



Administrative Approval Action

Case File / Name: ASR-0062-2022

DSLCL - THE POINTE AT TOWN CENTER (PHASE 5, LOT 6 & 7)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 2.96 acre site is zoned CX-5-CU. It is proposed lot #6 of previously approved subdivision case SUB-S-55-2018 and is located on the south side of Oak Forest Drive Extension in the southeast corner of the intersection of Oak Forest Drive Extension and Town Park Drive.

REQUEST: Two affordable multi-family apartment buildings consisting of 48 units and associated infrastructure. The total proposed building size is 68,671 square feet.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0209-2022: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 2, 2022 by J DAVIS ARCHITECTS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

4. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. The subdivision to create the proposed building lot for this development, case SUB-S-55-2018, is to be recorded and all conditions of the subdivision approval are to be met.

Engineering

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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3. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A fee-in-lieu for 40 linear feet of a Multifamily Street section shall be paid to the City of Raleigh (UDO 8.1.10).
5. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
7. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 13 street trees along Oak Forest Drive Extension.
13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. The public street section shown in SUB-S-55-2018 that encompasses this phase must be constructed and accessible.
2. The CO is contingent upon substantial completion of the portion of road needed to serve the building, meaning full unobstructed access that meets public safety and access requirements (everything except final lift of asphalt, street trees, and sidewalk). Public sidewalk for access to the building requesting CO would be required.
3. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
5. Final inspection of tree conservation areas and right of way street trees by Urban Forestry Staff.

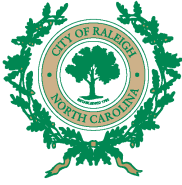
EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 4, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has



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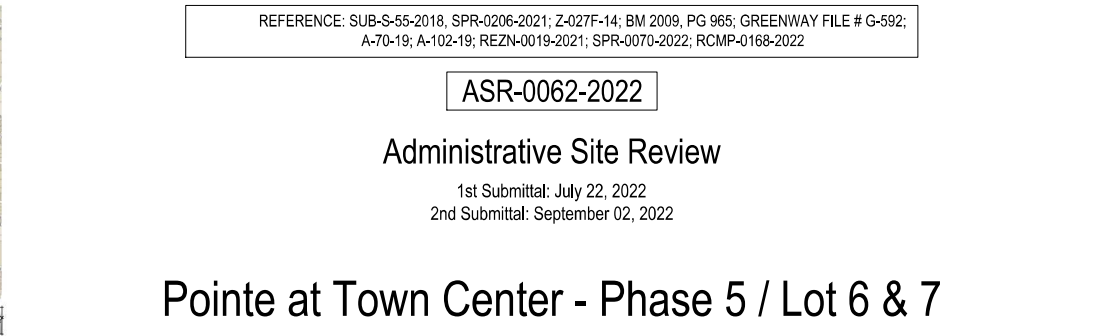
Case File / Name: ASR-0062-2022
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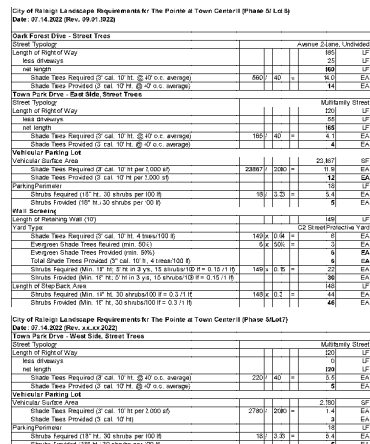
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been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

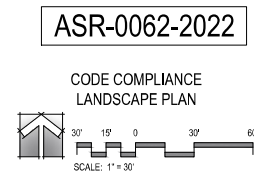
I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 10/04/2022
Development Services Dir/Designee
Staff Coordinator: Michael Walters





LOT 6 PLANT LIST - THIS SHEET ONLY									
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CALIPER	HEIGHT	RE-MARKS	
SHADE TREES									
4	LT	Litsea edulis	Tally Poplar	3" MIN	10' MIN	47	70-80'	Street Tree	
3	OC	Cordia coccinea	Scarlet Oak	3" MIN	40-50'	60-60'	VPL Tree		
13	OP	Quercus phillos	Willow Oak	2" MIN	50' MIN	40	50-70'	Street Tree	
2	TD	Tarandium indicum	Black Cypress	2" MIN	10' MIN	30	50-70'	Yellowish Pinking Lot	
5	MY	Mangia virginica	Swampy Mangrove	2" MIN	15-30'		OC Protective Vn		
SHRUBS									
4	BS	Besca cordata Dwarf Burbor	Dwarf Burford Holly	10" MIN	6-10'	6-8"	VPL Screening		
4	BS	Besca cordata Dwarf Burbor	Dwarf Burford Holly	10" MIN	2-5'	2-6"	Screening		
30	VT	Viburnum lina	Laurelshrub "Compadum"	24" MIN	8-10'	6-10"	OC Protective Vn		
LOT 7 PLANT LIST - THIS SHEET ONLY									
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CALIPER	HEIGHT	RE-MARKS	
SHADE TREES									
3	LT	Litsea edulis	Tally Poplar	3" MIN	10' MIN	47	70-80'	Street Tree	
3	OC	Quercus coccinea	Scarlet Oak	3" MIN	10' MIN	40-50'	60-60'	VPL Tree	
SHRUBS									
5	BS	Besca cordata Dwarf Burbor	Dwarf Burford Holly	10" MIN	6-10'	6-8"	VPL Screening/SPY		
* See appendix B for size and quantity									





E1 BUILDING # 11 - FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS			
	PRIMARY STREET FRONT	IMPROVED GRADE	
		LOW	HIGH
BUILDING 11	OUR PARKING DRIVE	297.50	297.50
BUILDING 12	OUR PARKING DRIVE	297.50	297.50

For UDO section 1.5.7 A.1, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is considered to be the average post-development grade along the building elevation on most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.

ELEVATION MATERIAL KEY			
01	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE	11	MFR STONE SOLDIER COURSE
02	VINYL DOUBLE 4" LAP SIDING	12	PRE-FINISHED SEAMLESS GUTTER
03	VINYL SHAKES	13	VINYL SINGLE HUNG WINDOW
04	VINYL SINGLE 8" LAP SIDING	14	DECORATIVE PVC BRACKET - TYPICAL
05	ALUMINUM WRAPPED WOOD TRIM	15	PVC GUARDRAIL
06	VINYL OUTSIDE CORNER POST	16	PRE-FINISHED ALUM DOWNPOUT
07	SQUARE PVC COLUMN COVER	17	CONTINUOUS RESEAL VENT
08	PVC TRIM BOARD	18	VINYL LOUVER
09	MFR STONE VENEER	19	VINYL DOUBLE 5" LAP SIDING
10	MFR STONE VENEER CAP/BELL	20	VINYL BOARD 'N BATTEN



A1 BUILDING # 11 - BACK ELEVATION (FACING OAK FOREST DR.)
SCALE: 1/8" = 1'-0"

CSBO architecture P.C.
1589 Skeet Club Rd, Suite 102-172
Hight Point, NC 27265

CAROLINA PROJECT
EQUITIES, LLC
9104 FALLS OF NEUSE ROAD
SUITE 300
RALEIGH, NC 27615

NOT FOR CONSTRUCTION

POINTE AT TOWN CENTER
PHASE 5 (LOT 6 & 7)
3900 Summer Blvd, Raleigh, NC 27616

REVISIONS:

©2022 CSBO architecture P.C.

DATE:
07.21.2022

PROJECT NUMBER:
190180

SHEET TITLE:
BUILDING TYPE A # 11
ELEVATIONS

SHEET

A3.11-11



ELEVATION MATERIAL KEY	
01 30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE	11 MFR STONE SOLDIER COURSE
02 VINYL DOUBLE 4" LAP SIDING	12 PRE-FINISHED SEAMLESS GUTTER
03 VINYL SHAKES	13 VINYL SINGLE HUNG WINDOW
04 VINYL SINGLE 8" LAP SIDING	14 DECORATIVE PVC BRACKET - PYPON
05 ALUMINUM WRAPPED WOOD TRIM	15 PVC GUARDRAIL
06 VINYL OUTSIDE CORNER POST	16 PRE-FINISHED ALUM DOWNSPOUT
07 SQUARE PVC COLUMN COVER	17 CONTINUOUS RIDGE VENT
08 PVC TRIM BOARD	18 VINYL LOUVER
09 MFR STONE VENEER	19 VINYL DOUBLE 8" LAP SIDING
10 MFR STONE VENEER CAPSILL	20 VINYL BOARD 'N' BATTEN

BUILDING ELEVATIONS				
	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 11	Oak Forest Drive	306.00	306.00	306.00
BUILDING 12	Oak Forest Drive	297.50	297.50	297.50

Per UDO section 15.7A.1, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street network. Where a site is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.

E1 BUILDING # 11 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



A1 BUILDING # 11 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



**CAROLINA PROJECT
EQUITIES, LLC**
9104 FALLS OF NEUSE ROAD
SUITE 300
RALEIGH, NC 27615

NOT FOR CONSTRUCTION

**POINTE AT TOWN CENTER
PHASE 5 (LOT 6 & 7)**
3900 Summer Blvd, Raleigh, NC 27616

REVISIONS:

©2022 CSBO architecture P.C.

DATE:
07.21.2022
PROJECT NUMBER:
190180
SHEET TITLE:
BUILDING TYPE A #11 SIDE
ELEVATIONS

SHEET:

A3.12-11

ELEVATION MATERIAL KEY			
01	30 YEAR ANTIFUNGAL ARCHITECTURAL SHINGLE	16	MFR STONE SOLDIER COURSE
02	VINYL DOUBLE 4" LAP SIDING	17	PREFINISHED SEAMLESS GUTTER
03	VINYL SHAKES	18	VINYL SINGLE HUNG WINDOW
04	VINYL SINGLE 8" LAP SIDING	19	DECORATIVE PVC BRACKET - FYPON
05	ALUMINUM WRAPPED WOOD TRIM	20	PVC GUARDRAIL
06	VINYL OUTSIDE CORNER POST	21	PREFINISHED ALUM DOWNSPOUT
07	SQUARE PVC COLUMN COVER	22	CONTINUOUS RIDGE VENT
08	PVC TRIM BOARD	23	VINYL LOUVER
09	MFR STONE VENEER	24	VINYL DOUBLE 8" LAP SIDING
10	MFR STONE VENEER CAPSILL	25	VINYL BOARD 'N BATTEN

BUILDING ELEVATIONS				
	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 11	Oak Forest Drive	305.00	305.00	306.00
BUILDING 12	Oak Forest Drive	297.50	297.50	297.50

*Per UDO section 15.7.A.1, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is considered to be the average best development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.



E1 BUILDING # 12 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



A1 BUILDING # 12 REAR ELEVATION (FACING OAK FOREST DR.)
SCALE: 1/8" = 1'-0"



E1 BUILDING # 12 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



A1 BUILDING # 12 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION MATERIAL KEY			
01	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE	16	MFR STONE SOLDIER COURSE
02	VINYL DOUBLE 4" LAP SIDING	17	PREFINISHED SEAMLESS GUTTER
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06	VINYL OUTSIDE CORNER POST	21	PREFINISHED ALUM DOWNSPOUT
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08	PVC TRIM BOARD	23	VINYL LOUVER
09	MFR STONE VENEER	24	VINYL DOUBLE 8" LAP SIDING
10	MFR STONE VENEER CAPSILL	25	VINYL BOARD 'N BATTEN

BUILDING ELEVATIONS				
	PRIMARY STREET FRONT	IMPROVED GRADE		
		LOW	HIGH	AVG
BUILDING 11	Oak Forest Drive	306.00	306.00	306.00
BUILDING 12	Oak Forest Drive	297.50	297.50	297.50

*Per UDO section 15.7.A.1, building height is measured from the average improved grade to the top of the highest point of a pitched or flat roof excluding the parapet.
Average grade is considered to be the average post development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along each elevation most parallel and closest to each primary street. Maximum building height must be met from the average grade of each primary street independently.

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DATE:
07.20.2022
PROJECT NUMBER:
#P16
SHEET TITLE:
BUILDING # 12 TYPE C - SIDE
ELEVATIONS
SHEET:

A3.16-12