

# Administrative Approval Action

Case File / Name: ASR-0062-2022
DSLC - THE POINTE AT TOWN CENTER (PHASE 5, LOT 6 & 7)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

**LOCATION:** This 2.96 acre site is zoned CX-5-CU. It is proposed lot #6 of previously approved

subdivision case SUB-S-55-2018 and is located on the south side of Oak Forest Drive Extension in the southeast corner of the intersection of Oak Forest Drive

Extension and Town Park Drive.

REQUEST: Two affordable multi-family apartment buildings consisting of 48 units and

associated infrastructure. The total proposed building size is 68,671 square feet.

**DESIGN** 

ADJUSTMENT(S)/

**ALTERNATES, ETC:** SPR-0209-2022: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 2, 2022 by J

**DAVIS ARCHITECTS.** 

#### **CONDITIONS OF APPROVAL and NEXT STEPS:**

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

#### Stormwater

- 1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

#### **Urban Forestry**

4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



# Administrative Approval Action

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

Case File / Name: ASR-0062-2022
DSLC - THE POINTE AT TOWN CENTER (PHASE 5, LOT 6 & 7)

| Ø | Right of Way Deed of Easement<br>Required |
|---|---|
| ☑ | Slope Easement Deed of Easement Required  |
| Ø | Stormwater Maintenance Covenant Required  |

| ব | Sidewalk Deed of Easement Required             |
|---|--|
| ব | Utility Placement Deed of Easement<br>Required |

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

#### **Public Utilities**

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

#### General

1. The subdivision to create the proposed building lot for this development, case SUB-S-55-2018, is to be recorded and all conditions of the subdivision approval are to be met.

#### **Engineering**

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



## Administrative Approval Action

Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

City of Raleigh

Case File / Name: ASR-0062-2022
DSLC - THE POINTE AT TOWN CENTER (PHASE 5, LOT 6 & 7)

- 3. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- A fee-in-lieu for 40 linear feet of a Multifamily Street section shall be paid to the City of Raleigh (UDO 8.1.10).
- 5. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 7. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

#### **Public Utilities**

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

#### Stormwater

- 9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



# **Administrative Approval Action**

Case File / Name: ASR-0062-2022 DSLC - THE POINTE AT TOWN CENTER (PHASE 5, LOT 6 & 7)

City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

#### **Urban Forestry**

- 12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 13 street trees along Oak Forest Drive Extension.
- 13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

#### The following are required prior to issuance of building occupancy permit:

#### General

- 1. The public street section shown in SUB-S-55-2018 that encompasses this phase must be constructed and accessible.
- 2. The CO is contingent upon substantial completion of the portion of road needed to serve the building, meaning full unobstructed access that meets public safety and access requirements (everything except final lift of asphalt, street trees, and sidewalk). Public sidewalk for access to the building requesting CO would be required.
- 3. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
- 5. Final inspection of tree conservation areas and right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

#### 3-Year Expiration Date: October 4, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

#### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has



# Administrative Approval Action

Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

City of Raleigh

been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

| I hereby certify this administrative decision. |       |            |
|--|-------|------------|
| Signed: Daniel L. Stegall                      | Date: | 10/04/2022 |
| Development Services Dir/Designee              | _     |            |
| Staff Coordinator: Michael Walters             |       |            |

Uromance No. (2019) 566 2G 739 Adopted: May 3, 2016 Effective: May 8, 2016

Section 2. Following the adoption date of this ordinance, applicants for permits and visions may submit applications for development and plot plans that are compliant with all sions contained within the Unified Development Ordinance, but final approval shall be

REFERENCE: SUB-S-55-2018, SPR-0206-2021; Z-027F-14; BM 2009, PG 965; GREENWAY FILE # G-592; A-70-19: A-102-19: REZN-0019-2021: SPR-0070-2022: RCMP-0168-2022

ASR-0062-2022

#### Administrative Site Review

1st Submittal: July 22, 2022 2nd Submittal: September 02, 2022

### Pointe at Town Center - Phase 5 / Lot 6 & 7

3900 Sumner Boulevard Raleigh, North Carolina 27616

- THIS SITE COMPLIES WITH UDO NO. 20 PUBLISHED JULY 2022.
- 2. NO TEXT CHANGE TO TAKE ADVANTAGE APPLIED TO THIS SITE.
- NO BOARD APPROVALS, VARIANCES, DESIGN ADJUSTMENTS, OR ADMINISTRATIVE ALTERNATE APPLIED TO THIS SITE.



#### Sheet Index

| COVER  | 0.0   | UTILITY PLAN                                | C-2      | BUILDING #11 TYPE A SIDE BLEVATIONS         | A3.12-11 |
|--|-------|---|----------|---|----------|
| A-70-19 & A-102-19 BOARD OF ADJUSTMENT VINUTES & GFL LETTER. |       | FIRE COVERAGE PLINI                         | C-3      | BUILDING #12 TYPE C FRONT & REAR ELEVATIONS | A3.15-12 |
| RECORDED MAP (8M2009, PG995)                                 | 2.1   | STORWWATER & GRADING PLAN                   | C-4      | BUILDING #12 TYPE C SIDE BLEVATIONS         | A3.16-12 |
| EXISTING CONDITION AND DEMOLITION PLAN                       | C-1   | STORWWATER DETAILS                          | C-5      |   |          |
| TREE CONSERVATION PLAN (SPR-9079-2022)                       | LT1.1 | LANDSCAPE PLAN                              | LP1.1    |   |          |
| TREE CONSERVATION AREA METES & BOUNDS (SPR-0070-2022)        | LT2.1 | LANDSCAPE NOTES & DETAILS                   | LP9.1    |   |          |
| SITE PLAN  | LS1.1 | UGHTING PLAN                                | 1 OF 2   |   |          |
| WASTE COLLECTION ADDESS PLAN                                 | L82.1 | LIGHTING PLAN                               | 2 OF 2   |   |          |
| SITE DETAILS   | LS9.1 | BUILDING #11 TYPE A FRONT & REAR ELEVATIONS | A3,11-11 |   |          |
|  |       |   |          |   |          |

#### Notes

- E MER AL NOTES.

  ALCORPTICITION SHILL BE ACCORDANCE WITH CITY OF REPEATATION RUCH STANDARDS.

  THE COMMERCIA SHILL COMOUTT THE OWN MALE FROM WASHE AND WITH A WARRAN MACROL OF RECOVERABLE TO TWATTE.

  THE OWN TO COMMERCIA SHILL AND MALE AND SHIPPER COMES, ON HE BE FAULD.

  THE COMMERCIA SHILL REPORT ALL QUARECE WERRETICLINE IN THE SHIPPER CAN AND ACCOUNT OF TO THE CONTINUE.

  THE COMMERCIA SHILL REPORT ALL QUARECE WERRETICLINE IN THE SHIPPER CAN AND ACCOUNT ON SHIPPER CONCIDENT.

  FURDISHERS CONCIDENT AND AND AND ACCOUNT OF PROPRIES AND SHORT TO REPORT OF SHIPPER CONCIDENT.

  FURDISHERS CONCIDENT CONTINUES CONCIDENT AND ACCOUNT OF THE CONCIDENT.

  FURDISHERS CONCIDENT CONTINUES CONCIDENT AND ACCOUNT ON THE CONCIDENT CONTINUES.

  FURTISHERS CONCIDENT CONTINUES CONTINUES AND ACCOUNT OF THE CONCIDENT CONTINUES.

  FURTISHERS CONTINUES CONTINUES CONTINUES AND ACCOUNT OF THE CONCIDENT CONTINUES.
- CONTROLLED FOR A PLANT SECTION OF THE PROPERTY OF THE PROPERTY

- S. CONTRACTOR TO FIELD LOCATE AND VERBY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT.
  PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT NO ONE AT SHI FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDIZAR PARAMISI SPACE(S) AND HE LOCISS AS ISESS SHALLS IS NO LIKE TO THE THAN THE PERSON (FIG.) PITCH IN ANY CIRCUITON AS PER AGA STANDARDS PROVING SEVANCE AND STRANDARD OF HANCEUR SPACES AS PER AGA STANDARDS.

  ANAL REFUNDAD VANDS GREATER THAN SEVENIT TO MALD US SEPENO PAUL OF PERCE.

- POOL IS NOT PROPOSED OR PLANNED ON THIS SITE SPECIAL USE PERMIT REQUIRED FOR POOLS WITH ANY LINEAR DIVERSION GREATER AS FEET OR WITH ANY AREA IN EXCESS OF 4 MOSE.
- FIRE DEPARTMENT NOTES INC. O. O. P. A. C. M. C. M. C. A. C. M. C. S. C

1. A LIA DESIGNATION OF THE CONTROL OF THE ACCUSATION OF THE ACCUS

ALL RAMPS AND HANDRIALS SHALL BE CONFORUTO ANSLINGSEC, AND ICC STANDARDS AND SPECIFICATIONS

#### SOLID WASTE INSPECTION STATEMENTS

- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL

#### THE PROJECT HAS ONE BYO DEMPRITE FOR SINCE ESTREAM (COMMINCE DECIVE) INC. AND ONE BYO DEMPRITE FOR SOUR WASTE

#### TREE CONSERVATION NOTE

- TT STE IS MORE THAN 2 ACRES. TREE CONSERVATION IS RECURSED PER USO SEC, N. L.2, REFER TO RECORDED MAP, SM 2009, PG 965 FOR EXISTING TREE WANTON AREAS, REFER TO SPRUND-DAZZ MINOR SPR AND ROAR-ONE-2022 FOR NEW TIME CLASSIFICATION AREAS.
- TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES
- ARTHER CONTINUES TO PROTECT REPORT OF THE PROTECT O

- ALL TOPED PLANS SHALL COMELY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO

  MANUAL ON UNFORM TRAFFIC CONTROL (MUTCD);
- . PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAS) AVERICAN DISABILITY ACT (ADA) REQUIREMENTS:
- RALEIGH STREET DESIGN MANUAL (RSDM).
- 6. ALL PRIC GROWN, OR WAST BE LOCKSHIRE TO PRESENTANCE WHO, ARE VISIALLY MARKED AND/OR PROFILE WITH MOBILITY CONCERNS, DISTINAL ATTENUATE OF RESISTAN ADMISTISS PACIO CONSTRUCTION AND RESISTANCE CONSTRUCTION AND RESISTANCE AND

#### Project Team

Triangle Town Center Holding, LLC 2013 Rolling Rock Road Wake Forest, North Carolina 27587

mark\_tipton@whistlerinvestmentgroup.com

DEVELOPER Carolina Project Equities, LLC

2013 Rolling Rock Road Wake Forest, North Carolina 27587

mark\_tipton@whistlerinvestmentgroup.com

LANDSCAPE ARCHITECT JDavis Architects, PLLC 510 S. Wilmington Street Raleigh, North Carolina 27601 919,835,1500

919 835 1510 /fav

CSBO Architecture P.C. High Point, North Carolina 27265 336,617,3079 carlos.sanchez@csboinc.com

ARCHITECT

ENGINEER John A. Edwards & Co. 333 Wade Avenue Raleigh, North Carolina 27605 919,828,4428

919 828 4711 (fax) jon\_callahan@jaeco.com SURVEYOR John A. Edwards & Co.

333 Wade Avenue Raleigh, North Carolina 27605 919.828.4428 919 828 4711 (fax) chris@JAECO.COM

## **Application Administrative Site Review Application Building Type** Detached General Sul Subdivision case #: \$UB-5-95-2011 Scoping/sketch plan case #: 50 Open lot Board of Adjustment #: A-71 3900 Sumner Blvd, Raleigh, NC 27616 Title: Managing Membe BUILDING DATA SITE DATA # of parking spaces proposed: 67 oposed # of buildings: 2 xisting use (UDO 6.1.4): Vacan Total # of dwelling units: 48 Total # of hotel units

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications herewith, and in accordance with the provisions and regulations of the City of Radiopli Unified Development O

Signature: (CO)

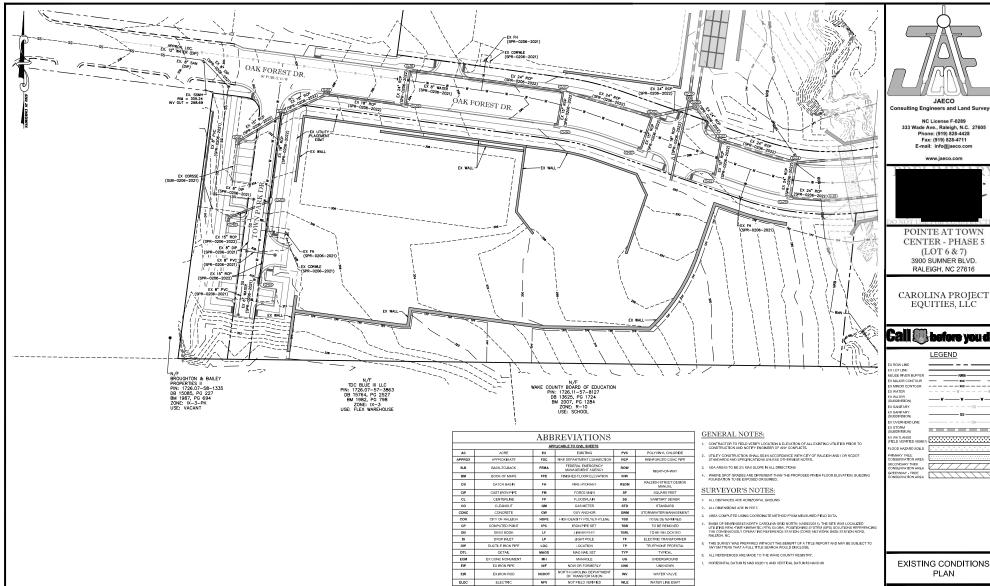
폐 PENALTY SIGNAGE
PROJECT BOUNDARY TREE CONSERVATION AREA OF PROP, TREE PROTECTION FEI CITY OF RALBIGH GREENWAY EASEMEN SITE REVIEW Administrative Site Review 07.22.2022 CONTENT:

REVISIONS: DRAWN BY CHECKED BY:

5 (Lot 6 & 7) DAVIS Phase (

Pointe at Town Center - 3900 Sumner Boulevard Raleigh, North Carolina 27616

**ADMINISTRATIVE** PROJECT



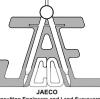
EOP ESMT

EDGE OF PAVEMEN

PG

WATER METER

YARDINLET



Consulting Engineers and Land Surveyors



CENTER - PHASE 5 (LOT 6 & 7) 3900 SUMNER BLVD.

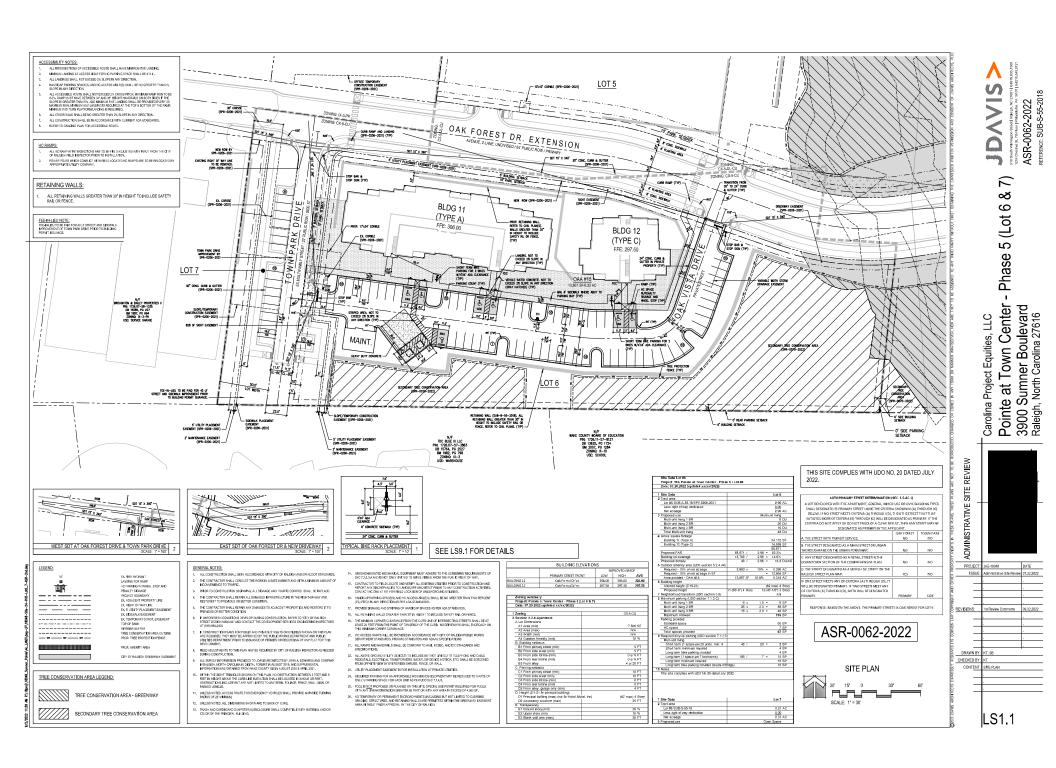
EQUITIES, LLC

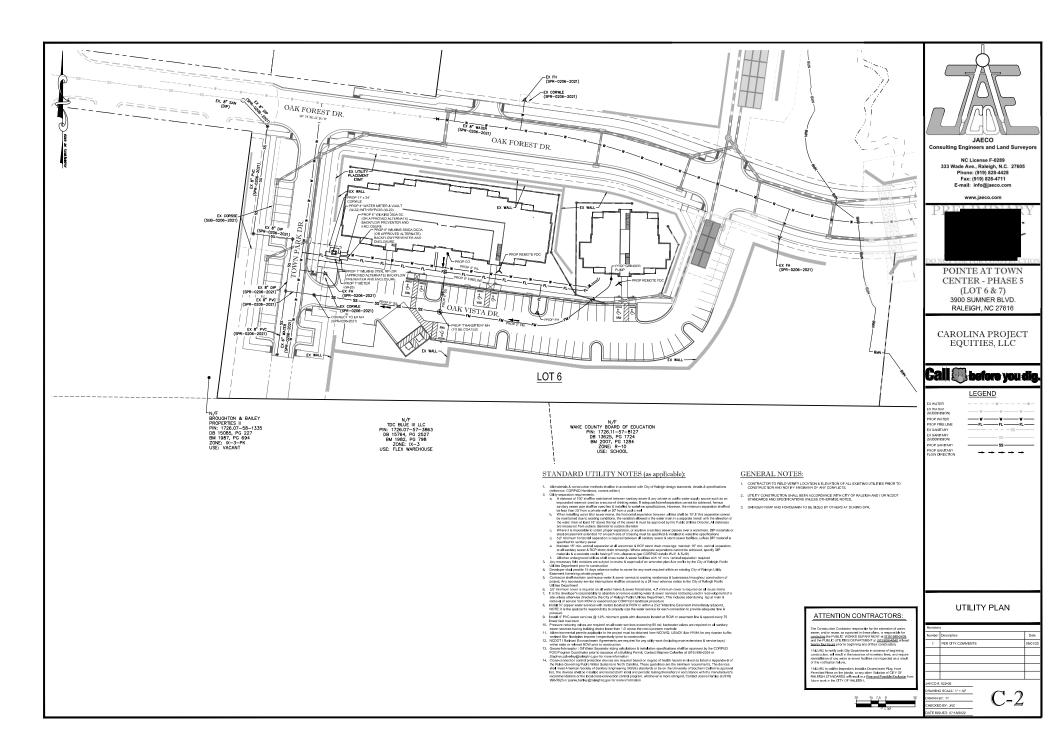
#### Call W before you dig.

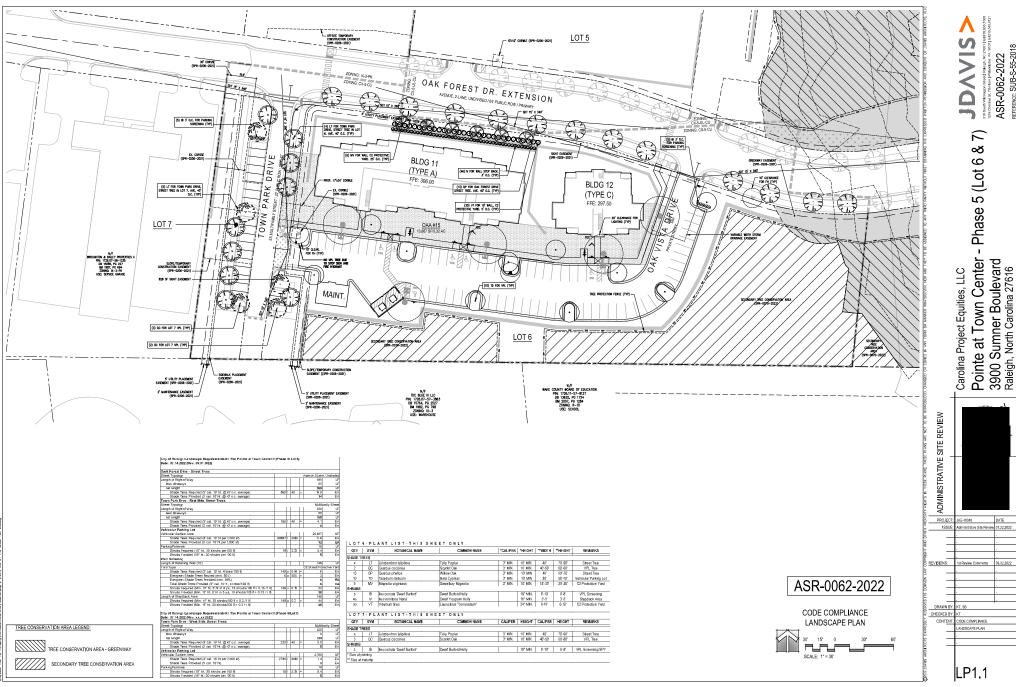
| •  | ł                                      | <u>LEGEND</u>                           |
|----|--|---|
| يا | EX ROW LINE<br>EX LOT LINE             |   |
|    | NEUSE RIVER BUFFER<br>EX MAJOR CONTOUR | NRB                                     |
|    | EX MINOR CONTOUR                       |   |
|    | EX WATER<br>EX WATER<br>(SUBDIVISION)  |   |
|    | EX SANITARY                            |   |
|    | EX SANITARY<br>(SUBDIVISION)           | ss                                      |
|    | EX OVERHEAD LINE                       | OH                                      |
|    | EX STORM<br>(SUBDIVISION)              |   |
|    | EX WETLANDS<br>(FIELD VERIFIED 080807) | 000000000000000000000000000000000000000 |
|    | FLOOD HAZARD SOLS                      |   |
|    | PRIMARY TREE<br>CONSERVATION AREA      |   |
|    | SECONDARY TREE<br>CONSERVATION AREA    |   |
| 1  | GREENWAY - TREE<br>CONSERVATION AREA   |   |
|    |  |   |

#### EXISTING CONDITIONS

| Number | Description       | Date     |
|--------|-------------------|----------|
| 1      | PER CITY COMMENTS | 09/01/22 |
|        |                   |          |
|        |                   |          |
|        |                   |          |
|        |                   |          |







LP1.1





| ELEVATION MATERIAL KEY                       |                                 |
|--|---------------------------------|
| 01 30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE | 11 MFR STONE SOLDIER COURSE     |
| 02 VINYL DOUBLE 4" LAP SIDING                | 12 PRE-FINISHED SEAMLESS GUTTE  |
| 03 VINYL SHAKES                              | 13 VINYL SINGLE HUNG WINDOW     |
| 04 VINYL SINGLE 8" LAP SIDING                | 14 DECORATIVE PVC BRACKET - FYP |
| 05 ALUMINUM WRAPPED WOOD TRIM                | 15 PVC GUARDRAIL                |
| 06 VINYL OUTSIDE CORNER POST                 | 18 PRE-FINISHED ALUM DOWNSPOU   |
| 97 SQUARE PVC COLUMN COVER                   | 17 CONTINUOUS RIDGE VENT        |
| 08 PVC TRIM BOARD                            | 18 VINYL LOUVER                 |
| 09 MFR STONE VENEER                          | 19 VINYL DOUBLE 5" LAP SIDING   |
| 10 MFR STONE VENEER CAP/SILL                 | 20 VINYL BOARD 'N BATTEN        |
|  |                                 |
| BUILDING EI                                  | EVATIONS IMPROVED GRADE         |

erage grade's considered as Deciric area age poor consequence grade arrang one containing execution in Itle1 and closest to the primary street setback. Where a site or lot is determined to have more than or arry street, wrenage grade shall be determined along each elevation most parallel and closest to each arry street. Maximum building height must be met from the average grade of each primary street

CSBO architecture P.C. 1589 Skeet Club Rd. Suite 102-172 Hight Point, NC 27265



CAROLINA PROJECT EQUITIES, LLC 9104 FALLS OF NEUSE ROAD SUITE 300 RALEIGH, NC 27615

NOT FOR CONSTRUCTION

POINTE AT TOWN CENTER PHASE 5 (LOT 6 & 7) 3900 Sumner Blvd, Raleigh, NC 27616

REVISIONS:

DATE: 07.21.2022 PROJECT NUMBER: 190180

SHEETTITLE:
BUILDING TYPE A #11 SIDE
ELEVATIONS

A3.12-11



BUILDING # 11 SIDE ELEVATION

BUILDING # 11 SIDE ELEVATION



ELEVATION MATERIAL KEY 01 30 YEAR ANTI-FUNGAL ARCHITECTURAL 11 MFR STONE SOLDIER COURSE 02 VINYL DOUBLE 4" LAP SIDING 12 PRE-FINISHED SEAMLESS GUTTER 03 VINYL SHAKES 13 VINYL SINGLE HUNG WINDOW 04 VINYL SINGLE 8" LAP SIDING 14 DECORATIVE PVC BRACKET - FYPON 05 ALUMINUM WRAPPED WOOD TRIM 15 PVC GUARDRAIL 08 VINYL OUTSIDE CORNER POST 18 PRE-FINISHED ALUM DOWNSPOU 17 CONTINUOUS RIDGE VENT 07 SQUARE PVC COLUMN COVER 08 PVC TRIM BOARD 18 VINYL LOUVER 19 VINYL DOUBLE 5" LAP SIDING 09 MFR STONE VENEER 10 MFR STONE VENEER CAP/SIL. 20 VINYL BOARD 'N BATTEN

|             | PRIMARY STREET FRONT | LOW    | HIGH   | AVG    |
|-------------|----------------------|--------|--------|--------|
| BUILDING 11 | Oak Forest Drive     | 306.00 | 306.00 | 306.00 |
| RUILDING 12 | Oak Forest Drive     | 297.50 | 297.50 | 297.50 |

werage grade is considered to be the average post-development grade along the building elevation mrailed and closest to the primary street setback. Where a site or let is determined to have more than one than one yatered, severage grade shall be determined adone, each deviation most parel and closests to extend many street. Avainable part of each primary street the contraction of the part of each primary street the contraction.

CSBO architecture P.C. 1589 Skeet Club Rd. Suite 102-172 Hight Point, NC 27265

CAROLINA PROJECT EQUITIES, LLC

9104 FALLS OF NEUSE ROAD SUITE 300 RALEIGH, NC 27615

NOT FOR CONSTRUCTION

POINTE AT TOWN CENTER PHASE 5 (LOTS 6 & 7) 3900 Sumner Blvd, Raleigh, NC 27616

REVISIONS:

DATE: 07.20.2022 PROJECT NUMBER: #PIn

SHEET TITLE:
BUILDING #12 TYPE C - FRONT
AND REAR ELEVATIONS

A3.15-12



(A1) BUILDING # 12 REAR ELEVATION (FACING OAK FOREST DR,)

BUILDING # 12 FRONT ELEVATION





|             | 7                    | IMPROVED GRADE |        |        |  |
|-------------|----------------------|----------------|--------|--------|--|
|             | PRIMARY STREET FRONT | LOW            | HIGH   | AVG    |  |
| BUILDING 11 | Oak Forest Drive     | 306.00         | 306.00 | 306.00 |  |
| BUILDING 12 | Oak Forest Drive     | 297.50         | 297.50 | 297.50 |  |

verage grade is considered to be the average post-development grade along the building elevation in allel and closest to the primary street setback. Where a site or lot is determined to have more than may street, average grade shall be determined along each deviation most parallel and closest to examine many street. Assimum building height must be met from the average grade of each primary street more force.

CSBO architecture P.C. 1589 Skeet Club Rd. Suite 102-172 Hight Point, NC 27265

CAROLINA PROJECT EQUITIES, LLC

9104 FALLS OF NEUSE ROAD SUITE 300 RALEIGH, NC 27615

NOT FOR CONSTRUCTION

# POINTE AT TOWN CENTER PHASE 5 (LOTS 6 & 7) 3900 Sumner Blvd, Raleigh, NC 27616

TRUSS BEARING B 

REVISIONS:

DATE: 07.20.2022 PROJECT NUMBER: #PIn

SHEET TITLE:
BUILDING # 12 TYPE C - SIDE
ELEVATIONS

A3.16-12



BUILDING # 12 SIDE ELEVATION

BUILDING # 12 SIDE ELEVATION