



Administrative Approval Action

Case File / Name: ASR-0061-2023
DSLCL - Yardly Buffaloe Village

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is located on proposed Lot 3 of the Yardly Buffaloe Village subdivision (SUB-0034-2023). The site is south of the intersection of Buffaloe and Forestville Road on the east side of Forestville Road. The current PIN number is 176422158, which will change once the final subdivision plat has been recorded.

REQUEST: The proposed development is for a 1,973-sf convenience restaurant with a drive-thru. The site is zoned CX-3-CU. All required and associated utilities (water, franchise, sanitary and storm sewers) will be constructed as part of this development.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: SUB-0034-2023: DSLCL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 3, 2024 by Kimley-Horn.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to SPR approval, the project must comply with UDO 7.4 (Site Lighting) specifically any wall mounted lights and light poles located on the site.
2. As the developer has submitted a revised subdivision plan for this development, the revised subdivision plan for SUB-0034-2023 shall be approved.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. The subdivision map establishing the lot for this development shall be recorded as approved in SUB-0034-2023.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Forestville Rd.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 6, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 06/06/2024
Development Services Dir/Designee
Staff Coordinator: Jeff Caines

ADMINISTRATIVE SITE REVIEW FOR YARDLY BUFFALO VILLAGE - DUNKIN DONUTS ASR-0061-2023 5101 FORESTVILLE ROAD RALEIGH, WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS
04/03/24	JMC	CITY COMMENTS
01/09/24	RLB	CITY COMMENTS

Administrative Site Review Application
Please refer to the Administrative Site Review Application Form (ASR-0001) for more information.
This application is for a site review of a project located at 5101 Forestville Road, Raleigh, NC 27604.
The project is a new building for Dunkin' Donuts, consisting of approximately 10,000 square feet of floor area.
The applicant is VSI Raleigh, LLC, a subsidiary of VSI Development, LLC.
The project is located on a parcel with a zoning classification of C-3 (Community Center).
The applicant has provided all required information and documents for the site review process.
The applicant is requesting a site review meeting on April 15, 2024, at 10:00 AM.
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APPLICANT SIGNATURE BLOCK
I, the undersigned, being duly sworn, depose and say that I am the duly authorized representative of the applicant and that the information provided herein is true and correct to the best of my knowledge and belief.
I declare under penalty of perjury that the foregoing is true and correct.
Subscribed and sworn to before me on this 15th day of April, 2024, at Raleigh, North Carolina.
Notary Public for North Carolina
Name: [Name] Title: [Title]
Signature: [Signature]

APPLICANT SIGNATURE BLOCK
I, the undersigned, being duly sworn, depose and say that I am the duly authorized representative of the applicant and that the information provided herein is true and correct to the best of my knowledge and belief.
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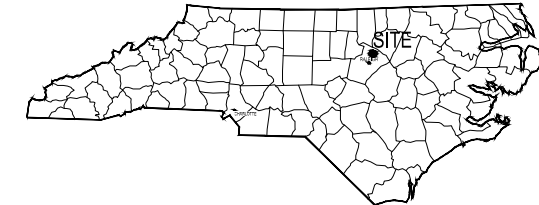


Sheet Number	Sheet Title
C001	COVER SHEET
C002	ZONING CONDITIONS
C003	APPROVAL LETTERS
C100	EXISTING CONDITIONS
C101	SCULPTURE PLAN
C200	SITE PLAN
C300	GRADING AND DRAINAGE PLAN
C400	UTILITY PLAN
C401	TRUCK TURN PLAN
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS
L000	OVERALL TREE CONSERVATION PLAN
SP-1.0	SITE DETAILS
A-1.0	FLOOR PLAN
A&S	EXTENSION ELEVATIONS
A&S-T	EXTERNAL ELEVATIONS
E-1.0	ELECTRICAL LIGHTING PLAN

PROPERTY INFORMATION	YARDLY BUFFALO VILLAGE - DUNKIN' DONUTS
PROJECT OWNER:	VSI RALEIGH LLC CITY OF RALEIGH
PROJECT ADDRESS:	5101 FORESTVILLE ROAD
CROSS-BUILDING SQUARE FOOTAGE (PROJECT LIMITS):	635 AC (41,041 SF) 635 AC (1,973 SF)
EXISTING ZONING:	C-3 (C)
PROPOSED USE (WITHIN PROJECT LIMITS):	RESTAURANT
PROPOSED USE (WITHIN PROJECT LIMITS):	RESTAURANT
LOT ELEVATIONS	
AREA (MIN)	N/A
AREA (MAX)	N/A
WIDTH (MIN)	N/A
WIDTH (MAX)	N/A
PERMITTED STRUCTURE SETBACKS	REQUIRED PROVIDED
FROM PRIMARY STREET (MIN)	0' 0'
FROM SIDE STREET (MIN)	0' 0'
FROM REAR LOT LINE (MIN)	0' 0'
FROM REAR LOT LINE (MIN)	0' 0'
FROM ALLEY	0' 0'
PARKING SETBACKS	REQUIRED PROVIDED
FROM PRIMARY STREET (MIN)	0' 0'
FROM SIDE STREET (MIN)	0' 0'
FROM REAR LOT LINE (MIN)	0' 0'
FROM ALLEY	0' 0'
HEIGHT	REQUIRED PROVIDED
PRINCIPAL BUILDING (MAX)	35'
ACCESSORY STRUCTURE (MAX)	20'
FLOOR HEIGHTS	REQUIRED PROVIDED
GROUND STORY HEIGHT, FLOOR TO FLOOR (MIN)	10'
UPPER STORY HEIGHT, FLOOR TO FLOOR (MIN)	8'
OFF-STREET PARKING	REQUIRED PROVIDED
PARKING MAXIMUM	18 SPACES
HANDICAP PARKING	3 SPACES
ANGLED/SHARED/BI-CYCLE PARKING	4 SPACES
LONG TERM BI-CYCLE PARKING	4 SPACES

ADDRESS	PIN	PARCEL ID/REID	COUNTY
5101 FORESTVILLE ROAD	#1746-42-2158	#0404462	WAKE

- NOTES:
1. LIGHTING PLAN TO BE PROVIDED WITH SITE PERMIT REVIEW.
 2. TREE CONSERVATION PLANS PROPOSED WITH OUR CASE #SUB-0034-2023.
 3. PLANS HAVE BEEN REVIEWED BY SOLID WASTE SERVICES AND ARE COMPLIANT WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE COLLECTION DESIGN MANUAL.



DEVELOPER: VSI RALEIGH, LLC 120 WEST TRINITY PLACE SUITE 400 DECATUR, GEORGIA 30030 PHONE: (678) 654-9698 CONTACT: EVAN CONDER	ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET SUITE 212 HOLLY SPRINGS, NORTH CAROLINA 27540 PHONE: (844) 276-2559 CONTACT: KATIE WITT, P.E.	SURVEYOR: ALLIED ASSOCIATES, P.A. 4720 WESTER HILL ROAD WINSTON-SALEM, NORTH CAROLINA 27103 PHONE: (336) 765-2377 FAX: (336) 764-9698 CONTACT: DAVID K. ALLEY, FLS
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Digitally signed by:
jeff.zaines@raleighnc.gov
Date: 2024.04.15
12:30:10-0400

NOT FOR CONSTRUCTION

811
Know what's below.
Call before you dig.

GEOMETRIC CONTROL
HORIZONTAL DATUM: NAD 83 (2011)
VERTICAL DATUM: NAVD 83
DRAWING LIMITS: U.S. SURVEY FEET

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
300 SOUTH MAIN STREET, SUITE 212, HOLLY SPRINGS, NC 27540
WWW.KIMLEY-HORN.COM
N.C. LICENSE #1502

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NO.	PROJECT ID	DATE	SCALE	AS SHOWN	DESIGNED BY	JMC	INCHW BY	JMC	CHECKED BY	RLB
1		01/09/2024	AS SHOWN							

COVER SHEET

DUNKIN DONUTS
LOT 3
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
RALEIGH

SHEET NUMBER
C001

This document, together with the concepts and designs presented herein, are an instrument of service, as defined in § 190.1-202, for the specific purpose and client for which it was prepared. Review of and reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ZONING CONDITIONS:

TCZ-28-22 - 8 BUFFALOE ROAD, LOCATED AT THE SOUTHEAST CORNER OF ITS INTERSECTION WITH FORESTVILLE ROAD, BEING WAKE COUNTY PIN 1746411926. APPROXIMATELY 22.93 ACRES REZONED TO COMMERCIAL MIXED USE-3 STORIES-CONDITIONAL USE (CX-3-CU) (MODIFIED CONDITIONS).

AMENDED CONDITIONS DATED: APRIL 13, 2022

A. CONDITION: THERE SHALL BE A MINIMUM FIFTY-FOOT (50') PRINCIPAL BUILDING SETBACK FROM THE SHARED BOUNDARY LINE WITH THOSE ADJACENT PROPERTIES WITH PROPERTY IDENTIFICATION NUMBERS (PINs) 1746-42-7076 (DEED BOOK 16 | 05, PAGE 1542, WAKE COUNTY REGISTRY) AND 1746-41-4877 (DEED BOOK 9050, PAGE 758, WAKE COUNTY REGISTRY), ANY TREES WITHIN THE SETBACK SHALL REMAIN, EXPECT FOR THOSE TREES DETERMINED TO BE UNHEALTHY, DEAD OR HAZARDOUS.

MEANS OF COMPLIANCE: PROJECT IS NOT ADJACENT TO PROPERTIES LISTED IN THIS CONDITION.

B. CONDITION: PROHIBITED USES: THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY:

- i. DORMITORY, FRATERNITY, SORORITY;
- ii. ADULT ESTABLISHMENTS;
- iii. BAR, NIGHTCLUB, TAVERN, LOUNGE (EXCEPT AS ASSOCIATED WITH A HOTEL IN THE SAME BUILDING);
- iv. FUNERAL HOME;
- v. ANIMAL CARE (INDOOR);
- vi. VETERINARY CLINIC/HOSPITAL;
- vii. DETENTION CENTER, JAIL, PRISON;
- viii. MOVIE THEATRE - EITHER INDOOR OR OUTDOOR;
- ix. EMERGENCY SHELTER - TYPE B;
- x. BOWLING ALLEY;
- xi. MINI-WAREHOUSE STORAGE FACILITY.

MEANS OF COMPLIANCE: THE DUNKIN DONUTS BUILDING BEING PROPOSED NOT DOES FALL INTO A PROHIBITED USE CATEGORY LISTED.

C. CONDITION: THE VEHICLE FUEL SALES USE SHALL COMPLY WITH THE REGULATIONS SET FORTH IN UDO SECTION 6.4.11.C.3. UDO SECTIONS 6.4.11.C.3.A.1 - K SHALL NOT APPLY IF THE PROPERTY ON WHICH ANY VEHICLE FUELS SALES USE SITS IS FARTHER THAN 200' FROM A RESIDENTIAL DISTRICT.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT FACILITATE VEHICLE FUEL SALES.

D. CONDITION: THE VEHICLE SALES/RENTAL AND VEHICLE REPAIR (MINOR) USE SHALL BE SUBJECT TO THE NEIGHBORHOOD MIXED USE REGULATIONS LISTED IN UDO SECTIONS 6.4.13.B.5. AND 6.5.6.C.2.F., RESPECTIVELY.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT FACILITATE VEHICLE SALES/RENTAL OR REPAIRS.

E. CONDITION: NO SINGLE RETAIL ESTABLISHMENT DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL EXCEED 65,000 SQUARE FEET, FLOOR AREA GROSS, AGGREGATE RETAIL SQUARE FOOTAGE DEVELOPED ON THE ENTIRE SUBJECT PROPERTY SHALL NOT EXCEED 130,000 SQUARE FEET, FLOOR AREA GROSS. PRIOR TO RECORDING ANY PLAT OR DEED DIVIDING THE REZONED PROPERTY INTO TWO OR MORE PARCELS, A RESTRICTIVE COVENANT ALLOCATING RETAIL FLOOR AREA GROSS SQUARE FOOTAGE TO THE LOTS WITHIN THE REZONED PROPERTY SHALL BE RECORDED WITH THE WAKE COUNTY REGISTRY. NO COVENANT ALLOCATING RETAIL SQUARE FOOTAGE SHALL BE RECORDED AMENDED OR TERMINATED WITHOUT THE PRIOR WRITTEN CONSENT OF THE RALEIGH CITY ATTORNEY OR HIS/HER DEPUTY WHICH SHALL BE EVIDENCED BY HIS/HER SIGNATURE ON THE DOCUMENT.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT A RETAIL ESTABLISHMENT AND DOES NOT EXCEED THE AREA LIMITS.

F. CONDITION: OFFICE AND INSTITUTIONAL USES DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED 20,000 SQUARE FEET, FLOOR AREA GROSS.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT OFFICE OR INSTITUTIONAL USE AND DOES NOT EXCEED THE AREA LIMITS.

G. CONDITION: RESIDENTIAL DENSITY DEVELOPED ON THE SUBJECT PROPERTY AFTER ADOPTION OF THIS REZONING ORDINANCE SHALL NOT EXCEED TEN (10) DWELLING UNITS PER ACRE.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT BE USED FOR RESIDENTIAL DWELLINGS.

H. CONDITION: NO BUILDING CONSTRUCTED ON THE PROPERTY AFTER ADOPTION OF THIS ZONING ORDINANCE SHALL EXCEED A HEIGHT OF FORTY-FOUR (44) FEET, MEASURED IN ACCORDANCE WITH UDO SECTION 1.5.7, AND NO SUCH BUILDING SHALL EXCEED THREE (3) OCCUPIED STORIES.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED WILL NOT EXCEED THE HEIGHT OR STORY LIMITS.

I. CONDITION: POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED THIRTY-FIVE (35) FEET IN HEIGHT, AND ALL POLE MOUNTED LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE, REGARDLESS OF WATTAGE. NOTWITHSTANDING THE FOREGOING, IN BUFFER AREAS AND PROTECTIVE YARDS, POLES FOR FREE STANDING LIGHTING SHALL NOT EXCEED TWELVE (12) FEET IN HEIGHT.

MEANS OF COMPLIANCE: PROPOSED LIGHTING IS LESS THAN 35 FEET IN HEIGHT, NO LIGHTING PROPOSED IN BUFFER AREAS OR PROTECTIVE YARDS.

J. CONDITION: PRIOR TO LOT RECORDEATION OR THE ISSUANCE OF ANY BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL DEED TO THE CITY THE TRANSIT EASEMENT MEASURING TWENTY (20) FEET LONG BY FIFTEEN (15) FEET WIDE ADJACENT TO THE PUBLIC RIGHT OF WAY TO SUPPORT A BUS STOP FOR FUTURE TRANSIT SERVICES IN THE AREA. THE LOCATION OF THE TRANSIT EASEMENT SHALL BE TIMELY REVIEWED AND APPROVED BY THE TRANSIT DIVISION OF THE CITY, AND THE CITY ATTORNEY OR HIS/HER DESIGNEE SHALL APPROVE THE TRANSIT EASEMENT DEED PRIOR TO RECORDATION IN THE WAKE COUNTY REGISTRY.

MEANS OF COMPLIANCE: THE OWNER OF THE PROPERTY WILL DEED THE STATED TRANSIT EASEMENT TO THE CITY PRIOR TO BUILDING PERMIT.

K. CONDITION: UNTIL THE THREE LANES ON THE BUFFALOE ROAD BRIDGE OVER I-540 ARE INCREASED BY AT LEAST ONE EASTBOUND LANE THROUGH REPLACEMENT, EXPANSION OR RE-STRIPING OF SAID BRIDGE, DEVELOPMENT OF THE ENTIRE SUBJECT PROPERTY SHALL BE CAPPED AS FOLLOWS: (I) ONE-STORY RETAIL USES SHALL NOT EXCEED TWENTY THOUSAND (20,000) SQUARE FEET, FLOOR AREA GROSS, AND RETAIL USES WITHIN VERTICAL MIXED USE BUILDINGS SHALL NOT EXCEED A TOTAL OF FORTY THOUSAND (40,000) SQUARE FEET, FLOOR AREA GROSS, AND (II) OFFICE AND INSTITUTIONAL USES AS LIMITED BY CONDITION E), AND (III) RESIDENTIAL USES SHALL NOT EXCEED FORTY (40) DWELLING UNITS.

MEANS OF COMPLIANCE: N/A - THE PROPOSED BUILDING DOES NOT FALL INTO THESE USE CATEGORIES AND DOES NOT EXCEED THE AREA LIMITS.

L. CONDITION: DEVELOPMENT OCCURRING ON THE PROPERTY AFTER THE ADOPTION OF THIS REZONING ORDINANCE SHALL BE CONSISTENT WITH THE FOLLOWING-GUIDELINES.

1. PARKING SHALL NOT OCCUPY MORE THAN ONE-THIRD OF THE FRONTAGE OF THE PROPERTY ALONG BUFFALOE ROAD IF PARKING IS LOCATED TO THE SIDE(S) OF THE BUILDINGS ALONG BUFFALOE ROAD.

MEANS OF COMPLIANCE: PARKING IS NOT PROPOSED ALONG THE FRONTAGE OF BUFFALOE ROAD WITH THIS BUILDING.

2. ANY PARKING SPACES LOCATED WITHIN TWENTY-FIVE (25') OF THE RIGHT-OF-WAY OF EITHER BUFFALOE ROAD OR FORESTVILLE ROAD SHALL BE VISUALLY SCREENED BY EVERGREEN SHRUBS SPACED NO MORE THAN FOUR FEET (4') ON CENTER AND EXPECTED TO REACH A HEIGHT OF AT LEAST THIRTY INCHES (30") WITHIN THREE (3) YEARS OF PLANTING WITH A MINIMUM INSTALL HEIGHT OF 18 INCHES.

MEANS OF COMPLIANCE: NO PARKING PROPOSED WITH THIS BUILDING IS WITHIN 25 FEET OF RIGHT-OF-WAY OF BUFFALOE ROAD OR FORESTVILLE ROAD.

3. INTERNAL STREETS WILL BE DESIGNED TO BE PEDESTRIAN ORIENTED AND A NETWORK OF INTERNAL AND PUBLIC SIDEWALKS, WALKWAYS TO BUILDING ENTRANCES AND CROSSWALKS WILL CONNECT BUILDINGS, PARKING, BIKE RACKS, SIDEWALKS AND A TRANSIT STOP.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED ALONG INTERNAL STREET NETWORK.

4. PEDESTRIAN CONNECTIONS BETWEEN THE TRANSIT STOP AND BUILDING ENTRANCES SHALL BE PROVIDED VIA PUBLIC SIDEWALKS AND/OR INTERNAL SIDEWALKS.

MEANS OF COMPLIANCE: SIDEWALKS PROPOSED CONNECT FROM THE BUILDING MAIN ENTRANCE TO PUBLIC MUP.

5. SIDEWALKS INTERNAL TO THE SITE SHALL BE A MINIMUM OF SIX (6) FEET WIDE.

MEANS OF COMPLIANCE: SIDEWALKS ALONG PUBLIC AND PRIVATE ROADWAY NETWORK ARE A MINIMUM OF 6 FEET WIDE.

M. CONDITION: AN APARTMENT BUILDING TYPE MAY NOT INCLUDE DWELLING UNITS THAT ARE SEPARATED BY A HORIZONTAL PARTY WALL, MEANING THAT DWELLING UNITS IN THE SAME BUILDING MUST BE SEPARATED BY A VERTICAL PARTY WALL. THIS SHALL NOT PROHIBIT A DWELLING UNIT FROM HAVING MULTIPLE STORIES.

MEANS OF COMPLIANCE: N/A - THE BUILDING BEING PROPOSED IS NOT AN APARTMENT.

Kimley Horn

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300 SOUTH MAIN STREET, SUITE 200, SPANGHANO, NC 27568
WWW.KIMLEY-HORN.COM
NCEI LICENSE # 4150

PRELIMINARY
NOT FOR CONSTRUCTION

NO PROJECT DATE	07/18/2024
SCALE	AS SHOWN
DRAWN BY	JMC
CHECKED BY	RW

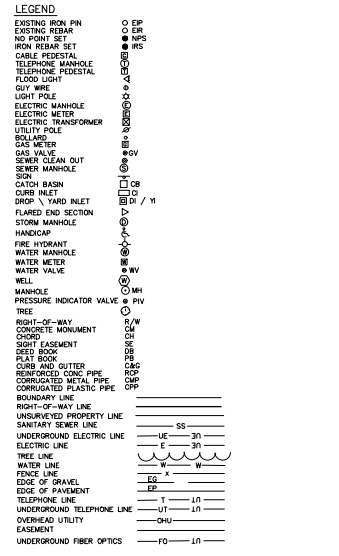
ZONING CONDITIONS

DUNKIN DONUTS
LOT 3
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
RALEIGH NC



SHEET NUMBER
C002

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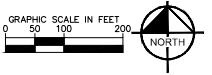


LINE TABLE

LINE	LENGTH	BEARING
L1	764.47	S59°07'26.29"E
L2	30.74	S23°04'06.37"W
L3	633.07	S23°04'06.37"W
L4	22.92	S5°35'15.40"W
L5	829.16	S3°44'26.30"W
L6	441.17	S82°07'45.05"W
L7	317.26	S82°07'45.05"W
L8	145.02	N1°30'57.28"W
L9	267.29	N78°28'48.79"W
L10	24.61	N78°28'48.79"W
L11	61.24	N0°06'44.21"W
L12	316.88	N0°03'25.12"W
L13	53.29	N89°11'38.92"E
L14	347.80	S76°36'46.72"E
L15	177.16	N1°40'30.84"W
L16	137.39	N88°33'19.34"W
L17	223.42	N7°20'34.02"E
L18	151.91	N84°13'36.96"W
L19	240.47	N14°49'18.12"E
L20	100.00	N15°07'33.71"E
L21	100.00	N16°52'33.71"E
L22	100.00	N22°56'33.71"E

LINE TABLE

LINE	LENGTH	BEARING
L24	100.00	N22°56'33.71"E
L25	100.00	N31°35'33.71"E
L26	314.09	N40°02'33.71"E
L27	148.75	N41°36'33.71"E
L28	7.50	N42°21'03.71"E
L29	315.05	S60°29'33.00"E
L30	50.00	S32°43'57.00"W
L31	66.00	S57°16'03.00"E
L32	326.73	N32°43'57.00"E
L33	214.52	S57°09'15.00"E
L34	52.29	S30°51'36.00"W
L35	66.00	S59°08'24.00"E
L36	50.00	N30°51'36.00"E
L37	60.37	S57°09'15.00"E
L38	190.71	S30°51'36.00"W
L39	171.81	S1°40'31.00"E
L40	216.19	S87°47'15.99"W
L41	216.19	S87°47'15.99"W
L42	256.75	S0°42'03.96"E
L43	496.49	N88°33'19.34"W



NO.	PROJECT	DATE	BY	CHKD.
01	1000000000	01/08/2024	ASB	ASB

NO.	REVISIONS	DATE	BY
01	CITY COMMENTS	04/03/24	JMC
02	CITY COMMENTS	01/08/24	RAE

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300 SOUTH MAIN STREET, SUITE 100, SPINGREE, NC 27168
WWW.KIMLEY-HORN.COM

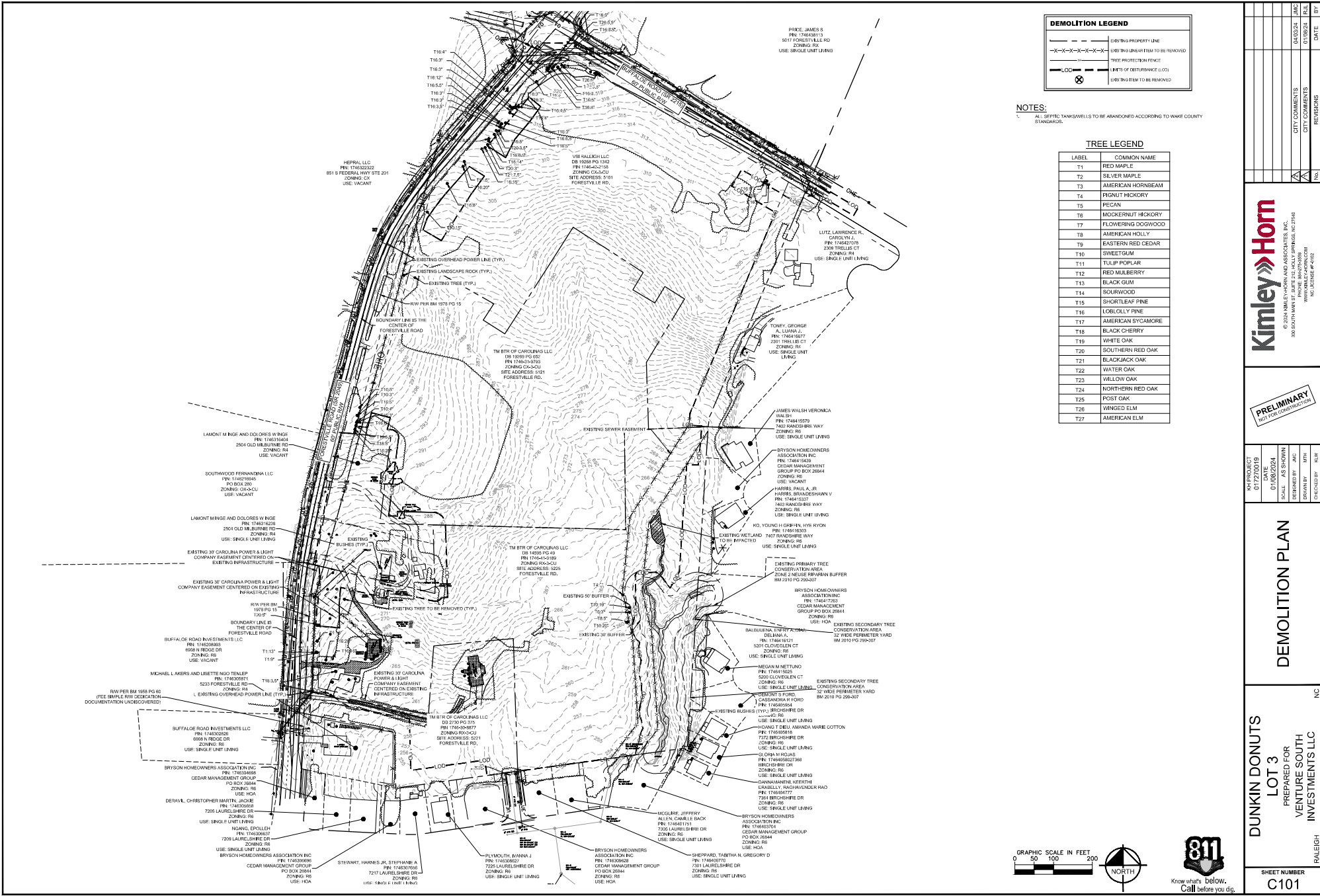
PRELIMINARY
NOT FOR CONSTRUCTION

EXISTING CONDITIONS

DUNKIN DONUTS
LOT 3
PREPARED FOR
VENTURE SOUTH
INVESTMENTS LLC
RALEIGH

SHEET NUMBER
C100

This document, together with the concepts and designs presented herein, are an instrument of service, in witness whereof, the undersigned has hereunto set his hand and seal on this 1st day of August, 2024.



DEMOLITION LEGEND

- X-X-X-X-X- EXISTING PROPERTY LINE
- X-X-X-X-X- EXISTING LINE ITEM TO BE REMOVED
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE (LOD)
- ⊗ EXISTING ITEM TO BE REMOVED

NOTES:
 1. ALL SEPTIC TANKS/WELLS TO BE ABANDONED ACCORDING TO WAKE COUNTY STANDARDS.

TREE LEGEND

LABEL	COMMON NAME
T1	RED MAPLE
T2	SILVER MAPLE
T3	AMERICAN HORNBEAM
T4	FRSANT HICKORY
T5	PECAN
T6	MOCKERNUT HICKORY
T7	FLOWERING DOGWOOD
T8	AMERICAN HOLLY
T9	EASTERN RED CEDAR
T10	SWEETGUM
T11	TULIP POPLAR
T12	RED MULBERRY
T13	BLACK GUM
T14	SOURWOOD
T15	SHORTLEAF PINE
T16	LOBLOLLY PINE
T17	AMERICAN SYCAMORE
T18	BLACK CHERRY
T19	WHITE OAK
T20	SOUTHERN RED OAK
T21	BLACKJACK OAK
T22	WATER OAK
T23	WILLOW OAK
T24	NORTHERN RED OAK
T25	POST OAK
T26	WINGED ELM
T27	AMERICAN ELM

NO.	REVISIONS	DATE	BY

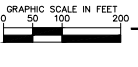
Kimley-Horn
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PRELIMINARY
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DEMOLITION PLAN

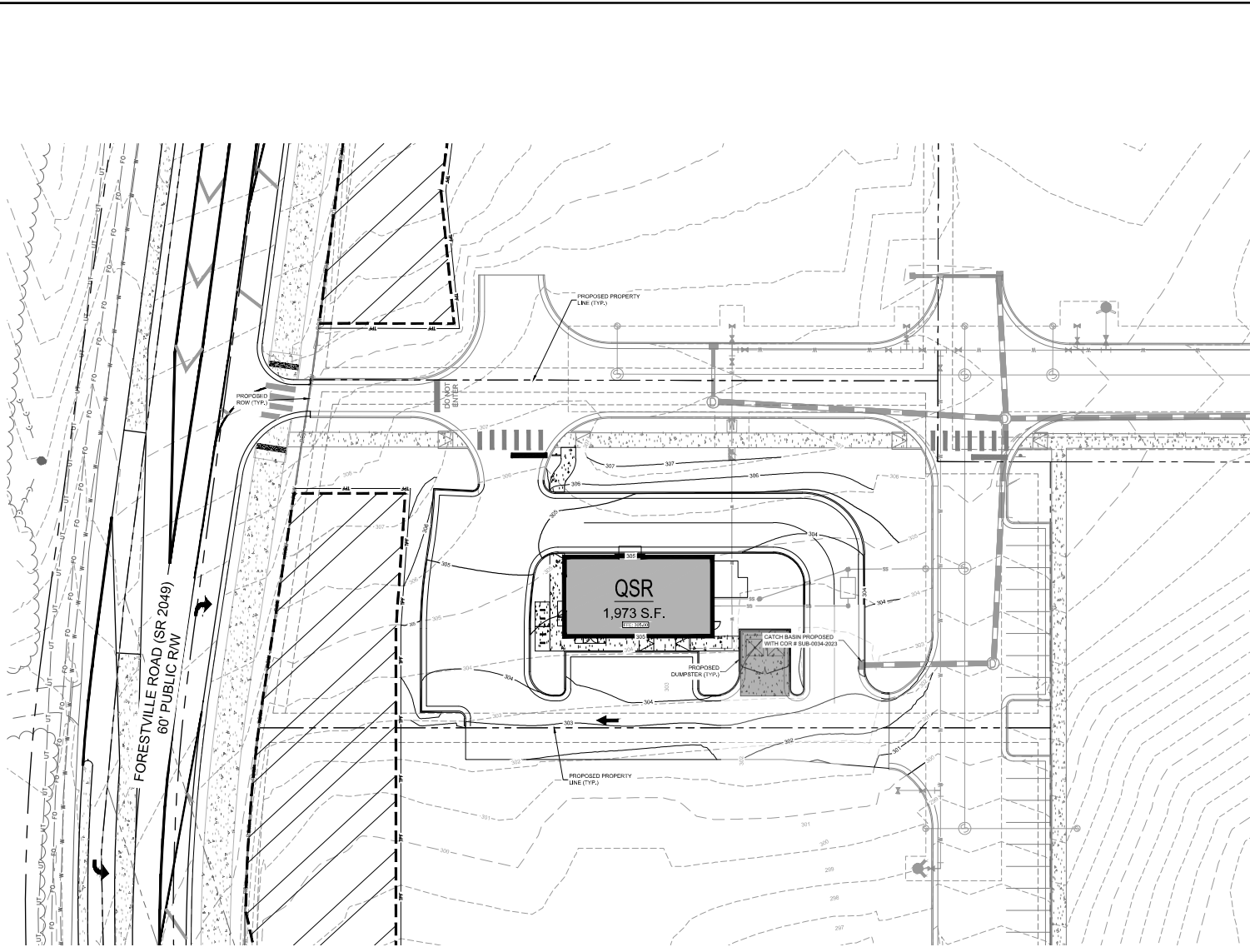
DUNKIN DONUTS LOT 3
 PREPARED FOR:
VENTURE SOUTH INVESTMENTS LLC
 RALEIGH, NC

PROJECT NO: 24-0001
 DATE: 01/08/2024
 SCALE: AS SHOWN
 REVISION BY: JMC
 DRAWN BY: JTH
 CHECKED BY: RWW
 SHEET NUMBER: C101

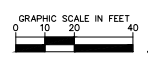


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Plotted by: J. Latham, Designer, Sheet Size: 36" x 48" (843mm x 1219mm) Plot Date: 01/08/2024 10:00:00 AM. Plot Scale: 1" = 40' (1:1600) Plot Path: C:\GIS\2024\01\08\1000\1000.dwg. Plot Device: HP DesignJet T730. Plotter Driver: HP DesignJet T730. Plotter Model: HP DesignJet T730. Plotter Location: Raleigh, NC.



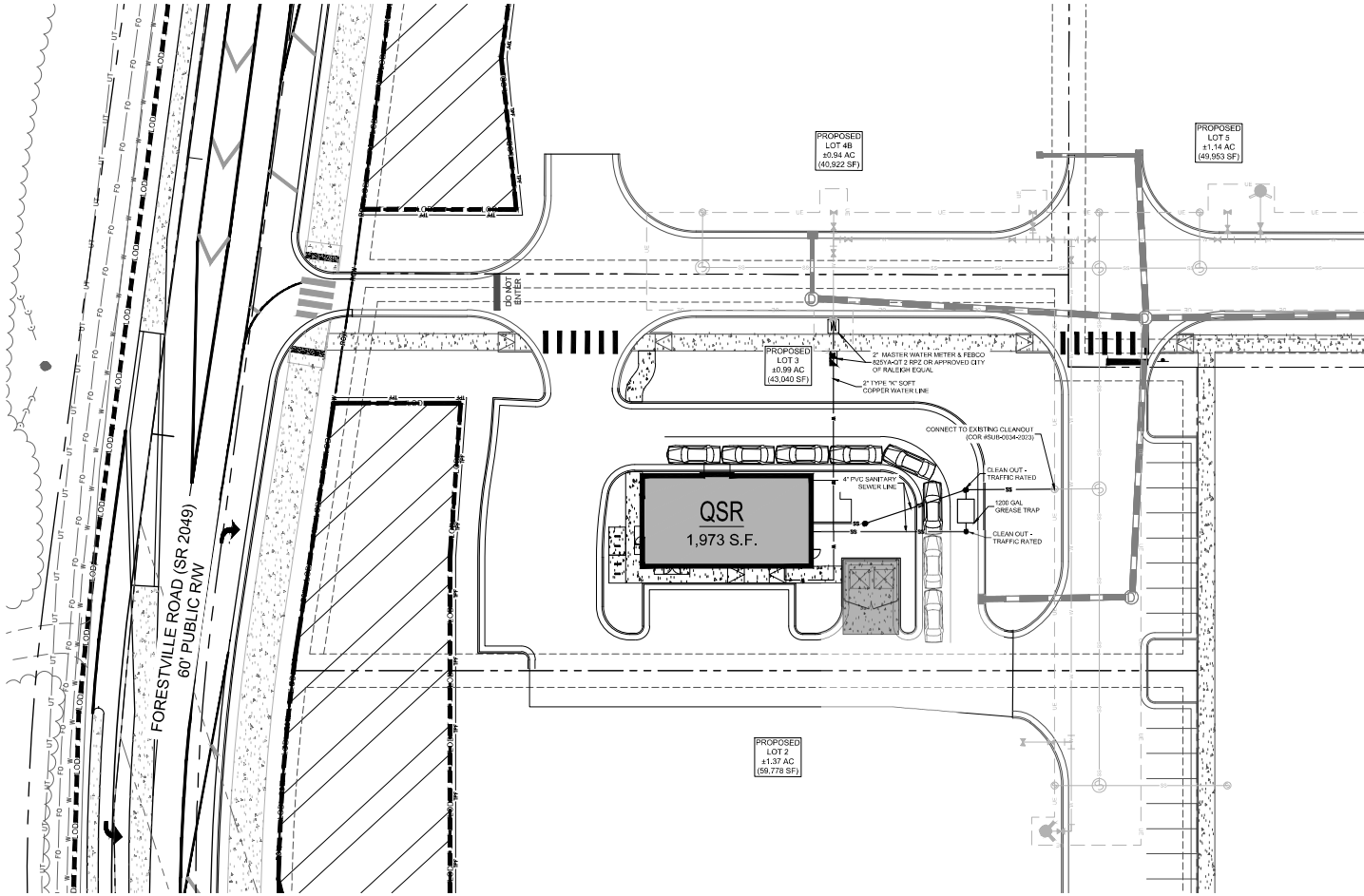
GRADING AND DRAINAGE LEGEND			
---	PROPERTY BOUNDARY	---	RIGHT-OF-WAY
---	CURB AND GUTTER	---	EXISTING MAJOR CONTOUR
---	PROPOSED MAJOR CONTOUR	---	EXISTING MINOR CONTOUR
---	PROPOSED MINOR CONTOUR	---	LINE OF DISTURBANCE
---	SPOT ELEVATION	---	PRIVACY TREE CONSERVATION AREA
---	CATCH BASIN (CB)	---	SECONDARY TREE CONSERVATION AREA
---	MANHOLE (BMH)	---	AMENITY AREA
---	RETAINING WALL		



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GRADING AND DRAINAGE PLAN	DUNKIN DONUTS LOT 3 PREPARED FOR VENTURE SOUTH INVESTMENTS LLC
PRELIMINARY NOT FOR CONSTRUCTION	SHEET NUMBER C300
PROJECT NO. 24-001 DATE 01/08/2024 SCALE AS SHOWN DESIGNED BY JAC DRAWN BY JAC CHECKED BY RWL	SHEET NUMBER C300
© 2024 KIMLEY-HORN AND ASSOCIATES, INC. 300 SOUTH MAIN STREET, HOLLY SPRING, NC 27540 WWW.KIMLEY-HORN.COM NC LICENSE # 6192	CITY COMMENTS DATE REVISIONS DATE BY

As Shown By Kimley-Horn, Incorporated, 3500 West 26th Street, Suite 200, Denver, Colorado 80202. Project No. 18-001. Date: 01/18/2024. Scale: AS SHOWN. Prepared For: DUNKIN DONUTS. Project Location: 60' PUBLIC ROW, FORESTVILLE ROAD (SR 2049).



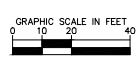
UTILITY LEGEND			
	PROPERTY BOUNDARY		RIGHT-OF-WAY
	WATER LINE		SANITARY SEWER LINE
	ROOF DRAIN		UTILITY EASEMENT
	WATER METER		GATE VALVE
	POINT OF CONNECTION		BACKFLOW PREVENTOR
	FIRE HYDRANT (FH)		SANITARY SEWER CLEANOUT (SSCO)
	FIRE DEPARTMENT CONNECTION (FDC)		SANITARY SEWER CLEANOUT TRAFFIC RATED
	FIRE HYDRANT CONNECTION (FHC)		SANITARY SEWER MANHOLE (SMH)

CITY OF RALEIGH STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONDUIT HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
A) A SEPARATION OF 10" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER FRESH SHALL BE SPECIFIED & INSTALLED TO WATER LINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
B) WHEN INSTALLED UNDER WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 10' ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE MANHOLE TO OUTSIDE MANHOLE.
C) WHEN IT IS UNPRACTICABLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP (WATER) OR STEEL (SEWER) DISCRETEMENT SHALL BE INSTALLED ON EACH END OF CROSSING. ALL DISCREMENTS SHALL BE SPECIFIED & INSTALLED TO WATER LINE SPECIFICATIONS.
D) 12" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM DRAIN LINES, UNLESS SEPARATION IS SPECIFIED AS FOLLOWS:
E) MINIMUM 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & STORM DRAIN CROSSINGS.
F) MINIMUM 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CHANNEL HAVING 4" MIN. CLEARANCE. (PVC COVERED) SHALL NOT BE USED.
F.1) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD RECORDS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3/8" MINIMUM COVERS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS, 4/8" MINIMUM COVER IS REQUIRED ON ALL NEUES MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN RESERVATION OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONCEPT PLAN PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROTECT THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1/2% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR SUBMENT LINE & SPACED EVERY 75 TO 100 FEET.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 15' ABOVE THE NEXT UTILITY MAINS.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RWY FOG PROGRAM COORDINATOR PRIOR TO BEARING OF A UIC /BUD PERMIT. CONTACT (703) 948-0100 OR PROGRAM@DENCO.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS BY NORTH CAROLINA.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICE SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RAL.B3H3NC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$500.00 OR GREATER, THE PROJECT MUST BE PUBLICLY BID.

ADDITIONAL UTILITY NOTES:

- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPLIANCES WEIGHING AT LEAST 60,000 LBS, AND SHALL BE REQUIRED TO PROVIDE ALL WEATHER DRIVING CAPABLE IF IS (M.C.F.C. 501.2.3).
- MAXIMUM ANTICIPATED AVERAGE DAILY FLOW (SEWER) FOR THE PROJECT IS 875 GPD.
- ALL CLEANOUTS LOCATED IN TRAVEL LANES MUST BE TRAFFIC RATED.



NO.	DATE	REVISIONS

Kimley-Horn
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PROJECT NO.	18-001
DATE	01/18/2024
SCALE	AS SHOWN
DESIGNED BY	JMC
DRAWN BY	MTB
CHECKED BY	RWW

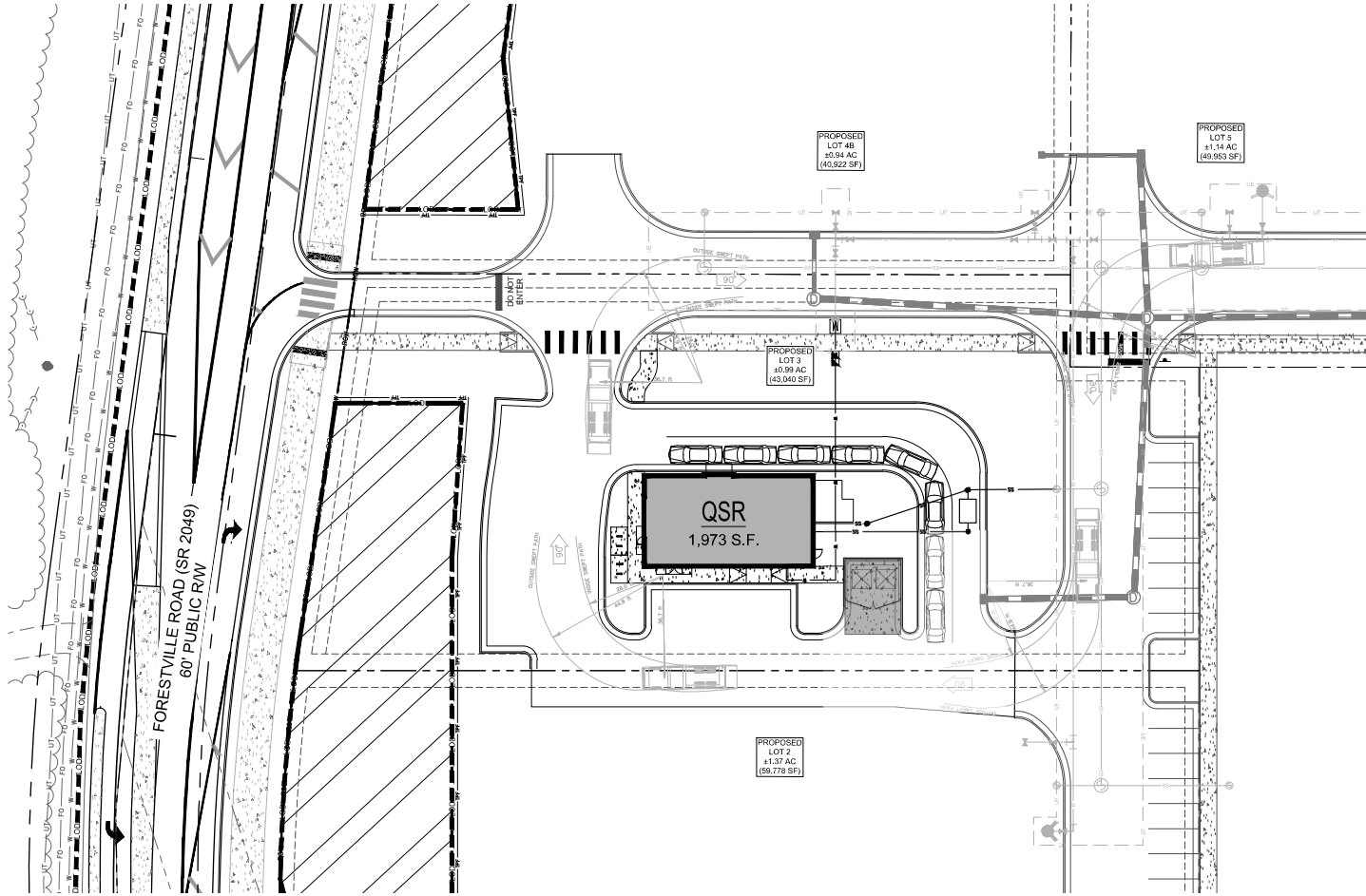
DUNKIN DONUTS
LOT 3
PREPARED FOR
VENTURE SOUTH INVESTMENTS LLC
RALEIGH, NC

SHEET NUMBER
C400

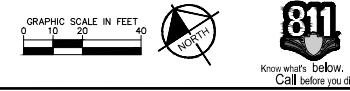
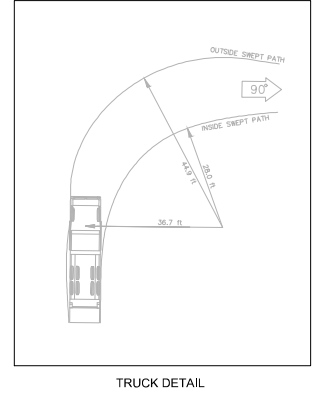


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Plotted by: Lillian, lillian@kimley-horn.com | MapDoc: C:\Users\lillian\OneDrive - Kimley-Horn and Associates, Inc. | Scale: 1/8" = 1'-0" | Project: 2024-0001 | Date: 01/08/2024 | File: 2024-0001-01-TRUCK TURN PLAN.dwg | Plot: 01/08/2024



UTILITY LEGEND					
---	PROPERTY BOUNDARY	---	ROW	---	RIGHT-OF-WAY
---	WATER LINE	---	SS	---	SANITARY SEWER LINE
---	ROOF DRAIN	---	IC	---	UTILITY EASEMENT
⊠	WATER METER	⊠	⊠	⊠	GATE VALVE
C S	POINT OF CONNECTION	⊠	⊠	⊠	BACKFLOW PREVENTOR
⊠	FIRE TIE-IN/ENGINE	⊠	⊠	⊠	SANITARY SEWER CLEANOUT (SSCO)
⊠	FIRE HYDRANT (FH)	⊠	⊠	⊠	SANITARY SEWER CLEANOUT TRANSCRIPATED
⊠	FIRE DEPARTMENT CONNECTION (FDC)	⊠	⊠	⊠	SANITARY SEWER MANHOLE (SMH)



NO.	DATE	BY

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PRELIMINARY
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NO.	PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY

DUNKIN DONUTS
LOT 3
 PREPARED FOR
VENTURE SOUTH
 INVESTMENTS LLC
 RALEIGH, NC

SHEET NUMBER
C401

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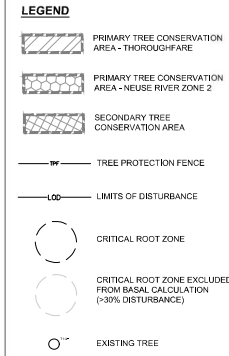
NO.	REVISIONS	DATE

Tree Conservation Plan Data			
Net Project Area - 29.99 AC (after ROW dedication)			
29.99 Total Acres (10% = 2.99 AC Required for TCA)			
Category	Acres	Number of Trees	Percentage of Tract
Primary Tree Conservation Area	0.99	3,30%	
Primary Tree Conservation Area - Thoroughfare	0.39	1,31%	
Primary Tree Conservation Area - Neuse River Zone 2	1.67	5,57%	
Secondary Tree Conservation Area	Acres	Number of Trees	Percentage of Tract
Secondary Tree Conservation Area	1.67	5,57%	
Total Tree Conservation Area	3.05	10,18%	

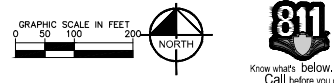
THOROUGHFARE TCA CALCULATION			
Location	Requirement	Calculation*	Provided
BUFFALO ROAD		175 LF x 50' = 0.20 ACRES	0.20 ACRES (CONSISTENT 30' WIDTH)
FORESTVILLE ROAD	50' AVERAGE WIDTH PRIMARY TREE CONSERVATION AREA	679 LF x 50' = 0.78 ACRES	0.78 ACRES (WIDTH VARIES FROM 38.6' TO 100')

*MINIMUM FOOTAGE OF REQUIRED TREE CONSERVATION AREA EXCLUDES AREAS WITHOUT EXISTING VEGETATION AND PROPOSED DRIVEWAY WIDTHS

Tree Symbol	Common Name
T1	red maple
T2	silver maple
T3	American hophornbeam
T4	pinus hickory
T5	pecan
T6	mockernut hickory
T7	flowering dogwood
T8	American holly
T9	eastern red cedar
T10	sweetgum
T11	tulip poplar
T12	red mulberry
T13	black gum
T14	sourwood
T15	shortleaf pine
T16	loblolly pine
T17	American sycamore
T18	black cherry
T19	white oak
T20	southern red oak
T21	blackjack oak
T22	water oak
T23	yellow oak
T24	northern red oak
T25	post oak
T26	winged elm
T27	American elm



- #### TREE CONSERVATION NOTES:
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
 - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
 - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS.
 - A TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
 - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONES OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
 - TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
 - CRZ = CRITICAL ROOT ZONE
 - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
 - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
 - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED MAY 10, 2023.
 - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
 - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).



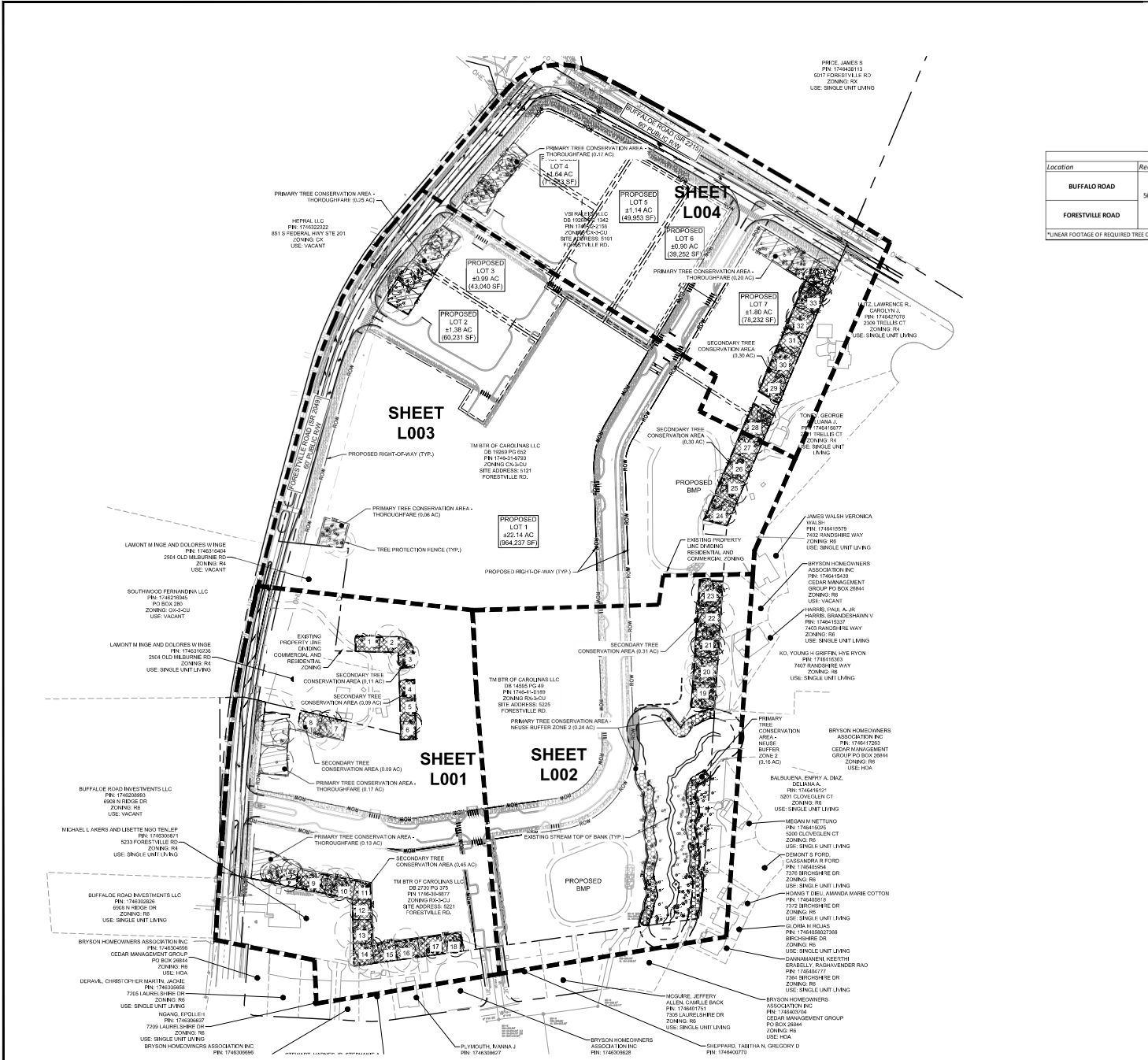
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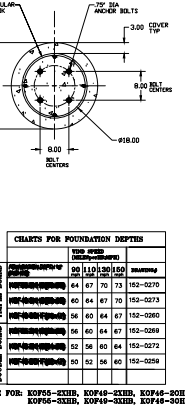
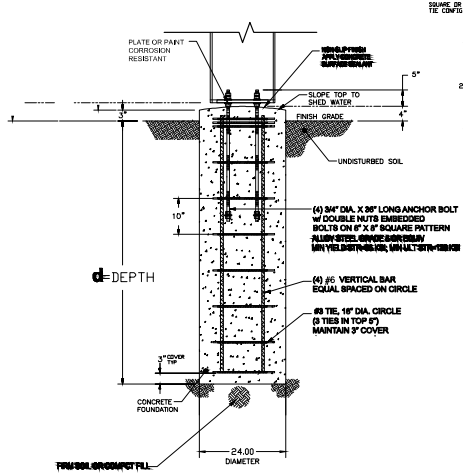
OVERALL TREE CONSERVATION PLAN

YARDLY BUFFALO VILLAGE CONSERVATION PLAN
PREPARED FOR TAYLOR MORRISON BTR / VSI RALEIGH, LLC

SHEET NUMBER **L000**



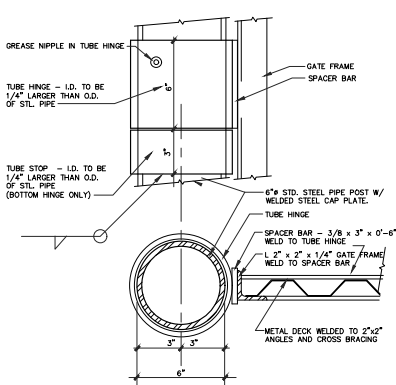
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2 TYPICAL FOOTING DETAIL

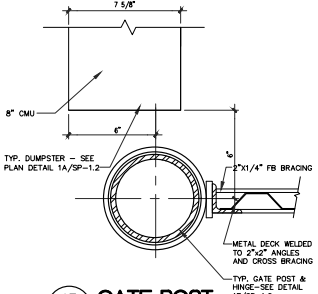
1/2"=1'-0"

NOTE:



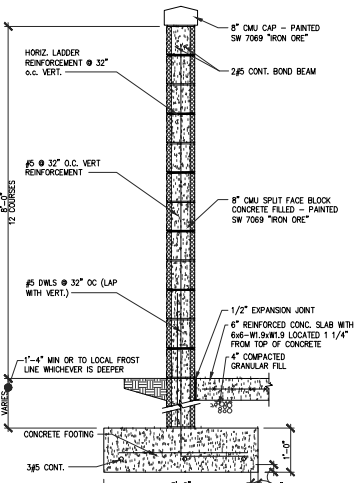
1F GATE POST HINGE

SP-1.2 SCALE: 3\"/>



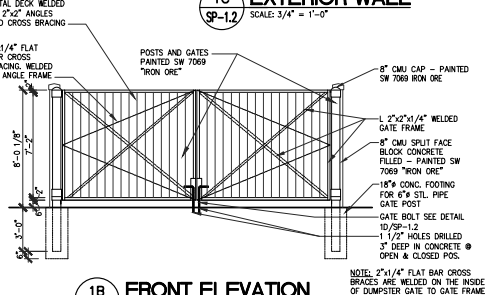
1E GATE POST

SP-1.2 SCALE: 3\"/>



1C EXTERIOR WALL

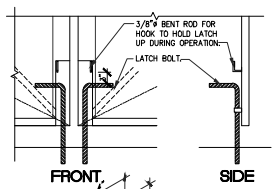
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1B FRONT ELEVATION

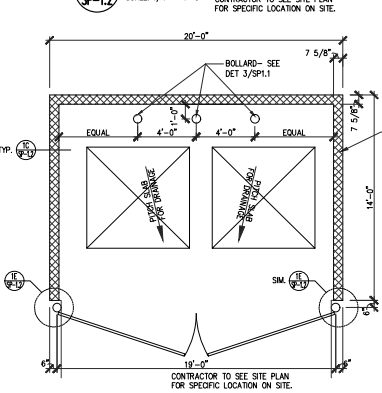
SP-1.2 SCALE: 1/4\"/>

NOTE: 2\"/>



1D GATE SLIDE BOLT LATCH

SP-1.2 SCALE: N.T.S.



1A TRASH CORRAL ENCLOSURE

SP-1.2 SCALE: 1/4\"/>

1 DUMPSTER ENCLOSURE ENLARGED PLAN AND DETAILS

1/4\"/>

NOTE:

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



PROJECT NO.: 231005



PRELIMINARY NOT FOR CONSTRUCTION

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC. UNDER RESTRICTED ACCESS.

DATE	SCALE	DRAWN	MTP	CHK	CW	APPD
12/19/2023						
NO DESCRIPTION						
SET REVISIONS						
SHEET REVISIONS						

BUFFALO ROAD AND FORESTVILLE ROAD

RALEIGH, NC

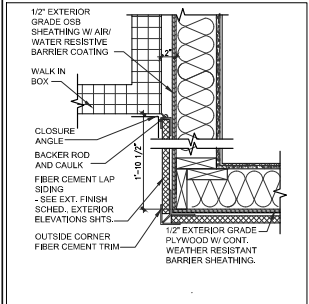
SITE DETAILS

PCH -

SP-1.2

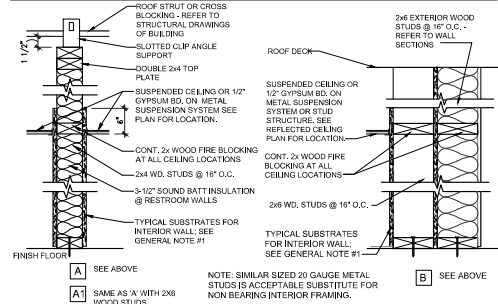
LEGEND:

	INTERIOR STUD WALL - 2x FRAMING @ 16" O.C.
	SOUND ATTENUATION BLANKETS IN WALL
	EXTERIOR WALL WITH FIBER CEMENT SIDING EXTERIOR FINISH
	WALK-IN COOLER WALL



3 WALK IN BOX CORNER DETAIL
1-1/2" x 1-1/2" NOTE

- NOTES:**
- ALL JUNCTIONS BETWEEN THE WALL SURFACES AND THE EDGES OF ATTACHED EQUIPMENT AS WELL AS ALL ANNUAL OPENINGS AROUND PIPES DUCTS OR OTHER CONDUITS WHERE THEY PASS THROUGH WALLS AND FLOOR SHALL BE SEALED WITH A MIXTURE OF STEEL WOOL AND APPROVED CAULKING SEALING COMPOUND. ENSURE TOP PLATES AND THE JOINTS BETWEEN WALLS AND CEILINGS ARE SEALED.
 - ALL SHAFTS: PROPER FLASHING AROUND FLUE AND GAPS SEALED AND CALKED
 - ALL PENETRATIONS AT EXTERIOR WALLS SHALL BE SEALED INCLUDING VENTS AND ELECTRICAL CONDUIT & BOXES.
 - PROVIDE CORROSION-PROOF RODENT/BIRD SCREENS (E.G., STEEL MESH) FOR ALL BUILDING OPENINGS THAT CANNOT BE FULLY SEALED AND CALKED (E.G., VENTILATION SYSTEM INTAKE/ EXHAUST OUTLETS AND ATTIC VENT OPENINGS).



2 INTERIOR PARTITION TYPES
1-1/2" x 1-1/2" NOTE

GENERAL NOTES:

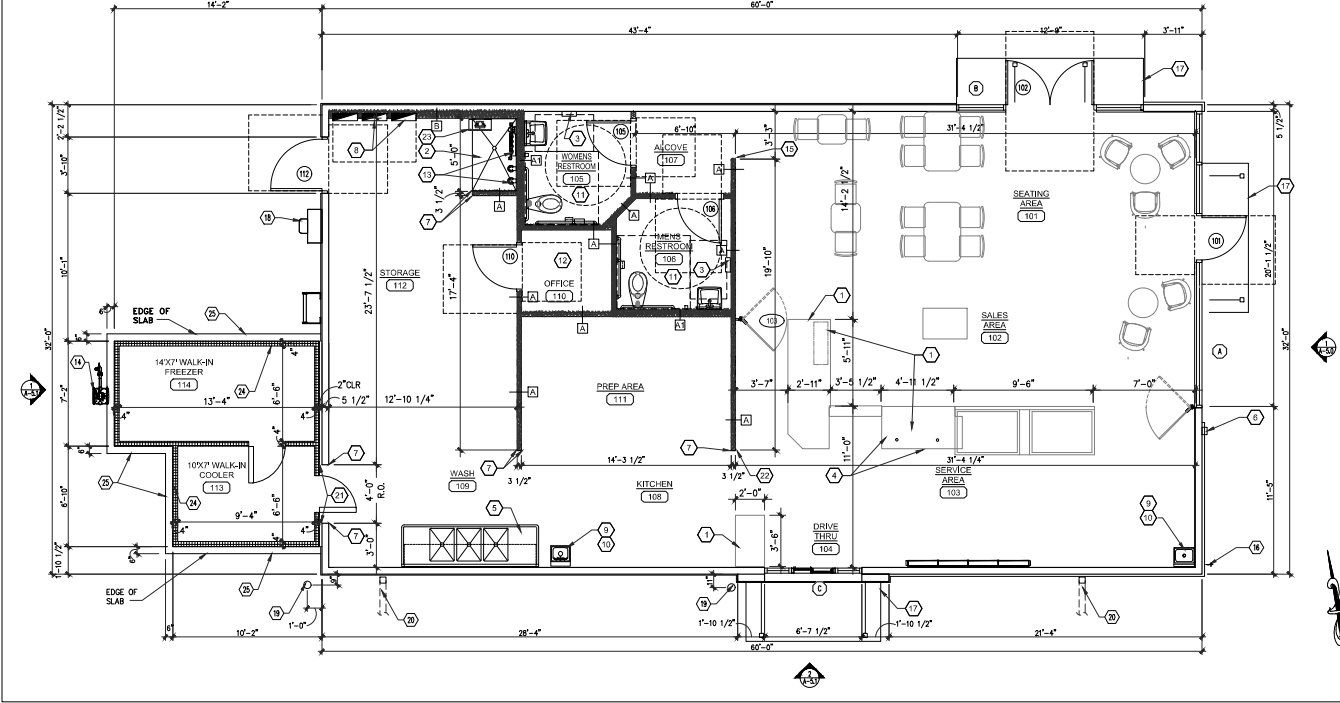
- TYPICAL SUBSTRATES FOR INTERIOR WALLS SHALL BE AS FOLLOWS:
KITCHEN AND STORAGE AREAS: 5/8" TO 3/4" DUROCK CEMENT BOARD, 5/8" AND ABOVE: 1/2" PLYWOOD. NOTE MATCH THICKNESS OF WALL SHEATHING ON EXTERIOR WALLS)
SERVICE AREA: 1/2" MIN. PLYWOOD
CEILING: 1/2" DUROCK CEMENT BOARD
SILES AND CEILING AREAS: 1/2" GYPSUM BOARD
GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE BLOCKING IN BATHROOMS FOR GRAB BARS, LAVATORIES, HAND DRYERS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, AND OTHER ACCESSORIES AS REQUIRED UNLESS OTHERWISE NOTED.
CERAMIC TILE LOCATIONS SHALL RECEIVE 5/8" CEMENT BOARD.
- DIMENSIONS SHOWN ARE TO THE FACE OF STUD.
- SEE SHEET AND/FOR DOOR SCHEDULE AND DOOR & FRAME TYPES.
- PROVIDE FIRE EXTINGUISHERS, TYPE ULN.O. WALL HUNG, TOP @ 4'-0" A.F.F. (BY G.C.) - NUMBER AND LOCATION AS DETERMINED BY LOCAL FIRE MARSHAL.

SCOPE OF WORK NOTES:

- GENERAL:**
 - THE GC IS RESPONSIBLE FOR PURCHASING AND INSTALLING AT GC'S EXPENSE, EVERYTHING SHOWN OR REFERENCED IN THE CONTRACT DOCUMENTS, EXCEPT FOR THE ITEMS SPECIFICALLY SET FORTH BELOW AS EXCEPTIONS TO THE GC'S OVERALL RESPONSIBILITY.
 - THE CONTRACT DOCUMENTS, SHALL INCLUDE THE FOLLOWING: THE PLANS, SPECIFICATIONS, CHANGE ORDERS, MODIFICATIONS TO THE CONTRACT, REQUESTS FOR INFORMATION, FIELD INSTRUCTIONS, AND ANY OTHER ITEM AS SET FORTH IN THE AGREEMENT BETWEEN THE CONTRACTOR AND OWNER.
 - THE GC IS RESPONSIBLE FOR ALL PERMITS AND LICENSES OF ANY NATURE REQUIRED TO CONSTRUCT THE PROJECT OR TO SECURE A CERTIFICATE OF OCCUPANCY, EXCEPT FOR IMPACT FEES AND/OR THE GENERAL BUSINESS LICENSE.
- SIGNAGE:**
 - ALL SIGNAGE AND GRAPHICS (INTERIOR AND EXTERIOR) INCLUDING DRIVE-THRU AREAS AND BUILDING SIGNAGE (INCLUDING ORANGE PROJECT METAL BAND) SHALL BE FURNISHED AND INSTALLED BY THE OWNER'S VENDOR. GC IS RESPONSIBLE FOR COORDINATING ALL BLOCKING AND ELECTRICAL REQUIREMENTS WITH THE OWNER'S SIGN VENDOR AS REQUIRED.
 - OWNER'S SIGN VENDOR SHALL BE RESPONSIBLE FOR PULLING ALL REQUIRED SIGN PERMITS AS DICTATED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- SPEAKERS/AUDIO:**
 - ALL SPEAKERS, SPEAKER WIRING AND SPEAKER EQUIPMENT TO BE FURNISHED BY GC. GC'S ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ROUGH-IN, INSTALLATION AND FINAL CONNECTIONS.

PLAN NOTES:

- MILLWORK, MODULAR WORKSTATIONS & EQUIPMENT PROVIDED BY OTHERS - REFER TO K15 & K20.
- CAN WASH - REFER TO DETAIL 31A.2.
- ELECTRIC HAND DRYER, SURFACE MOUNTED - REFER TO ELECTRICAL DRAWINGS.
- RUN CONDUIT FROM POS STATION UNDER SLAB TO WALL; COORDINATE EXACT LOCATION WITH OWNER'S REPRESENTATIVE.
- COMPARTMENT SINK W/ 2 INTEGRATED DRAIN BOARDS- PROVIDE DEDICATED WATER SUPPLY FOR P&G DISPENSER. P&G EQUIPMENT INSTALLED BY VENDOR- SEE PLUMBING DRAWINGS
- KNOX BOX: VERIFY MOUNTING LOCATION W/ LOCAL FIRE DEPT.
- 2" X 2" STAINLESS STEEL CORNER GUARDS, 6'-0" LONG (TYPICAL THROUGHOUT KITCHEN)
- ELECTRICAL PANELS: SEE ELECTRICAL SHEETS
- HAND SINK: REFER TO PLUMBING DRAWINGS.
- PROVIDE DIRECT LINE W/ TEMPERATURE REGULATOR VALVE FROM WH TO ALL HAND WASHING SINKS
- SEE DETAIL 30A-2 FOR ENLARGED BATHROOM AREA PLAN
- G.C. TO PROVIDE ANCHOR BOLTS FOR SLAB MOUNTED SAFE IN OFFICE - REFER TO EQUIP. SCHEDULE FOR SAFE MODEL# AND SPECIFICATIONS.
- WATER FILTRATION SYSTEM (BRANCH OFF MAIN LINE) FOR COFFEE BREWING EQUIPMENT, ICE MACHINES; LOCATE ABOVE WATER METER
- GAS METER: REFER TO PLUMBING DRAWING
- BRUSHED ALUMINUM CORNER GUARD
- EXTERIOR HOSE BIB, RE: PLUMBING DRAWING.
- LINE OF CANOPY ABOVE.
- ELECTRICAL SERVICE GEAR RE: ELECTRICAL DRAWING.
- BOLLARD RE: 315-P1.1
- EXTERIOR GUTTER AND DOWNSPOUT: GC SHALL ROUTE BELOW GRADE AND TIE INTO UNDERGROUND STORM, RE: CIVIL & PLUMBING DRAWINGS FOR FURTHER INFORMATION.
- STAINLESS STEEL CLOSURE AT WORK IN COOLER BOX PER MANUFACTURER
- PROVIDE CLEAR ANODIZED ALUM EDGE TRIM (SCHLITLER 'JOLLY') FOR FULL HEIGHT WALL @ EXTERNAL CORNERS & ALL LOCATIONS WHERE TILE ENDS.
- WALL HUNG WATER HEATERS - SEE PLUMBING DWGS.
- PREMANUFACTURED PREFINISHED WHITE WALK-IN COOLER/FREEZER BOX.
- SLAB SHALL BE DEPRESSED 4" AT WALK-IN BOX.



- DD GREEN NOTES**
- INDOOR AIR QUALITY MANAGEMENT:**
DURING CONSTRUCTION THE USE OF SMOKING/TOBACCO PRODUCTS THAT POLLUTE THE AIR IS PROHIBITED. THE QUALITY OF AIR IS TO BE MAINTAINED BY USING EXHAUST FANS, FAN EXHAUSTS, EXHAUST FILTERS AND FILTERS INSIDE THE UNIT SHALL BE REPLACED PRIOR TO BUILDING TURNOVER. CONSTRUCTION ACTIVITIES THAT PRODUCE DUST SHALL TAKE PLACE PRIOR TO ROAD USE AND EVERY EFFORT SHALL BE MADE TO DIRECT THESE ACTIVITIES TO THE OUTDOORS. MATERIALS THAT ARE ABSORPTIVE SHALL NOT BE BROUGHT INSIDE UNTIL THE BUILDING IS SUFFICIENTLY VENTILATED. ALL INDOR AIR QUALITY MANAGEMENT POLICIES SHALL BE PHOTOGRAPHED AT 25%, 50% & 75% PROJECT COMPLETION TO DOCUMENT MEASURES TAKEN FOLLOWED.
 - RECYCLED MATERIAL USE:**
UTILIZE ENVIRONMENTAL BUILDING MATERIALS WHICH HAVE BEEN SELECTED TO INCLUDE RECYCLED CONTENT.
 - CONSTRUCTION WASTE RECYCLING:**
DURING CONSTRUCTION ALL CONSTRUCTION RELATED RECYCLABLE WASTE SHOULD BE RECYCLED UNLESS OR OTHERWISE EXEMPTED FROM A LANDFILL. ALL CONCRETE, METAL & WASTE, FROM ALL CONSTRUCTION ACTIVITIES SHOULD BE RECYCLED AT A MINIMUM. THERE LOCAL NEARBY RECYCLING OR REMOVAL OFFER OR WASTEWATER RECYCLING OPPORTUNITIES TO HELP ACHIEVE OVER 75% CONSTRUCTION WASTE DIMENSION RATE FROM LANDFILL. FRANCHISEE SHALL PURSUE.
 - SOLAR SHADE USE:**
REFLECTIVE SOLAR SHADES OR WINDOW TINT @ ALL WINDOWS UNTO IMPROVE COMFORT & REDUCE SOLAR HEAT GAIN.
 - TOBACCO SMOKE CONTROL:**
TOBACCO USE IS TO BE PROHIBITED INSIDE, WITHIN 25 FEET OF THE BUILDING ENTRANCES & OUTSIDE ALL AIR INTAKES.
 - FRANCHISEE TO COMPLY W/ COMMUNITY OUTREACH DD GREEN REQUIREMENTS.
 - FRANCHISEE TO COMPLY W/ UTILITY & DATA REPORTING DD GREEN REQUIREMENTS.

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

PROJECT NO: 23105

NATIONAL RESTAURANT DESIGNERS
A DIVISION OF LITTON INDUSTRIES
7880 4TH AVENUE, 5TH FLOOR
DENVER, CO 80202 TEL: 303.733.2800

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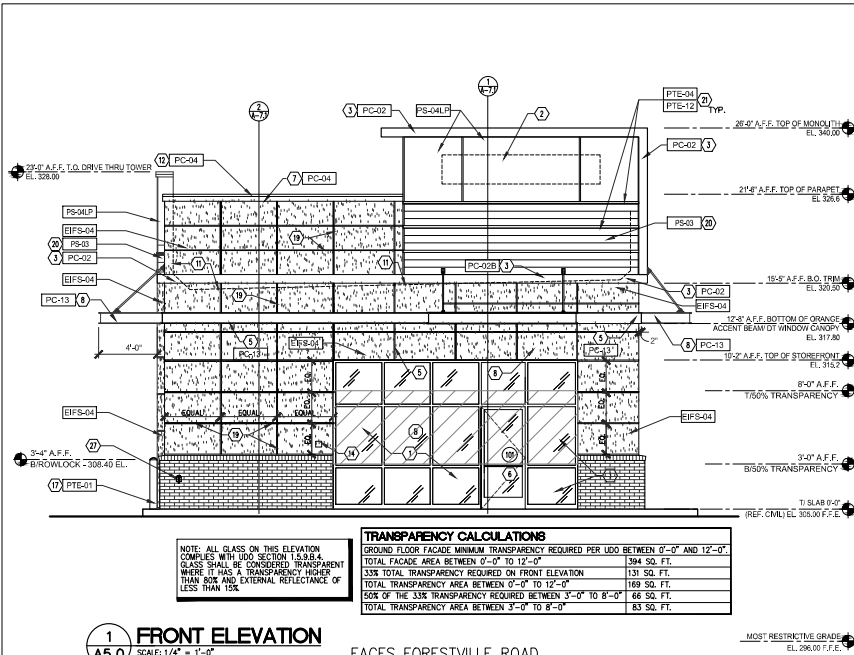
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BUFFALO ROAD AND FORESTVILLE ROAD
RALEIGH, NC

**FLOOR PLAN, NOTES,
PARTITION TYPES**

PC# -

A-1.0



TRANSPARENCY CALCULATIONS

GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER LDO BETWEEN 0'-0" AND 12'-0"

TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0"	394 SQ. FT.
33% TOTAL TRANSPARENCY REQUIRED ON FRONT ELEVATION	131 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0"	169 SQ. FT.
50% OF THE 33% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0"	66 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 3'-0" TO 8'-0"	83 SQ. FT.

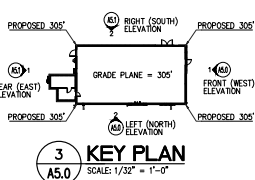
1 FRONT ELEVATION
A5.0 SCALE: 1/4" = 1'-0"

FACES FORESTVILLE ROAD

MOST RESTRICTIVE GRADE CHART

	NORTH AVE.	SOUTH AVE.	EAST AVE.	WEST AVE.
PROPOSED GRADES	305'	307'	307'	309'

29' 8" IS THE MOST RESTRICTIVE GRADE (SEE CIVIL GRADING PLAN) 305' IS THE BUILDING ELEVATION.



EXTERIOR FINISH SCHEDULE - NEXT GEN IMAGE - ALL FINAL FINISHES TBD

TAG	MATERIAL	MANUFACTURER	PRODUCT NO	DESCRIPTION/REMARKS
EIFS-01	E.I.F.S.	DRYVIT	GRAY PATTERN	"GRAY" EIFS DRYVIT # DDDO 38 2736 ST. MATCH SW 7063 "DUNNILET GRAY" SANDERISE FINE
EIFS-02	E.I.F.S.	DRYVIT	CHARCOAL PATTERN	"CHARCOAL" EIFS DRYVIT # DDDO 372255 MATCH SW 7069 "IRON ORE" SANDERISE FINE
EIFS-04	E.I.F.S.	DRYVIT	OFF WHITE PATTERN	"WHITE" EIFS DRYVIT # DDDO 40 2736 ST. MATCH SW 7063 "NEBULOUS WHITE" SANDERISE FINE
PS-02L	FIBER CEMENT PANEL	JAMES HARDIE	CHARCOAL FINISH LARGE FORMAT PANEL	COLOR: "CHARCOAL" DIMENSION: 5/8" x 48" x 96" WITH COLOR MATCHED TRIM AND COLOR MATCH PAINT TO MATCH PS-04
PS-03	FIBER CEMENT LAP SIDING	WOODSTONE	WOOD FINISH RUSTIC SERIES WOODSTONE	COLOR: "HONEY GLAZE" WOOD PATTERN SURFACE. DIMENSION: 1/2" x 4" x 8" THICK WITH 1/2" SIDING EXPOSURE. NOTE: NAILS TO MATCH WOOD FINISH
PS-04A	FIBER CEMENT LAP SIDING	JAMES HARDIE	OFF WHITE FINISH	COLOR: "NEBULOUS WHITE" SD0237 SURFACE. HARDIE SIDING DIMENSION: 1/2" x 4" x 8" THICK WITH 1/2" SIDING EXPOSURE.
PS-04LP	FIBER CEMENT PANEL	JAMES HARDIE	OFF WHITE FINISH LARGE FORMAT PANEL	COLOR: "ARCTIC WHITE" SURFACE. PRE-FINISHED REVEAL PANEL DIMENSION: 5/8" x 48" x 96" WITH COLOR MATCHED TRIM AND COLOR MATCH SIDING OR COLOR-PRIMED FINISH FIELD PAINT TO MATCH PS-04
TR-02	METAL	TAMLYN	EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT	OFF WHITE ACCENT BAND SEE SFO4 (WHITE)
TR-04	METAL	TAMLYN	0000P51 OUTSIDE CORNER TRIM USED AT TOWER ELEMENT	TO MATCH FIBER CEMENT LAP SIDING
TR-05	METAL	TAMLYN	005016 BOTTOM "STARTER" TRIM USED AT TOWER ELEMENT	CLEAR ANODIZED
TR-06	METAL	TAMLYN	(A4-3) VERTICAL TERMINATION TRIM-TYP. USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-3
TR-07	METAL	TAMLYN	(A4-1) TOP TRIM USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-3
TR-10	METAL	JAMES HARDIE	JH SURROUND OUTSIDE CORNER TRIM	FACTORY FINISH CLEAR ANODIZED 16 GA. TRIM AVAILABLE IN 9'-0" LENGTHS. USED WITH JAMES HARDIE REVEAL PANELS.
PC-02	PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"
PC-04	PAINTED COATING	SHERWIN WILLIAMS	WHITE FINISH	SW 7063 "NEBULOUS WHITE"
PC-12	PAINTED COATING	SHERWIN WILLIAMS	DO PINK FINISH	COLOR: MATCH PMS 219 C
PC-13	PAINTED COATING	SHERWIN WILLIAMS	DO ORANGE FINISH	BLENDED AT SHERWIN WILLIAMS 50% ORANGE TONER 50% GENESIS LOW VOC SAT. 1/3" GENESIS TONER 78% 9/10 / 35% LOW VOC GLOSS CLEAR 50% ORANGE TONER 50% GENESIS LOW VOC SAT. 1/3" GENESIS TONER 78% 9/10 / 35% ARTIC WHITE 137.200 / 60% REDUCER 442.380 / 10% GENESIS LOW VOC FLAT CLEAR 212.212 / 4% ORAL.
PTE-01	PAINT	SHERWIN WILLIAMS	CONCRETE FINISH	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
PTE-02	PAINT	SHERWIN WILLIAMS	CHARCOAL FINISH	MARK T. WENER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON, RI 02806 RI 857-438-1400 E: 401-245-5710 EMAIL: MARK.T.WENER@SHERWIN.COM
PTE-04	PAINT	SHERWIN WILLIAMS	OFF WHITE FINISH	MARK T. WENER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON, RI 02806 RI 857-438-1400 E: 401-245-5710 EMAIL: MARK.T.WENER@SHERWIN.COM
PTE-05	PAINT	SHERWIN WILLIAMS	MID-TONE FINISH	MARK T. WENER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON, RI 02806 RI 857-438-1400 E: 401-245-5710 EMAIL: MARK.T.WENER@SHERWIN.COM
PTE-08	PAINT	SHERWIN WILLIAMS	SW 7069 "IRON ORE"	MARK T. WENER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON, RI 02806 RI 857-438-1400 E: 401-245-5710 EMAIL: MARK.T.WENER@SHERWIN.COM
PTE-12	PAINT	DO PINK	DO PINK COLOR MATCH PMS 7635C	MAP ULTRA LOW V.O.C.
PTE-13	PAINT	DO ORANGE	DO ORANGE COLOR MATCH PMS 3564C	MAP ULTRA LOW V.O.C.

- ELEVATION NOTES**
- STOREFRONT WINDOW SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
 - EXTERIOR WALL SCHEDULE TO BE PROVIDED BY OWNER'S SIGN VENDOR. TO COORDINATE WITH SIGN VENDOR AND PROVIDER ELECTRICAL SUPPLY AND BLOCKING AT SIGN LOCATIONS AS SHOWN.
 - PROTECTED FRAMING WRAPPED IN METAL REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
 - COOLER/FREEZER BOX, PAINT.
 - DO NOT PROJECTED METAL BAND PROVIDED & INSTALLED BY G.C. THROUGH DUNKIN SIGN PERIOD.
 - EXTERIOR DOOR PER SCHEDULE.
 - DOE WRAPPED IN BREAK METAL TO MATCH COPING ABOVE - REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
 - HANGER ROD CANOPY PROVIDE & INSTALLED BY G.C. THROUGH DUNKIN NATIONAL VENDOR.
 - HOLLOW METAL DOOR & FRAME, PAINT DOORS PTE-01 AND FRAMES PTE-01.
 - NEW ELECTRICAL EQUIPMENT - REFER TO ELECTRICAL PANELS.
 - LINE OF ROOF BEYOND.
 - 1/2" METAL SHIP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR - REFER TO DETAILS ON DRAWING A501.
 - METAL SUPPER AND DOWNSPOUT. SEE DRAWING A161-RE INTO STORM WATER - SEE CIVIL DRAWINGS.
 - KNOX BOX SERIES 3200 RECESSED WITH LEFT-OF DOOR TO BE MOUNTED 4'-0" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
 - EMERGENCY LIGHT FIXTURE MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F.
 - DECORATIVE EXTERIOR LIGHTS - REFER TO ELECTRICAL DWGS.
 - 0/ALLSD - REFER TO DETAIL 8/A501.
 - METAL OVERFLOW SUPPER - SEE DETAIL 4/A51.
 - E.I.F.S. "Y" GROOVE JOINT - REFER TO DETAIL 4/A-7A.
 - 1/4" FIBER CEMENT LAP SIDING (6" REVEAL) WITH WOOD TEXTURE.
 - 2" AZEK TRIM PAINTED TO MATCH DO "OFF WHITE" & "DO PINK"
 - VERTICAL & HORIZ. TRIM FOR FIBER CEMENT PANELS & OPENINGS & MATERIAL TRANSITIONS.
 - 1/4" FIBER CEMENT "Y" GROOVE SIDING (7" REVEAL)
 - 3" WIDE HARDIE TRIM BOARDS - PAINT TO MATCH ADJACENT PANEL.
 - 1/4" FIBER CEMENT LAP SIDING (6" REVEAL), FULL HEIGHT SLAT @ TOP; CUT DOWN AS NEEDED AT BASE OF BUILDING.
 - PAINT DOWNSPOUT TO MATCH COLOR OF MATERIAL. IT IS MOUNTED ON. SEE 8/A11 FOR UNPAINTED DOWNSPOUT AT FND DET.
 - EXTERIOR FROST PROOF HOSE BIBB.

- GENERAL NOTES:**
- SIGNAGE BY OWNER NATIONAL VENDOR - TO BE FILED UNDER SEPARATE PERMIT - TYPICAL
 - SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
 - COORDINATE WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.
 - SEE ELECTRICAL DRAWINGS FOR ALL LIGHTING SCHEDULES.

PROJECT NO.: 231005

NATIONAL RESTAURANT DESIGNERS
A DIVISION OF LEIF CHRISTENSEN
7800 480 4TH AVE, PMB 200
DENVER, CO 80202 TEL: 303.733.4000

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NOT FOR
CONSTRUCTION

12/19/2023

DATE	SCALE	DRAWN	MTP	CHK	CNV	APPD

NO DESCRIPTION

SET REVISIONS

NO	DESCRIPTION

SHEET REVISIONS

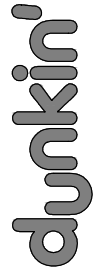
PC# -

BUFFALO ROAD AND FORESTVILLE ROAD
RALEIGH, NC

EXTERIOR
ELEVATIONS

A-5.0

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



PROJECT No.: 231005
 NATIONAL RESTAURANT DESIGNERS
 A Division of LHM International
 7800 E 40th Ave, Suite 2000
 Denver, CO 80231

PRELIMINARY
 NOT FOR
 CONSTRUCTION

DATE	SCALE	DRAWN	MTP	CNV	APPD
12/19/2023					

NO.	DESCRIPTION	DATE	SCALE	DRAWN	MTP	CNV	APPD

BUFFALO ROAD AND FORESTVILLE ROAD
 RALEIGH, NC
 EXTERIOR
 ELEVATIONS
 PC# -

A-5.1

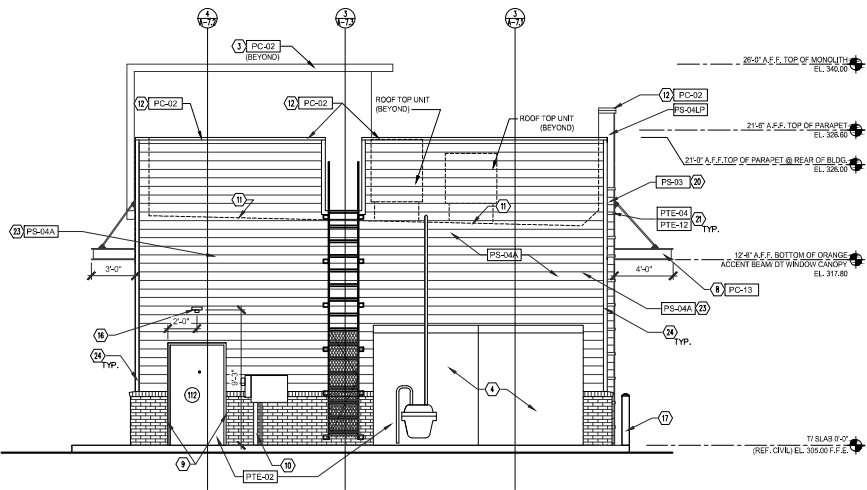
TAG	MATERIAL	MANUFACTURER	PRODUCT NO	DESCRIPTION/REMARKS
EFS-01	E.L.F.S.	DRYVIT	GRAY PATTERN	"GRAY" EPS DRYVIT # DDD0 38 2736 ST. MATCH SW709 "MAINLINE" GRAY. SANDPAPER FINE.
EFS-02	E.L.F.S.	DRYVIT	CHARCOAL PATTERN	"CHARCOAL" E.L.F.S. DRYVIT #DD0 372585 MATCH SW 7069 "IRON ORE" SANDPAPER FINE.
EFS-04	E.L.F.S.	DRYVIT	OFF WHITE PATTERN	"WHITE" EPS DRYVIT #DD0 40 2736 ST. MATCH SW 7063 "NEBULOUS WHITE" SANDPAPER FINE.
PS-02/LP	FIBER CEMENT PANEL	JAMES HARDIE	CHARCOAL LARGE FORMAT PANEL	COLOR: "CHARCOAL" DIMENSION: 5/16x48x96" TYP. WITH COLOR MATCHED TRIM OR COLOR PRIMED FINISH FIELD FINISH TO MATCH PTE-04.
PS-03	FIBER CEMENT LAP SONG	WOODTONE	WOOD FINISH RUSTIC SERIES WOODTONE	COLOR: "HONEY GLAZE" WOOD PATTERN DIMENSION: 7/16" X 12" X 5/16" THICK WITH 6" SOING EXPOSURE.
PS-04A	FIBER CEMENT LAP SONG	JAMES HARDIE	OFF WHITE FINISH	COLOR: "NEBULOUS WHITE SMOOTH" SURFACE: HARDE SONG DIMENSION: "M" GROOVE WITH 7" SOING EXPOSURE.
PS-04/LP	FIBER CEMENT PANEL	JAMES HARDIE	OFF WHITE FINISH LARGE FORMAT PANEL	COLOR: "ARCTIC WHITE" SURFACE: PRE-FINISHED REVEAL PANEL DIMENSION: 5/16x48x96" TYP. WITH COLOR MATCHED TRIM AND COLOR MATCH SCHEDULES OR COLOR PRIMED FINISH FIELD FINISH TO MATCH PTE-04.
TR-02	METAL	TAMLYN	EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT	OFF WHITE ACCENT BAND SEE SFOA (WHITE)
TR-04	METAL	TAMLYN	(D00204) OUTSIDE CORNER TRIM USED AT TOWER ELEMENT	TO MATCH FIBER CEMENT LAP SONG PS-3
TR-05	METAL	TAMLYN	(D0504) BOTTOM "STARTER" TRIM USED AT TOWER ELEMENT	CLEAR ANODIZED
TR-06	METAL	TAMLYN	(A015) VERTICAL TERMINATION TRIM-TYP. USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SONG PS-3
TR-07	METAL	TAMLYN	(A015) TOP TRIM USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SONG PS-3
TR-10	METAL	JAMES HARDIE	JH SURROUND OUTSIDE CORNER TRIM	FACTORY FINISH CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS. USED WITH JAMES HARDIE REVEAL PANELS.
PC-02	PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"
PC-04	PAINTED COATING	SHERWIN WILLIAMS	WHITE FINISH	SW 7063 "NEBULOUS WHITE"
PC-12	PAINTED COATING	SHERWIN WILLIAMS	DO PINK FINISH	COLOR: MATCH PMS 219 C
PC-13	PAINTED COATING	SHERWIN WILLIAMS	DO ORANGE FINISH COLOR # 3566AC	BLENDED AT SHERWIN WILLIAMS PRODUCTION FACILITY. FINISH: GLOSS LOW VOC SATIN. CRYSTAL ORANGE TONER 785.970 / 3566AC LOW VOC GLOSS CLEAR 27157.212 / 495AL. AUTUMN ORANGE 194.04G / 3566AC ARTIC WHITE 137.20G / 3566AC GEORGE REDUCER 442.38G / 27157.212 LOW VOC FLAT CLEAR 27157.212 / 495AL.
PTE-01	PAINT	SHERWIN WILLIAMS	CONCRETE FINISH SFW709 "MAINLINE" GRAY"	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-7394.
PTE-02	PAINT	SHERWIN WILLIAMS	CHARCOAL FINISH SFW709 "IRON ORE"	MARK T. WEER NATIONAL ACCOUNT EXECUTIVE 93 CHURCH ST BARRINGTON, RI 02806 W: 401-643-1408 C: 401-245-5710 EMAIL: MARK.T.WEER@SHERWIN.COM
PTE-04	PAINT	SHERWIN WILLIAMS	OFF WHITE FINISH SFW703 "NEBULOUS WHITE"	
PTE-05	PAINT	SHERWIN WILLIAMS	MIC-TONE FINISH SFW705 "TOMY MATTERS"	
PTE-09	PAINT	SHERWIN WILLIAMS	DO PINK FINISH SW 7069 "IRON ORE"	
PTE-12	PAINT	DO PINK	DO PINK COLOR MATCH PMS 7635C MAP ULTRA LOW V.O.C.	
PTE-13	PAINT	DO ORANGE	DO ORANGE COLOR MATCH PMS 3566AC MAP ULTRA LOW V.O.C.	

- ELEVATION NOTES:**
- STOREFRONT WINDOW SYSTEM SEE DOOR & WINDOW SCHEDULE FOR MORE INFORMATION.
 - EXTERIOR WALL SIGNAGE TO BE PROVIDED BY OWNER'S SIGN VENDOR. SET TO COORDINATE WITH SIGN VENDOR AND PROVIDE ELECTRICAL SUPPLY AND BLOCKING FOR SIGN LOCATIONS AS REQUIRED. SEE ELECTRICAL FOR SIGN COORDINATION.
 - PROJECTED FRAMING WRAPPED IN METAL REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
 - COOLER/FREEZER BOX, PAINT.
 - PRE-FAB PROJECTED METAL BAND PROVIDED & INSTALLED BY G.C. THROUGH DUNKIN SIGN VENDOR.
 - EXTERIOR DOOR PER SCHEDULE.
 - 2x6 WRAPPED IN BREAK METAL TO MATCH COPING ABOVE- REFER TO WALL SECTIONS & DETAILS FOR MORE INFORMATION.
 - HANGER ROD CANOPY PROVIDED & INSTALLED BY G.C. THROUGH DUNKIN NATIONAL VENDOR.
 - HOLLOW METAL DOOR & FRAME, PAINT DOORS PTE-01 AND FRAMES PTE-01.
 - NEW ELECTRICAL EQUIPMENT- REFER TO ELECTRICAL DRAWINGS.
 - LINE OF ROOF BEYOND.
 - 4" METAL SHIP ON COMPRESSION EDGE PROVIDED GENERAL CONTRACTOR - REFER TO DETAILS ON DRAWING A501.
 - METAL SCUPPER AND DOWNSPOUT. SEE DRAWING A161-TIE INTO STORM WATER- SEE CIVIL DRAWINGS.
 - KNIX BOX SERIES 3200 RECESSED WITH LEFT-OFF DOOR TO BE MOUNTED 4'-0" A.F.F. TO BOTTOM OF MOUNTING BOX. VERIFY REQUIREMENTS WITH LOCAL FIRE MARSHAL.
 - EMERGENCY LIGHT FIXTURE MOUNT BOTTOM OF FIXTURE AT 8'-0" A.F.F.
 - DECORATIVE EXTERIOR LIGHTS- REFER TO ELECTRICAL DWGS.
 - ROLLARD- REFER TO DETAIL 8/A500.
 - METAL OVERFLOW SCUPPER- SEE DETAIL 4/A61.
 - E.L.F.S. "Y" GROOVE JOINT - REFER TO DETAIL 4/A-7.0.
 - 7 1/4" FIBER CEMENT LAP SONG (6" REVEAL) WITH WOOD TEXTURE.
 - 2" AZEK TRIM PAINTED TO MATCH DO "OFF WHITE" & DO "PINK"
 - VERTICAL & HORIZ. TRIM FOR FIBER CEMENT PANELS @ OPENINGS & MATERIAL TRANSITIONS.
 - 7 1/4" FIBER CEMENT "Y" GROOVE SOING (7" REVEAL).
 - 3" WIDE HARDE TRIM BOARDS - PAINT TO MATCH ADJACENT PANEL.
 - 7 1/4" FIBER CEMENT LAP SONG (6" REVEAL) FULL HEIGHT SLAT @ TOP; CUT DOWN AS NEEDED AT BASE OF BUILDING.
 - PAINT DOWNSPOUT TO MATCH COLOR OF MATERIAL. IT IS MOUNTED ON, SEE 8/A1.1 FOR ENLARGED DOWNSPOUT AT TYP. SIZE.
 - EXTERIOR FROST PROOF HOSE BOBB.

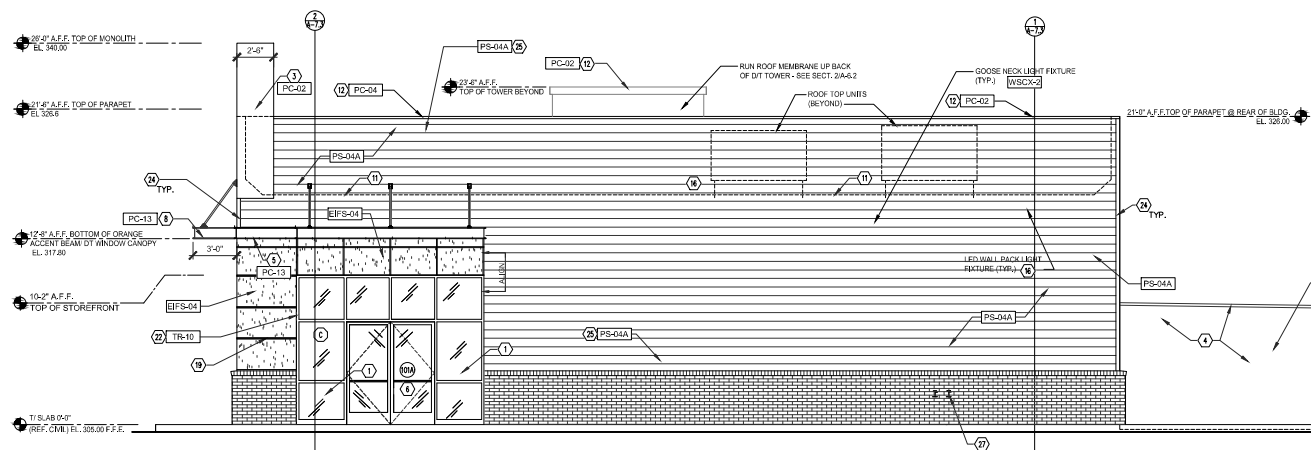
GENERAL NOTES:

- SIGNAGE BY OWNER NATIONAL VENDOR- TO BE FILED UNDER SEPARATE PERMIT - TYPICAL.

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"



1 REAR ELEVATION FACES PRIVATE STREET / DUMPSTER ENCLOSURE
 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION FACES ADJACENT BUILDING / PARKING LOT
 SCALE: 1/4" = 1'-0"

LUMINAIRE SCHEDULE					
TYPE	DESCRIPTION	MODEL	MOUNTING	LAMP	WATTS NOTE
B	Provided by walk in box manufacturer	Varies			
LED-2	EXTERIOR RECESSED LIGHT FIXTURES-USED UNDER CANOPY	AT TAPNILED: DRDRFR-4/ DRD2M-10-8-40/ DRD2FR-4-S-W	Recessed : canopy	14.7 Watt LED	15
EBU-W	Ultra compact led emergency unit - White	Extronix: EBU-W-LED-51-52		(2) 1 Watt LED	3
EX1	LED Exit Sign Combo	Extronix: VLED-U-WH-EL90	Ceiling/Wall per AHJ	5 Watt LED	5
EX	LED Exit Sign with Directional Arrow	Extronix: VEX-J-S-L-B-WH	Ceiling/Wall per AHJ	5 Watt LED	5
EMR	Exterior EM egress Lighting	Extronix: MLED-2-GWP	Wall Mount 12" above door	(2) 10 Watt LED	20
P1	6" LED fixture used in high ceiling areas	Texas Fluorescents: SES-FR-96L-562W6200L-DMV-35K-BK	PENDANT 10'-0" AFF	62 Watts LED	62
R1	6" LED Downlight	CREE: RC6/CR61-1600L-35K	RECESSED	(1) 21 Watt LED, 3500k	21
R2	2x2 Recessed LED Luminaire, 4,000 lumen	CREE: CR22-32L-35K-S-HD	RECESSED	(1) 35Watt LED, 3500k	35
R4	Orange finished linear LED fixtures used above front line	Primaluce: EX3D-A-N-835VHO-8-SIAC120ST	Pendant @ 8'-1" AFF to bottom of fixture	(1) 11.5 Watt/ft LED, 3500K	50
RS	2x4 Recessed LED Luminaire, 4,000 lumen	LSI: SFP24-LED-40-UE-DIM-35J-U	RECESSED	(1) 50Watt LED, 3500k	50
WP	EXTERIOR WALL PACK	COOPER: XTOR2B-W	WALL	18W LED, 4000K	18

GENERAL NOTES:

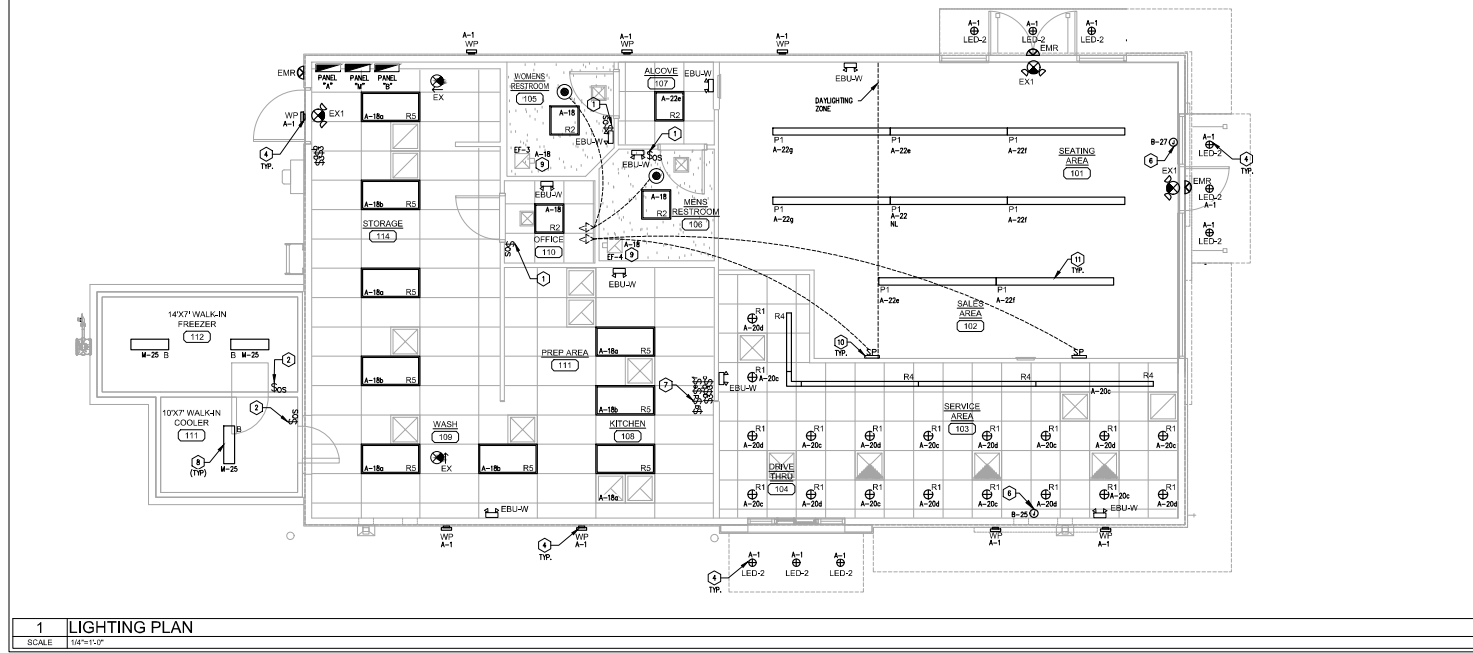
- ALL WORK SHALL COMPLY WITH ALL LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED INSPECTIONS.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS AND TRADES.
- THESE DRAWINGS, AS PREPARED, ARE DIAGNOSTIC AND SHALL BE FOLLOWED AS CLOSELY AS CONSTRUCTION OF THE PROJECT AND THE WORK OF THE TRADES WILL PROVE EQUIPMENT LOCATIONS INDICATED ARE APPROXIMATE, COORDINATE EXACT LOCATIONS AND REQUIRED CLEARANCES WITH EQUIPMENT SUPPLIER AND ALL TRADES PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL THE EQUIPMENT INDICATED WITHIN THESE DRAWINGS UNLESS OTHERWISE NOTED. VERIFY LOCATION AND DIMENSIONS IN THE FIELD PRIOR TO FABRICATION AND INSTALLATION.
- ALL ROOF PENETRATIONS SHALL BE AT THE CONTRACTOR'S EXPENSE. COORDINATE WITH OWNER'S ROOFING CONTRACTOR SO AS NOT TO VOID ANY EXISTING ROOF WARRANTIES.
- THE ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY ARCHITECT OR ENGINEER.
- ALL WORK SHALL BE SUBJECT TO THE ACCEPTANCE AND APPROVAL OF THE ARCHITECT AND OWNER. THE ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE OF PROPER NOTIFICATION DOES NOT RELIEVE THE CONTRACTOR. THE CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL EQUIPMENT UTILITY INFORMATION SHOWN ON ELECTRICAL SHEETS WITH THE DUNKIN' BRANDS EQUIPMENT SCHEDULE AND EQUIPMENT MANUFACTURER'S CUT SHEETS.
- ALL EXTERIOR LIGHTS TO BE TIME/LOCK CONTROLLED.
- EC SHALL PROVIDE GFI BREAKERS FOR ALL SINGLE PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 10A OR LESS. FOR THREE PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 100A OR LESS IN KITCHEN AND SERVING AREAS SHALL COMPLY WITH NEC 210.8(B). EC SHALL NOT USE GFI OUTLETS, UNLESS OTHERWISE NOTED, COORDINATE WITH PANEL SCHEDULERS.
- ALL JUNCTION BOXES SHOWN ON THIS PLAN ARE TO BE INSTALLED ABOVE THE FINISHED CEILING.
- ALL EMERGENCY AND EXIT FIXTURES SHALL BE CONNECTED TO LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING. PROVIDE ADDITIONAL FIXTURES AS NEEDED TO MEET THE CODE REQUIREMENTS PER LOCAL REQUIREMENTS.
- PROVIDE WOOD BLOCKING BEHIND ALL EXTERIOR LIGHTING FIXTURES COORDINATE WITH GENERAL CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LATEST

KITCHEN PLANS AND EQUIPMENT CUTS SHEETS FOR PROPER EQUIPMENT LOCATIONS AND CONNECTION REQUIREMENTS PRIOR TO STARTING WORK.

- EC SHALL PROVIDE OWNER FRANCHISEE WITH COMPLETE SET OF ELECTRICAL AS-BUILT DRAWINGS SHOWING ALL DEVIATIONS FROM ORIGINAL DESIGN WITHIN 30 DAYS OF ACCEPTANCE.
- EC SHALL PROVIDE OWNER FRANCHISEE WITH OPERATIONS & MAINTENANCE MANUAL(S) FOR ALL ELECTRICAL SYSTEMS AND EQUIPMENT WITHIN 30 DAYS OF ACCEPTANCE.
- EC SHALL TEST ALL LIGHTING SYSTEMS TO ENSURE PROPER CALIBRATION, ADJUSTMENT, PROGRAMMING AND OPERATION.
- ALL DEVICES REQUIRED TO BE ADA ACCESSIBLE SHALL BE INSTALLED PER ANSI A117.1.
- TERMINATIONS FOR EQUIPMENT RATED AT 100A OR LESS SHALL BE RATED MINIMUM 60 DEGREE CELSIUS FOR EQUIPMENT RATED OVER 100A. TERMINATIONS SHALL BE RATED FOR MINIMUM 75 DEGREES CELSIUS.
- ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES, AND EQUIPMENT SHALL BE LABEL LISTED BY APPROVED THIRD PARTY TESTING AGENCY.
- LIGHTING FIXTURES IN AREAS WHERE FOOD IS PREPARED, OPEN FOOD IS STORED, OR WHERE UTENSILS ARE CLEANED SHALL HAVE A SHATTERPROOF LENS AND BE READILY CLEANABLE.
- LIGHTING INTENSITY SHALL NOT BE LESS THAN 55 FOOT CANDLES AT A FOOD PREP AND SERVING SURFACES AND AT ANY SURFACE WHERE A FOOD EMPLOYEE IS WORKING WITH FOOD OR WORKING WITH UTENSILS OR EQUIPMENT SUCH AS KNIVES, SLICER, GRINDERS OR SAWS WHERE EMPLOYEE SAFETY IS A FACTOR. EC SHALL VERIFY PRIOR TO HEALTH DEPARTMENT INSPECTION.
- DRY FOOD STORAGE AND WALK-IN REFRIGERATION STORAGE SHALL NOT BE LESS THAN 10 FOOT CANDLES, AT -30" ABOVE FLOOR.
- LIGHTING INTENSITY SHALL NOT BE LESS THAN 20 FOOT CANDLES.
 - AT A SURFACE WHERE FOOD IS PROVIDED FOR CONSUMER SERVICE SUCH AS BUFFETS AND SALAD BARS OR WHERE FRESH PRODUCE OR PACKAGED FOODS ARE SOLD OR OFFERED FOR CONSUMPTION.
 - INSIDE EQUIPMENT SUCH AS REACH-IN AND UNDER-COUNTER REFRIGERATORS.
 - AT A DISTANCE OF THIRTY INCHES ABOVE THE FLOOR IN AREAS USED FOR HANDWASHING, WAREWASHING, EQUIPMENT AND UTENSIL STORAGE, AND IN TOILET ROOMS.
- EC SHALL VERIFY WITH UTILITY COMPANY THAT 400A, 208/120V, 3PH SERVICE IS AVAILABLE TO DUNKIN' SPACE PRIOR TO ANY WORK.

KEYED NOTES:

- INSTALL OCCUPANCY SENSOR MOUNTED AT 48" HUBBELL MODEL LHR51. IN THE RESTROOM AND OFFICE.
- PROVIDE COLD WEATHER OCCUPANCY SENSOR FOR WALK-IN REFRIGERATOR AND FREEZER. LOCATE SWITCH ON LATCH SIDE OF DOORS. CONNECT TO LIGHTING PROVIDED BY EQUIPMENT MFR.
- NOT USED.
- EXTERIOR LIGHTS CONTROLLED VIA TIME CLOCK.
- NOT USED.
- ELECTRICAL CONTRACTOR TO PROVIDE DIRECT ACCESSIBLE POWER FOR ALL ELECTRICAL SIGNAGE WITHIN 60" OF THE SIGN LOCATION PROVIDE CONDUIT AND STUD THRU WALL, J-BOX AND ANY REQUIRED O.C.P. COORDINATE LOCATION WITH FINAL SIGN PACKAGE PRIOR TO ORDERING.
- SWITCH BANK LOCATION: SEE LOCAL CODE DETAIL ES2.1. SWITCHES SHALL SERVE AS LOCAL OFF SWITCH. LETTER INDICATES ZONE AND SWITCH DESIGNATION AREA.
- COOLER LIGHTING PROVIDED BY COOLER MFR.
- RESTROOM EXHAUST FAN SHALL BE WIRE VIA OCCUPANCY SENSOR SWITCH IN RESTROOM.
- SPEAKER TO BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR. EACH SPEAKER TO BE WIRED INDEPENDENTLY AND WIRES CARRIED TO THE CEILING AND BUNDLED ABOVE CEILING. THE VOLUME CONTROL/RECEIVER WILL BE PROVIDED BY THE OWNER AND INSTALLED BY EC.
- EC SHALL COORDINATE LIGHT FIXTURES MOUNTING IN OPEN CEILING WITH DUCT WORK. PROVIDE ADDITIONAL SUPPORT AS REQUIRED. COORDINATE WITH MECHANICAL CONTRACTOR.



LEGENDS (PROTYPICAL-ALL DEVICES MAY NOT BE SHOWN)

- 2x2 LAY-IN LED LIGHT FIXTURE
- 2x4 LAY-IN LED LIGHT FIXTURE
- LED RECESSED LIGHT FIXTURE
- CANOPY LIGHT
- LIGHT BAR FIXTURE
- SUSPENDED LINEAR LED FIXTURE
- CAN LIGHT
- WALL MTD OCCUPANCY SENSOR
- SPEAKER
- WALL MTD EMERG LIGHT
- WALL MTD EMERG LIGHT/ EXIT SIGN COMBO
- CEILING MOUNTED EXIT SIGN
- EMERGENCY LIGHT REMOTE HEAD
- ADJUSTABLE SPEAKER VOLUME CONTROL
- EXTERIOR WALL MOUNT LIGHT
- EXTERIOR WALL PACK
- WALL MOUNTED SPEAKER

CARBON MONOXIDE MONITORING:
THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MEANS OF MONITORING AND ALARMING THE OCCUPANTS UPON THE PRESENCE OF CARBON MONOXIDE (CO). THE MEANS OF DETECTION SHALL BE LOCATED NEAR EQUIPMENT THAT PRODUCES PRODUCT OF COMBUSTION. LOCATIONS SHALL INCLUDE BUT NOT BE LIMITED TO GAS FIRED OVENS, GAS FIRED WATER HEATERS, GAS FIRED FURNACES, ETC.

1 LIGHTING PLAN
SCALE 1/4"=1'-0"

NOTE: DRAWINGS ARE NOT TO SCALE IF SHEET IS PLOTTED ON 11" x 17"

THESE PLANS ARE CONFIDENTIAL PROPERTY OF DUNKIN' BRANDS, INC. UNDER RESTRICTED ACCESS.

PROJECT No.: 23105

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

DATE	SCALE	DRAWN	CHK	APPD
12/19/2023		JP	JP	JP
NO DESCRIPTION				
SET REVISIONS				
SHEET REVISIONS				

BUFFALO ROAD AND FORESTVILLE ROAD
RALEIGH, NC

**ELECTRICAL
LIGHTING PLAN**

PC# -

E-1.0