



# Administrative Approval Action

Case File / Name: ASR-0062-2021  
DSLCL - YELVERTON ENRICHMENT CENTER

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the east side of Louisburg Road, south of Midtown Market Avenue at 5811 Crescent Square Street.

**REQUEST:** Development of a 1.06 acre tract zoned PD (-CX based district) for a proposed medical civic use building with a gross floor area 10,808 sf. Site is located in the 5401 North Master Plan Tract 1 Town Core Neighborhood Section (T5) (MP-2-16/Z-29-16).

5401 North Master Plan (MP-2-16/Z-29-16): Effective 8/21/18 - T5, Tract 1.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 30, 2022 by Yes Real Estate Construction Group Inc..

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Demonstrate compliance with UDO Section 7.1.7.K.1 & K.3. regarding long term bicycle parking facilities.
2. Update the Site Data Table to show the calculations for the required and the calculations for the provided amenity area based on net site. Demonstrate compliance with UDO Section 1.5.3.
3. Demonstrate compliance with UDO Section 7.2.5.D.2 (Screening - Mechanical Equipment); show the location(s) of the mechanical equipment and the proposed screening method. If the mechanicals will be located on the roof of the building, show the locations on the building elevations with a dashed outline, showing they will be screened per the UDO.



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4. Provide a lighting plan demonstrating compliance with UDO Article 7.4. The lighting plan must show total height for light poles that do not exceed 30' in height for parking lots, see UDO Section 7.4.5. In addition, they do not exceed 15 feet in height for pedestrian areas. Demonstrate compliance with UDO Section 7.4.4.A. thru C, where light fixtures cannot exceed 2.0 footcandles measured at the right of way.

## Public Utilities

5. The water meter should be shown in an appropriate location outside of the sidewalk.

## Stormwater

6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Transit Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## Transportation

1. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**The following items must be approved prior to the issuance of building permits:**

## Engineering



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1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Urban Forestry

3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes tree protection fence for (6) street trees along Crescent Square St. and (5) street tree along Midtown Market Ave. The existing street trees were not inspected by the City of Raleigh. If these street trees do not pass inspection they will have to be replaced and pass inspection.
4. A public infrastructure surety for (11) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

### 3-Year Expiration Date: September 7, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

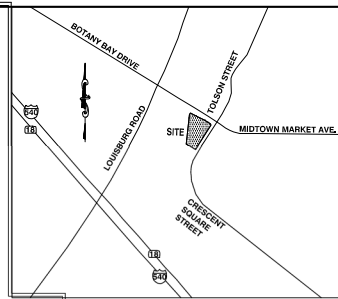
### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 09/07/2022  
Development Services Dir/Designee  
Staff Coordinator: Kasey Evans

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
6. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE RIGHT-OF-WAY CLOSURES ON [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAYSERVICES@RALEIGHNC.GOV](mailto:RIGHTOFWAYSERVICES@RALEIGHNC.GOV).
7. ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF THE WORK.
8. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIANS EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
12. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
13. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483
14. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
16. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
17. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
18. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
19. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
20. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
21. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
22. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
23. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROGRAM STANDARDS AND ADA SPECIFICATIONS
24. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
25. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
26. GENERAL UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.



VICINITY MAP  
NOT TO SCALE



April 20, 2022

Antonia Welter  
6035 Bruce Ave  
Seattle WA 98148  
Tel: 206 325 2120  
Fax: 206 325 2120

RE: Information Exchange Consent  
Re: Antonia Welter

Dear Antonia:

I am pleased to support the idea of having and receiving services for your new property using a consent (see <https://www.wa.gov/land-use/development/developmental-services/developmental-services-consent>) instead of a conditional use permit (CUP).

If you proceed with this idea, I will send you a letter later on and we can meet to discuss. Additionally, this is a very confidential idea.

Thank you for your letter. I will share the initial phases of construction to ensure that the site will continue to be used for the same purpose.


I have forwarded the planning and receiving services for your new property case to have been reviewed by the relevant departments.

If you have any questions or need more information, please contact me at:

Sincerely,  
Doreen  
Antonia Welter  
6035 Bruce Avenue  
Seattle, Washington 98148  
Tel: 206 325 2120  
(206) 325-2120 (cell)

END  
Tel: 206 325 2120, Fax: 206 325 2120  
Tel: 206 325 2120, Fax: 206 325 2120

[illegible]

 <b>Covington &amp; Associates</b> <i>"Reshaping Reality"</i>	255 TOL <b>101120</b> 6-000
YELVERTON ENRICHMENT SERVICE CORPORATE OFFICE WAKE COUNTY, NC	255 TOL <b>101120</b> 6-000

**SITE DATA TABLE**

GENERAL:

CURRENT OWNER:  
CA VENTURES INC. LLC  
4855 GREEN ROAD STE. 103  
RALEIGH, NC 27616

PROPERTY ADDRESS:  
8811 CRESCENT SQUARE STREET  
RALEIGH, NC 27616

EXISTING USE: VACANT  
PROPOSED USE: MEDICAL

TOTAL PROPERTY ACREAGE: 1.06± Acres  
GROSS FLOOR AREA: 10,808 SQ. FT.

PROPOSED BUILDING TYPE: CIVIC  
PIN NUMBER: 173595580  
EXISTING ZONING: PD  
PROPOSED ZONING: PD

**DEVELOPMENT STANDARDS: T5**  
**(DEFAULT DISTRICT: CX (THE URBAN CORE ZONE))**

BUILDING SETBACKS  
PRIMARY STREET MINIMUM: 0'  
SIDE MINIMUM: 0'  
REAR MINIMUM: 0'  
SIDE STREET MINIMUM: 0'  
AGGREGATE: 0'  
FRONT MAXIMUM: 22'  
ACCESSORY GARAGE: 5'

MAXIMUM BUILDING HEIGHTS  
HEIGHT: 15'  
STORIES: 3

MINIMUM LOT AREA  
NO MINIMUM

MINIMUM LOT WIDTH  
NO MINIMUM

**PARKING REQUIREMENTS: OFFICE**

VEHICLE PARKING REQUIREMENTS  
ALLOWED: 1 SPACE PER 200 SF OF GFA =  
10,808 SF / 200 SF = 54 SPACES  
PROVIDED: 41 PARKING SPACES

SHORT-TERM BICYCLE PARKING (MINIMUM)  
REQUIRED: 1 SPACE PER 10,000 SF OF GFA (MIN. 4) =  
10,808 SF / 10,000 SF = 1 BICYCLE PARKING  
PROVIDED: 4 BICYCLE PARKING

LONG-TERM BICYCLE PARKING (MINIMUM)  
REQUIRED: 1 SPACE PER 5,000 SF OF GFA =  
10,808 SF / 5,000 SF = 2 PARKING SPACES  
PROVIDED: 4 BICYCLE PARKING

YELVERTON ENRICHMENT CENTER

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5811 CRESCENT SQUARE STREET  
NEW BUILDING WITH  
ASSOCIATED PARKING LOT

SHEET INDEX		PAGE #
DRAWING TITLE		
COVER SHEET		C-000
EXISTING CONDITIONS / DEMOLITION PLAN		C-100
SITE LAYOUT PLAN		C-200
SIGHT DISTANCE TRIANGLE		C-201
GRADING PLAN		C-300
LANDSCAPING PLAN		C-400
STORMWATER LAYOUT		C-500
UTILITY AND LIGHTING PLAN		C-600
DETAILS SHEET		C-700
DETAILS SHEET		C-701
LIGHTING PLAN		1 of 5
LIGHTING PLAN		2 of 5
LIGHTING PLAN		3 of 5
LIGHTING PLAN		4 of 5
LIGHTING PLAN		5 of 5
ELEVATIONS		E-60
FIRST FLOOR		T-30
SECOND FLOOR		T-40

**OWNER CONTACT:**  
ANTWANE YELVERTON  
4805 GREEN RD STE 100  
RALEIGH, NC 27616  
ayelverton@yesrecg.com  
919-892-3250

[illegible]

Know what's below.  
Call before you dig.  
CASE # ASR-0062-2021



**Covington & A**  
*"Reshaping Reality"*

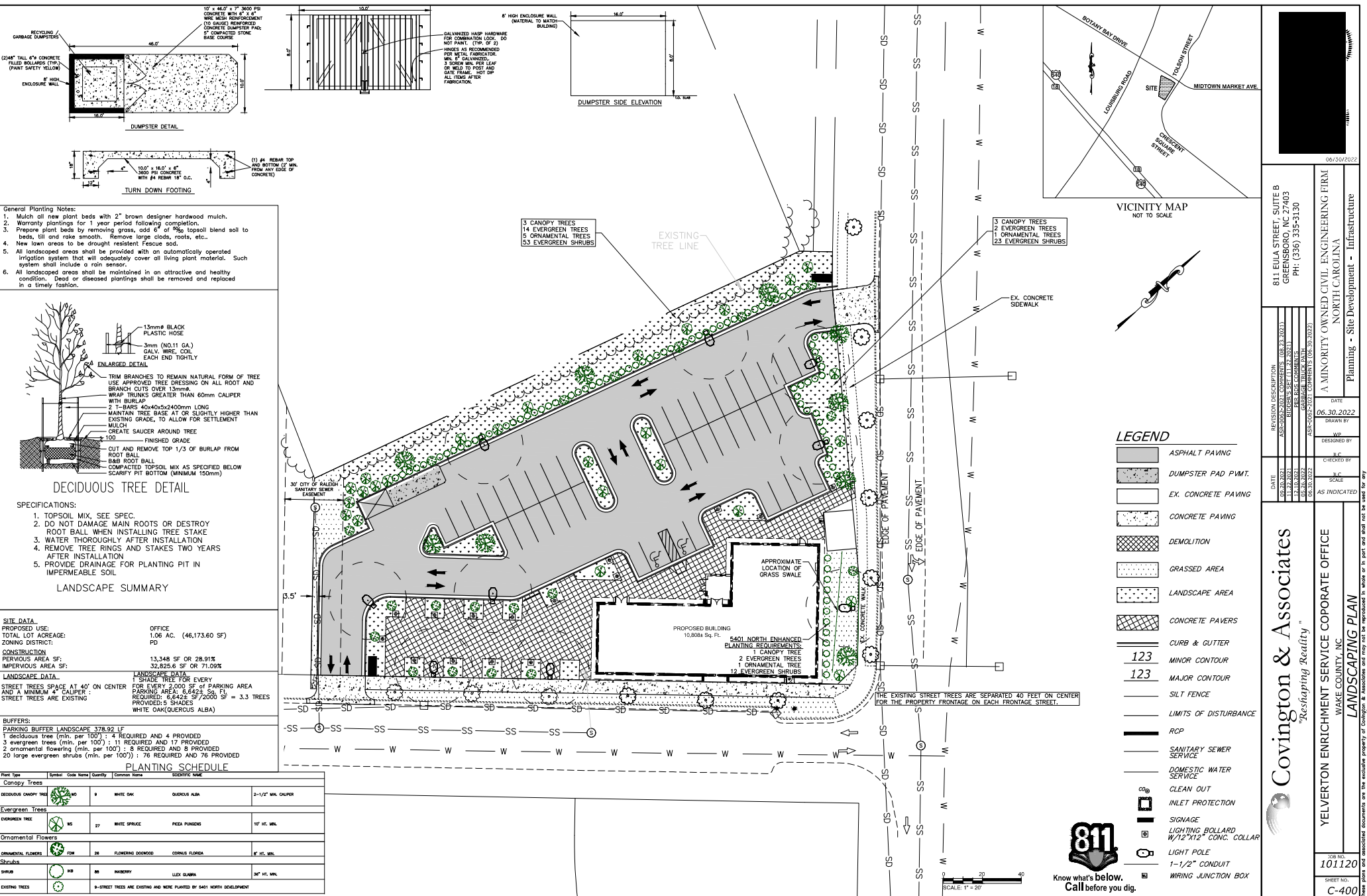
WAKE COUNTY, NC  
COVER SHEET

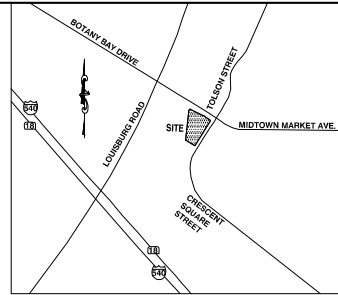
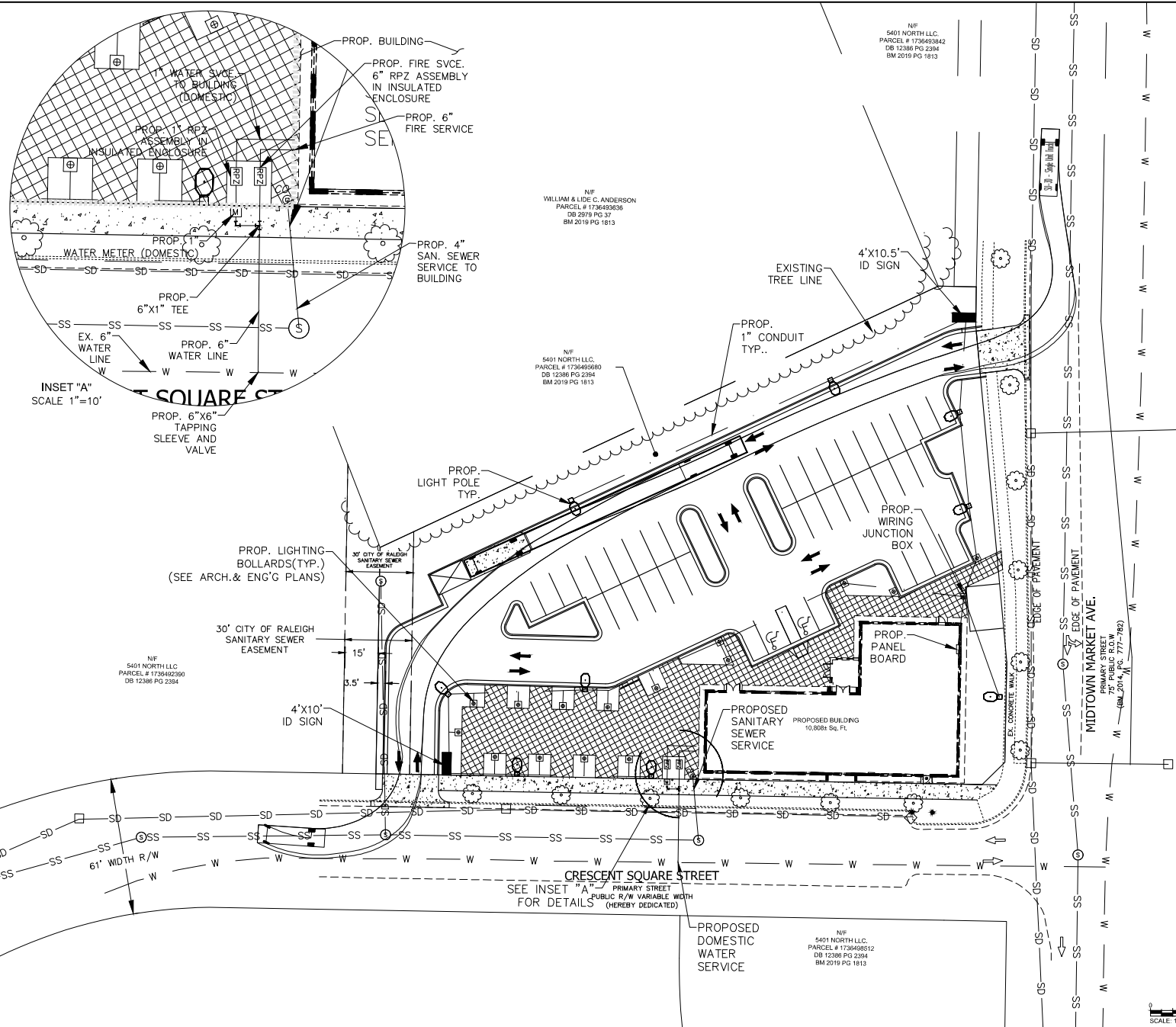
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LEGEND

- ASPHALT PAVING
- CONCRETE PAVING
- DEMOLITION
- LANDSCAPE / GRASSED AREA
- CONCRETE PATIO
- CURB & GUTTER
- 123 MINOR CONTOUR
- 123 MAJOR CONTOUR
- SILT FENCE
- LIMITS OF DISTURBANCE
- RCP
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- CLEAN OUT
- INLET PROTECTION
- SIGNAGE
- LIGHTING BOLLARD
- W/12"x12" CONC. COLLAR
- 1-1/2" CONDUIT
- WIRING JUNCTION BOX



Covington & Associates  
"Reshaping Reality"

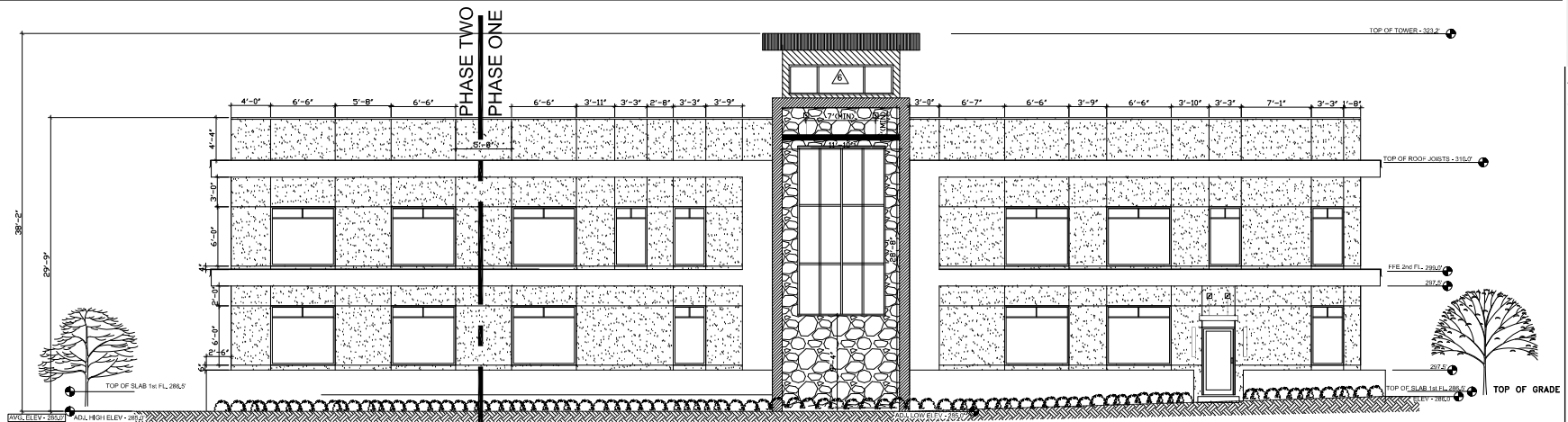
YELVERTON ENRICHMENT SERVICE CORPORATE OFFICE  
WAKE COUNTY, NC  
UTILITY AND LIGHTING PLAN

811 EULA STREET, SUITE B  
GREENSBORO, NC 27403  
PH: (336) 335-3130  
A MINORITY OWNED CIVIL ENGINEERING FIRM  
NORTH CAROLINA  
Planning - Site Development - Infrastructure

DATE	REVISION DESCRIPTION
06/30/2022	AS-2022-001 (REVISED 06/30/2022)
06/30/2022	AS-2022-001 (REVISED 06/30/2022)
06/30/2022	AS-2022-001 (REVISED 06/30/2022)
06/30/2022	AS-2022-001 (REVISED 06/30/2022)

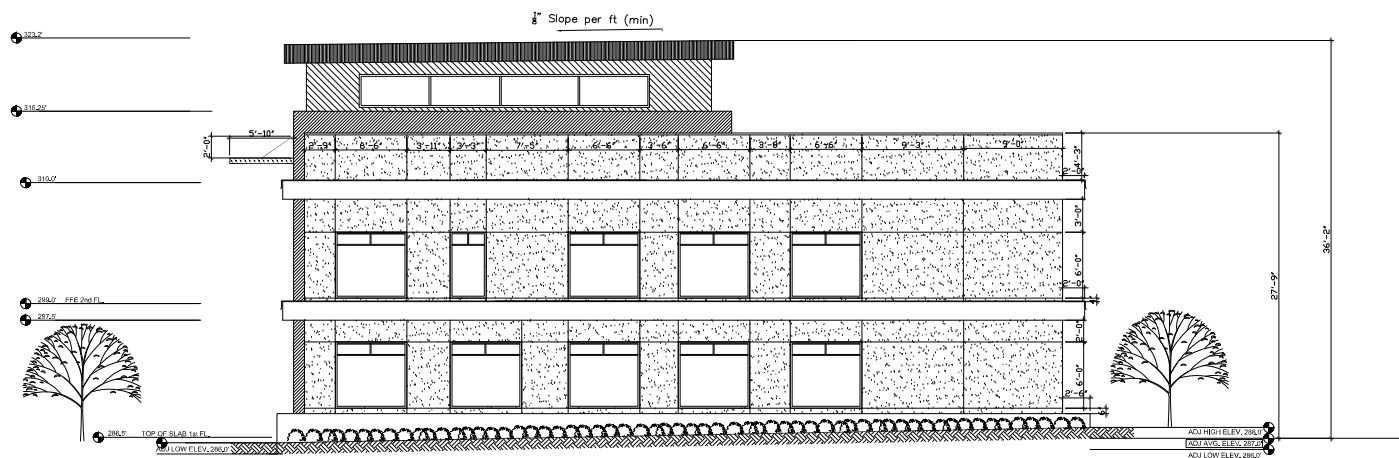
JOB NO. 101120  
SHEET NO. C-600





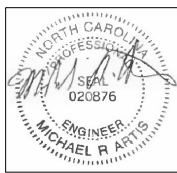
## CRESCENT SQ STREET - EAST ELEVATION

SCALE: 1/8"=1'-0"



## MIDTOWN MARKET - NORTH ELEVATION

SCALE: 1/8"=1'-0"



ARTIS ASSOCIATES, LLC  
ARCHITECTURAL ENGINEERS  
PO Box 5372  
Grafton, CT 06348  
AAAENG@AOL.COM

CLIENT  
YELVERTON ENRICHMENT CENTER  
5811 CRESCENT SQUARE ST  
RALEIGH NC

REVISIONS

PROJECT  
CORPORATE OFFICES  
ELEVATIONS

T-6.0

AS SHOWN 01/17/2022