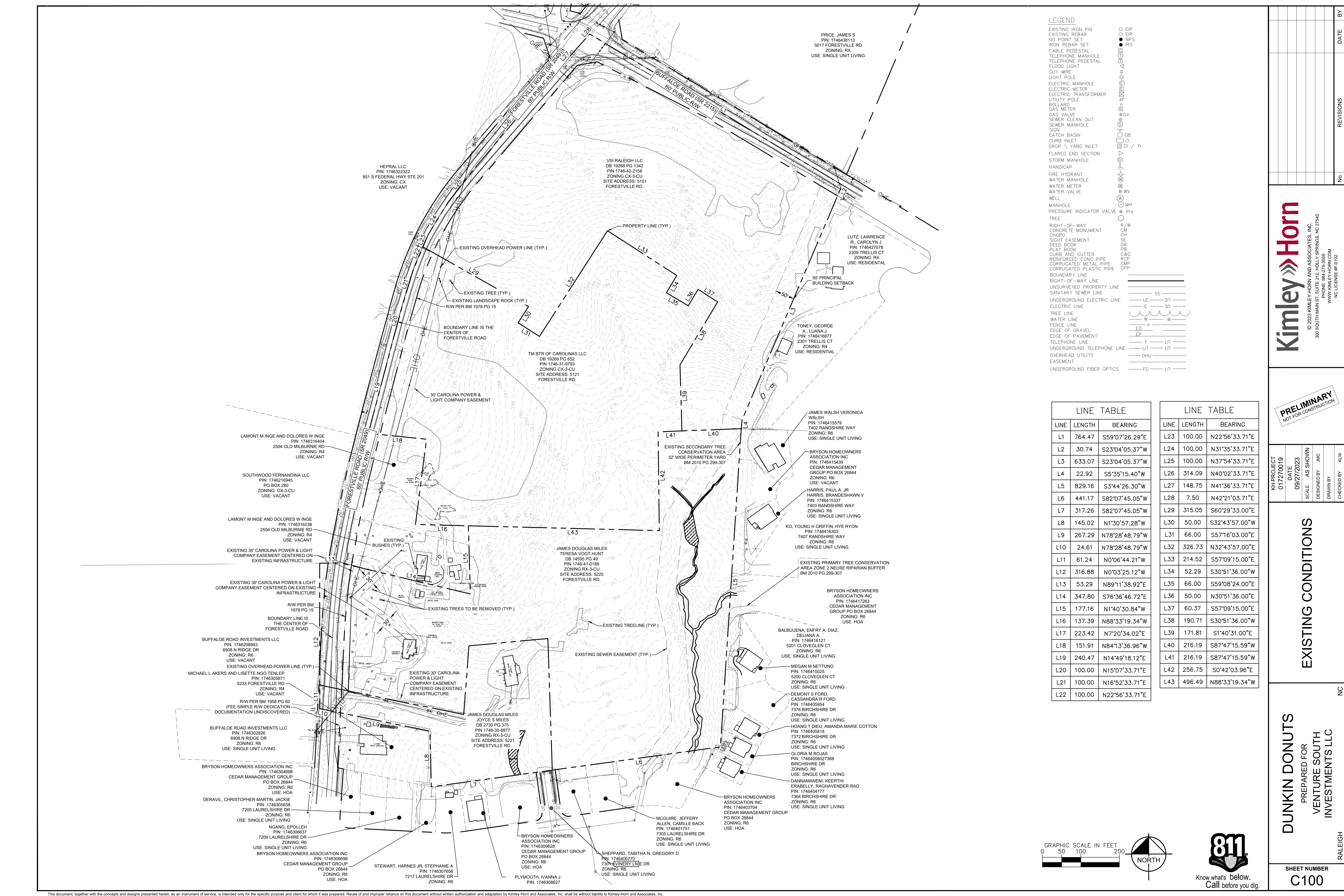
DUNKIN DONUTS
 PREPARED FOR
VENTURE SOUTH INVESTMENTS LLC

SHEET NUMBER
C100



| LINE TABLE | | |
|------------|--------|----------------|
| LINE | LENGTH | BEARING |
| L1 | 764.47 | S59°07'26.29"E |
| L2 | 30.74 | S23°04'05.37"W |
| L3 | 633.07 | S23°04'05.37"W |
| L4 | 22.92 | S5°35'15.40"W |
| L5 | 829.16 | S3°44'26.30"W |
| L6 | 441.17 | S82°07'45.05"W |
| L7 | 317.26 | S82°07'45.05"W |
| L8 | 145.02 | N1°30'57.28"W |
| L9 | 267.29 | N78°28'48.79"W |
| L10 | 24.61 | N78°28'48.79"W |
| L11 | 61.24 | N0°06'44.21"W |
| L12 | 316.88 | N0°03'25.12"W |
| L13 | 53.29 | N89°11'38.92"E |
| L14 | 347.80 | S76°36'46.72"E |
| L15 | 177.16 | N1°40'30.84"W |
| L16 | 137.39 | N88°33'19.34"W |
| L17 | 223.42 | N7°20'34.02"E |
| L18 | 151.91 | N84°13'36.96"W |
| L19 | 240.47 | N14°49'18.12"E |
| L20 | 100.00 | N15°07'33.71"E |
| L21 | 100.00 | N16°52'33.71"E |
| L22 | 100.00 | N22°56'33.71"E |

| LINE TABLE | | |
|------------|--------|----------------|
| LINE | LENGTH | BEARING |
| L23 | 100.00 | N22°56'33.71"E |
| L24 | 100.00 | N31°35'33.71"E |
| L25 | 100.00 | N37°54'33.71"E |
| L26 | 314.09 | N40°02'33.71"E |
| L27 | 148.75 | N41°36'33.71"E |
| L28 | 7.50 | N42°21'03.71"E |
| L29 | 315.05 | S60°29'33.00"E |
| L30 | 50.00 | S32°43'57.00"W |
| L31 | 66.00 | S57°16'03.00"E |
| L32 | 326.73 | N32°43'57.00"E |
| L33 | 214.52 | S57°09'15.00"E |
| L34 | 52.29 | S30°51'36.00"W |
| L35 | 66.00 | S59°08'24.00"E |
| L36 | 50.00 | N30°51'36.00"E |
| L37 | 60.37 | S57°09'15.00"E |
| L38 | 190.71 | S30°51'36.00"W |
| L39 | 171.81 | S1°40'31.00"E |
| L40 | 216.19 | S87°47'15.59"W |
| L41 | 216.19 | S87°47'15.59"W |
| L42 | 256.75 | S0°42'03.96"E |
| L43 | 496.49 | N88°33'19.34"W |



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

DEMOLITION LEGEND

| | |
|---------------|------------------------------------|
| --- | EXISTING PROPERTY LINE |
| -X-X-X-X-X-X- | EXISTING LINEAR ITEM TO BE REMOVED |
| TP | TREE PROTECTION FENCE |
| LOD | LIMITS OF DISTURBANCE (LOD) |
| ⊗ | EXISTING ITEM TO BE REMOVED |

NOTES:
 1. ALL SEPTIC TANKS/WELLS TO BE ABANDONED ACCORDING TO WAKE COUNTY STANDARDS.

TREE LEGEND

| LABEL | COMMON NAME |
|-------|-------------------|
| T1 | RED MAPLE |
| T2 | SILVER MAPLE |
| T3 | AMERICAN HORNBEAM |
| T4 | PIGNOT HICKORY |
| T5 | PECAN |
| T6 | MOCKERNUT HICKORY |
| T7 | FLOWERING DOGWOOD |
| T8 | AMERICAN HOLLY |
| T9 | EASTERN RED CEDAR |
| T10 | SWEETGUM |
| T11 | TULIP POPLAR |
| T12 | RED MULBERRY |
| T13 | BLACK GUM |
| T14 | SOURWOOD |
| T15 | SHORTLEAF PINE |
| T16 | LOBLOLLY PINE |
| T17 | AMERICAN SYCAMORE |
| T18 | BLACK CHERRY |
| T19 | WHITE OAK |
| T20 | SOUTHERN RED OAK |
| T21 | BLACKJACK OAK |
| T22 | WATER OAK |
| T23 | WILLOW OAK |
| T24 | NORTHERN RED OAK |
| T25 | POST OAK |
| T26 | WINGED ELM |
| T27 | AMERICAN ELM |

Kimley **Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH MAIN ST. SUITE 212, HOLLY SPRINGS, NC 27540
 PHONE: 919-275-3559
 WWW.KIMLEYHORN.COM
 NC LICENSE #P-102

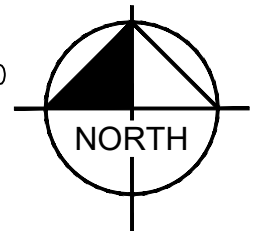
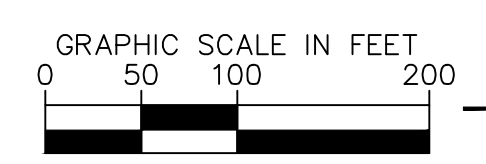
PRELIMINARY
 NOT FOR CONSTRUCTION

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | MTH |
| CHECKED BY | KLW |

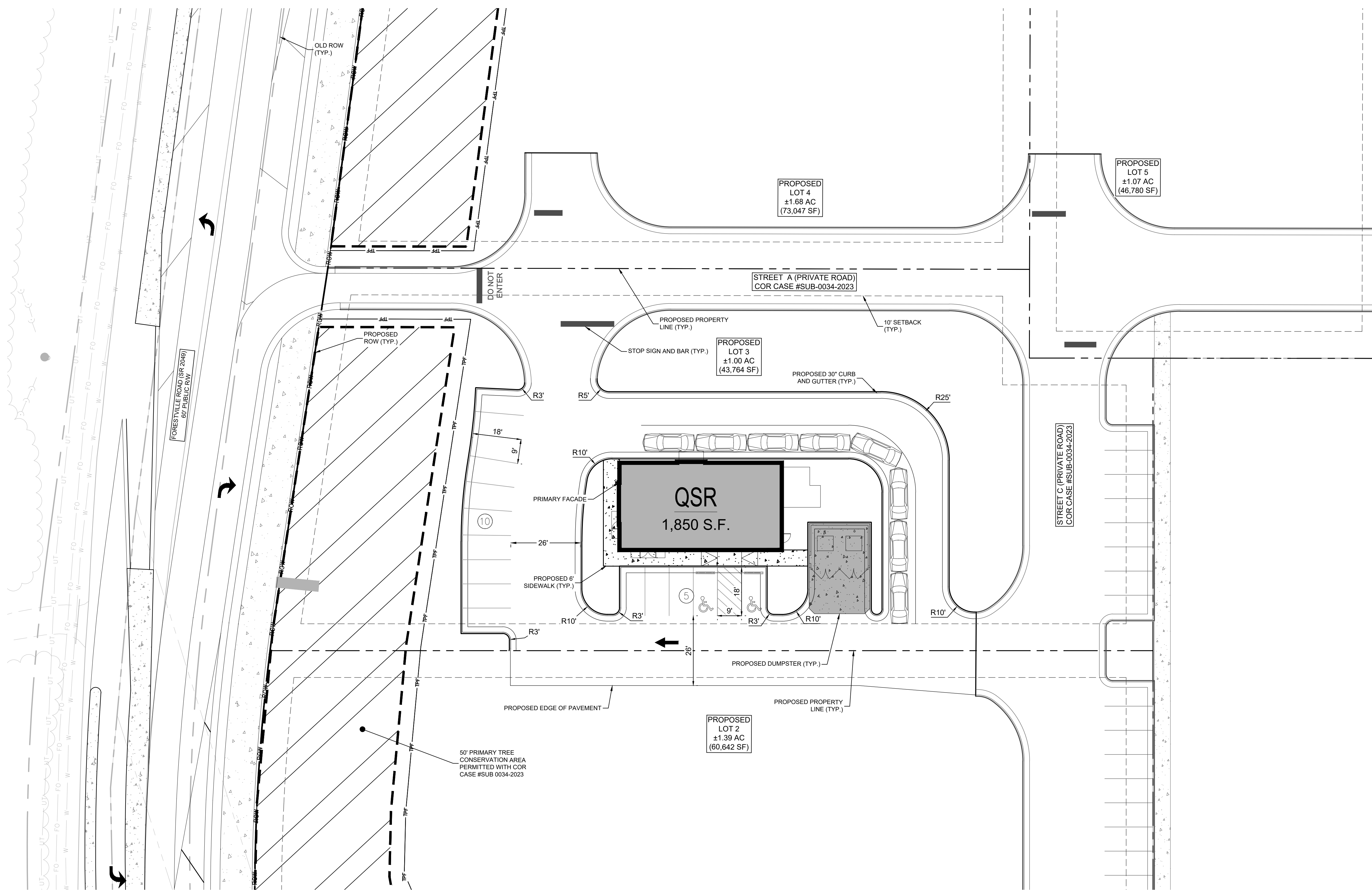
DEMOLITION PLAN

DUNKIN DONUTS
 PREPARED FOR
VENTURE SOUTH INVESTMENTS LLC

SHEET NUMBER
C101

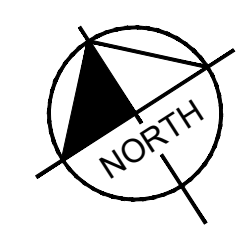


This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



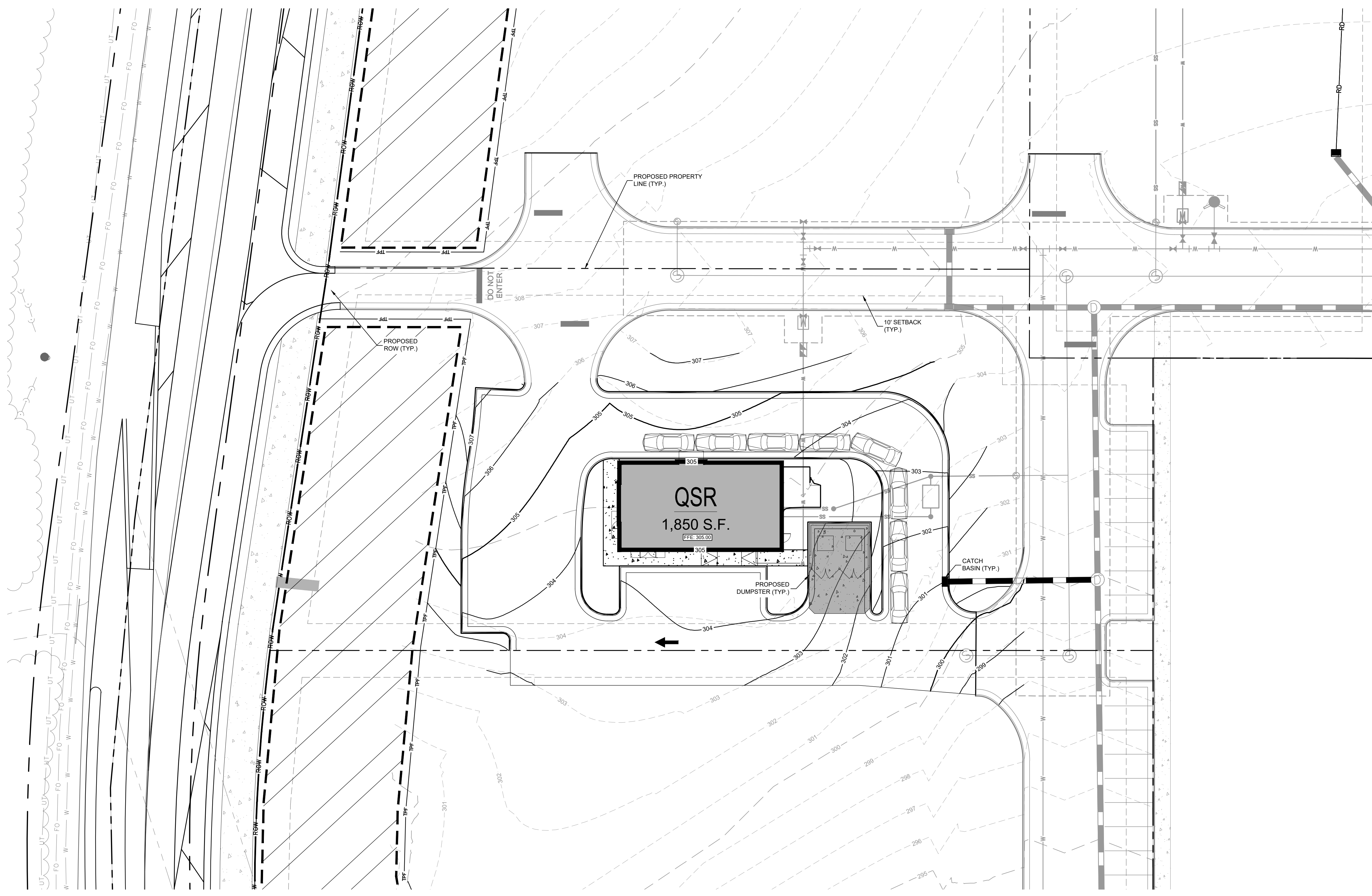
| PROPOSED IMPROVEMENTS LEGEND | |
|-----------------------------------|--|
| --- EXISTING PROPERTY BOUNDARY | --- ROW --- RIGHT-OF-WAY |
| --- PROPOSED PROPERTY BOUNDARY | --- TOP OF BANK |
| --- 20' NEUSE RIVER BUFFER | --- 50' NEUSE RIVER BUFFER |
| --- 10' BUILDING SETBACK | --- WETLAND |
| --- CURB AND GUTTER | --- PRIMARY TREE CONSERVATION AREA |
| ↑ TRAFFIC ARROWS | --- SECONDARY TREE CONSERVATION AREA |
| ↑ STOP BAR, "STOP" MARKING & SIGN | --- NEUSE RIVER BUFFER CONSERVATION AREA |
| ↑ DOUBLE SIGNS - MONUMENT / PYLON | --- CONCRETE SIDEWALK |
| ○ SITE LIGHTING | --- HEAVY DUTY CONCRETE |

| SITE DATA TABLE | |
|--|--|
| PROPERTY INFORMATION | |
| PROJECT NAME: | YARDLY BUFFALO E VILLAGE - DUNKIN DONUTS |
| CURRENT OWNER(S): | VSI RALEIGH LLC |
| JURISDICTION: | CITY OF RALEIGH |
| PIN #: | 1746-42-2158 |
| STREET ADDRESS: | 5101 FORESTVILLE ROAD |
| SITE SIZE & COVERAGE | |
| EXISTING ACREAGE: | 1.00 AC |
| GROSS BUILDING SQUARE FOOTAGE (PROJECT LIMITS): | 1,850 SF |
| MAXIMUM BUILDING HEIGHT: | 3 STORIES / 50' MAX |
| PROVIDED AMENITY SPACE: | N/A |
| ZONING | |
| EXISTING ZONING: | CX-3-CU |
| PROPOSED ZONING: | CX-3-CU |
| EXISTING USE (WITHIN PROJECT LIMITS): | VACANT LOT |
| PROPOSED USE (WITHIN PROJECT LIMITS): | COMMERCIAL |
| FRONTAGE REQUIREMENTS: | N/A |
| BUILDING / STRUCTURE SETBACK REQUIREMENTS | |
| PRIMARY STREET (FORESTVILLE ROAD) | 10' MINIMUM |
| SIDE STREET | N/A |
| SIDE / REAR PROPERTY LINE | 10' MINIMUM |
| PARKING SETBACK REQUIREMENTS | |
| PRIMARY STREET (FORESTVILLE RD) | 0' MINIMUM |
| SIDE STREET | N/A |
| SIDE / REAR PROPERTY LINE | 0' MINIMUM |
| OFF-STREET PARKING | |
| PARKING MAXIMUM (CX-3-CU) | 19 SPACES |
| PROVIDED PARKING: | 15 SPACES |
| PROVIDED HANDICAP PARKING: | 2 SPACES |
| PROVIDED BICYCLE PARKING: | 0 SPACES |

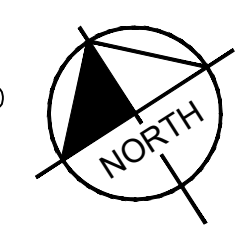
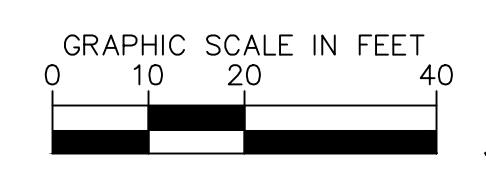


| | | |
|---|---------------------------------|----------------------------|
| <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540 PHONE: 919-275-3859 WWW.KIMLEY-HORN.COM NC LICENSE #P-102</p> | <p>DATE</p> | <p>BY</p> |
| | <p>REVISIONS</p> | <p>DATE</p> |
| <p>PRELIMINARY NOT FOR CONSTRUCTION</p> | <p>KH PROJECT 017270019</p> | <p>DATE 09/27/2023</p> |
| <p>SITE PLAN</p> | <p>SCALE AS SHOWN</p> | <p>DESIGNED BY JMC</p> |
| <p>DUNKIN DONUTS PREPARED FOR VENTURE SOUTH INVESTMENTS LLC</p> | <p>DRAWN BY JMC</p> | <p>CHECKED BY K/LW</p> |
| <p>SHEET NUMBER C200</p> | <p>RALEIGH</p> | <p>NC</p> |

Plotted By: C:\cavalieri\jessica\Sheet Set\Donuts\Donuts ASR - Layout\C300 GRADING AND DRAINAGE PLAN - September 28, 2023 01:40:37pm W:\kimley-horn.com\CL_HSP\C300 GRADING AND DRAINAGE PLAN.dwg - DWG\plansheets\donuts asr\plansheets\C300 - GRADING AND DRAINAGE PLAN.dwg



| | | | |
|-----|------------------------|-----|----------------------------------|
| --- | PROPERTY BOUNDARY | --- | RIGHT-OF-WAY |
| --- | CURB AND GUTTER | --- | STORM DRAIN |
| --- | PROPOSED MAJOR CONTOUR | --- | EXISTING MAJOR CONTOUR |
| --- | PROPOSED MINOR CONTOUR | --- | EXISTING MINOR CONTOUR |
| ○ | SPOT ELEVATION | --- | LIMITS OF DISTURBANCE |
| □ | CATCH BASIN (CB) | □ | PRIMARY TREE CONSERVATION AREA |
| ○ | MANHOLE (SDMH) | □ | SECONDARY TREE CONSERVATION AREA |



| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
| | | | |

Kimley **Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540
 WWW.KIMLEY-HORN.COM
 NC LICENSE #P-102

PRELIMINARY
 NOT FOR CONSTRUCTION

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | JMC |
| CHECKED BY | KLW |

GRADING AND DRAINAGE PLAN

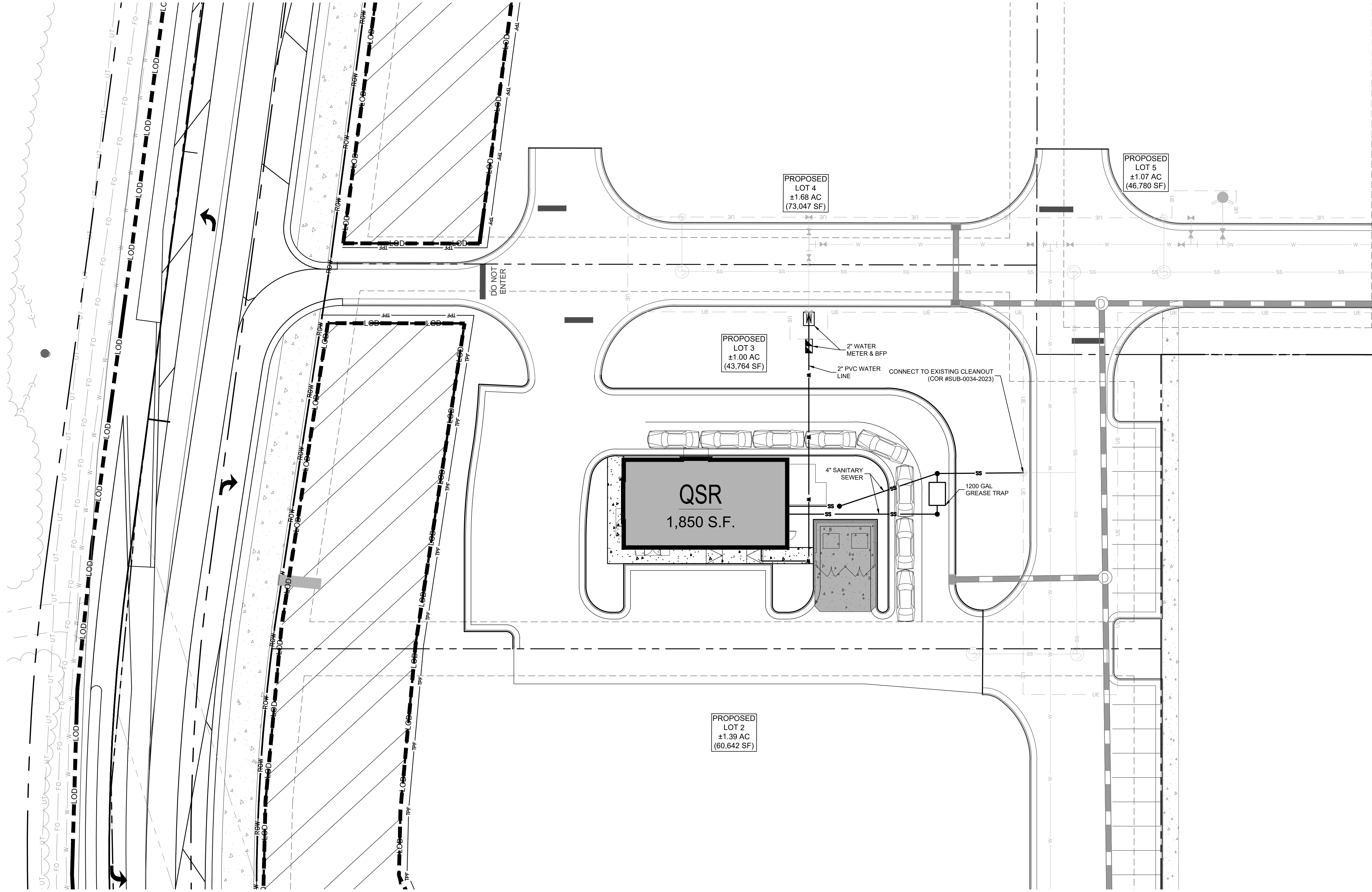
DUNKIN DONUTS
 PREPARED FOR
VENTURE SOUTH INVESTMENTS LLC

RALEIGH NC

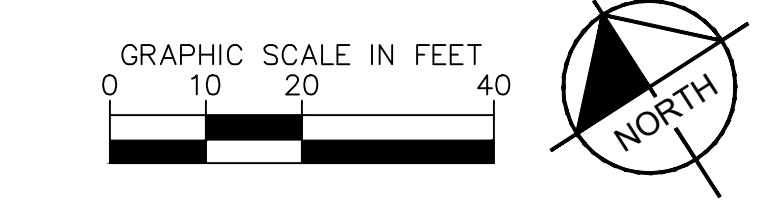
SHEET NUMBER
C300

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: C:\cavalieri... Jessica Sheet Sst Dunkin Donuts ASR Layout C400 UTILITY PLAN September 26, 2023 01:41:05pm \\kimley-horn.com\C400 - HSP\C400 - PRJ\01720 taylor morrison\019 raleigh-buffalo\02 - DWG\plan\sheet\dunkin donuts asr plansheets\C400 - UTILITY PLAN.dwg



| | | | | | |
|-----|----------------------------------|-----|--------------------------------|-----|--------------|
| --- | PROPERTY BOUNDARY | --- | ROW | --- | RIGHT-OF-WAY |
| W | WATER LINE | SS | SANITARY SEWER LINE | | |
| M | WATER METER | UE | UTILITY EASEMENT | | |
| □ | POINT OF CONNECTION | ⊗ | GATE VALVE | | |
| ⊗ | PIPE TEEBENDS | ⊗ | BACKFLOW PREVENTOR | | |
| ⊗ | FIRE HYDRANT (FH) | ⊗ | SANITARY SEWER CLEANOUT (SSCO) | | |
| ⊗ | FIRE DEPARTMENT CONNECTION (FDC) | ⊗ | SANITARY SEWER MANHOLE (SSMH) | | |



| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |
| | | | |
| | | | |
| | | | |

Kimley **Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
300 SOUTH MAIN ST. SUITE 212, HOLLY SPRINGS, NC 27540
PHONE: 919-275-3659
WWW.KIMLEY-HORN.COM
NC LICENSE #P-102

PRELIMINARY
NOT FOR CONSTRUCTION

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | MTH |
| CHECKED BY | KLW |

UTILITY PLAN

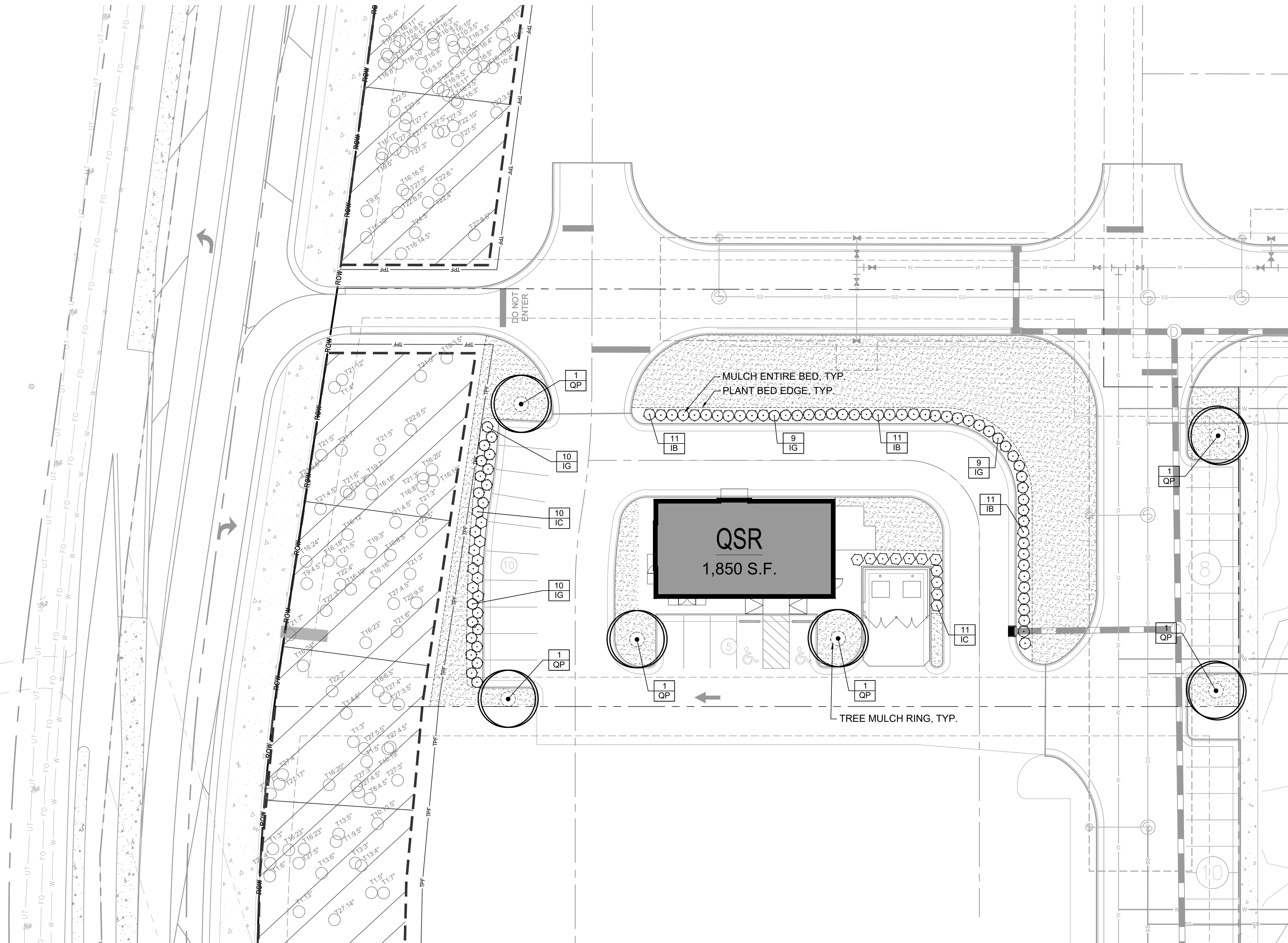
DUNKIN DONUTS
PREPARED FOR
VENTURE SOUTH INVESTMENTS LLC

RALEIGH NC

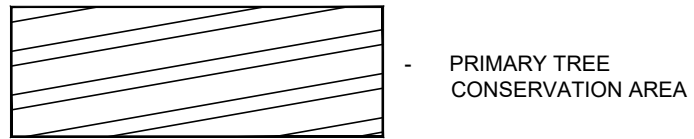
SHEET NUMBER
C400

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Scott, Justin Sheet Set: Dunkin Donuts ASR Layout: L100 LANDSCAPE PLAN September 27, 2023 03:18:19pm \\kimley-horn.com\CL_HSP\CHL_P\01017270 Taylor Morrison\019 Raleigh-Buffalo\02 - DWG\PlanSheets\Dunkin Donuts ASR Plansheet\L100 - LANDSCAPE PLAN.dwg



GROUND COVER NOTES:
 1. ESTABLISH SOD IN ALL DISTURBED AREAS. SEE SPECIFICATIONS FOR MORE INFORMATION.
 2. ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE PLAN FOR MULCH BOUNDARY LINES. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS.



GENERAL NOTES:
 1. LANDSCAPE PLAN IS FOR PLANT STAKING PURPOSES ONLY. FOR SITE IMPROVEMENTS, SEE CIVIL SHEETS.
 2. ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP AND MAINTAINED 8' MINIMUM ABOVE FINISHED GRADE TO PROVIDE CLEAR SIGHT LINES.
 3. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-03.
 4. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 2 OF THE CITY TREE MANUAL.
 5. UTILITY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND INSTALLATION.

| PARKING LOT LANDSCAPING- UDO 7.1.7F | |
|---|------|
| Parking Spaces Provided | 23 |
| Required Shade Trees (1 per 2000 SF of Required) | 1.86 |
| 1 Tree Per End Terminal and Island | 4.00 |
| Provided Deciduous Trees | 4 |

| PROTECTIVE YARDS- UDO 7.2.4B | | | | | |
|--|------------|------|-----|----------------|----------------------------|
| Location | Width (LF) | Type | LF | Required | Provided |
| West Property Line (Forestville Rd) 10' Min Setback: 4 Shade Trees/100 LF | 10 Min | C2 | 124 | 5.0 Large Tree | Met By Existing Vegetation |

| PLANT SCHEDULE | | | | | | |
|----------------|-----|------------------------------|-------------------------|-------|---------|-----------------|
| TREES | QTY | BOTANICAL NAME | COMMON NAME | CONT | CALIPER | PLANTING HEIGHT |
| QP | 6 | Quercus phellos 'QPSTA' | Hightower® Willow Oak | B & B | 3" CAL. | 10' HT. MIN. |
| SHRUBS | QTY | BOTANICAL NAME | COMMON NAME | CONT | HEIGHT | |
| IB | 33 | Ilex cornuta 'Dwarf Burford' | Dwarf Burford Holly | CONT. | 18" HT. | |
| IC | 21 | Ilex crenata 'Compacta' | Dwarf Japanese Holly | CONT. | 18" HT. | |
| IG | 38 | Ilex glabra 'Shamrock' | Shamrock Inkberry Holly | CONT. | 18" HT. | |

| No. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
| | | | |

Kimley-Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 300 SOUTH MAIN ST., SUITE 212, HOLLY SPRINGS, NC 27540
 WWW.KIMLEY-HORN.COM
 NC LICENSE #P-102

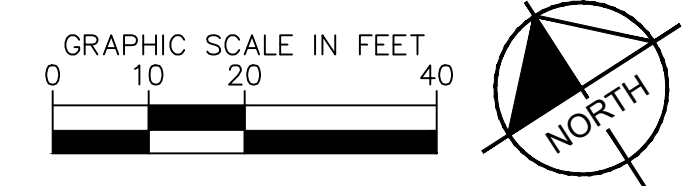
PRELIMINARY
 NOT FOR CONSTRUCTION

| | |
|-------------|------------|
| KH PROJECT | 017270019 |
| DATE | 09/27/2023 |
| SCALE | AS SHOWN |
| DESIGNED BY | JMC |
| DRAWN BY | MTH |
| CHECKED BY | KLW |

LANDSCAPE PLAN

DUNKIN DONUTS
 PREPARED FOR
 VENTURE SOUTH
 INVESTMENTS LLC

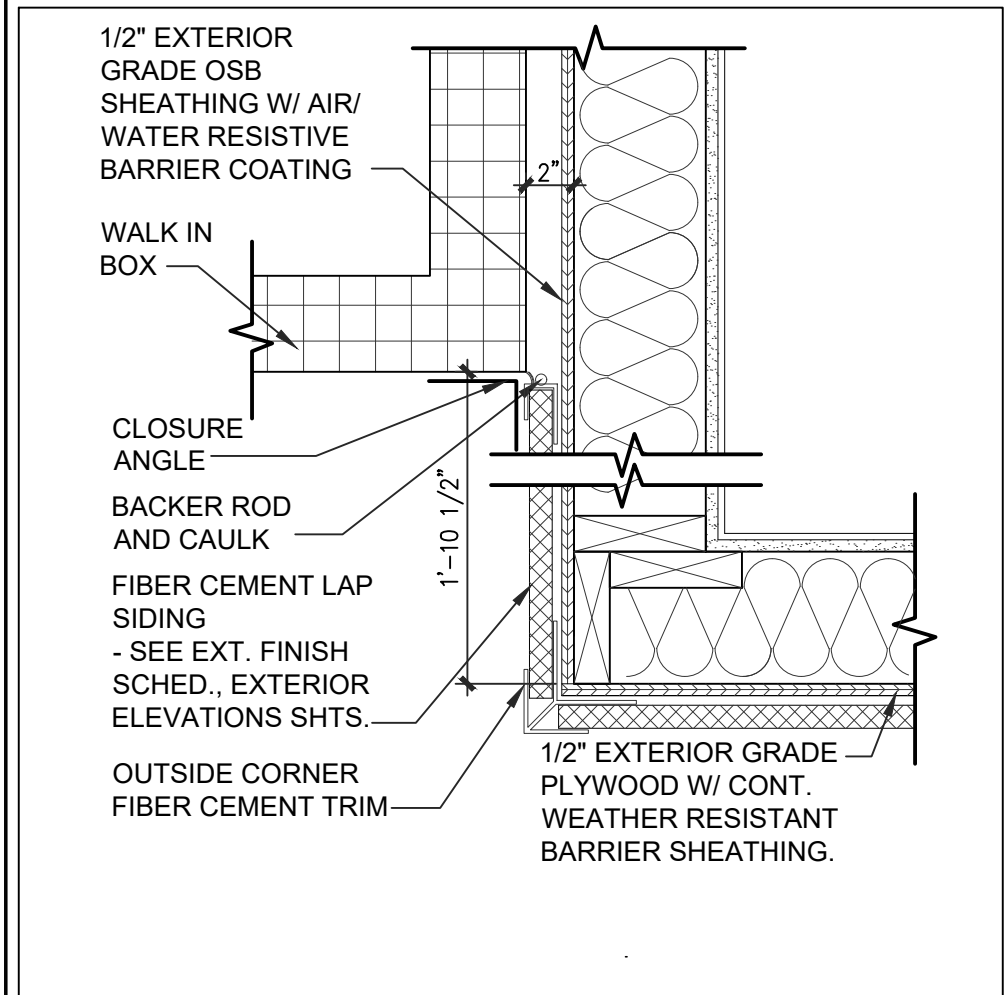
RALEIGH NC
 SHEET NUMBER
L100



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LEGEND:

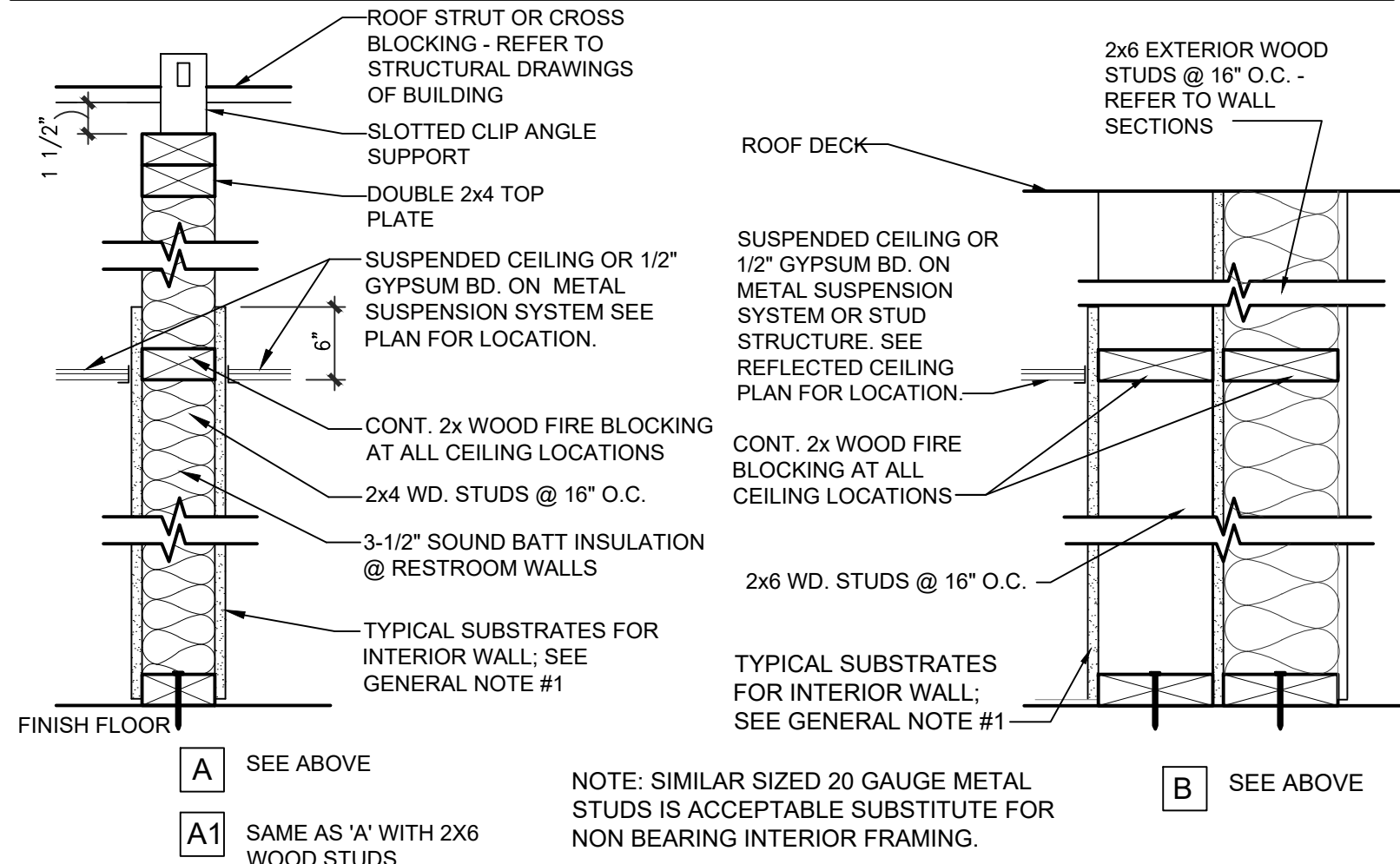
- INTERIOR STUD WALL - 2x FRAMING @ 16" O.C.
- SOUND ATTENUATION BLANKETS IN WALL
- EXTERIOR WALL WITH FIBER CEMENT SIDING EXTERIOR FINISH
- WALK-IN COOLER WALL



3 WALK IN BOX CORNER DETAIL
1-1/2" = 1'-0" NOTE:

NOTES:

- ALL JUNCTIONS BETWEEN THE WALL SURFACES AND THE EDGES OF ATTACHED EQUIPMENT AS WELL AS ALL ANNULAR OPENINGS AROUND PIPES DUCTS OR OTHER CONDUITS WERE THEY PASS THROUGH WALLS AND FLOOR SHALL BE SEALED WITH A MIXTURE OF STEEL WOOL AND APPROVED CAULK/ SEALING COMPOUND. ENSURE TOP PLATES AND THE JOINTS BETWEEN WALLS AND CEILINGS ARE SEALED.
- ALL SHAFTS: PROPER FLASHING AROUND FLUE AND GAPS SEALED AND CAULKED
- ALL PENETRATIONS AT EXTERIOR WALLS SHALL BE SEALED INCLUDING VENTS AND ELECTRICAL CONDUIT & BOXES.
- PROVIDE CORROSION-PROOF RODENT/BIRD SCREENS (E.G., STEEL MESH) FOR ALL BUILDING OPENINGS THAT CANNOT BE FULLY SEALED AND CAULKED (E.G., VENTILATION SYSTEM INTAKE / EXHAUST OUTLETS AND ATTIC VENT OPENINGS).



2 INTERIOR PARTITION TYPES
1-1/2" = 1'-0" NOTE:

GENERAL NOTES:

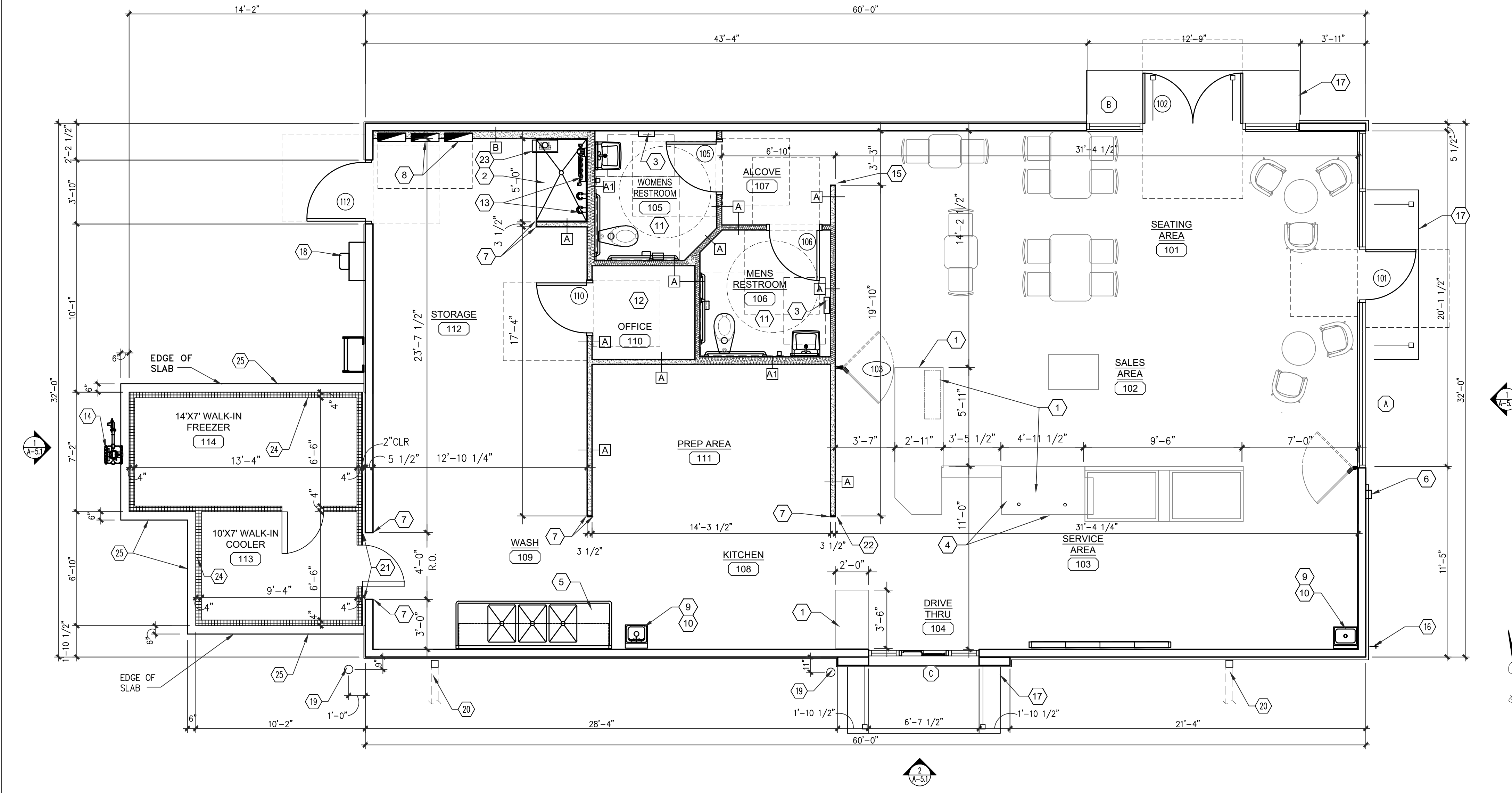
- TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS:
KITCHEN AND STORAGE AREAS: 0'-0" TO 3'-0" - 5/8" DUROCK CEMENT BOARD.
SERVICE AREA: 3/4" MIN. PLYWOOD
CERAMIC TILE: 3/4" DUROCK CEMENT BOARD
SALES AND SEATING AREAS: 1/2" GYPSUM BOARD
GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING IN BATHROOMS FOR GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES AS REQUIRED UNLESS OTHERWISE NOTED.
CERAMIC TILE LOCATIONS SHALL RECEIVE 5/8" CEMENT BOARD.
- DIMENSIONS SHOWN ARE TO THE FACE OF STUD.
- SEE SHEET A-9.0 FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.
- PROVIDE FIRE EXTINGUISHERS, TYPE U.N.O. WALL HUNG, TOP @ 4'-0" A.F.F. (BY G.C.). - NUMBER AND LOCATION AS DETERMINED BY LOCAL FIRE MARSHAL.

SCOPE OF WORK NOTES:

- GENERAL:**
 - A. THE GC IS RESPONSIBLE FOR PURCHASING AND INSTALLING AT GC'S EXPENSE. EVERYTHING SHOWN OR REFERENCED IN THE CONTRACT DOCUMENTS EXCEPT FOR THE ITEMS SPECIFICALLY SET FORTH BELOW AS EXCEPTIONS TO THE GC'S OVERALL RESPONSIBILITY.
 - B. THE CONTRACT DOCUMENTS, SHALL INCLUDE THE FOLLOWING: THE PLANS, SPECIFICATIONS, CHANGE ORDERS, MODIFICATIONS TO THE CONTRACT, REQUESTS FOR INFORMATION, FIELD INSTRUCTIONS, AND ANY OTHER ITEM AS SET FORTH IN THE AGREEMENT BETWEEN THE CONTRACTOR AND OWNER.
 - C. THE GC IS RESPONSIBLE FOR ALL PERMITS AND LICENSES OF ANY NATURE REQUIRED TO CONSTRUCT THE PROJECT OR TO SECURE A CERTIFICATE OF OCCUPANCY, EXCEPT FOR IMPACT FEES AND/ OR THE GENERAL BUSINESS LICENSE.
- SIGNAGE:**
 - A. ALL SIGNAGE AND GRAPHICS (INTERIOR AND EXTERIOR) INCLUDING DRIVE-THRU AREAS AND BUILDING SIGNAGE INCLUDING ORANGE PROJECT METAL BAND SHALL BE FURNISHED AND INSTALLED BY THE OWNER'S VENDOR. GC IS RESPONSIBLE FOR COORDINATING ALL BLOCKING AND ELECTRICAL REQUIREMENTS WITH THE OWNER'S SIGN VENDOR AS REQUIRED.
 - B. OWNER'S SIGN VENDOR SHALL BE RESPONSIBLE FOR PULLING ALL REQUIRED SIGN PERMITS AS DICTATED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- SPEAKERS/ AUDIO:**
 - A. ALL SPEAKERS, SPEAKER WIRING AND SPEAKER EQUIPMENT TO BE FURNISHED BY GC. GC'S ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ROUGH-IN, INSTALLATION AND FINAL CONNECTIONS.

PLAN NOTES:

- MILLWORK, MODULAR WORKSTATIONS & EQUIPMENT PROVIDED BY OTHERS - REFER TO K1.0 & K2.0.
- CAN WASH - REFER TO DETAIL 3/A2.0.
- ELECTRIC HAND DRYER, SURFACE MOUNTED - REFER TO ELECTRICAL DRAWINGS.
- RUN CONDUIT FROM POS STATION UNDER SLAB TO WALL; COORDINATE EXACT LOCATION WITH OWNER'S REPRESENTATIVE.
- 3 COMPARTMENT SINK W/ 2 INTEGRATED DRAIN BOARDS- PROVIDE DEDICATED WATER SUPPLY FOR P&G DISPENSER. P&G EQUIPMENT INSTALLED BY VENDOR- SEE PLUMBING DRAWINGS
- KNOX BOX; VERIFY MOUNTING LOCATION W/ LOCAL FIRE DEPT.
- 2' X 2" STAINLESS STEEL CORNER GUARDS, 6'-2" LONG (TYPICAL THROUGHOUT KITCHEN)
- ELECTRICAL PANELS; SEE ELECTRICAL SHEETS
- HAND SINK; REFER TO PLUMBING DRAWINGS
- PROVIDE DIRECT LINE W/ TEMPERATURE REGULATOR VALVE FROM WH TO ALL HAND WASHING SINKS
- SEE DETAIL 3/A-8.2 FOR ENLARGED BATHROOM AREA PLAN
- G.C. TO PROVIDE ANCHOR BOLTS FOR SLAB MOUNTED SAFE IN OFFICE - REFER TO EQUIP. SCHEDULE FOR SAFE MODEL# AND SPECIFICATIONS.
- WATER FILTRATION SYSTEM (BRANCH OFF MAIN LINE) FOR COFFEE BREWING EQUIPMENT, ICE MACHINES; LOCATE ABOVE WATER METER
- GAS METER- REFER TO PLUMBING DRAWING
- 1/2" BRUSHED ALUMINUM CORNER GUARD
- EXTERIOR HOSE BIB. RE: PLUMBING DRAWING.
- LINE OF CANOPY ABOVE.
- ELECTRICAL SERVICE GEAR RE: ELECTRICAL DRAWING.
- BOLLARD RE: 3/S-P1.1
- EXTERIOR SCUPPER AND DOWNSPOUT. GC SHALL ROUTE BELOW GRADE AND TIE INTO UNDERGROUND STORM. RE: CIVIL & PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- STAINLESS STEEL CLOSURE AT WORK IN COOLER BOX PER MANUFACTURER
- PROVIDE CLEAR ANODIZED ALUM EDGE TRIM (SCHLUTER 'JOLLY') FOR FULL HEIGHT WALL @ EXTERNAL CORNERS & ALL LOCATIONS WHERE TILE ENDS.
- WALL HUNG WATER HEATERS - SEE PLUMBING DWGS.
- PREMANUFACTURED PREFINISHED WHITE WALK-IN COOLER/FREEZER BOX.
- SLAB SHALL BE DEPRESSED 4" AT WALK-IN-BOX.



DD GREEN NOTES

- INDOOR AIR QUALITY MANAGEMENT: DURING CONSTRUCTION THE USE OF SMOKING TOBACCO PRODUCTS THAT POLLUTE THE AIR INSIDE THE BUILDING SHALL BE PROHIBITED. IF THE HVAC SYSTEMS ARE USED DURING CONSTRUCTION ACTIVITIES TEMPORARY FILTRATION SHALL BE USED ON ALL RETURN AIR INTAKES AND FILTERS INSIDE THE UNIT SHALL BE REPLACED PRIOR TO BUILDING TURNOVER CONSTRUCTION ACTIVITIES THAT PRODUCE DUST SHALL TAKE PLACE PRIOR TO HVAC USE AND EVERY EFFORT SHALL BE MADE TO DIRECT THESE ACTIVITIES TO THE OUTDOORS. MATERIALS THAT ARE ABSORPTIVE SHALL NOT BE BROUGHT ON-SITE UNTIL THE BUILDING IS SUFFICIENTLY DRIED IN AND SHALL BE ELEVATED FROM THE GROUND AND COVERED WHILE STORED ON-SITE. ALL INDOOR AIR QUALITY MANAGEMENT POLICIES SHALL BE PHOTOGRAPHED AT 25%, 50% & 75% PROJECT COMPLETION TO CONFIRM MEASURES WERE FOLLOWED.
- RECYCLED MATERIAL USE: UTILIZE ALL PROTOTYPICAL BUILDING MATERIALS, WHICH HAVE BEEN SELECTED TO INCLUDE HIGH RECYCLED CONTENT.
- CONSTRUCTION WASTE RECYCLING: DURING CONSTRUCTION ALL CONSTRUCTION-RELATED RECYCLABLE WASTE SHOULD BE RECYCLED/ RE-USED OR OTHERWISE DIVERTED FROM A LANDFILL. ALL CONCRETE, METAL & PLASTIC THAT MEETS LOCAL RECYCLING STANDARDS SHOULD BE RECYCLED AT MINIMUM & WHERE LOCAL MUNICIPALITIES OR VENDORS OFFER COMMINGLED RECYCLING OPPORTUNITIES ALL INDOOR AIR QUALITY MANAGEMENT POLICIES SHALL BE PHOTOGRAPHED AT 25%, 50% & 75% PROJECT COMPLETION TO CONFIRM MEASURES WERE FOLLOWED.
- SOLAR SHADE USE: BUILDING UTILIZES SOLAR SIDES OR WINDOW TINT @ ALL WINDOWS UNO TO IMPROVE COMFORT & REDUCE SOLAR HEAT GAIN.
- TOBACCO SMOKE CONTROL: TOBACCO USE TO BE PROHIBITED INSIDE, WITHIN 25 FEET OF THE BUILDING ENTRANCES & OUTSIDE ALL AIR INTAKES.
- FRANCHISEE TO COMPLY W/ COMMUNITY OUTREACH DD GREEN REQUIREMENTS.
- FRANCHISEE TO COMPLY W/ UTILITY & DATA REPORTING DD GREEN REQUIREMENTS.

DD GREEN NOTES

- INDOOR AIR QUALITY MANAGEMENT: DURING CONSTRUCTION THE USE OF SMOKING TOBACCO PRODUCTS THAT POLLUTE THE AIR INSIDE THE BUILDING SHALL BE PROHIBITED. IF THE HVAC SYSTEMS ARE USED DURING CONSTRUCTION ACTIVITIES TEMPORARY FILTRATION SHALL BE USED ON ALL RETURN AIR INTAKES AND FILTERS INSIDE THE UNIT SHALL BE REPLACED PRIOR TO BUILDING TURNOVER CONSTRUCTION ACTIVITIES THAT PRODUCE DUST SHALL TAKE PLACE PRIOR TO HVAC USE AND EVERY EFFORT SHALL BE MADE TO DIRECT THESE ACTIVITIES TO THE OUTDOORS. MATERIALS THAT ARE ABSORPTIVE SHALL NOT BE BROUGHT ON-SITE UNTIL THE BUILDING IS SUFFICIENTLY DRIED IN AND SHALL BE ELEVATED FROM THE GROUND AND COVERED WHILE STORED ON-SITE. ALL INDOOR AIR QUALITY MANAGEMENT POLICIES SHALL BE PHOTOGRAPHED AT 25%, 50% & 75% PROJECT COMPLETION TO CONFIRM MEASURES WERE FOLLOWED.
- RECYCLED MATERIAL USE: UTILIZE ALL PROTOTYPICAL BUILDING MATERIALS, WHICH HAVE BEEN SELECTED TO INCLUDE HIGH RECYCLED CONTENT.
- CONSTRUCTION WASTE RECYCLING: DURING CONSTRUCTION ALL CONSTRUCTION-RELATED RECYCLABLE WASTE SHOULD BE RECYCLED/ RE-USED OR OTHERWISE DIVERTED FROM A LANDFILL. ALL CONCRETE, METAL & PLASTIC THAT MEETS LOCAL RECYCLING STANDARDS SHOULD BE RECYCLED AT MINIMUM & WHERE LOCAL MUNICIPALITIES OR VENDORS OFFER COMMINGLED RECYCLING OPPORTUNITIES ALL INDOOR AIR QUALITY MANAGEMENT POLICIES SHALL BE PHOTOGRAPHED AT 25%, 50% & 75% PROJECT COMPLETION TO CONFIRM MEASURES WERE FOLLOWED.
- SOLAR SHADE USE: BUILDING UTILIZES SOLAR SIDES OR WINDOW TINT @ ALL WINDOWS UNO TO IMPROVE COMFORT & REDUCE SOLAR HEAT GAIN.
- TOBACCO SMOKE CONTROL: TOBACCO USE TO BE PROHIBITED INSIDE, WITHIN 25 FEET OF THE BUILDING ENTRANCES & OUTSIDE ALL AIR INTAKES.
- FRANCHISEE TO COMPLY W/ COMMUNITY OUTREACH DD GREEN REQUIREMENTS.
- FRANCHISEE TO COMPLY W/ UTILITY & DATA REPORTING DD GREEN REQUIREMENTS.

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC., UNDER RESTRICTED ACCESS.

dunkin'

PROJECT NO.: 23105

NATIONAL RESTAURANT DESIGNERS
A DIVISION OF LHMT ASSOCIATES
7208 ACC BLVD, 2ND FLOOR
RALEIGH, NC 27617
PHONE: 919.544.0087 FAX: 919.544.0099

PRELIMINARY NOT FOR CONSTRUCTION

| NO | DESCRIPTION | DATE | SCALE | DRAWN | AY | CKD | APPD |
|---------------|-------------|------|-------|-------|----|-----|------|
| SET REVISIONS | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

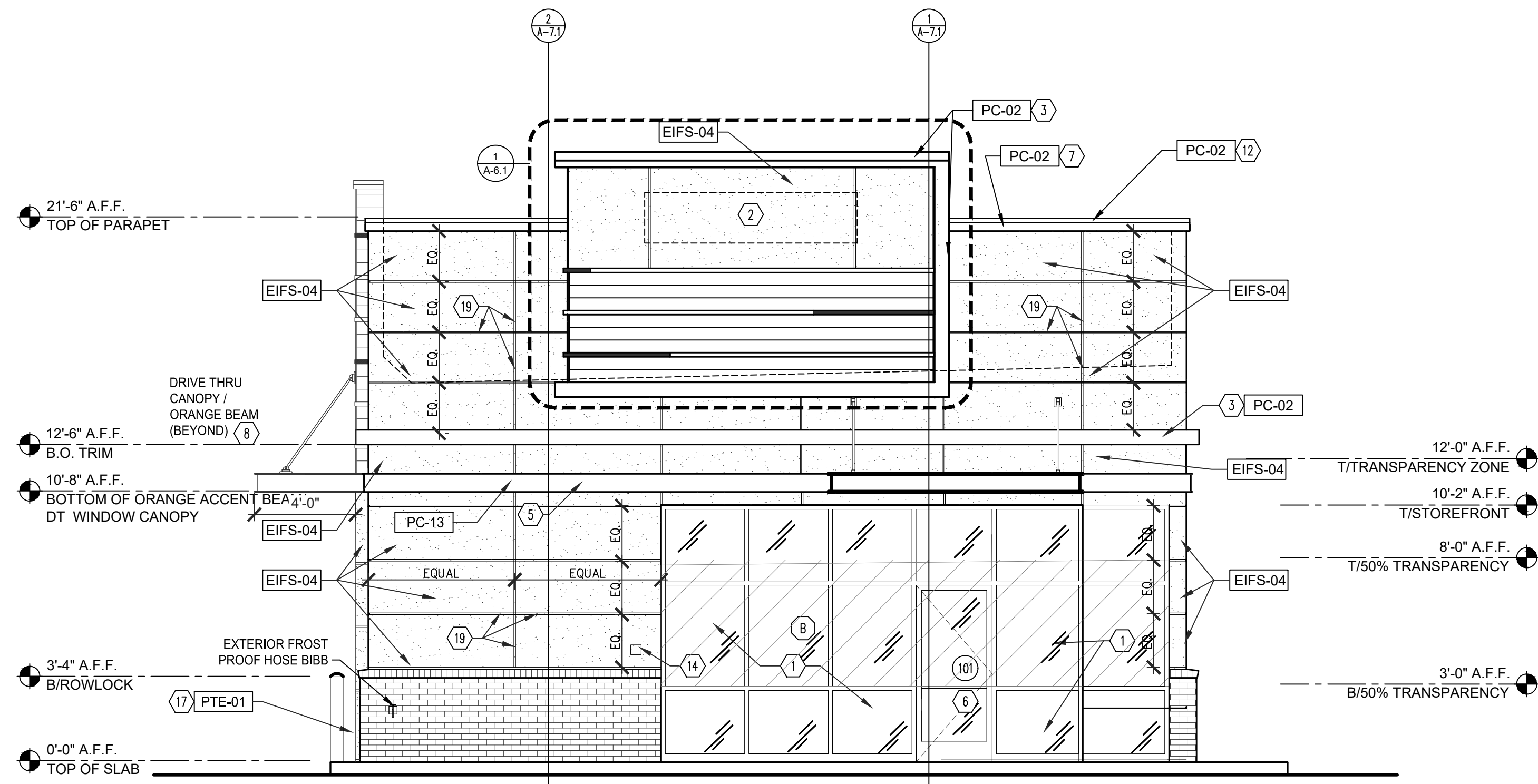
BUFFALO ROAD AND FORESTVILLE ROAD
RALEIGH, NC

FLOOR PLAN, NOTES,
PARTITION TYPES

PC# -

A-1.0

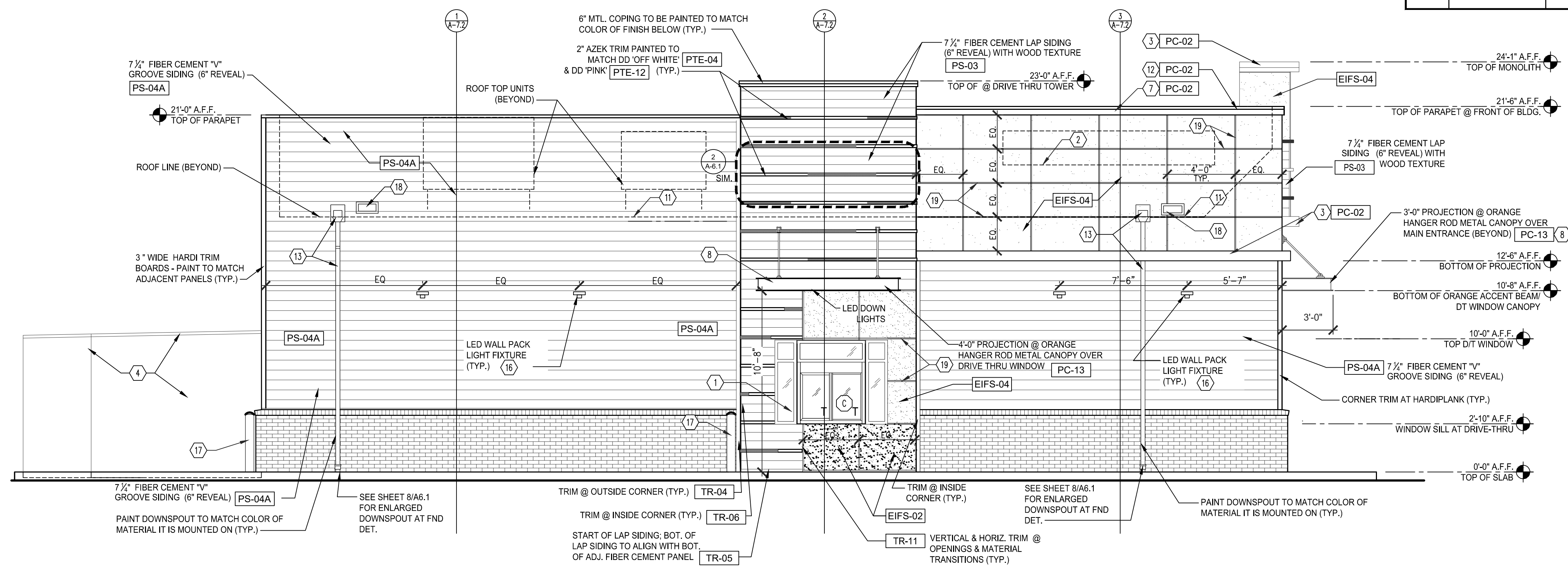
NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



NOTE: ALL GLASS ON THIS ELEVATION COMPLIES WITH UDO SECTION 1.5.3.B.4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%.

| TRANSPARENCY CALCULATIONS | |
|--|-------------|
| GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER UDO BETWEEN 0'-0" AND 12'-0" | 394 SQ. FT. |
| TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0" | 197 SQ. FT. |
| 50% TOTAL TRANSPARENCY REQUIRED ON FRONT ELEVATION | 204 SQ. FT. |
| TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0" | 99 SQ. FT. |
| 50% OF THE 50% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0" | 100 SQ. FT. |

1 FRONT ELEVATION
 A5.0 SCALE: 1/4" = 1'-0"
 FACES FORESTVILLE ROAD



2 LEFT ELEVATION
 A5.0 SCALE: 1/4" = 1'-0"
 FACES PRIVATE STREET

| EXTERIOR FINISH SCHEDULE - NEXT GEN IMAGE - ALL FINAL FINISHES TBD | | | | |
|--|-------------------------|------------------|--|--|
| TAG | MATERIAL | MANUFACTURER | PRODUCT NO | DESCRIPTION/REMARKS |
| EIFS-01 | E.I.F.S. | DRYVIT | COLOR: CONCRETE PATTERN | "CONCRETE" EIFS: DRYVIT #DU00 29 2745 ST: MATCH SW 7019 GAUNTLET GRAY LIMESTONE FINISH |
| EIFS-02 | E.I.F.S. | DRYVIT | COLOR: CHARCOAL PATTERN | "CHARCOAL" E.I.F.S.: DRYVIT #DU00 312735S: MATCH SW 7069 IRON ORE: SANDPEBBLE FINE |
| EIFS-04 | E.I.F.S. | DRYVIT | COLOR: GAUNTLET GREY | "GREY" EIFS: DRYVIT #DU00 23 2736S ST: MATCH SW 7019 GAUNTLET GREY: SANDPEBBLE FINE |
| PS-02 | FIBER CEMENT SIDING | JAMES HARDIE | NEBULOUS WHITE FINISH | COLOR: "NEBULOUS WHITE SW7063" SURFACE: HARDIE SIDING DIMENSION: "V" GROOVE WITH 7" SIDING EXPOSURE |
| PS-03 | FIBER CEMENT LAP SIDING | WOODTONE | WOOD FINISH RUSTIC SERIES WOODTONE | COLOR: "HONEY GLAZE" WOOD PATTERN SURFACE: WOOD PATTERN PLANK DIMENSION: 7 1/4" X 12" X 5/16" THICK WITH 6" SIDING EXPOSURE NOTE: NAILS TO MATCH WOOD FINISH |
| PS-04A | FIBER CEMENT SIDING | JAMES HARDIE | GAUNTLET GREY FINISH | COLOR: "GAUNTLET GREY SW7019" SURFACE: HARDIE SIDING DIMENSION: "V" GROOVE WITH 7" SIDING EXPOSURE |
| TR-02 | METAL | TAMLYN | EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT | OFF WHITE ACENT BAND SEE SFD4 (WHITE) |
| TR-04 | METAL | TAMLYN | (XOCLP34) OUTSIDE CORNER TRIM USED AT TOWER ELEMENT | TO MATCH FIBER CEMENT LAP SIDING PS-3 |
| TR-05 | METAL | TAMLYN | (XSS16) BOTTOM "STARTER" TRIM. USED AT TOWER ELEMENT | CLEAR ANODIZED |
| TR-06 | METAL | TAMLYN | (JMH34) VERTICAL TERMINATION TRIM-TYP. USED AT TOWER ELEMENT | FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-3 |
| TR-07 | METAL | TAMLYN | (JMH716) TOP TRIM USED AT TOWER ELEMENT | FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-3 |
| TR-10 | METAL | JAMES HARDIE | JH SURROUND OUTSIDE CORNER TRIM | FACTORY FINISH CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS, USED WITH JAMES HARDIE REVEAL PANELS |
| PC-02 | PAINTED COATING | SHERWIN WILLIAMS | CHARCOAL FINISH | SW 7069 "IRON ORE" |
| PC-04 | PAINTED COATING | SHERWIN WILLIAMS | WHITE FINISH | SW 7063 "NEBULOUS WHITE" |
| PC-12 | PAINTED COATING | SHERWIN WILLIAMS | DD PINK FINISH | COLOR: MATCH PMS 219 C |
| PC-13 | PAINTED COATING | SHERWIN WILLIAMS | DD ORANGE FINISH COLOR # 5059990 | BLENDED AT: SHERWIN WILLIAMS PRODUCT FINISHES, LOWELL, MA PRODUCT: LV3 - GENESIS LOW VOC SATIN GT1039 ORANGE TONER 785.97G / 19GAL GT1511 LOW VOC GLOSS CLEAR 529.21G / 12GAL GT1043 AUTUMN ORANGE 194.04G / 0.05GAL GT1011 ARTIC WHITE 137.20G / 0.02GAL GREY08B REDUCER 442.38G / 13GAL GT1510 LOW VOC FLAT CLEAR 215.721G / 49GAL |
| PTE-01 | PAINT | SHERWIN WILLIAMS | CONCRETE FINISH SW7064 "PASSIVE WHITE" | PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794 |
| PTE-02 | PAINT | SHERWIN WILLIAMS | CHARCOAL FINISH SW7069 "IRON ORE" | MARK T. WEINER NATIONAL ACCOUNT EXECUTIVE 63 CHURCH ST BARRINGTON, RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WEINER@SHERWIN.COM |
| PTE-04 | PAINT | SHERWIN WILLIAMS | OFF WHITE FINISH SW7063 "NEBULOUS WHITE" | |
| PTE-05 | PAINT | SHERWIN WILLIAMS | MID-TONE FINISH SW7066 "GRAY MATTERS" | |
| PTE-09 | PAINT | SHERWIN WILLIAMS | SW 7069 "IRON ORE" | |
| PTE-12 | PAINT | SHERWIN WILLIAMS | DD PINK COLOR MATCH PMS 219C AMP ULTRA LOW V.O.C. | |
| PTE-13 | PAINT | SHERWIN WILLIAMS | DD ORANGE COLOR MATCH PMS 165C AMP ULTRA LOW V.O.C. | |

- ELEVATION NOTES:**
- STOREFRONT WINDOW SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
 - EXTERIOR WALL SIGNAGE TO BE PROVIDED BY OWNER'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE ELECTRICAL SUPPLY AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELECT DWGS FOR J-BOX LOCATION
 - PROJECTED FRAMING WRAPPED IN METAL REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
 - FACTORY FINISHED WHITE COOLER/FREEZER BOX.
 - PRE-FAB PROJECTED METAL BAND PROVIDED & INSTALLED BY G.C. THROUGH DUNKIN' SIGN VENDOR.
 - EXTERIOR DOOR PER SCHEDULE
 - 2x6 WRAPPED IN BREAK METAL TO MATCH COPING ABOVE- REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
 - HANGER ROD CANOPY PROVIDE & INSTALLED BY G.C. THROUGH DUNKIN' NATIONAL VENDOR.
 - HOLLOW METAL DOOR & FRAME, PAINT DOORS P-3 AND FRAMES P-6.
 - NEW ELECTRICAL EQUIPMENT- REFER TO ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND
 - METAL SNAP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR - REFER TO DETAILS ON DRAWING AS01
 - METAL SCUPPER AND DOWNSPOUT. SEE DRAWING A161-TIE INTO STORM WATER- SEE CIVIL DRAWINGS.
 - KNOX BOX SERIES 3200 RECESSED WITH LIFT-OFF DOOR TO BE MOUNTED 4'-0" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
 - EMERGENCY LIGHT FIXTURE MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F.
 - DECORATIVE EXTERIOR LIGHTS- REFER TO ELECTRICAL DWGS.
 - BOLLARD- REFER TO DETAIL 8/AS501.
 - METAL OVERFLOW SCUPPER- SEE DETAIL 4/A161.
 - E.I.F.S. "V" GROOVE JOINT - REFER TO DETAIL 4/A-7.0.

- GENERAL NOTES:**
- SIGNAGE BY OWNER NATIONAL VENDOR- TO BE FILED UNDER SEPARATE PERMIT TYPICAL.
 - SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
 - COORDINATE WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.
 - SEE ELECTRICAL DRAWINGS FOR ALL LIGHTING SPECS.

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC., UNDER RESTRICTED ACCESS.

PROJECT NO.: 23105

NATIONAL RESTAURANT DESIGNERS
 A DIVISION OF LMHT ASSOCIATES
 7208 ACC BLVD, 2ND FLOOR
 RALEIGH, NC 27617
 PHONE: 919.544.0087 FAX: 919.544.0099

PRELIMINARY NOT FOR CONSTRUCTION

| DATE | SCALE | MT/DRAWN | CN/CKD | APPD |
|------------|-------|----------|--------|------|
| 09/25/2023 | | | | |

SET REVISIONS

| NO | DESCRIPTION |
|----|-------------|
| | |

SHEET REVISIONS

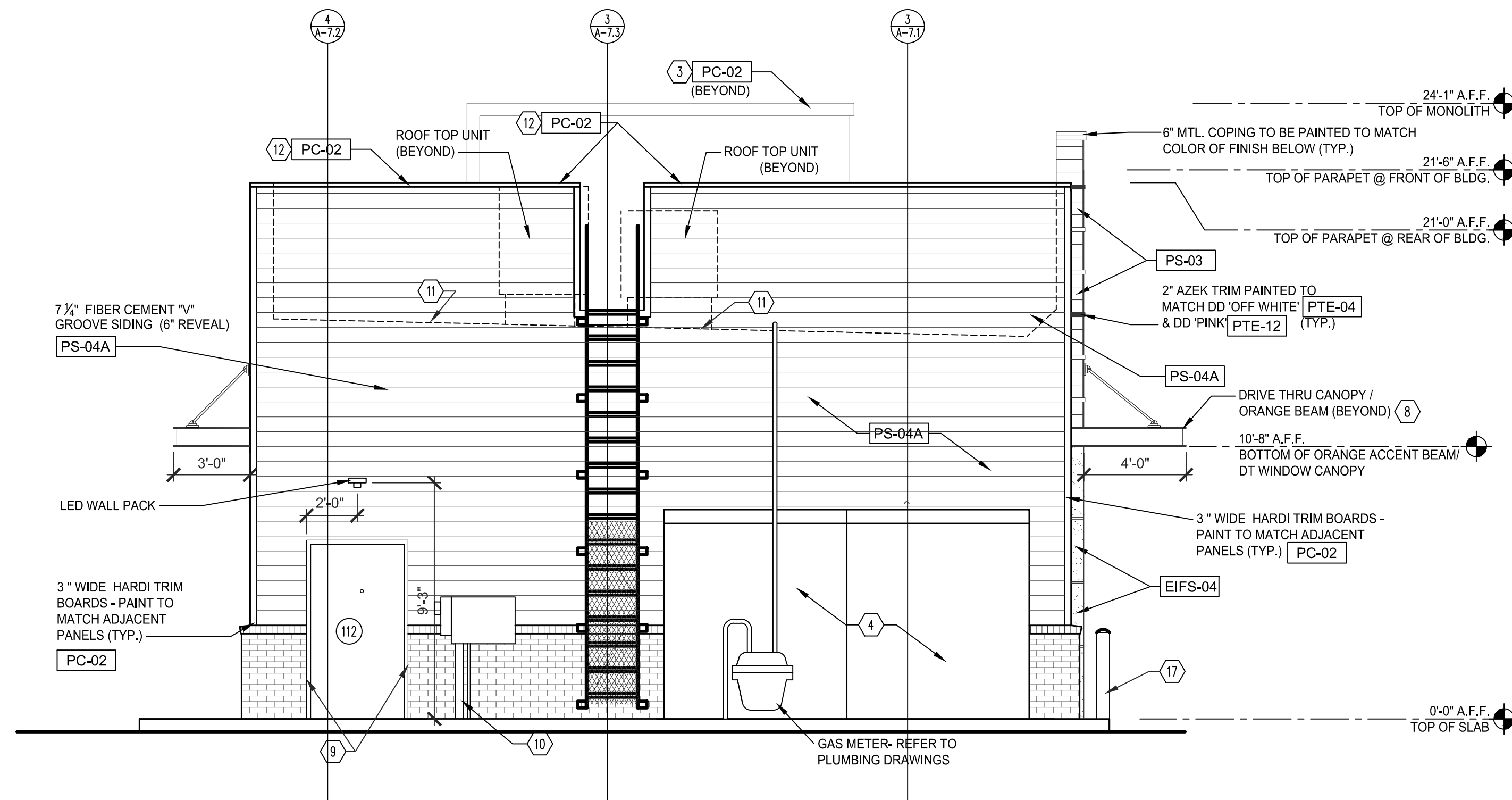
| NO | DESCRIPTION |
|----|-------------|
| | |

PC# -

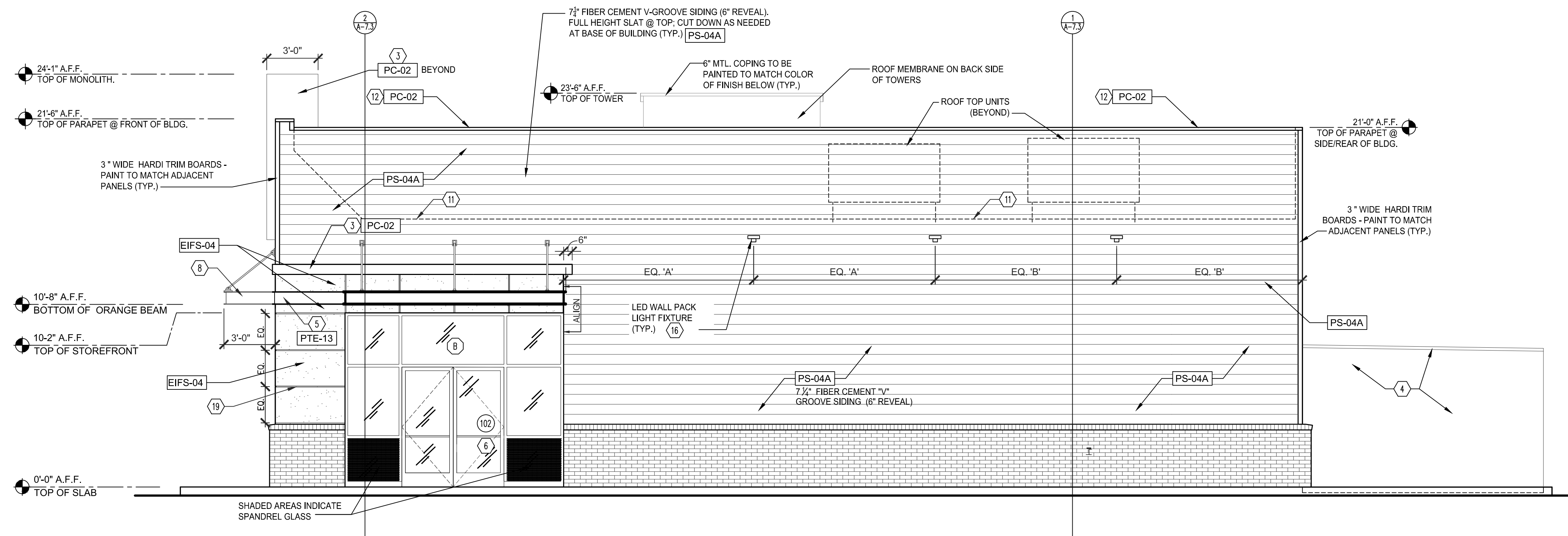
BUFFALO ROAD AND FORESTVILLE ROAD
 RALEIGH, NC

EXTERIOR ELEVATIONS

A-5.0



1 REAR ELEVATION FACES PRIVATE STREET / DUMPSTER ENCLOSURE
 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION FACES ADJACENT BUILDING / PARKING LOT
 SCALE: 1/4" = 1'-0"

| EXTERIOR FINISH SCHEDULE - NEXT GEN IMAGE - ALL FINAL FINISHES TBD | | | | |
|--|-------------------------|------------------|--|--|
| TAG | MATERIAL | MANUFACTURER | PRODUCT NO | DESCRIPTION/REMARKS |
| EIFS-01 | E.I.F.S. | DRYVIT | COLOR: CONCRETE PATTERN | "CONCRETE" EIFS: DRYVIT #DU0 29 2745 ST: MATCH SW 7019 GAUNTLET GRAY LIMESTONE FINISH |
| EIFS-02 | E.I.F.S. | DRYVIT | COLOR: CHARCOAL PATTERN | "CHARCOAL" E.I.F.S.: DRYVIT #DU0 312736S: MATCH SW 7069 IRON ORE: SANDPEBBLE FINE |
| EIFS-04 | E.I.F.S. | DRYVIT | COLOR: GAUNTLET GREY | "GREY" EIFS: DRYVIT #DU0 23 2738S ST: MATCH SW 7019 GAUNTLET GREY: SANDPEBBLE FINE |
| PS-02 | FIBER CEMENT SIDING | JAMES HARDIE | NEBULOUS WHITE FINISH | COLOR: "NEBULOUS WHITE SW7063" SURFACE: HARDIE SIDING DIMENSION: "V" GROOVE WITH 7" SIDING EXPOSURE |
| PS-03 | FIBER CEMENT LAP SIDING | WOODTONE | WOOD FINISH RUSTIC SERIES WOODTONE | COLOR: "HONEY GLAZE" WOOD PATTERN SURFACE: WOOD PATTERN PLANK DIMENSION: 7 1/4" X 12" X 5/16" THICK WITH 6" SIDING EXPOSURE. NOTE: NAILS TO MATCH WOOD FINISH |
| PS-04A | FIBER CEMENT SIDING | JAMES HARDIE | GAUNTLET GREY FINISH | COLOR: "GAUNTLET GREY SW7019" SURFACE: HARDIE SIDING DIMENSION: "V" GROOVE WITH 7" SIDING EXPOSURE |
| TR-02 | METAL | TAMLYN | EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT | OFF WHITE ACCENT BAND SEE SF04 (WHITE) |
| TR-04 | METAL | TAMLYN | (XOCLP34) OUTSIDE CORNER TRIM USED AT TOWER ELEMENT | TO MATCH FIBER CEMENT LAP SIDING PS-3 |
| TR-05 | METAL | TAMLYN | (XSS16) BOTTOM "STARTER" TRIM. USED AT TOWER ELEMENT | CLEAR ANODIZED |
| TR-06 | METAL | TAMLYN | (JMH34) VERTICAL TERMINATION TRIM-TYP. USED AT TOWER ELEMENT | FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-3 |
| TR-07 | METAL | TAMLYN | (JMH716) TOP TRIM USED AT TOWER ELEMENT | FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-3 |
| TR-10 | METAL | JAMES HARDIE | JH SURROUND OUTSIDE CORNER TRIM | FACTORY FINISH CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS, USED WITH JAMES HARDIE REVEAL PANELS |
| PC-02 | PAINTED COATING | SHERWIN WILLIAMS | CHARCOAL FINISH | SW 7069 "IRON ORE" |
| PC-04 | PAINTED COATING | SHERWIN WILLIAMS | WHITE FINISH | SW 7063 "NEBULOUS WHITE" |
| PC-12 | PAINTED COATING | SHERWIN WILLIAMS | DD PINK FINISH | COLOR: MATCH PMS 219 C |
| PC-13 | PAINTED COATING | SHERWIN WILLIAMS | DD ORANGE FINISH COLOR # 5059990 | BLENDED AT: SHERWIN WILLIAMS PRODUCT FINISHES, LOWELL MA. PRODUCT: LV3 - GENESIS LOW VOC SATIN GT1039 ORANGE TONER 785.97G / 19GAL GT1511 LOW VOC GLOSS CLEAR 529.21G / 12GAL GT1043 AUTUMN ORANGE 194.04G / 0.95GAL GT1011 ARTIC WHITE 137.20G / 0.20GAL GR1088 REDUCER 442.38G / 1.30GAL GT1510 LOW VOC FLAT CLEAR 2157.21G / .49GAL |
| PTE-01 | PAINT | SHERWIN WILLIAMS | CONCRETE FINISH SW7064 "PASSIVE WHITE" | PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794 |
| PTE-02 | PAINT | SHERWIN WILLIAMS | CHARCOAL FINISH SW7069 "IRON ORE" | MARK T. WEINER NATIONAL ACCOUNT EXECUTIVE 93 CHURCH ST BARRINGTON, RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WEINER@SHERWIN.COM |
| PTE-04 | PAINT | SHERWIN WILLIAMS | OFF WHITE FINISH SW7063 "NEBULOUS WHITE" | |
| PTE-05 | PAINT | SHERWIN WILLIAMS | MID-TONE FINISH SW7066 "GRAY MATTERS" | |
| PTE-09 | PAINT | SHERWIN WILLIAMS | WALK-IN BOX SW 7069 "IRON ORE" | |
| PTE-12 | PAINT | SHERWIN WILLIAMS | DD PINK: COLOR MATCH PMS 219C AMP ULTRA LOW V.O.C. | |
| PTE-13 | PAINT | SHERWIN WILLIAMS | DD ORANGE: COLOR MATCH PMS 165C AMP ULTRA LOW V.O.C. | |

ELEVATION NOTES:

- STOREFRONT WINDOW SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
- EXTERIOR WALL SIGNAGE TO BE PROVIDED BY OWNER'S SIGN VENDOR. EC TO COORDINATE WITH SIGN VENDOR AND PROVIDE ELECTRICAL SUPPLY AND BLOCKING AT SIGN LOCATIONS AS REQUIRED. SEE ELECT DWGS FOR J-BOX LOCATION
- PROJECTED FRAMING WRAPPED IN METAL REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
- FACTORY FINISHED WHITE COOLER/FREEZER BOX.
- PRE-FAB PROJECTED METAL BAND PROVIDED & INSTALLED BY G.C. THROUGH DUNKIN SIGN VENDOR.
- EXTERIOR DOOR PER SCHEDULE
- 2x6 WRAPPED IN BREAK METAL TO MATCH COPING ABOVE- REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
- HANGER ROD CANOPY PROVIDE & INSTALLED BY G.C. THROUGH DUNKIN NATIONAL VENDOR.
- HOLLOW METAL DOOR & FRAME, PAINT DOORS P-3 AND FRAMES P-6.
- NEW ELECTRICAL EQUIPMENT- REFER TO ELECTRICAL DRAWINGS.
- LINE OF ROOF BEYOND
- METAL SNAP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR - REFER TO DETAILS ON DRAWING A501.
- METAL SCUPPER AND DOWNSPOUT. SEE DRAWING A161-TIE INTO STORM WATER- SEE CIVIL DRAWINGS.
- KNOX BOX SERIES 3200 RECESSED WITH LIFT-OFF DOOR TO BE MOUNTED 4'-0" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
- EMERGENCY LIGHT FIXTURE MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F.
- DECORATIVE EXTERIOR LIGHTS- REFER TO ELECTRICAL DWGS.
- BOLLARD- REFER TO DETAIL 8/A5501.
- METAL OVERFLOW SCUPPER- SEE DETAIL 4/A161.
- E.I.F.S. "V" GROOVE JOINT - REFER TO DETAIL 4/A-7.0.

GENERAL NOTES:

- SIGNAGE BY OWNER NATIONAL VENDOR- TO BE FILED UNDER SEPARATE PERMIT - TYPICAL
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL
- COORDINATE WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.
- SEE ELECTRICAL DRAWINGS FOR ALL LIGHTING SPECS.

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC., UNDER RESTRICTED ACCESS.

PROJECT NO.: 23105

NATIONAL RESTAURANT DESIGNERS
 A DIVISION OF LHMT ASSOCIATES
 7208 ACC BLVD, 2ND FLOOR
 RALEIGH, NC 27617
 phone: 919.544.0087 fax: 919.544.8899

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

| DATE | SCALE | DRAWN | MTP | CNW | APPD |
|------------|-------|-------|-----|-----|------|
| 09/25/2023 | | | | | |

SET REVISIONS

| NO | DESCRIPTION | DATE |
|----|-------------|------|
| | | |

SHEET REVISIONS

| NO | DESCRIPTION | DATE |
|----|-------------|------|
| | | |

PC# -

BUFFALO ROAD AND FORESTVILLE ROAD
 RALEIGH, NC

**EXTERIOR
 ELEVATIONS**

A-5.1