

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: _____

Inside City limits? Yes No

Property address(es): _____

Site P.I.N.(s): _____

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Current Property Owner(s):

Company: _____ Title: _____

Address: _____

Phone #: _____ Email: _____

Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder

Company: _____ Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

APPLICANT SIGNATURE BLOCK


Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

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Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan [] Tier Three Site Plan [X]

Building and Development Type (Check all that apply) and Site Transaction History table with checkboxes for building types like Detached, Attached, Townhouse, Apartment, etc.

GENERAL INFORMATION

Development name: Blue Ridge Multifamily, Inside City limits? Yes [X] No [], Property address(es): 2500 Blue Ridge Rd, Site P.I.N.(s): 0785717617, Construction of a proposed apartment building with residential uses, parking deck, and surface parking.

Current Property Owner(s): BLUE RIDGE PROPERTY OWNER LLC

Company: Northwood Ravin, Title: Managing Member, Address: 3015 Carrington Mill Blvd., Suite 460, Morrisville, NC 27560, Phone #: 919-354-3677, Email: jfurman@nravin.com

Applicant Name (If different from owner. See "who can apply" in instructions): McAdams

Relationship to owner: [] Lessee or contract purchaser [X] Owner's authorized agent [] Easement holder

Company: McAdams Address: 621

Phone #: 919-287-0815 Email: balderson@mcadamsco.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Jeff Furman

Company: Northwood Ravin, Title: Managing Member, Address: 3015 Carrington Mill Blvd., Suite 460, Morrisville, NC 27560, Phone #: 919-354-3677, Email: jfurman@nravin.com

Applicant Name: Jonathan Balderson, PE

Company: McAdams Address: 621 Hillsborough St. Suite 500, Raleigh NC 27603, Phone #: 919-287-0815 Email: balderson@mcadamsco.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)

Table with columns for SITE DATA and BUILDING DATA, including Zoning district, Gross site acreage, # of parking spaces proposed, Max # parking permitted, etc.

STORMWATER INFORMATION

Table with columns for Imperious Area on Parcel(s) and Impervious Area for Compliance (includes ROW).

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Table with columns for Total # of dwelling units, Total # of hotel bedrooms, # of bedroom units, # of lots, etc.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Signature and Date fields for the applicant.

BLUE RIDGE MULTIFAMILY

2500 BLUE RIDGE ROAD RALEIGH, NORTH CAROLINA 27607

ADMINISTRATIVE SITE REVIEW

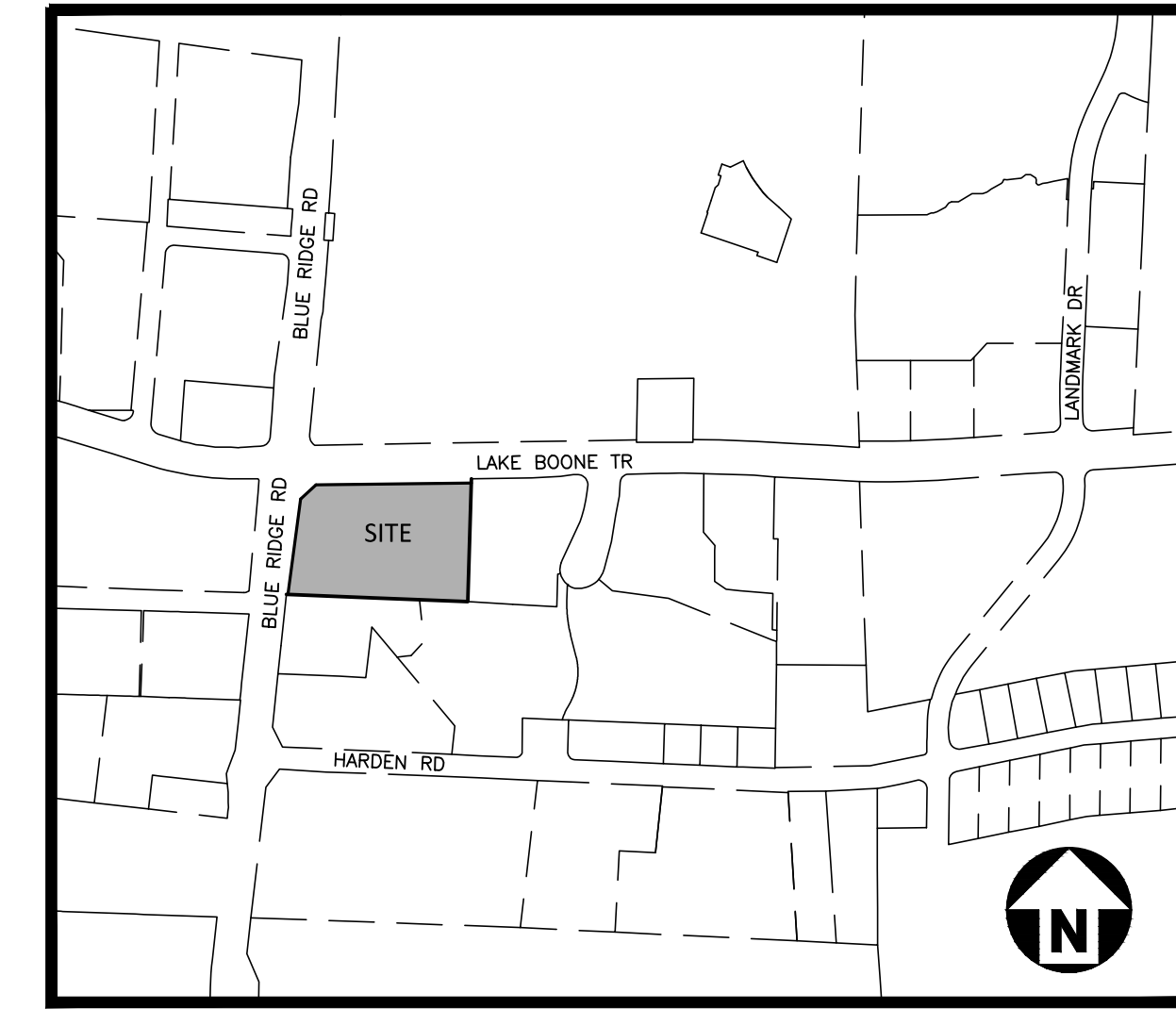
CITY OF RALEIGH CASE# ASR-XXXX-2024

PROJECT NUMBER: RAV23003

DATE: SEPTEMBER 6, 2024

ZONING CONDITIONS table listing 6 prohibited uses and conditions excluded from the site plan.

SITE DATA table containing physical address, parcel pin, zoning, overlay district, watershed, site area, floodway/floodplain, proposed uses, building data, parking data, accessible parking, bike parking, building + parking setbacks, existing impervious, proposed impervious allocation, building height, outdoor amenity area, and tree conservation details.



VICINITY MAP 1":500'

SOLID WASTE COMPLIANCE STATEMENT:

- 1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
3. REFUSE WILL BE COLLECTED IN ROLL-OUT TRASH AND RECYCLING CARTS THAT WILL BE BROUGHT OUT CURB SIDE FOR PICKUP. PICKUP WILL BE PROVIDED TWICE A WEEK.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4542 at least twenty four hours prior to beginning any of their construction.



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SHEET INDEX

- C0.00 PROJECT NOTES
1-1 EXISTING CONDITIONS
C1.01 DEMOLITION PLAN
C2.00 SITE PLAN
C2.01 BUILD-TO & AMENITY PLAN
C3.00 GRADING AND STORM DRAINAGE PLAN
C4.00 UTILITY PLAN
C8.00 SITE DETAILS
C8.01 SITE DETAILS
C8.02 STORM DRAINAGE DETAILS
C8.03 SANITARY SEWER DETAILS
C8.04 WATER DETAILS
C8.05 WATER DETAILS
C9.00 SCM PLAN VIEW & DETAILS
C9.01 SCM DETAILS
L5.00 CODE LANDSCAPE PLAN
L5.01 CODE LANDSCAPE DETAILS

BY OTHERS

- A11-A19 FLOOR PLANS
A41-A43 BUILDING ELEVATIONS

CONTACT

JONATHAN BALDERSON balderson@mcadamsco.com PHONE: 919. 287. 0815

CLIENT

NORTHWOOD RAVIN LLC 3015 CARRINGTON MILL BLVD SUITE 460 RALEIGH, NORTH CAROLINA 27560



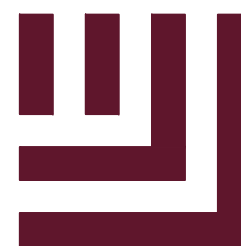
REVISIONS

NO. DATE

ADMINISTRATIVE SITE REVIEW FOR:

BLUE RIDGE MULTIFAMILY 2500 BLUE RIDGE ROAD RALEIGH, NC 27607 PROJECT NUMBER: RAV23003

RAV\Projects\RAV\RAV23003\04-Production\Engineers\Current\Drawings\RAV23003-ASR-C31.dwg, 9/6/2024, 11:31:18 AM, Jonathan Balderson



McADAMS

The John R. McAdams Company, Inc.
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Suite 500
Raleigh, NC 27603
phone 919. 823. 4300
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

NORTHWOOD RAVIN LLC
3015 CARRINGTON MILL BLVD
SUITE 460
RALEIGH, NORTH CAROLINA 27560



NORTHWOOD RAVIN

BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-N1
CHECKED BY LLH
DRAWN BY JLB
SCALE N/A
DATE 09.06.2024

SHEET

PROJECT NOTES

C0.00

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



Know what's below.
Call before you dig.

SANITARY SEWER NOTES:

- 1. ALL SEWER SERVICES IN PUBLIC R.O.W. SHALL BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
2. BEFORE COMMENCING ANY EXCAVATION IN ANY HIGHWAY, STREET, PUBLIC SPACE, OR IN AN EASEMENT, THE NORTH CAROLINA UNDERGROUND DAMAGE PREVENTION ACT REQUIRES NOTIFICATION OF EACH UTILITY OWNER HAVING U.G. UTILITIES LOCATED IN THE PROPOSED AREA TO BE EXCAVATED, EITHER ORALLY OR IN WRITING, NOT LESS THAN 2 DAYS NOR MORE THAN 10 WORKING DAYS PRIOR TO STARTING OF THE INTENT TO EXCAVATE.
3. ANY EXISTING UTILITY APPURTENANCES SHALL NOT BE REUSED ON PROPOSED IMPROVEMENTS.
4. ALL PROPOSED SEWER ON THIS SITE IS TO BE PRIVATE.
5. ALL 8" SEWER SHALL BE PVC SDR-35 AND ALL 6" SEWER SHALL BE PVC SCH.40 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. MINIMUM COVER TO FINISHED GRADE OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET OR DEEPER THAN 12', DUCTILE IRON PIPE SHALL BE REQUIRED WITH TYPE 1 BEDDING TO A COVER AT A MIN OF 3 FEET.
7. MINIMUM SLOPE FOR THE 8 INCH SANITARY SEWER COLLECTION LINE IS 0.50% AND THE MINIMUM SLOPE FOR THE 6 INCH SANITARY SEWER SHALL BE NO LESS THAN 1.0% (WITH CLEANOUTS EVERY 75 LINEAL FEET).
8. SEWER CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS, SIDEWALKS AND PARKING LOTS UNLESS SHOWN OTHERWISE. CLEANOUTS WITHIN ASPHALT PAVED TRAFFIC AREAS SHALL BE INSTALLED IN TRAFFIC RATED MINI-MANHOLES, DOMESTICALLY CAST.
9. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ACTUAL LOCATION AND DEPTHS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.
10. UTILITY SLEEVES SHALL BE PVC (SCH. 40). INSTALL WITH 2" MINIMUM COVER. CAP AND MARK BOTH ENDS.

WATER NOTES:

- 1. WATER TO BE USED DURING CONSTRUCTION SHALL EITHER HAVE A PERMANENT TAP INSTALLED THROUGH A NEW SERVICE TAP PERMIT, OR A RENTAL OF A HYDRANT METER SHALL BE SECURED TEMPORARILY; THROUGH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
2. WATER DESIGN
2.1. PUBLIC WATER SYSTEMS SHALL CONFORM TO PUBLIC DISTRIBUTION SYSTEM STANDARDS.
2.2. PRIVATE DISTRIBUTION SYSTEMS SHALL HAVE A MASTER METER AND MASTER BACK FLOW DEVICE.
3. ALL 6" & 8" WATERLINES, SHALL BE DUCTILE IRON PRESSURE CLASS 350 PER CITY OF RALEIGH STANDARDS. ALL 2" WATERLINE SHALL BE TYPE K-COPPER.
4. ALL MAINS SHALL HAVE A MINIMUM 36" COVER.
5. ALL MAINS SHALL HAVE A TYPE 1 LAYING CONDITIONS (GEOTECHNICAL EVALUATION AND COMPACTION REPORTS SHALL BE PROVIDED TO ENGINEER WITH AS-BUILT SUBMITTAL)
6. ALL MAINS SHALL HAVE A WORKING PRESSURE OF 150 PSI AND A SURGE PRESSURE OF 300 PSI.
7. SERVICE CONNECTIONS CAN ONLY BE MADE TO A PRESSURIZED PIPE UP TO 12" PER CORPUD HANDBOOK.
8. REFER TO CORPUD HANDBOOK FOR TESTING AND APPROVAL PROCEDURE PRIOR TO ACCEPTANCE.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI.
10. ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ACTUAL LOCATION AND DEPTHS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.

GRADING NOTES:

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
6. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED TO THE STANDARD PROCTOR MAXIMUM DRY DENSITY UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

STANDARD UTILITY NOTES:

- 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
d) 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. SEWER BYPASS PLUMBING - A bypass plan sealed by an NC Professional Engineer shall be provided to Raleigh Water prior to pumping operations for approval. The operations and equipment shall comply with the Public Utilities Handbook.
7. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
8. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
9. Install 3/4" copper* water services with meters located at ROW or within a 2'-x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
10. Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
11. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
12. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
13. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
14. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program Coordinator prior to issuance of a UC and/or Building Permit. Contact (919) 996-4516 or fog@raleighnc.gov for more information.
15. Cross-connection control protection devices are required based on the degree of health hazard involved as listed in Appendix B of the Rules Governing Public Water Systems in North Carolina.
16. The devices shall meet the American Society of Sanitary Engineering (ASAE) standards and be on the University of Southern California approval list.
17. The device and installation shall meet the guidelines of Appendix A - Guidelines and Requirements for the Cross Connection Program in Raleigh's Service Area.
18. The devices shall be installed and tested (both, initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross connection control program, whichever is more stringent. Contact Cross.connection@raleighnc.gov for more information.
19. NOTICE for projects that involve an oversized main or urban main replacement. Any City reimbursement greater than \$250,000.00 must undergo the public bidding process.

SITE PLAN NOTES:

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
4. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
5. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
6. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
7. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
8. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
9. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT FOR EROSION CONTROL AND ENGINEERING INSPECTIONS PRIOR TO ANY WATER OR SEWER ABANDONMENT, REMOVAL OR INSTALLATIONS.

GENERAL NOTES:

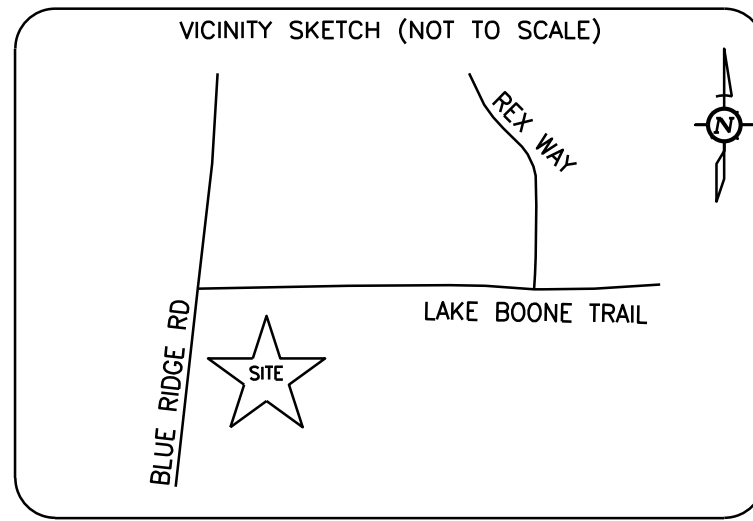
- 1. OWNER RESERVES RIGHT TO ADJUST SITE IMPROVEMENTS AND MODIFY BUILDING FOOTPRINTS FROM THOSE SHOWN ON THIS PLAN.
2. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS, ENGINEERING INSPECTIONS DEPARTMENT (919) 996-6824, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER.
3. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR, AFTER PERMISSION BY EROSION CONTROL INSPECTOR.
4. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER IMMEDIATELY.

STORM DRAINAGE NOTES:

- 1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF RALEIGH AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL ENGINEER AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

DEMOLITION NOTES:

- 1. THE INFORMATION SHOWN WAS TAKEN FROM DESIGN DRAWINGS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL DEMOLITION MATERIAL WILL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER LOCATION AND METHOD AS DESIGNATED BY THE LOCAL AUTHORITIES.
4. CONTRACTOR SHALL NOTIFY NC811 (811 OR 800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
6. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES AND ADJACENT ROADWAYS FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.



PARCEL INFO
 Owner: HIGHWOODS REALTY LTD PARTNERSHIP
 2500 Blue Ridge Road, Raleigh, NC 27607
 Book of Maps 1994 Page 1119
 Deed Book 6168 Page 397
 PIN 0785717617

AREA
 157,654 SqFt
 3.62 Ac

FEMA INFO

PER REVIEW OF FIRM MAP NO 3720078500K,
 EFFECTIVE DATE: 7/19/2022, THIS PARCEL IS
 NOT IN A FLOOD HAZARD AREA AND IS
 DESIGNATED AS ZONE "X".

GENERAL NOTES

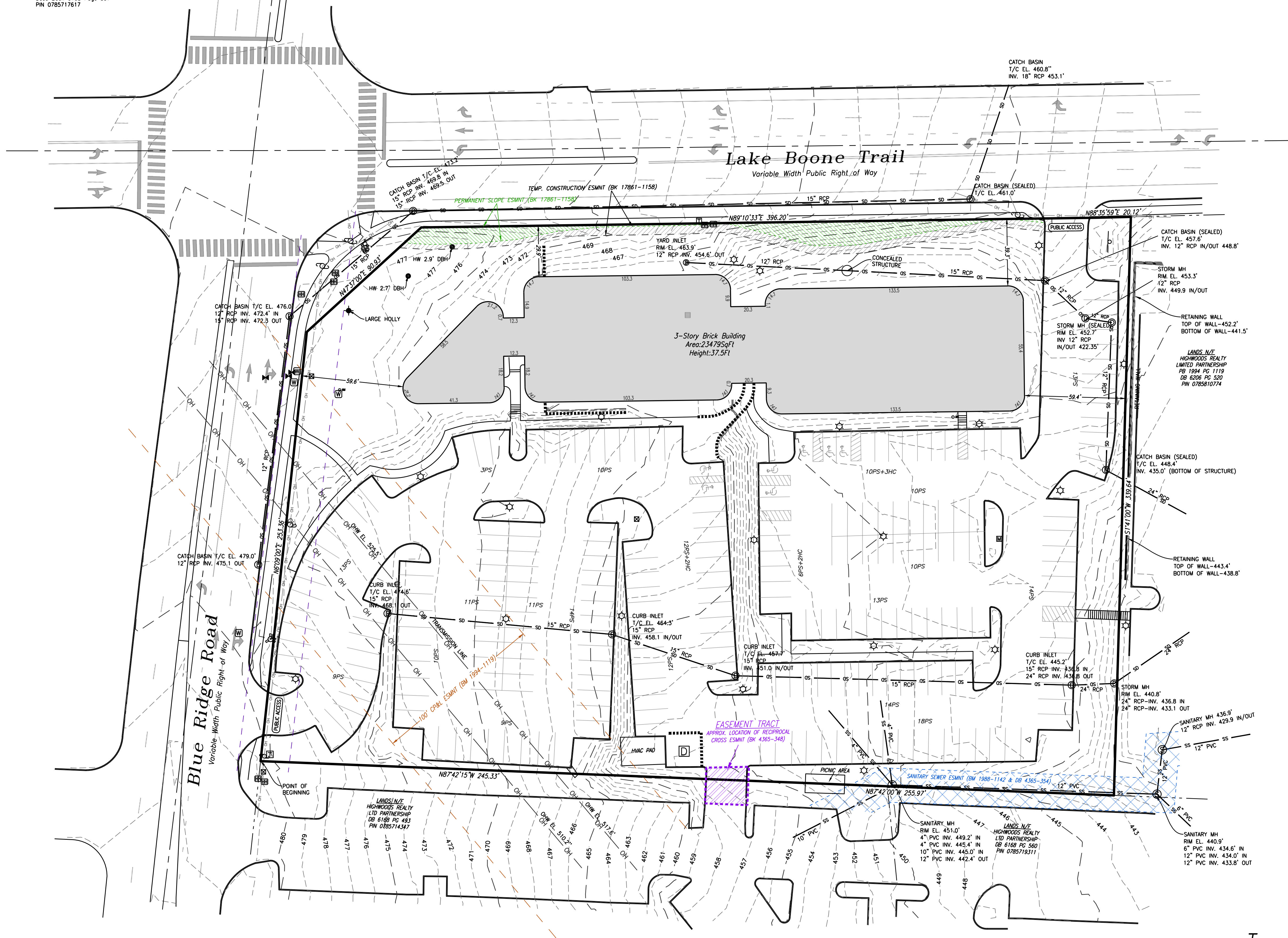
- A.) The accompanying survey was made on the ground and correctly shows the location of all buildings, structures and other improvements situated on the above premises; that there are no visible encroachments on the subject property or upon the land abutting said property.
- B.) This map or plot and the survey on which it is based were made in accordance with laws regulating surveying in the State of North Carolina.
- C.) The property described herein is the same property described in Chicago Title Insurance Company Commitment No. 23-15102CH dated December 15, 2023 and all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the Subject Property.
- D.) Except as shown, all visible utilities serving the subject property enter through adjoining public street(s) and/or recorded public utility easement(s).
- E.) The surveyor currently is covered by a professional liability policy in the amount of \$1 million.
- F.) The Subject Property has direct physical access to Lake Boone Trail & Blue Ridge Road, both being a dedicated public right-of-way.
- G.) There was no apparent evidence of cemeteries or burial grounds observed on site.
- H.) There are no party walls or visible encroachments on said described property by streets, alleys or buildings, structures or other improvements situated on adjoining property, except as shown on the survey.
- I.) There was no apparent evidence of welland delineation markers were observed on site at time of survey.
- J.) The Subject Property forms a mathematically closed figure and is contiguous with adjacent parcels with no apparent gaps, gores or overlaps.
- K.) There was no evidence of recent street or sidewalk construction or repairs at the time of survey.
- L.) There was no evidence of site use as a solid waste dump, sump, or sanitary landfill at the time of survey.

LEGEND OF SYMBOLS

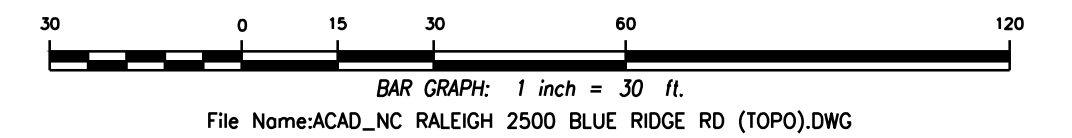
- | | |
|---|--|
| <ul style="list-style-type: none"> —●— EXISTING BOUNDARY MARKER —●— SET BOUNDARY MARKER —●— CONCRETE MONUMENT —●— MATHEMATICAL POINT —●— SURVEYED PROP LINE —●— ADJOINING PROP LINE —●— BARBED WIRE FENCE —●— WOOD PLANK FENCE —●— CHAIN LINK FENCE —●— STORM DRAIN PIPE —●— OVERHEAD LINE —●— OBSERVED ENCROACHMENT —●— PLOTTED TITLE EXCEPTION —●— HANDICAPPED SPACE —●— UNDERGROUND FIBER —●— DRAINAGE MANHOLE —●— SANITARY MANHOLE | <ul style="list-style-type: none"> —●— BUILDING SETBACK LINE —●— R/W RIGHT OF WAY LINE —●— ELECTRICAL BOX —●— TELEPHONE BOX —●— GAS ASSEMBLY —●— FIRE HYDRANT —●— CATCH BASIN —●— UTILITY POLE —●— WATER VALVE —●— WATER METER —●— LIGHT POLE —●— YARD INLET —●— CLEANOUT —●— DUMPSTER —●— BOLLARD —●— MAILBOX —●— SIGN —●— WELL |
|---|--|

Note: Any underground lines shown are based on surface evidence. The licensed surveyor cannot certify to the location of non-visible structures. This cannot accept liability for underground structure location.

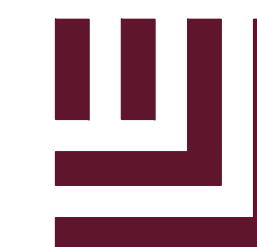
JONATHAN MURPHY
 Professional Land Surveying
 10505 Leafwood Place (919) 280-8189
 Raleigh NC 27613 FAX 995-9616
 FIRM# L4382 E-MAIL : raleigh@murphygeomatics.com
 ACAD_NC Raleigh 2500 Blue Ridge Rd (TOPO).dwg



Sheet 1 of 1
 Topographical Survey
 2500 Blue Ridge Road
 City of Raleigh, Wake County, NC
 March 2024 - Scale 1"=30'



File Name: ACAD_NC_RALEIGH 2500 BLUE RIDGE RD (TOPO).DWG



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3015 CARRINGTON MILL BLVD
SUITE 460
RALEIGH, NORTH CAROLINA 27560



BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-DM1
CHECKED BY JLB
DRAWN BY LLH
SCALE 1:30
DATE 09.06.2024

SHEET

DEMOLITION PLAN

C1.01

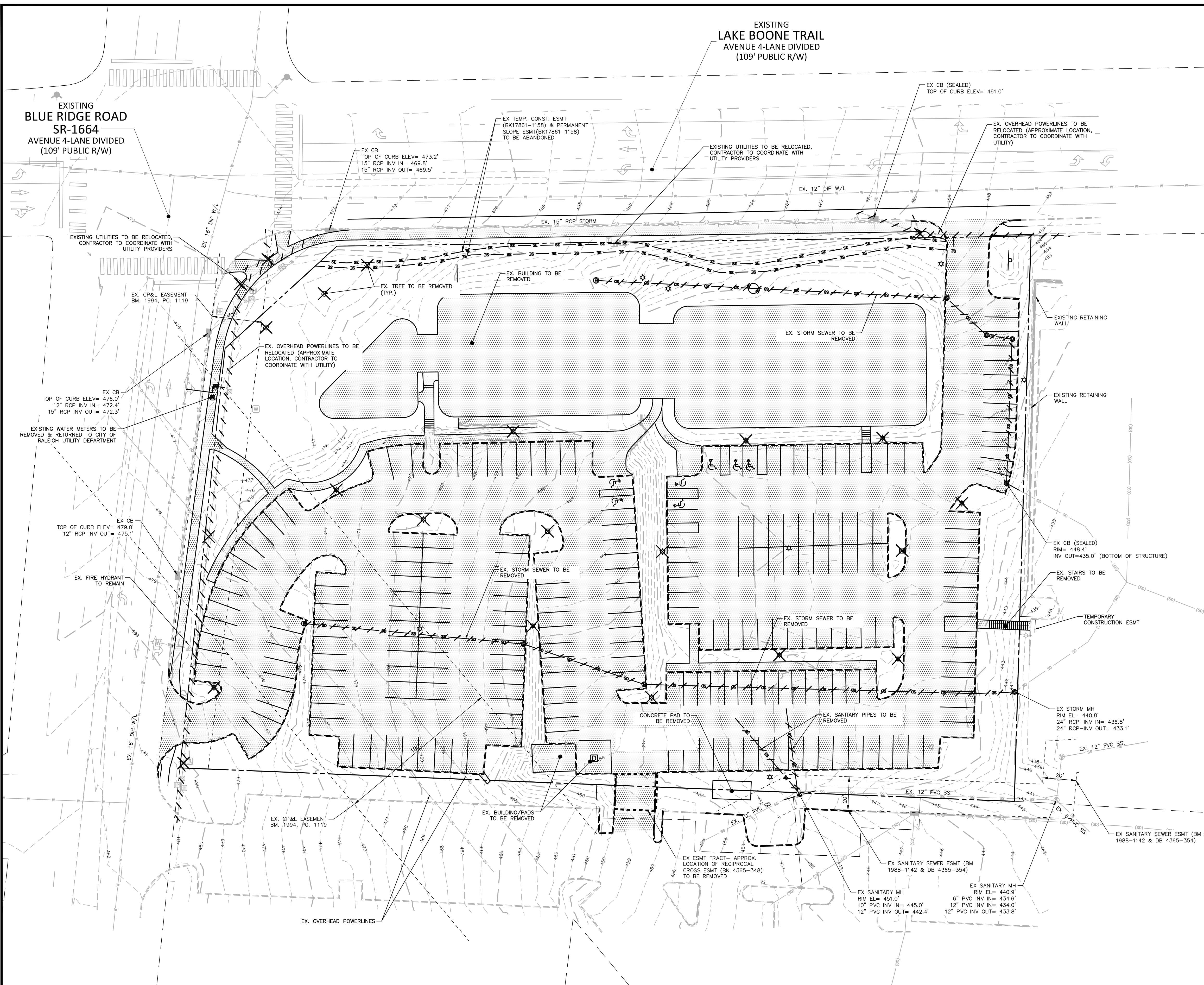
DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

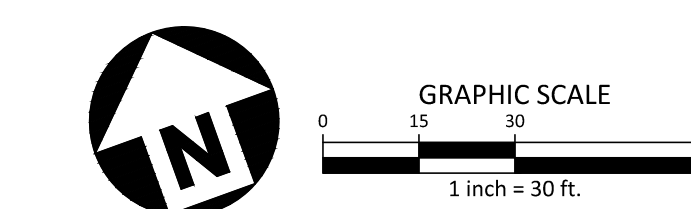
DEMOLITION NOTES:

- IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIBLABLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIBLABLE ASBESTOS-CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
- ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- BEFORE STARTING DEMOLITION OR MODIFICATION OF EXISTING STRUCTURES, LIGHT POLES, ELECTRICAL DISTRIBUTION, ETC., CONTRACTOR TO COORDINATE DISCONNECTION OF ELECTRICAL POWER, COMMUNICATIONS, WATER SERVICE, SANITARY SERVICE, ETC WITH ASSOCIATED UTILITY COMPANY AND OWNER.
- DEVELOPER TO REMOVE BUILDING WITHIN TREE CONSERVATION AREA USING NO MOTORIZED OR HEAVY EQUIPMENT WITH TIRES OR TRACKS AND NO DISTURBANCE TO THE AREA.



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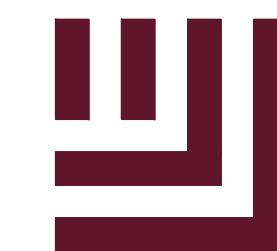


SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\RAVIN\RAVIN23003\04-Production\Engineers\Current Drawings\RAV23003-ASR-DM1.dwg, 9/7/2024 7:51:18 PM, Luke Hastings



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SUITE 460
RALEIGH, NORTH CAROLINA 27560



BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-S1
CHECKED BY JLB
DRAWN BY LLH
SCALE 1"=30'
DATE 09.06.2024

SHEET

SITE PLAN

C2.00

SITE LEGEND

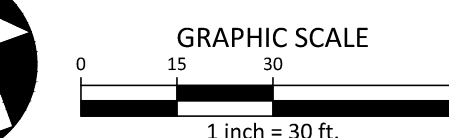
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- TYPE A ACCESSIBLE ROUTE
- TYPE B ACCESSIBLE ROUTE
- TYPE C ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- FIRE LANE PAINT
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT

PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS**
- T1 24" WHITE STOP BAR
 - T2 CITY OF RALEIGH PEDESTRIAN CROSSWALK
 - T3 CITY OF RALEIGH BIKE CROSSWALK
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE NCDOT DETAILS 1205.01-1205.12)

SIGNAGE LEGEND

- STOP
MUTCD R1-1
30"x30"
- BIKE LANE ENDS
MUTCD
R3-17/R3-17B
24"x18"



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

EXISTING LAKE BOONE TRAIL AVENUE 4-LANE DIVIDED (109' PUBLIC R/W)

EXISTING BLUE RIDGE ROAD SR-1664 AVENUE 4-LANE DIVIDED (109' PUBLIC R/W)

REX HOSPITAL INC
PIN: 0785822820
DB: 3910 PG. 373
ZONING: OX-12-UL
USE: HOSPITAL
59.60 AC.

ATRIUM AT BLUE RIDGE LLC
PIN: 0785710619
DB: 7290 PG. 914
ZONING: NX-5-UL-CU
USE: HR OPTC
4.61 AC.

EGMP 4325 LAKE BOONE TRAIL LLC
PIN: 0785810774
DB: 19578 PG. 371
ZONING: OX-3-UG-CU
USE: OFC CROSS
2.31 AC.

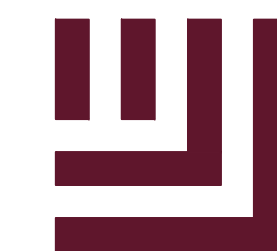
EGMP 2418 BLUE RIDGE LLC
PIN: 0785714347
DB: 19578 PG. 355
ZONING: OX-3-UG
USE: MED OFC CROSS
1.66 AC.

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Know what's below.
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M:\Projects\RAV\RAV23003\04-Production\Engineers\Current Drawings\RAV23003-ASR-S1.dwg, 9/7/2024, 2:24:49 PM, Luke Hastings



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RALEIGH, NORTH CAROLINA 27560



NORTHWOOD RAVIN

**BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-S1
CHECKED BY JLB
DRAWN BY LLH
SCALE 1"=30'
DATE 09.06.2024

SHEET

**BUILD-TO & AMENITY
PLAN**

C2.01

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- TYPE A ACCESSIBLE ROUTE
- TYPE B ACCESSIBLE ROUTE
- TYPE C ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- AMENITY AREA= 15,387 SF= 0.35 AC

AMENITY AREA CALCULATIONS

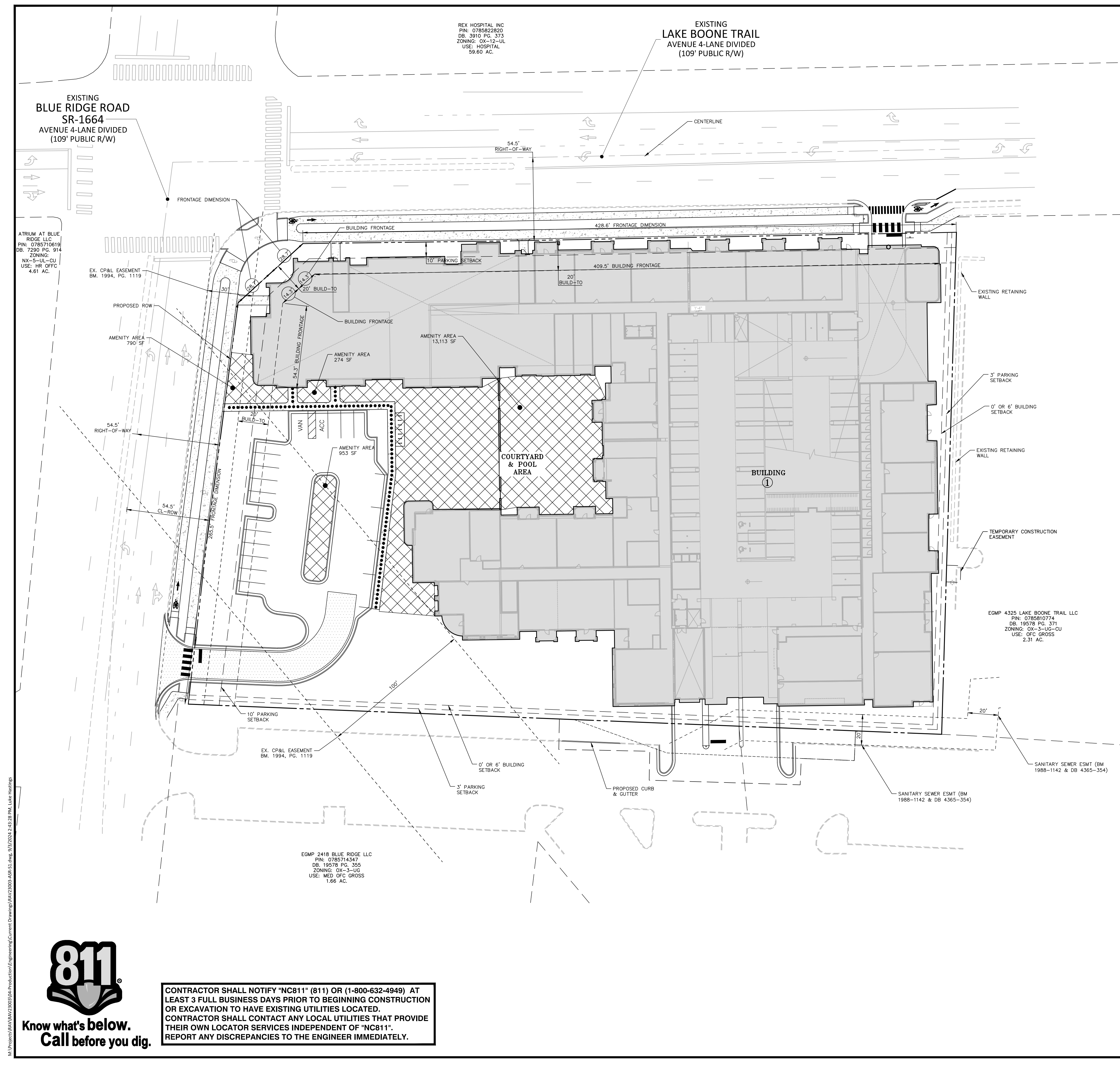
REQUIRED: 15,096 SF (0.35 AC)
0.35 ACRES (15,096 SF, 10.0% OF 3.47 ACRES)

PROVIDED: 15,130 SF (0.35 AC)
0.35 ACRES (15,130 SF, 10.0% OF 3.47 ACRES)

BUILD-TO PERCENTAGES:

REQUIRED
BLUE RIDGE ROAD (PRIMARY STREET): 44' (15% OF 294.2')
LAKE BOONE TRAIL (PRIMARY STREET): 229' (50% OF 457.3')

PROVIDED
BLUE RIDGE ROAD (PRIMARY STREET): 68.6' LF (68.6'/294.2'=23.3%)
LAKE BOONE TRAIL (PRIMARY STREET): 423.8' LF (423.8'/457.3'=92.7%)



ATRIUM AT BLUE RIDGE LLC
PIN: 0785710619
DB: 7290 PG. 914
ZONING: NX-5-UL-CU
USE: HR OFIC
4.61 AC.

REX HOSPITAL INC
PIN: 0785822820
DB: 3910 PG. 373
ZONING: OX-12-UL
USE: HOSPITAL
59.60 AC.

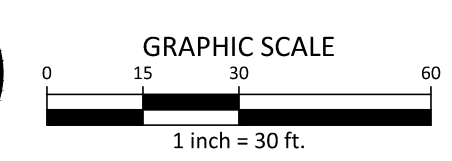
EGMP 4325 LAKE BOONE TRAIL LLC
PIN: 0785810774
DB: 19578 PG. 371
ZONING: OX-3-UG-CU
USE: OFC GROSS
2.31 AC.

EGMP 2418 BLUE RIDGE LLC
PIN: 0785714347
DB: 19578 PG. 355
ZONING: OX-3-UG
USE: MED OFC GROSS
1.66 AC.

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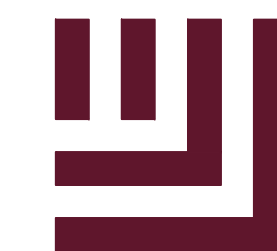


SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\RAV\RAV23003\04-Production\Engineers\Current Drawings\RAV23003-ASR-S1.dwg, 9/7/2024, 2:43:28 PM, Luke Hastings



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NORTHWOOD RAVIN

BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-G1
CHECKED BY JLB
DRAWN BY LLH
SCALE 1:30
DATE 09.06.2024

SHEET

GRADING & STORM
DRAINAGE PLAN

C3.00

GRADING LEGEND

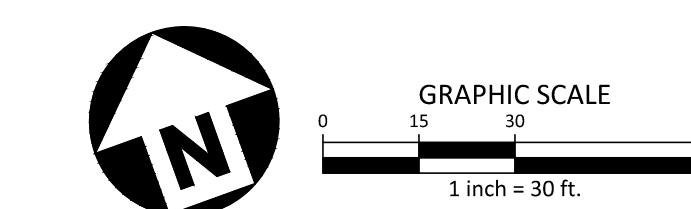
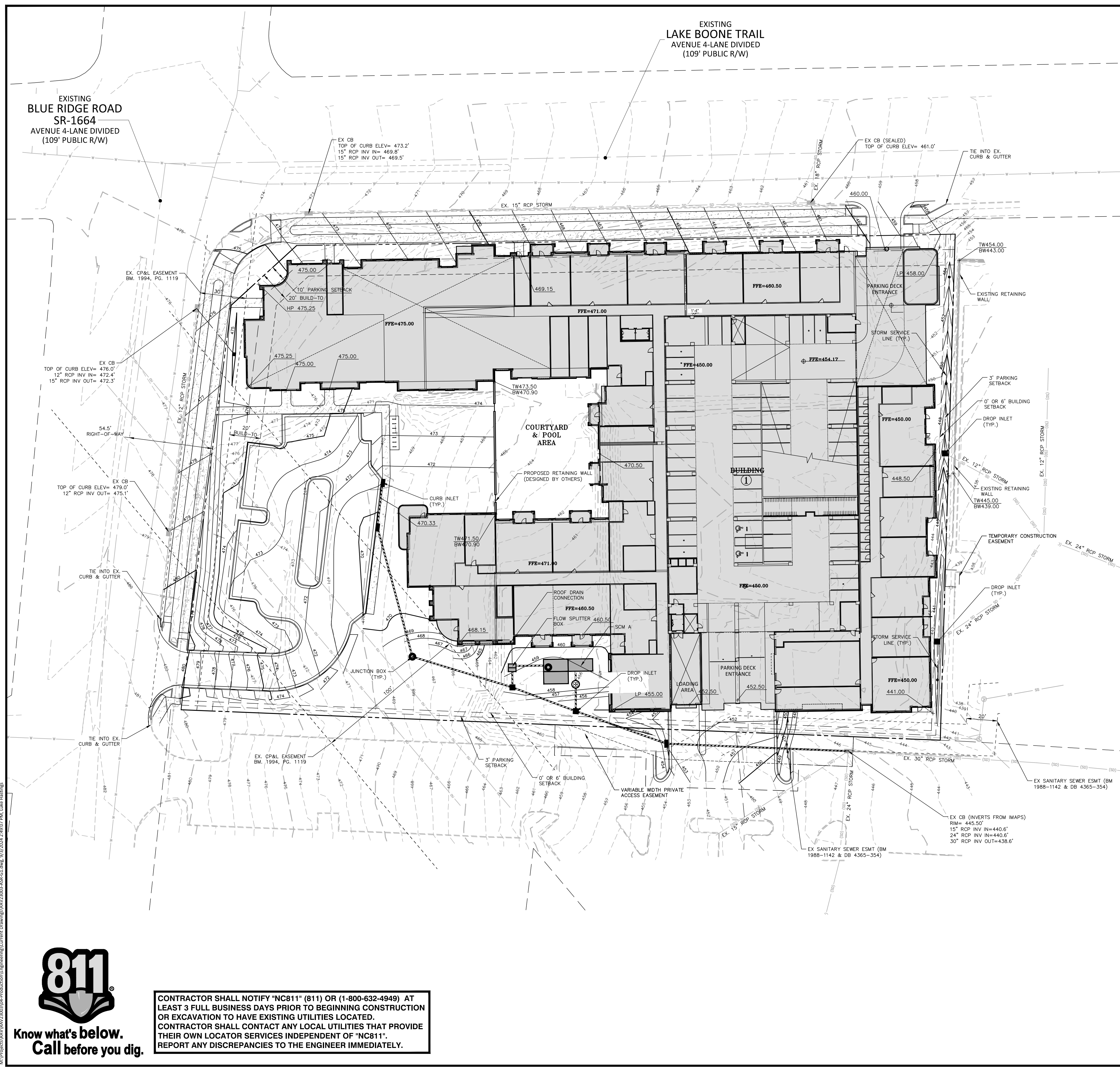
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL, 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE

BUILDING #1 AVERAGE GRADE PLANE

	PROPOSED		
	HIGH	LOW	AVERAGE
BLUE RIDGE ROAD	475.25	455.00	465.13
LAKE BOONE TRAIL	475.25	458.00	466.63

EXISTING
LAKE BOONE TRAIL
AVENUE 4-LANE DIVIDED
(109' PUBLIC R/W)

EXISTING
BLUE RIDGE ROAD
SR-1664
AVENUE 4-LANE DIVIDED
(109' PUBLIC R/W)



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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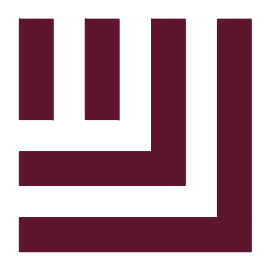
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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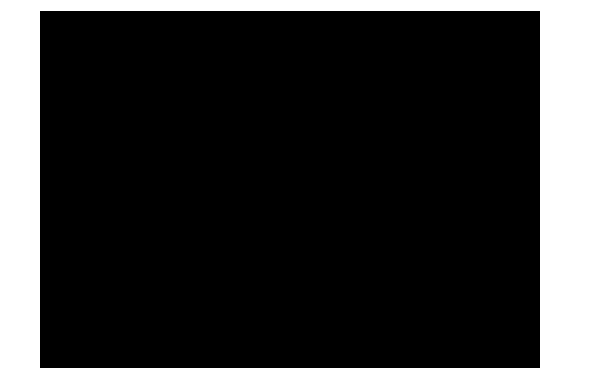
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REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-U1
CHECKED BY JLB
DRAWN BY LLH
SCALE 1"=30'
DATE 09.06.2024

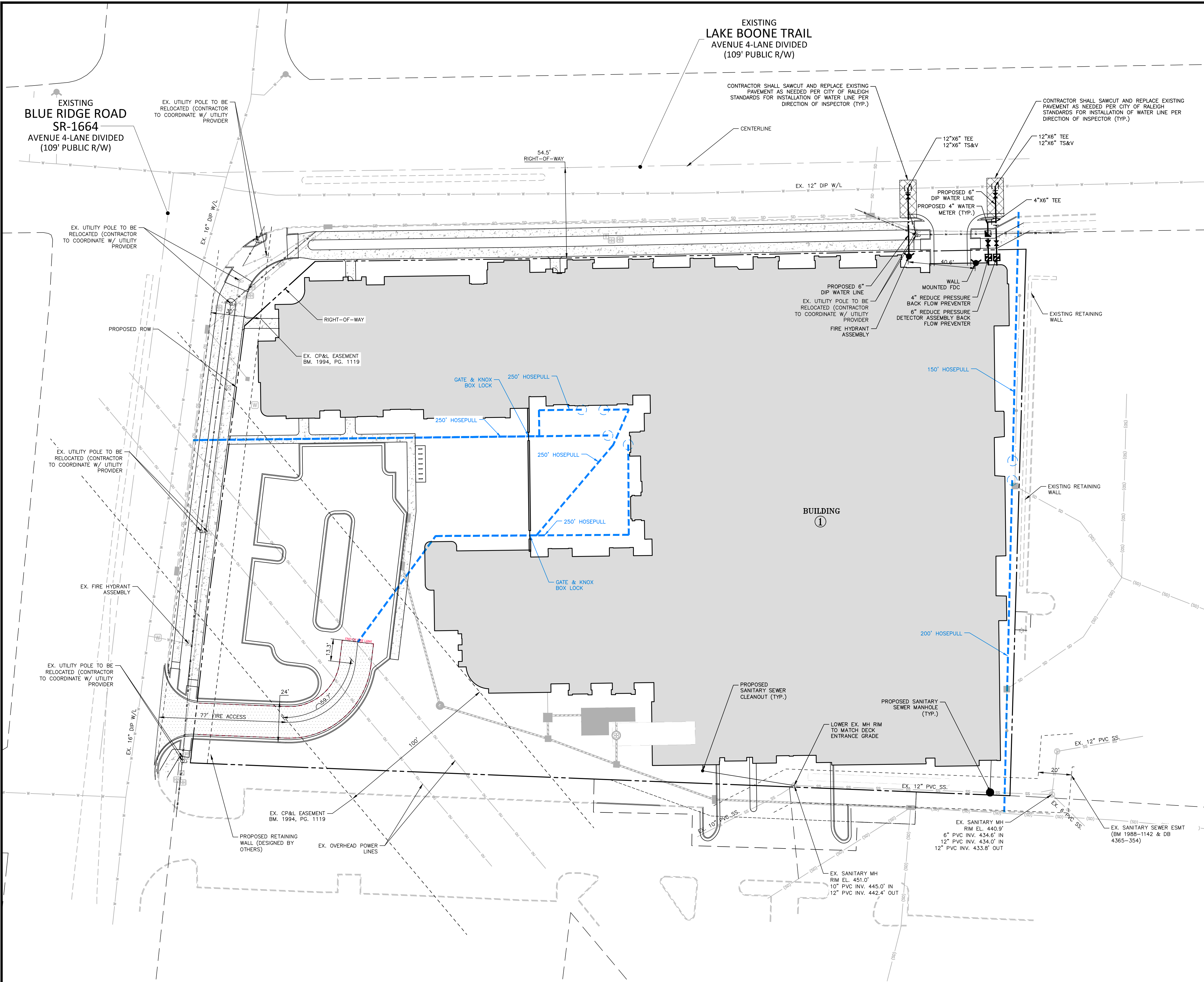
SHEET

UTILITY PLAN

C4.00

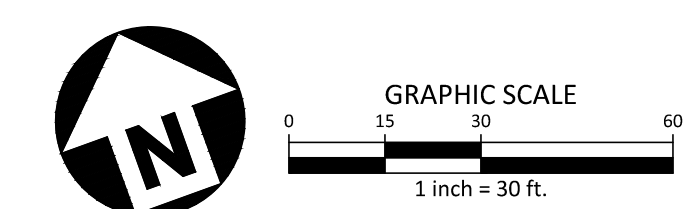
UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- LIGHT POLE
- YARD POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- FM
- GAS LINE
- OU
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

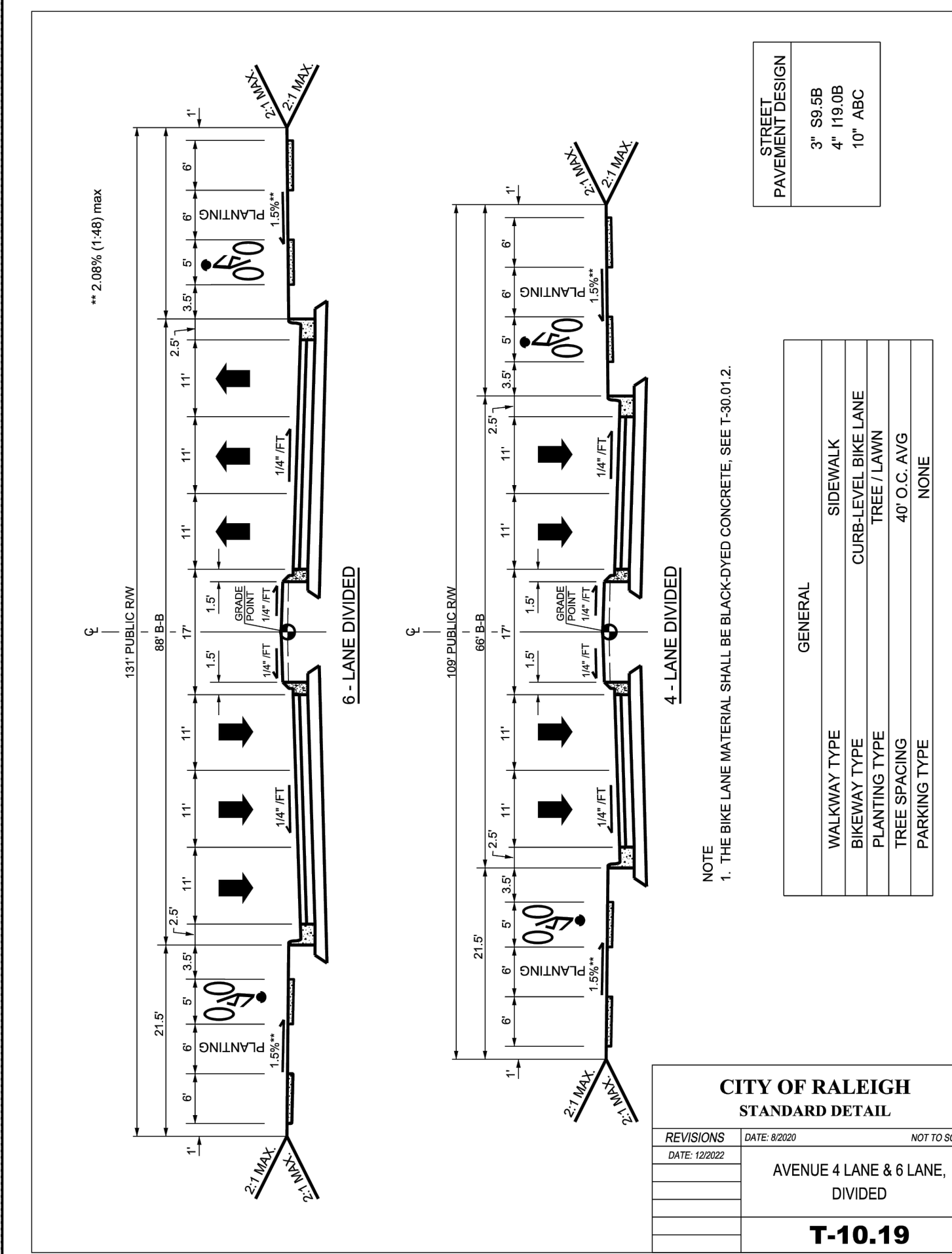
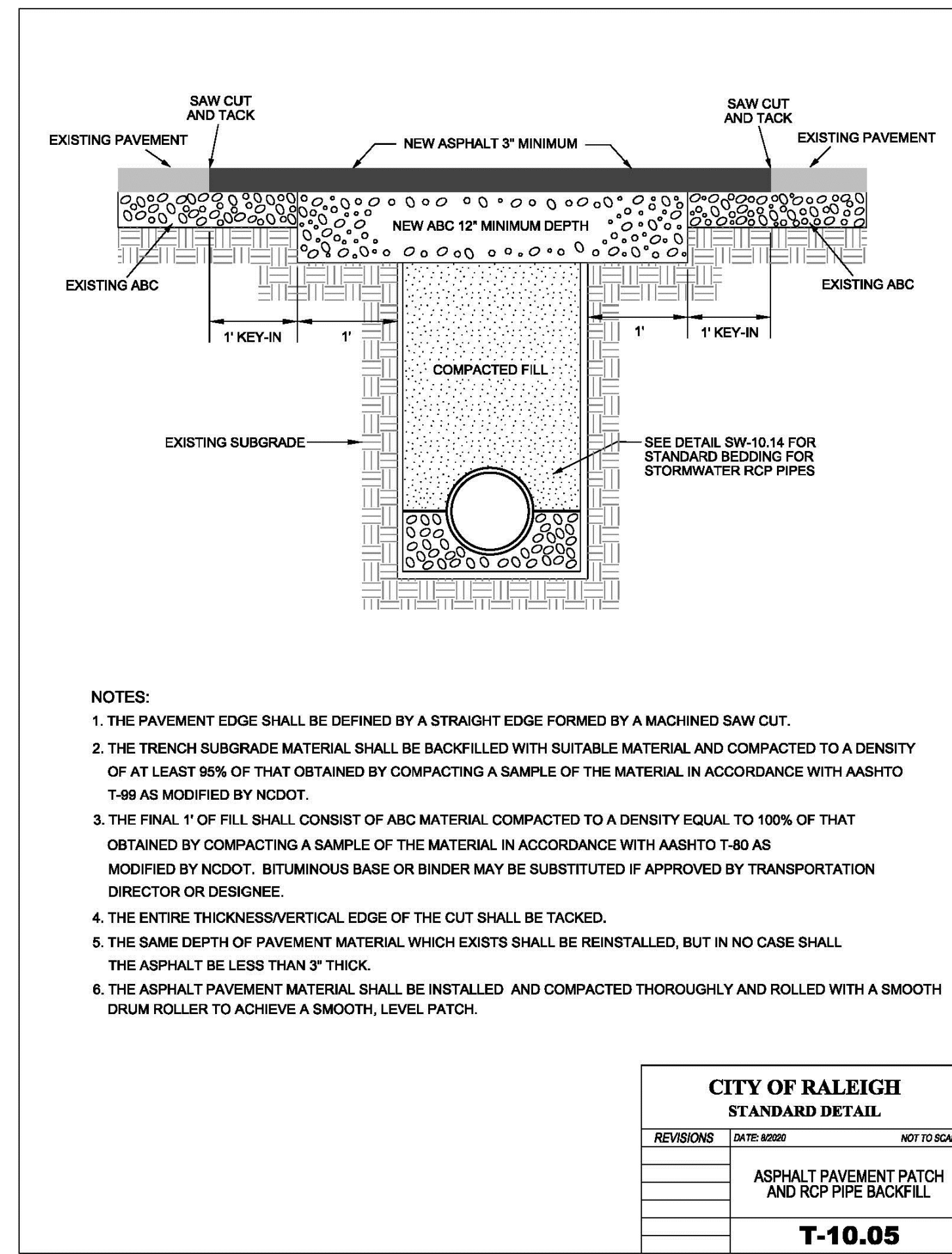
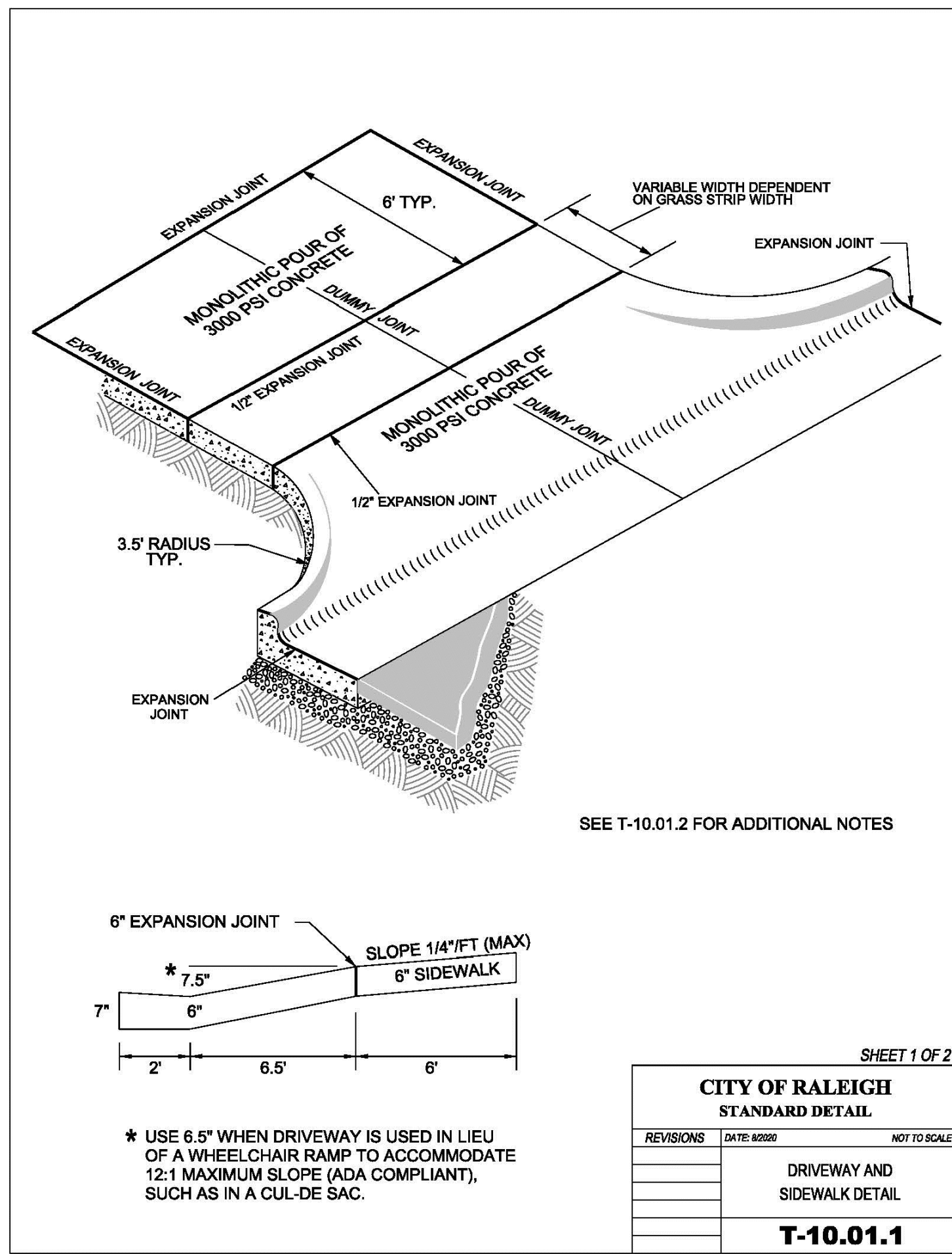


SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

I:\Projects\RAV\RAV23003\04-Production\Engineers\Current Drawings\RAV23003-ASR-U1.dwg, 9/9/2024, 2:57:43 PM, Luke Hastings



	STANDARD DUTY	HEAVY DUTY
CONCRETE (4,500 PSI W/ MEDIUM BROOM FINISH)(WWF)	5.0"	6.0"
CRUSHED AGGREGATE BASE COURSE (ABC) PER 520 NCDOT STANDARD SPEC	4.0"	4.0"
COMPACTED SUBGRADE TO 95% DRY DENSITY, STANDARD PROCTOR ASTM D998		

NOTE:
THE PAVEMENT SECTIONS SHOWN ARE PRELIMINARY. THE CONTRACTOR SHALL VERIFY PAVEMENT DESIGN WITH THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.

CLIENT
NORTHWOOD RAVIN LLC
3015 CARRINGTON MILL BLVD
SUITE 460
RALEIGH, NORTH CAROLINA 27560



NORTHWOOD RAVIN

**BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607**



REVISIONS
NO. DATE

PLAN INFORMATION

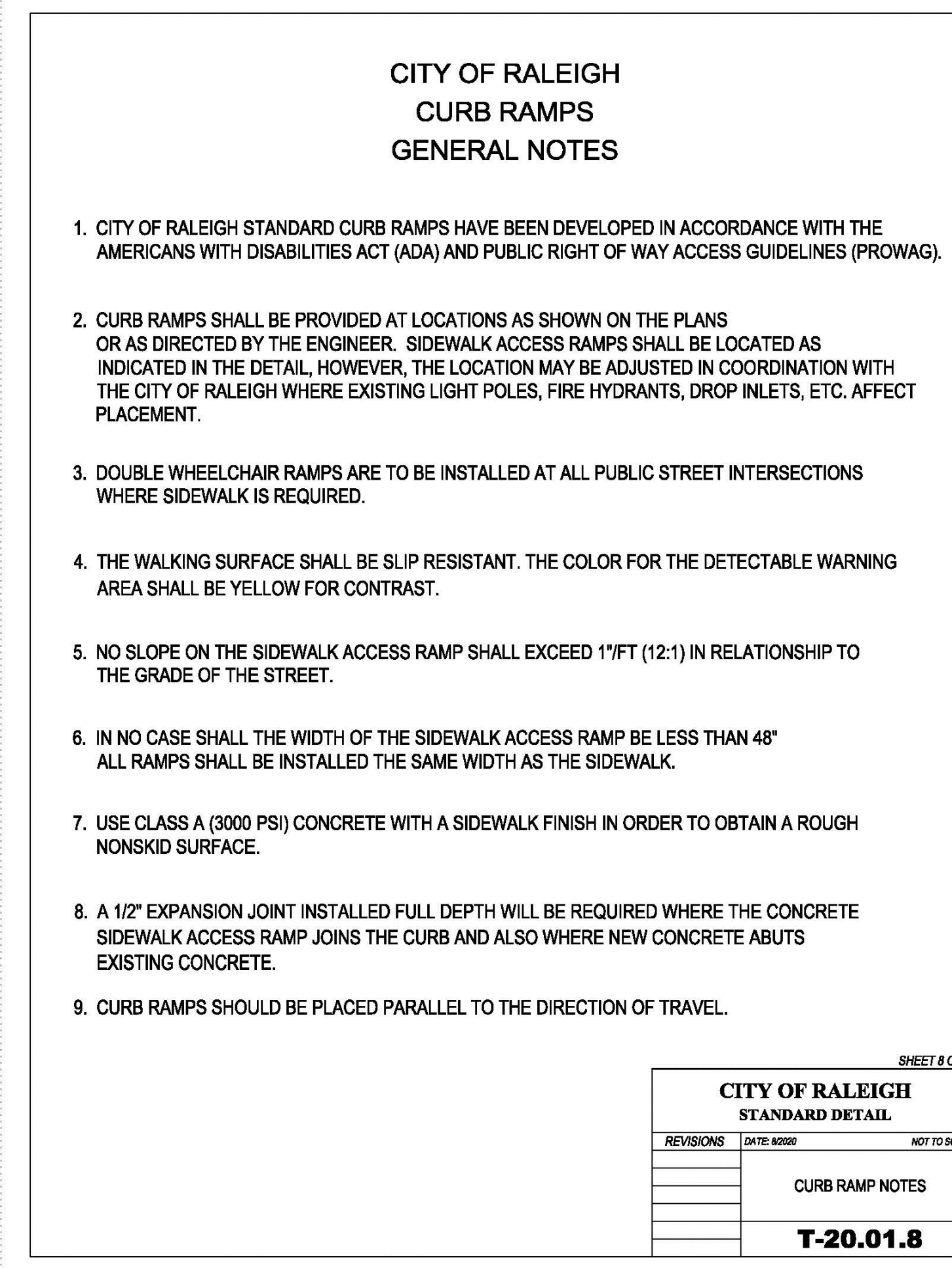
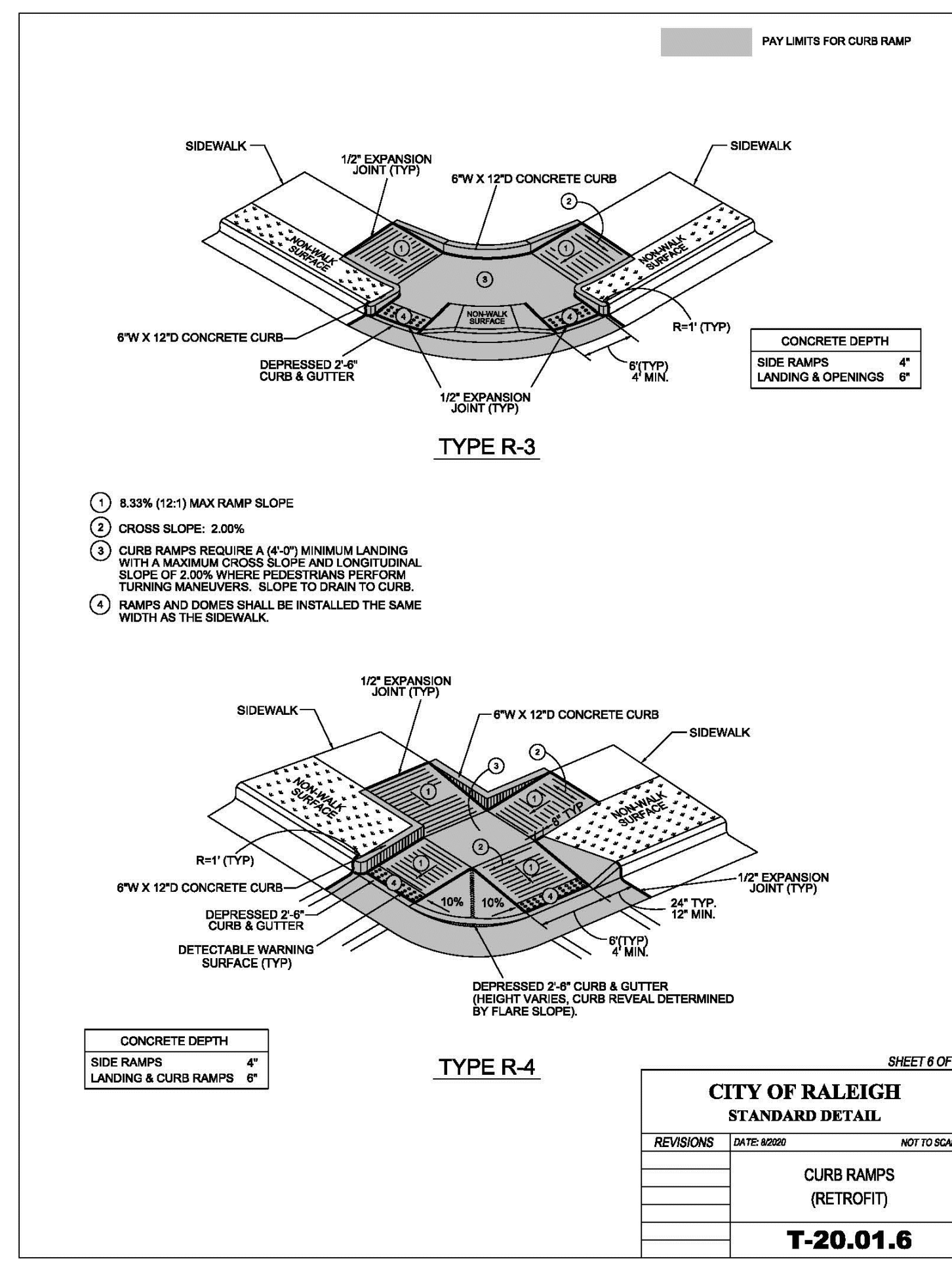
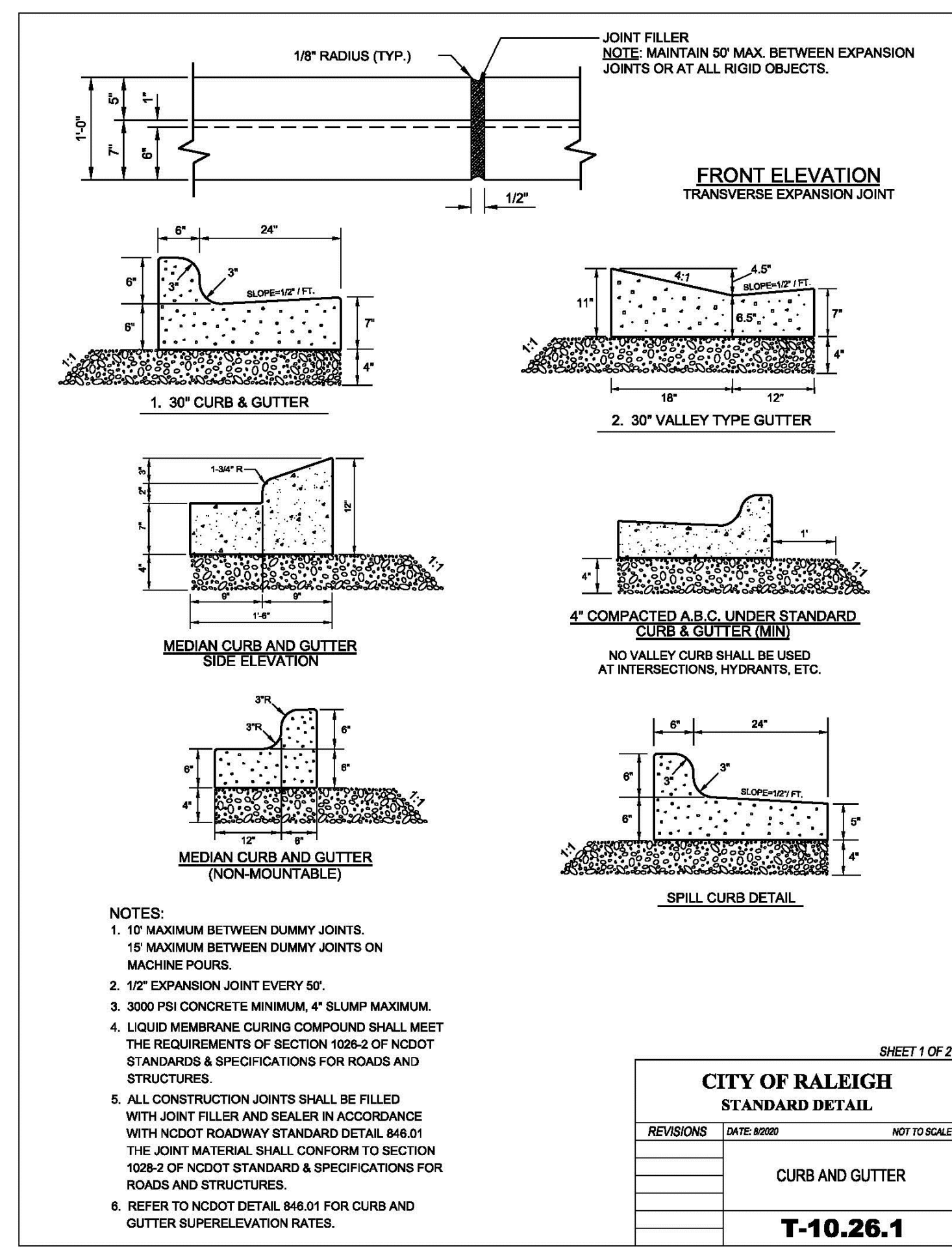
PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-01
CHECKED BY
DRAWN BY
SCALE N/A
DATE 09.06.2024

SHEET

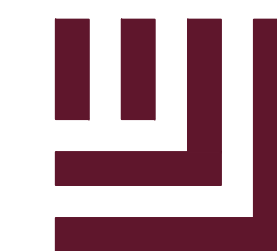
SITE DETAILS

C8.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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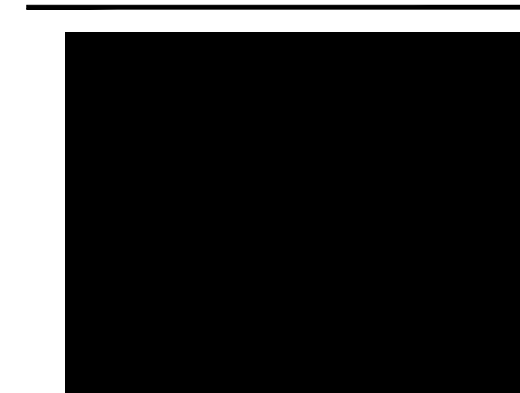
www.mcadamsco.com

CLIENT

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REVISIONS

NO. DATE

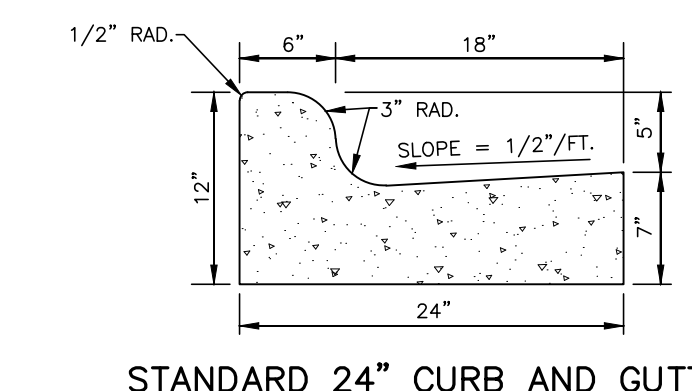
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DRAWN BY
SCALE N/A
DATE 09.06.2024

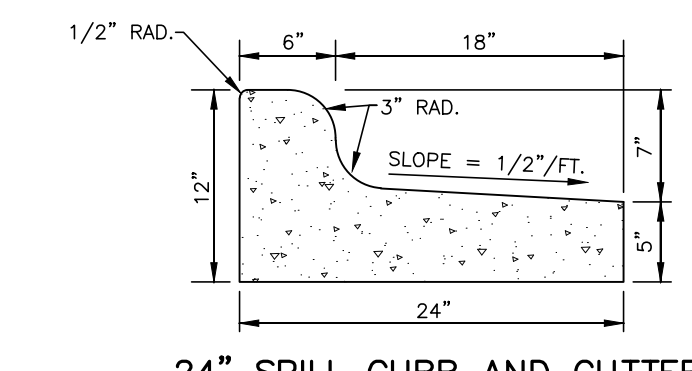
SHEET

SITE DETAILS

C8.01



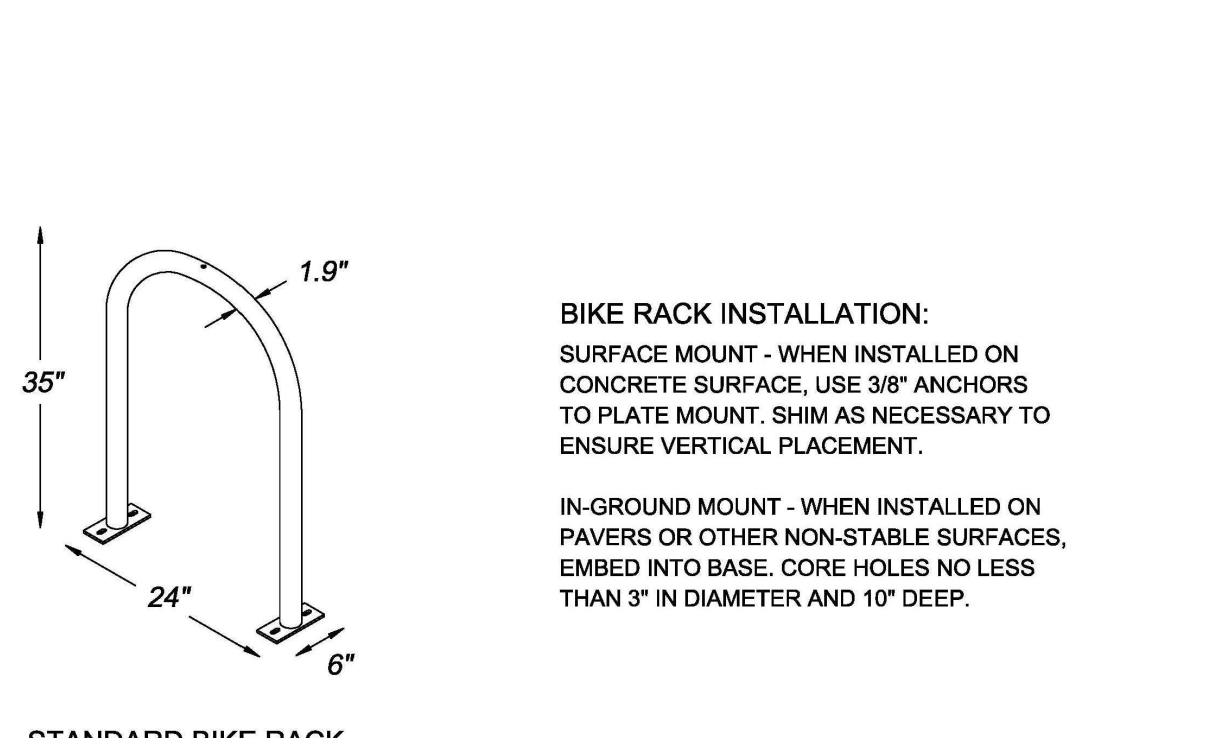
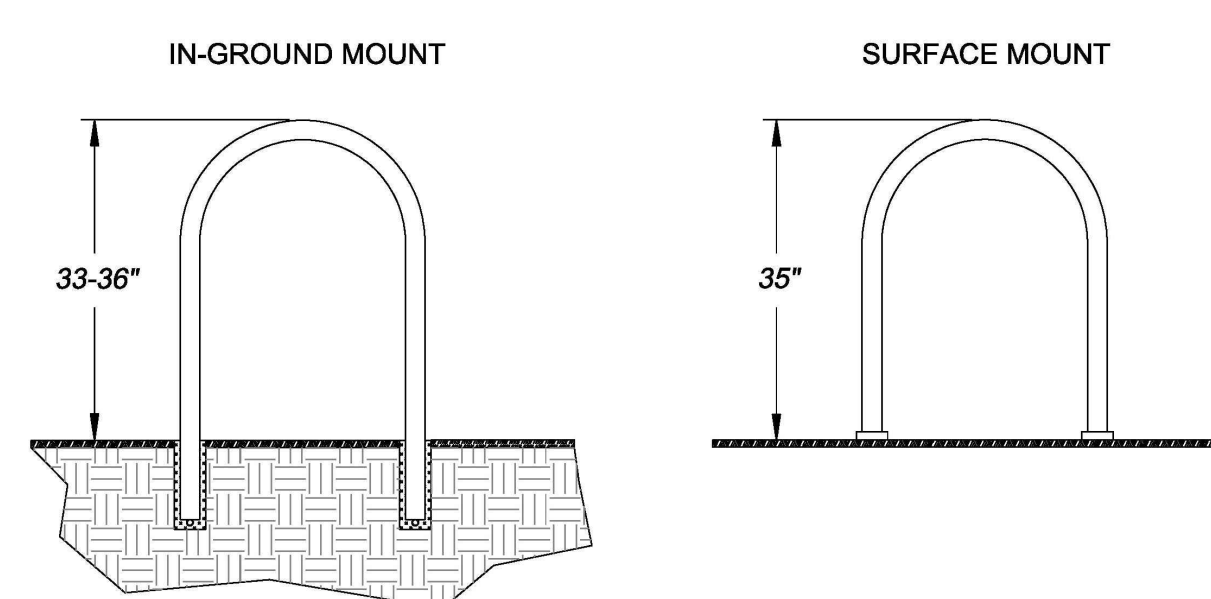
STANDARD 24" CURB AND GUTTER



24" SPILL CURB AND GUTTER

- NOTES:
- 10" MAXIMUM BETWEEN DUMMY JOINTS. 15" MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
 - 1/2" EXPANSION JOINT EVERY 50'.
 - 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
 - LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1026-2 OF NCDOT STANDARDS AND SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01. THE JOINT MATERIAL SHALL CONFORM TO SECTION 1028-2 OF THE NCDOT STANDARDS AND SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - REFER TO NCDOT DETAIL 846.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

24" CURB AND GUTTER
N.T.S.



STANDARD BIKE RACK

- BIKE RACK INSTALLATION:
- SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.
- IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.

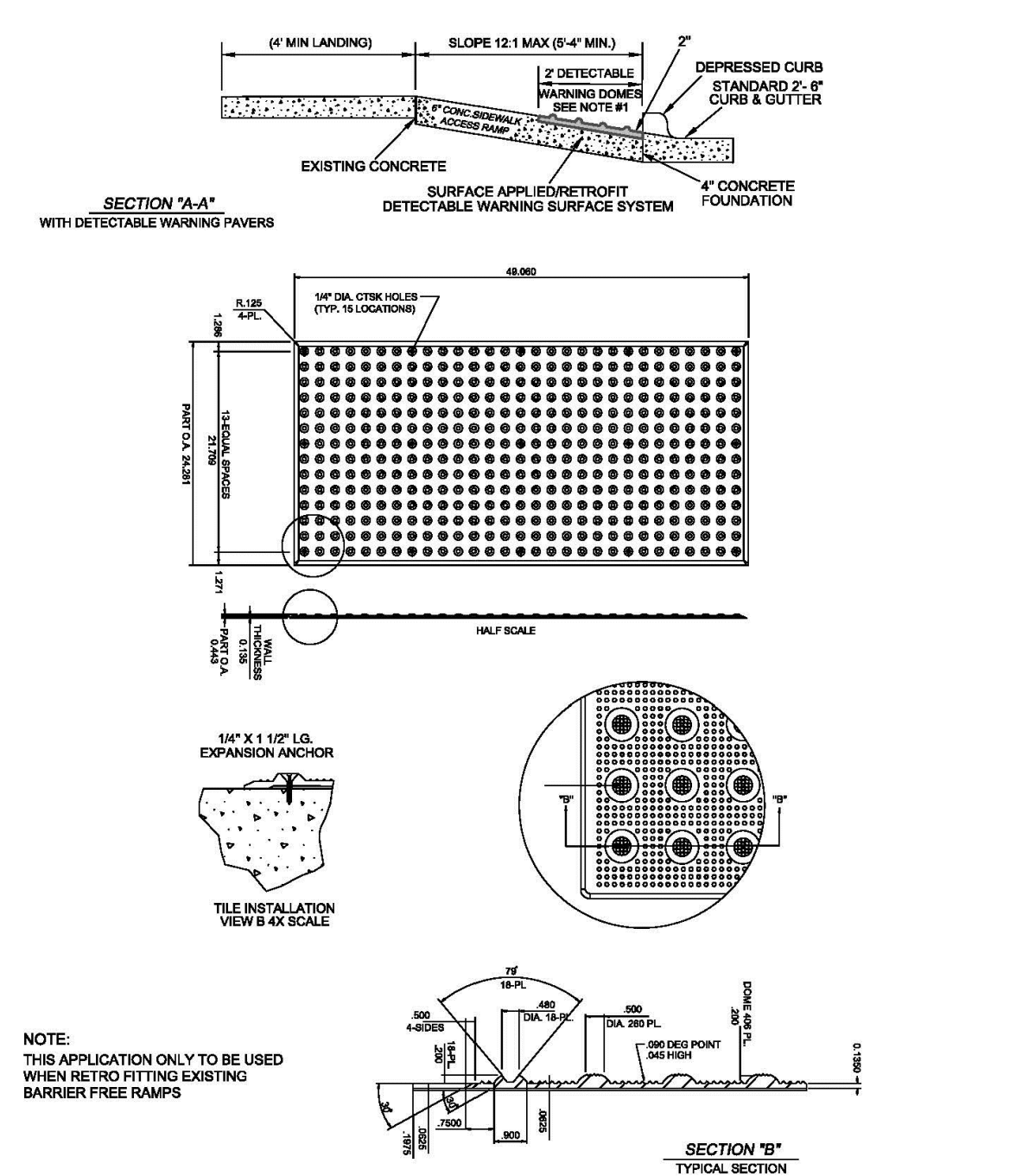
CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

DETECTABLE WARNING SURFACE, SURFACE APPLIED (RETROFIT ONLY)

BIKE RACK DETAILS

B-20.03



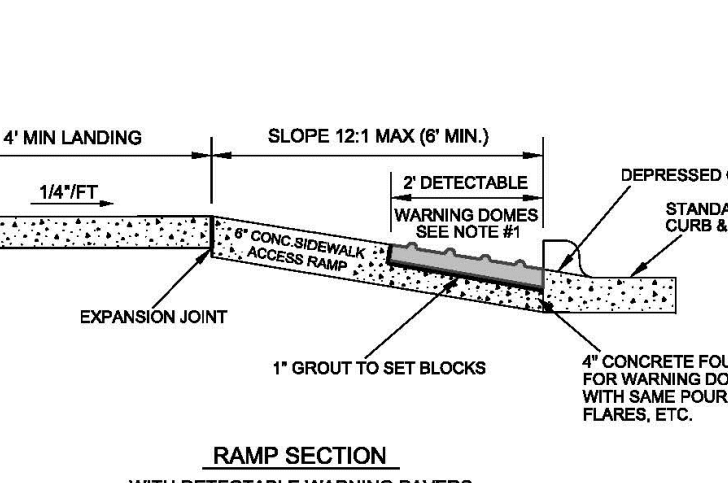
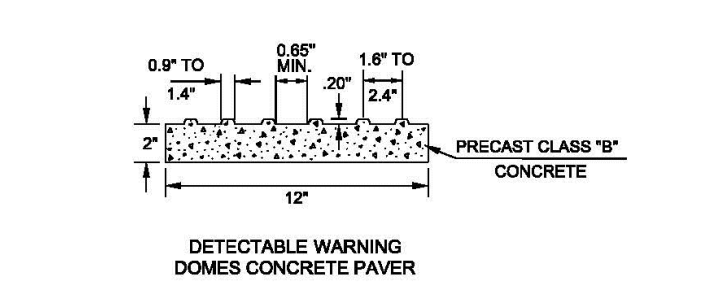
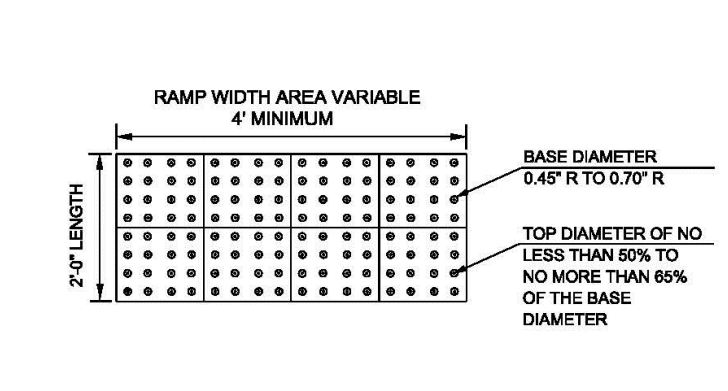
SECTION 1A-A WITH DETECTABLE WARNING PAVERS

CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

DETECTABLE WARNING SURFACE PAVERS

T-20.04.3



RAMP SECTION WITH DETECTABLE WARNING PAVERS

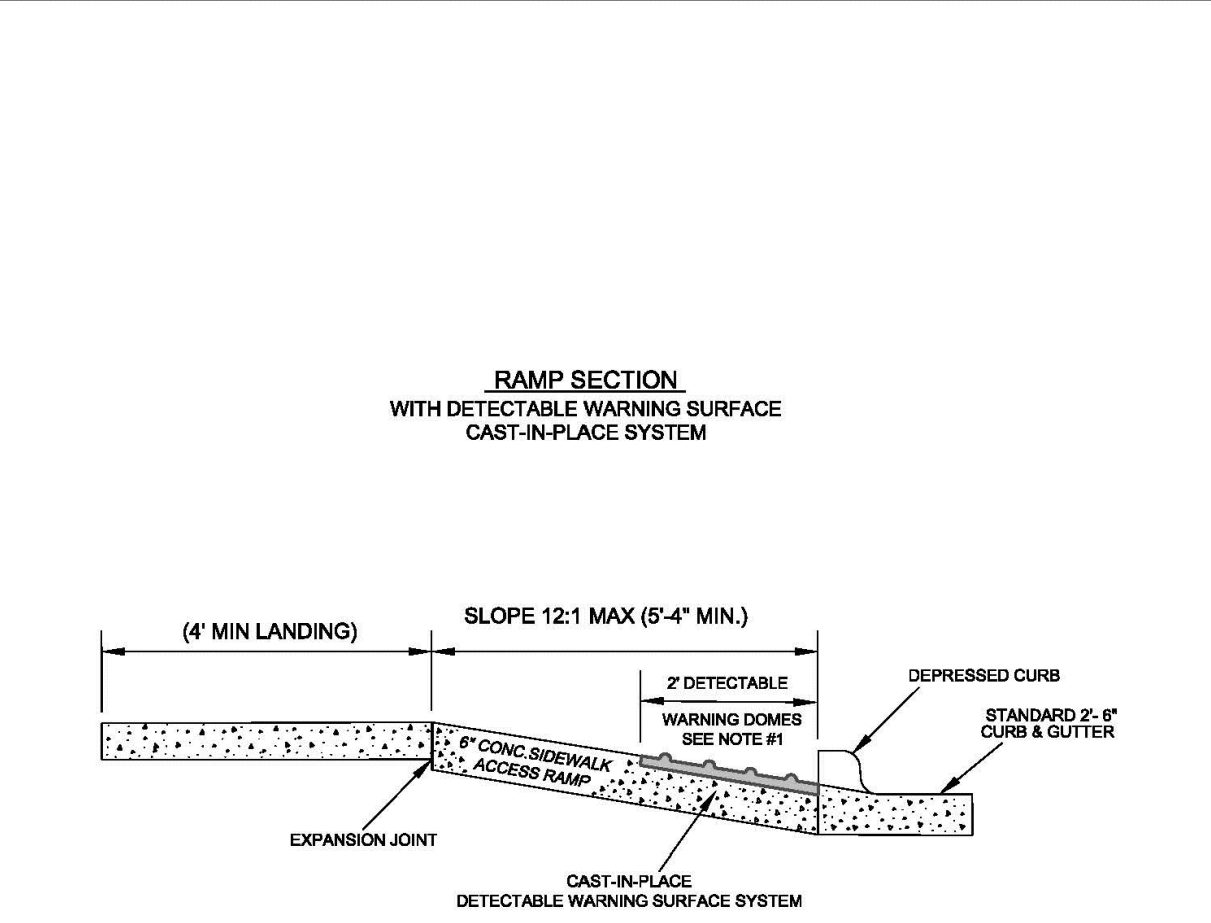
CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

DETECTABLE WARNING SURFACE PAVERS

T-20.04.2

- NOTES:
- DETECTABLE WARNING DOMES SHALL COVER 2" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL. SIZE OF PAVER SHALL BE 1' X 1'.
 - THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.



RAMP SECTION WITH DETECTABLE WARNING SURFACE CAST-IN-PLACE SYSTEM

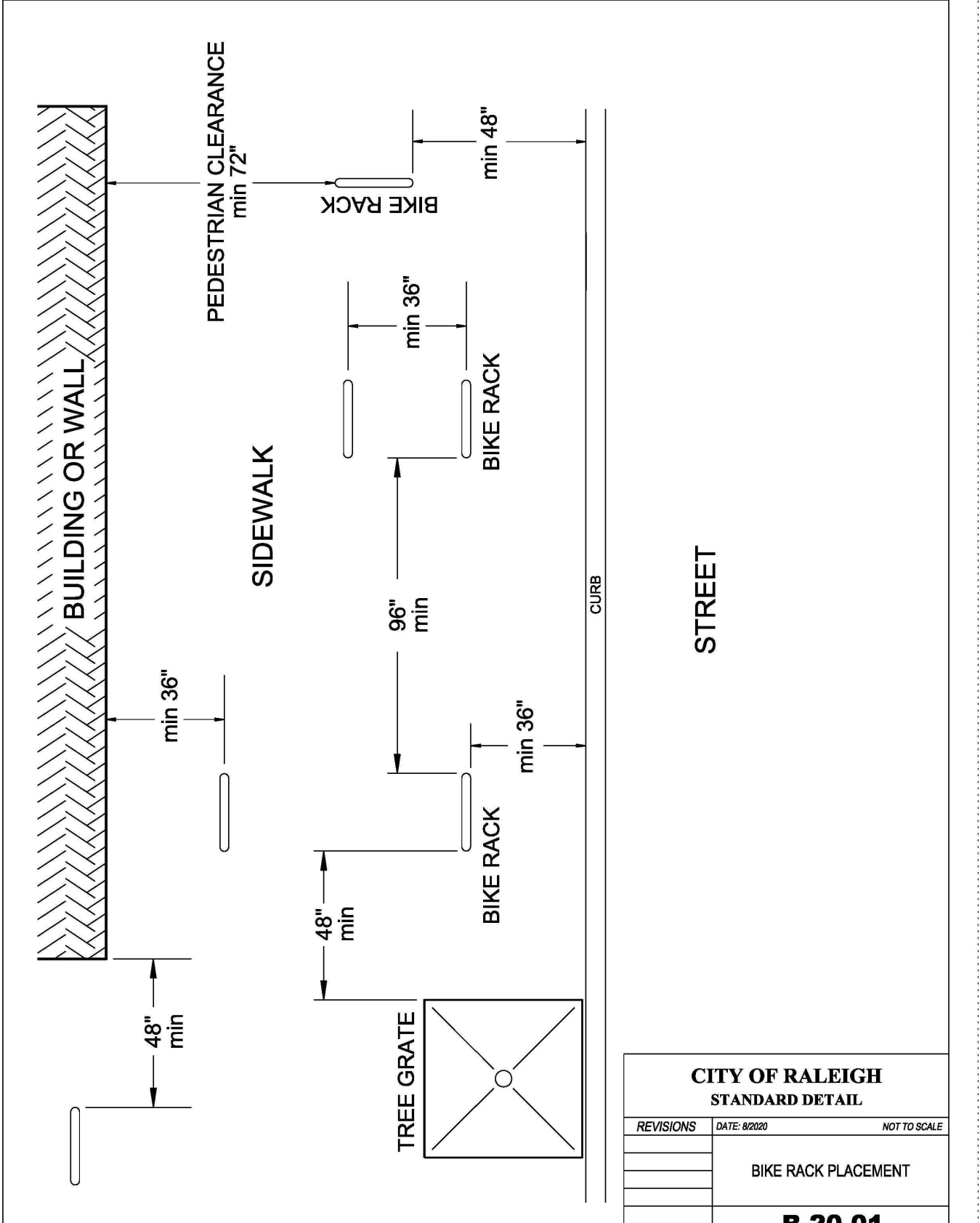
CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

DETECTABLE WARNING CAST-IN-PLACE

T-20.04.4

- NOTES:
- DETECTABLE WARNING DOMES SHALL COVER 2" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL.
 - THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.

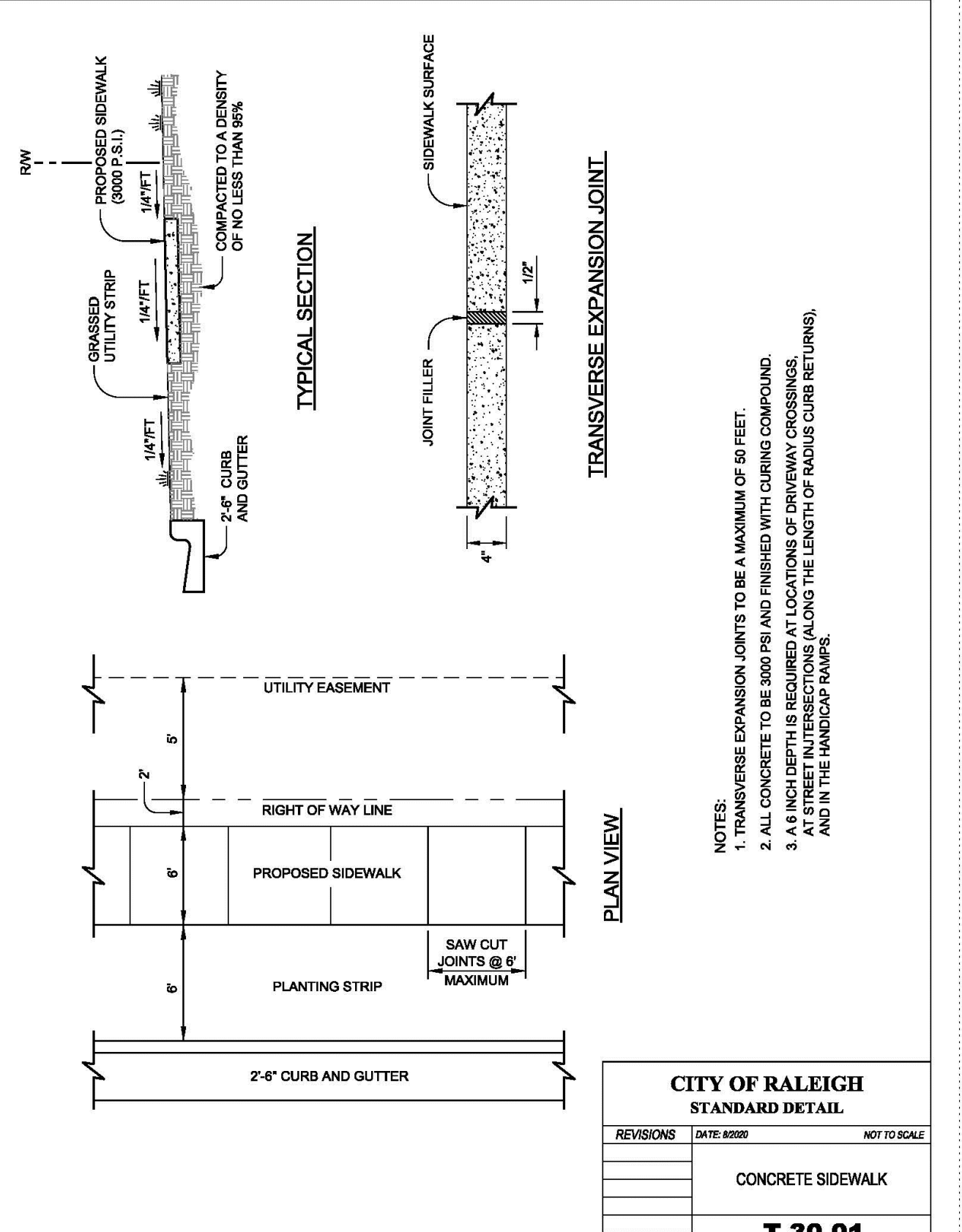


CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

BIKE RACK PLACEMENT

B-20.01



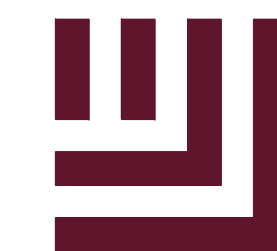
CITY OF RALEIGH
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

CONCRETE SIDEWALK

T-30.01

- NOTES:
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
 - ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
 - AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.



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CLIENT

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3015 CARRINGTON MILL BLVD
SUITE 460
RALEIGH, NORTH CAROLINA 27560



BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607



REVISIONS

NO. DATE

PLAN INFORMATION

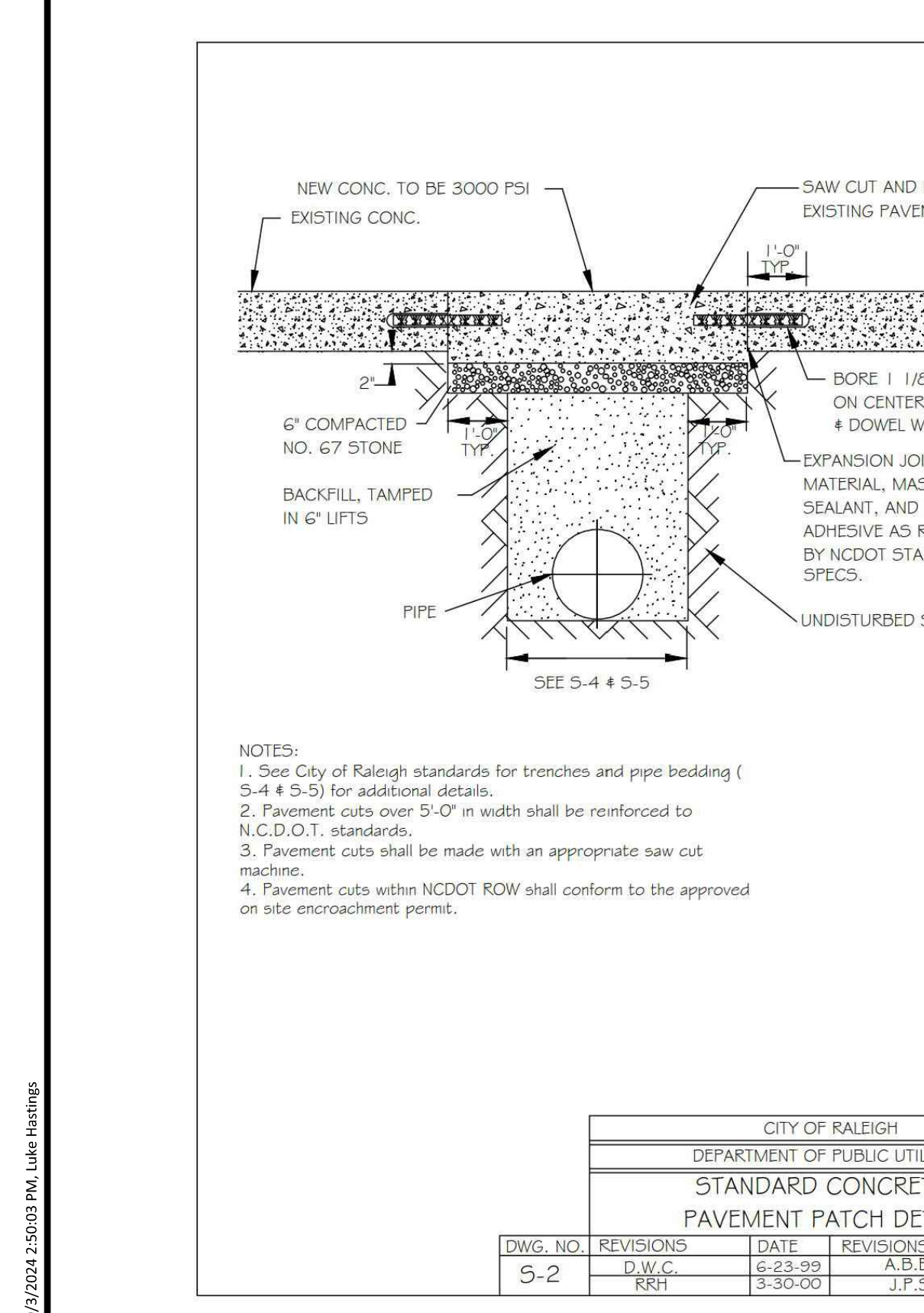
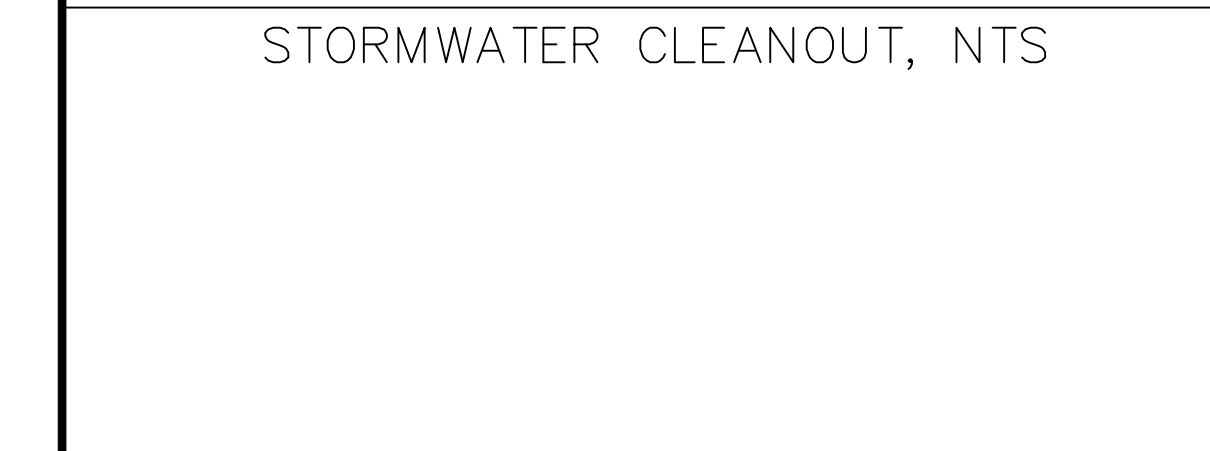
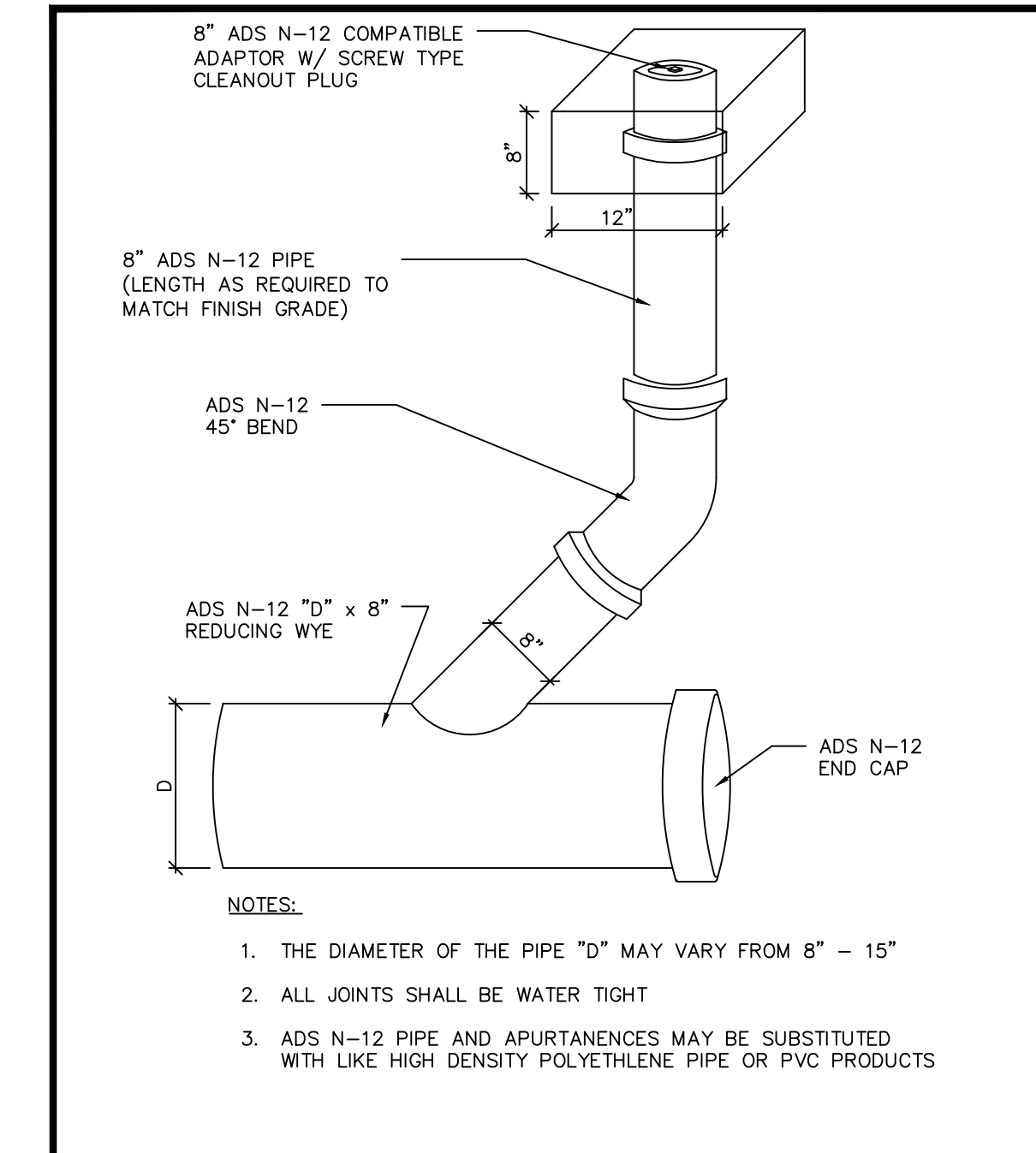
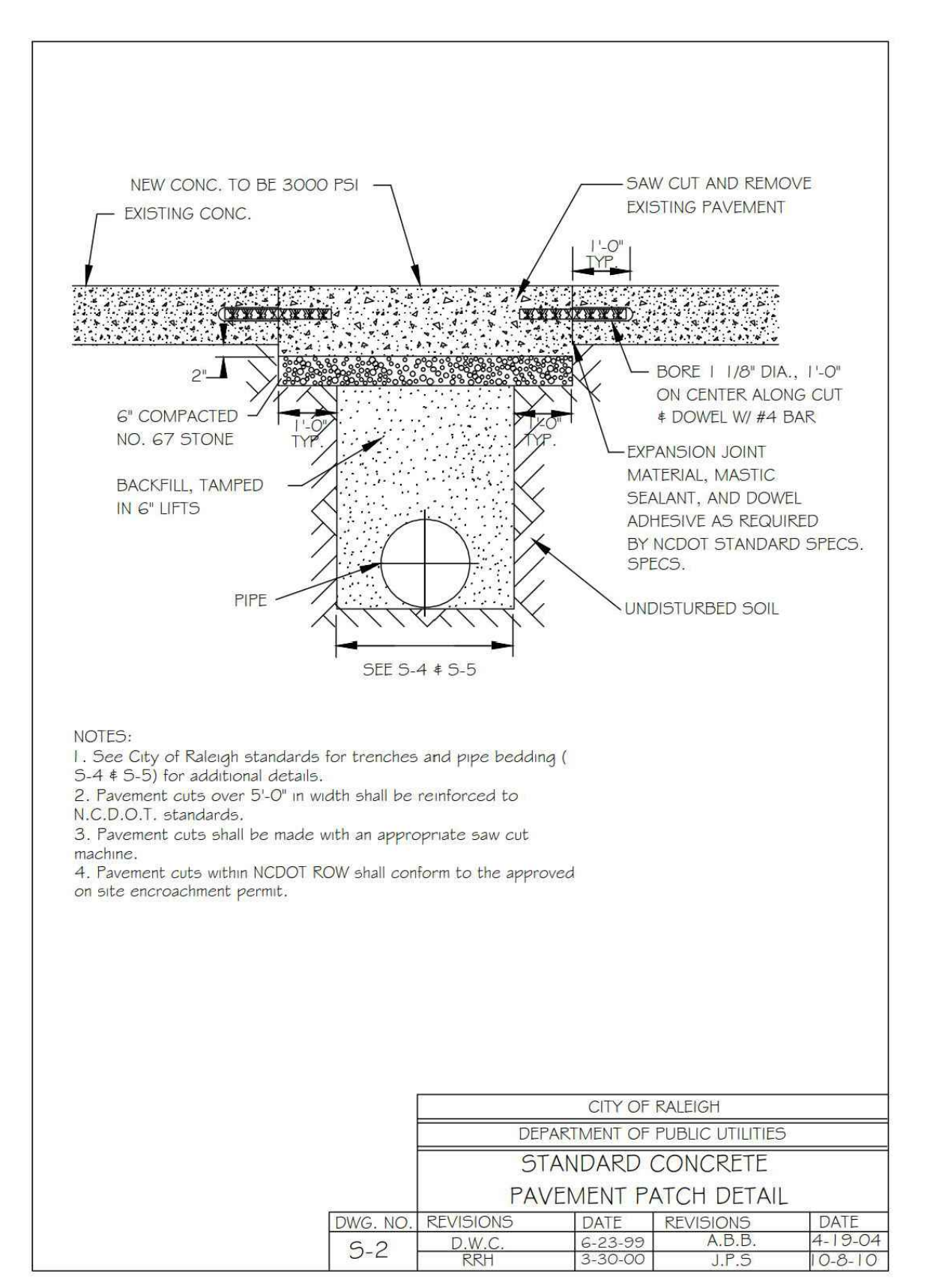
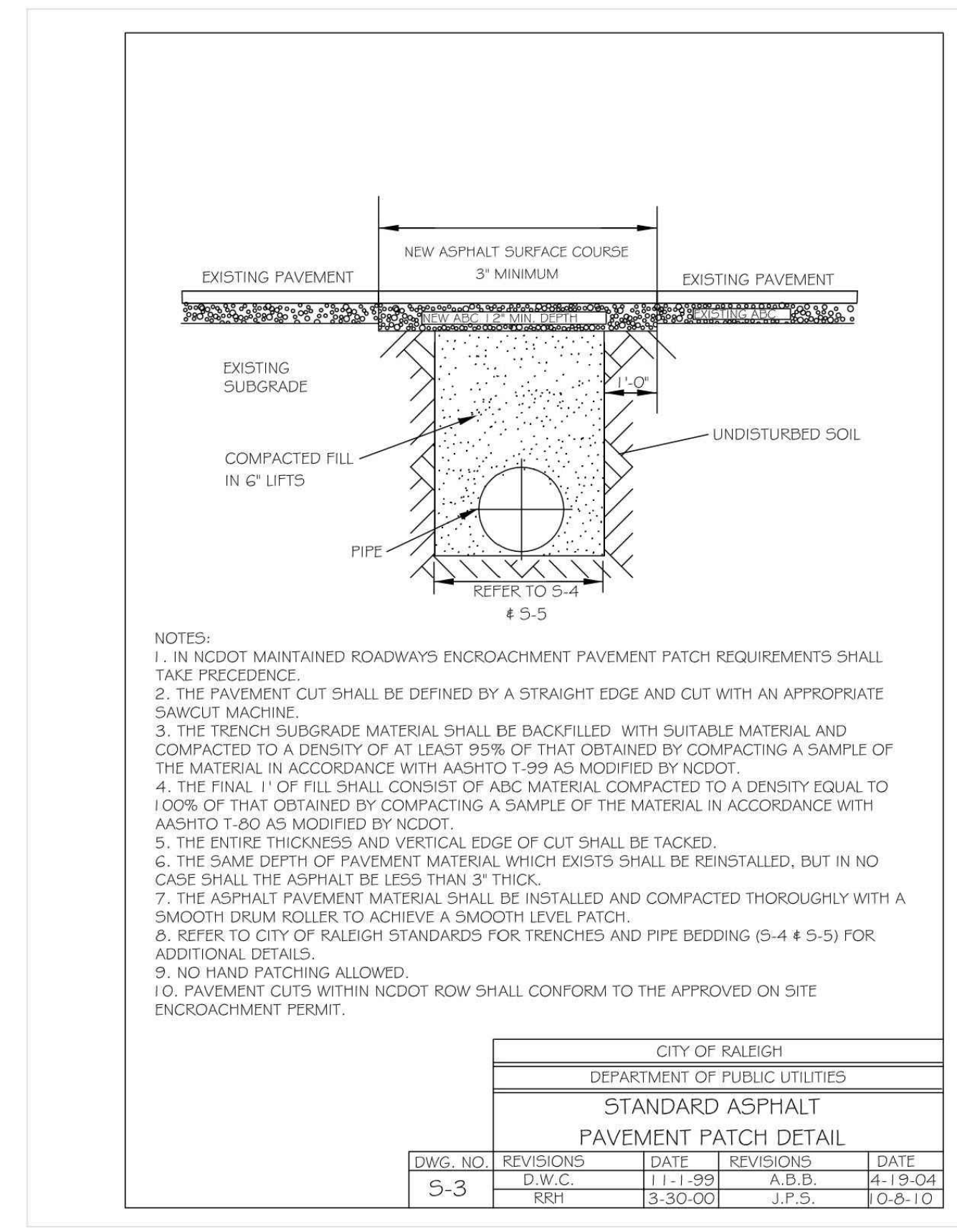
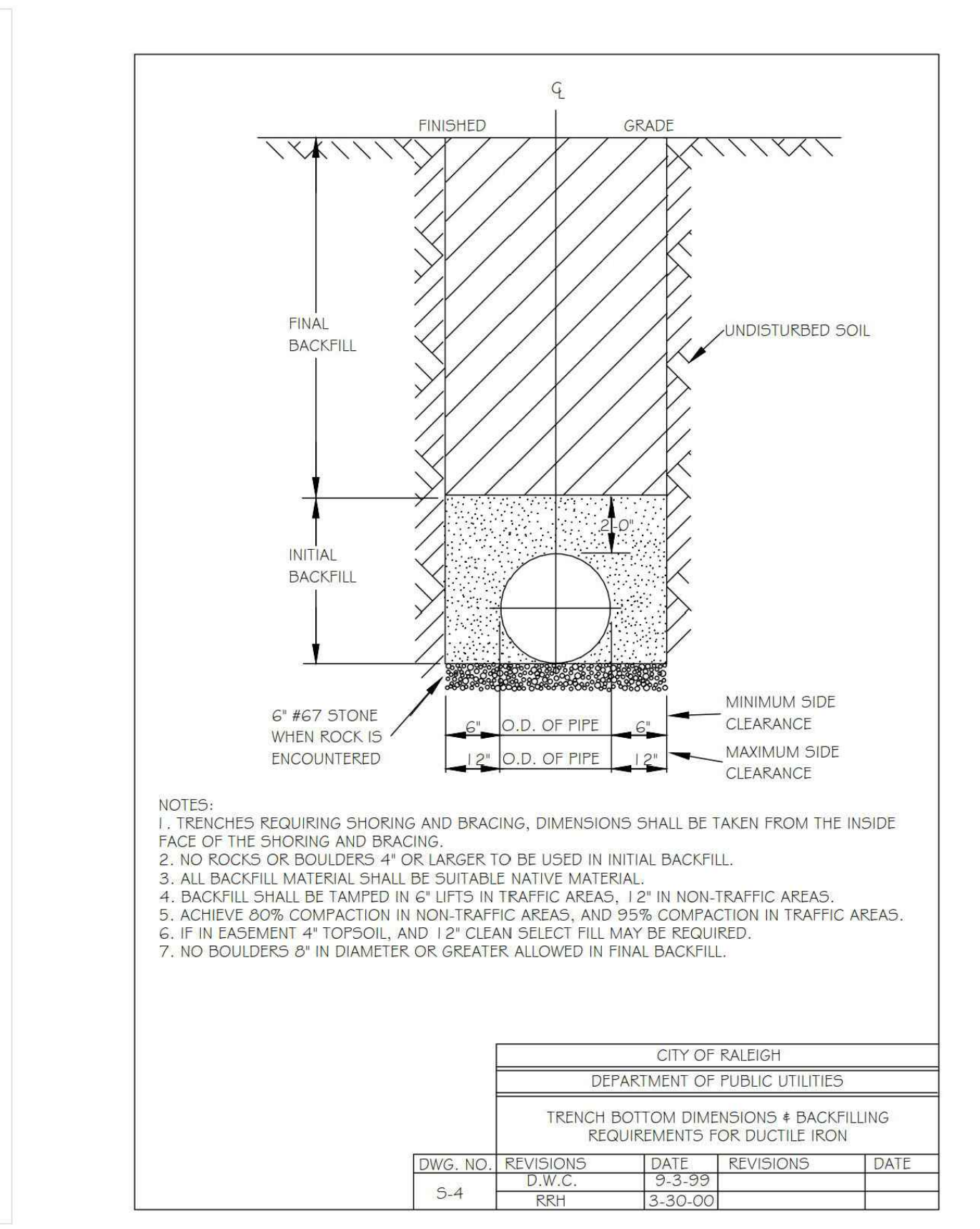
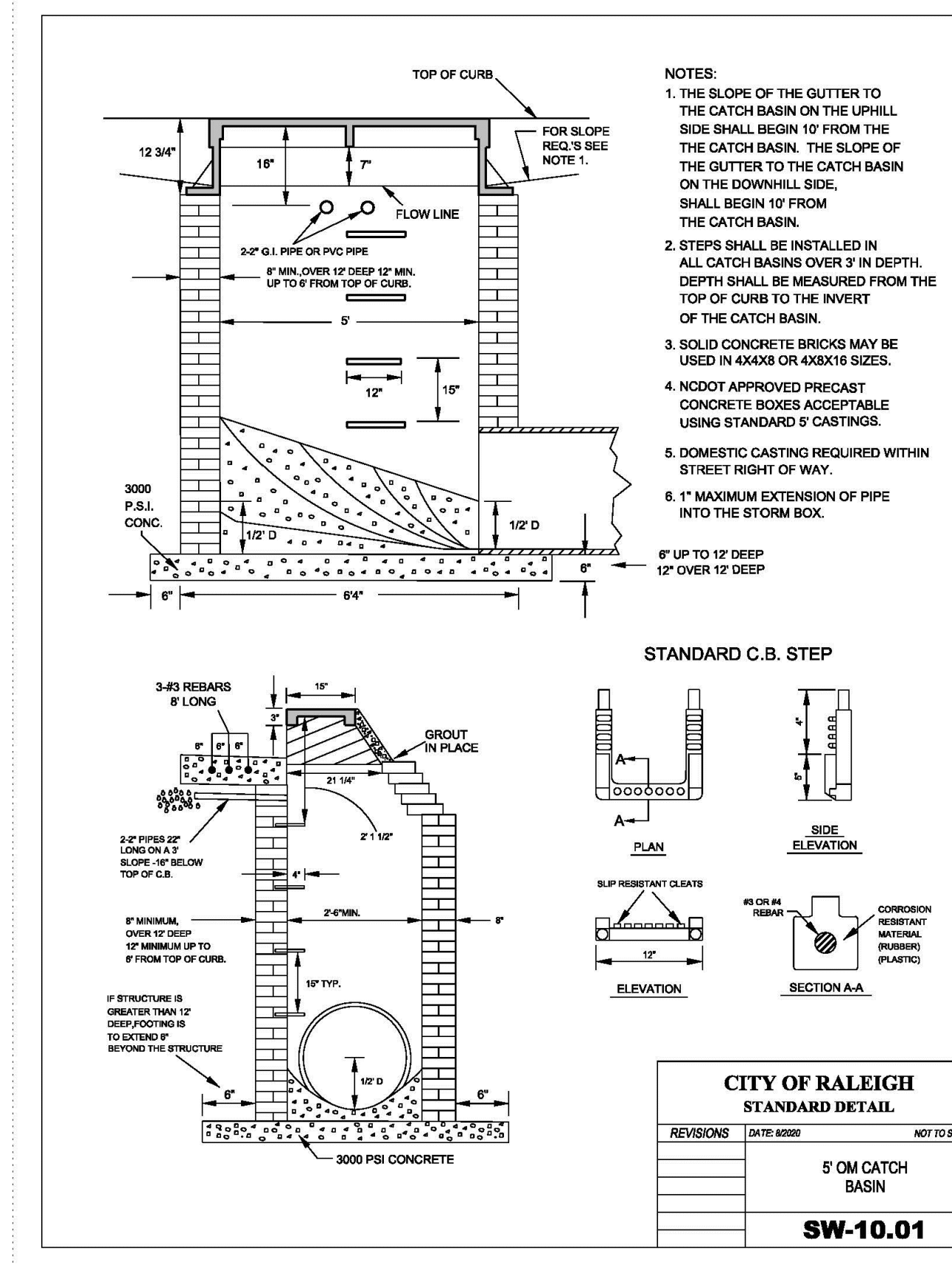
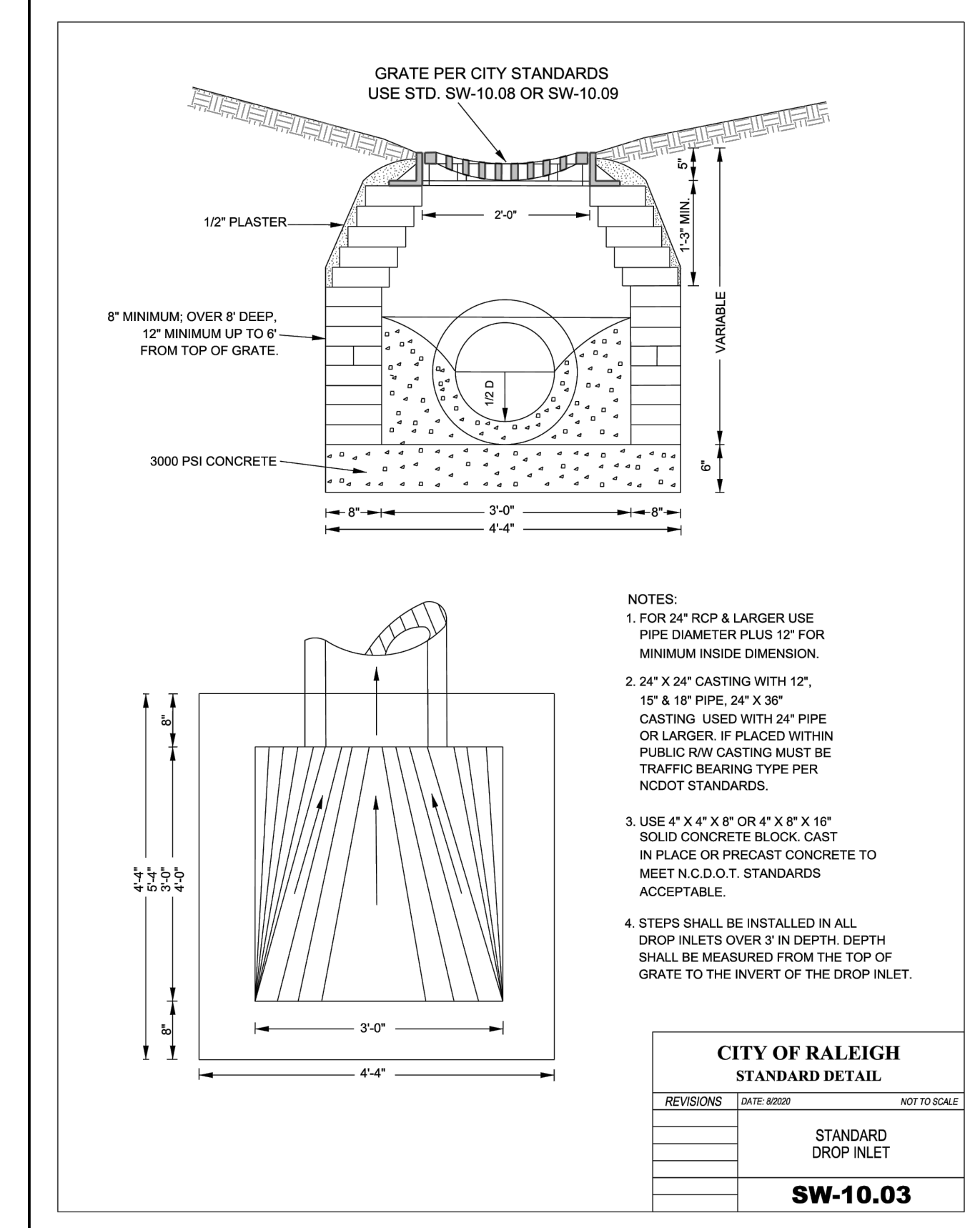
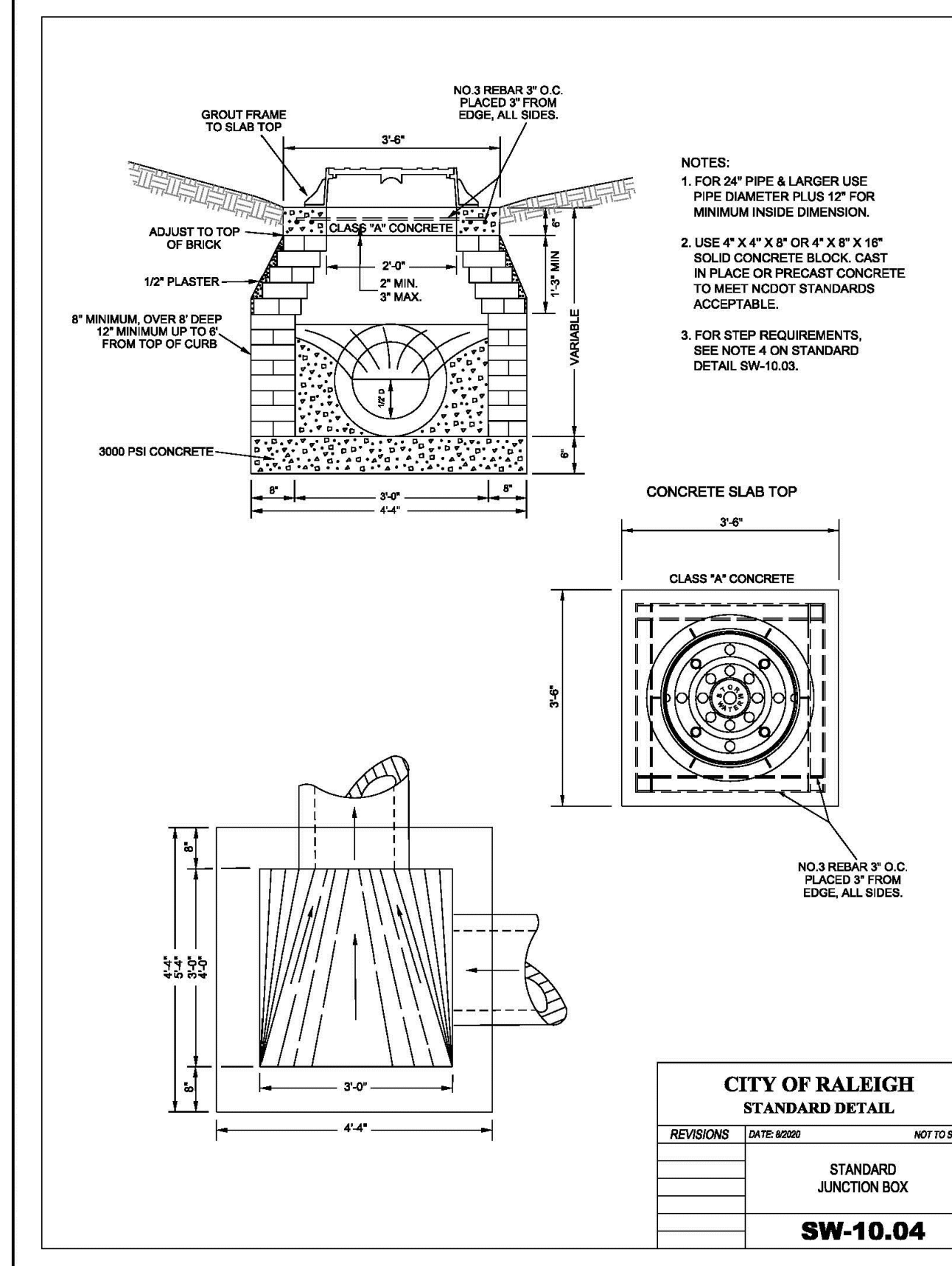
PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-D1
CHECKED BY
DRAWN BY
SCALE N/A
DATE 09.06.2024

SHEET

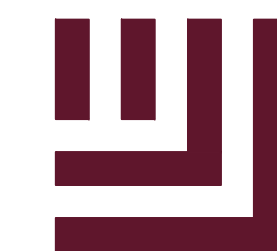
STORM DRAINAGE
DETAILS

C8.02

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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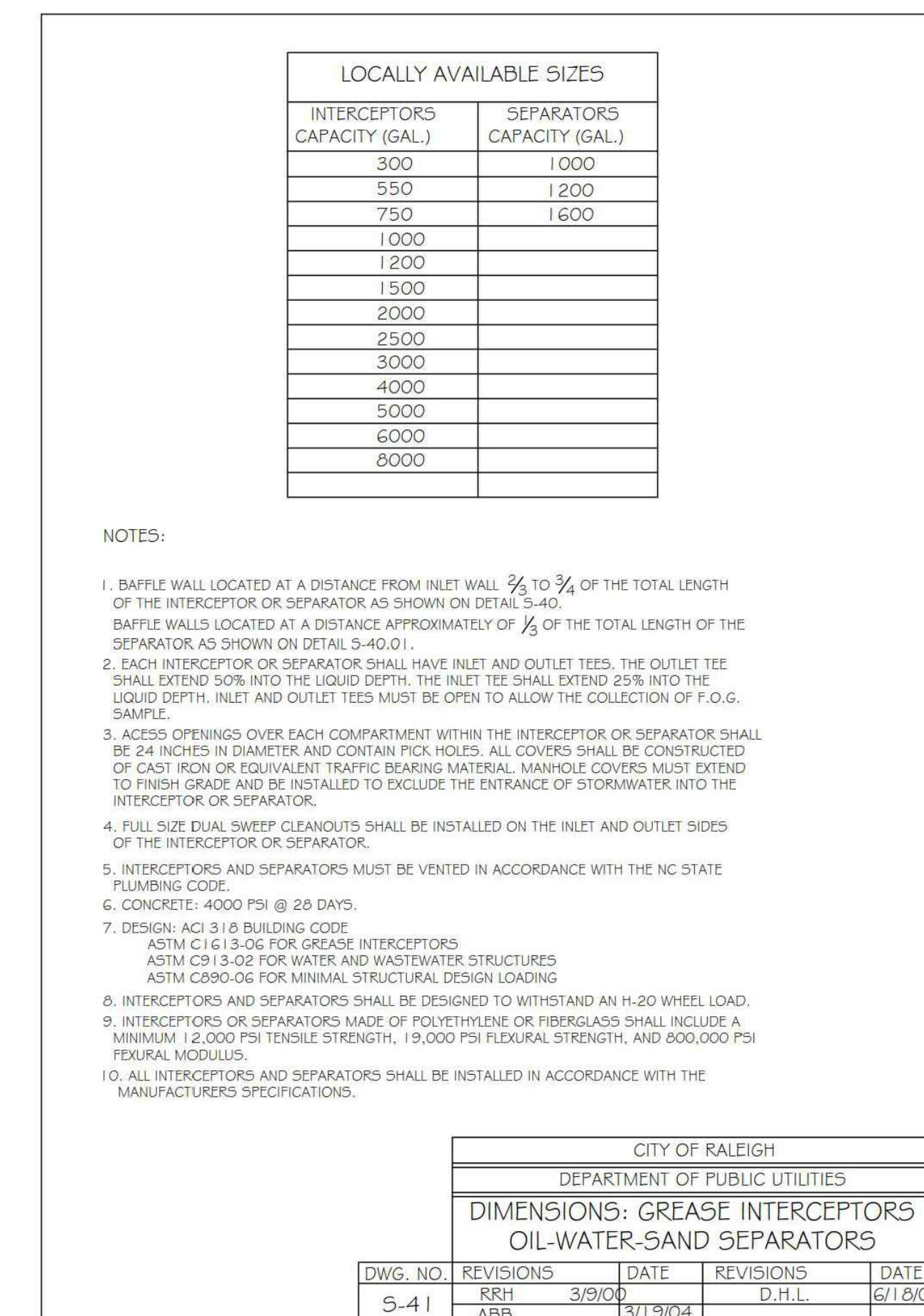
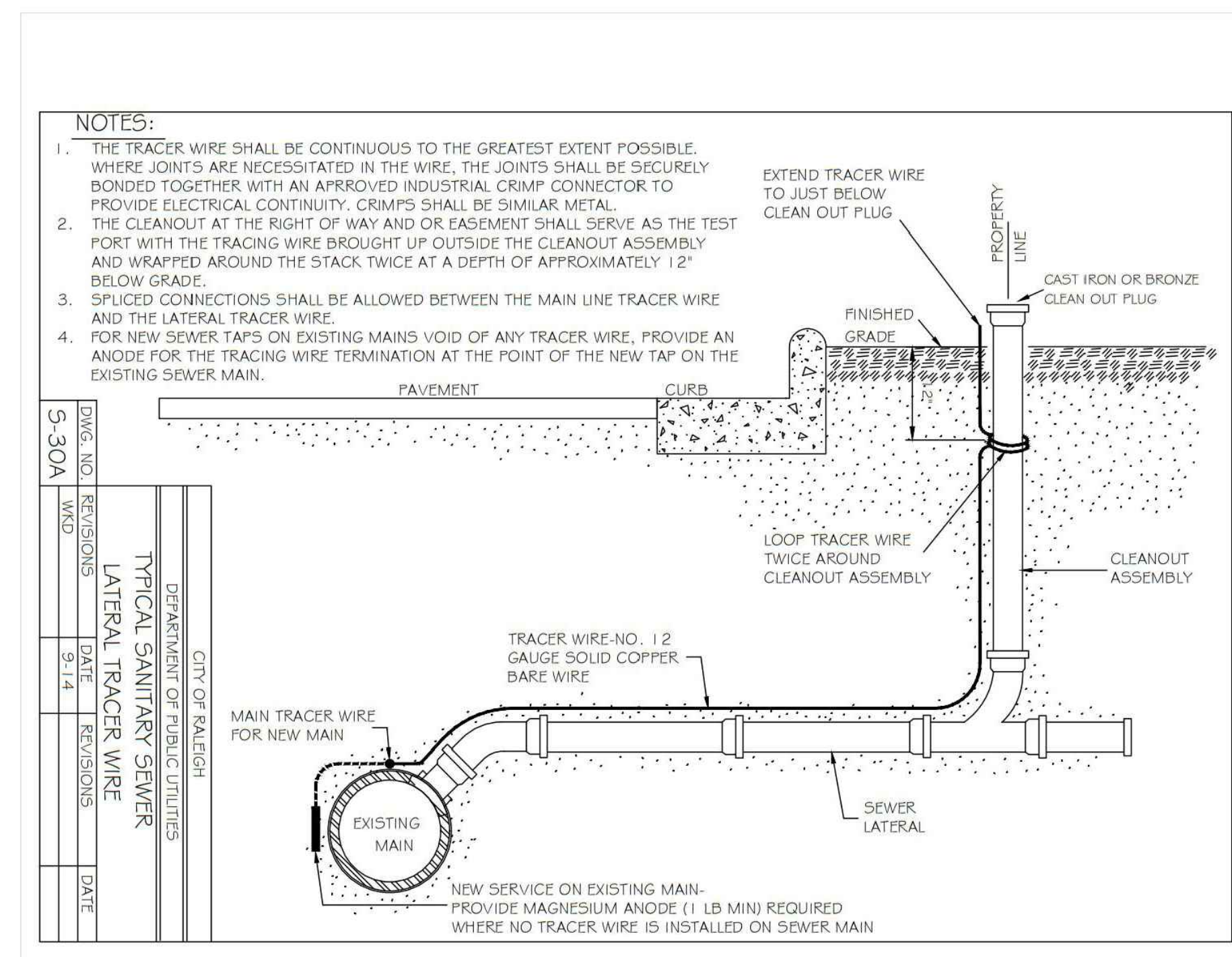
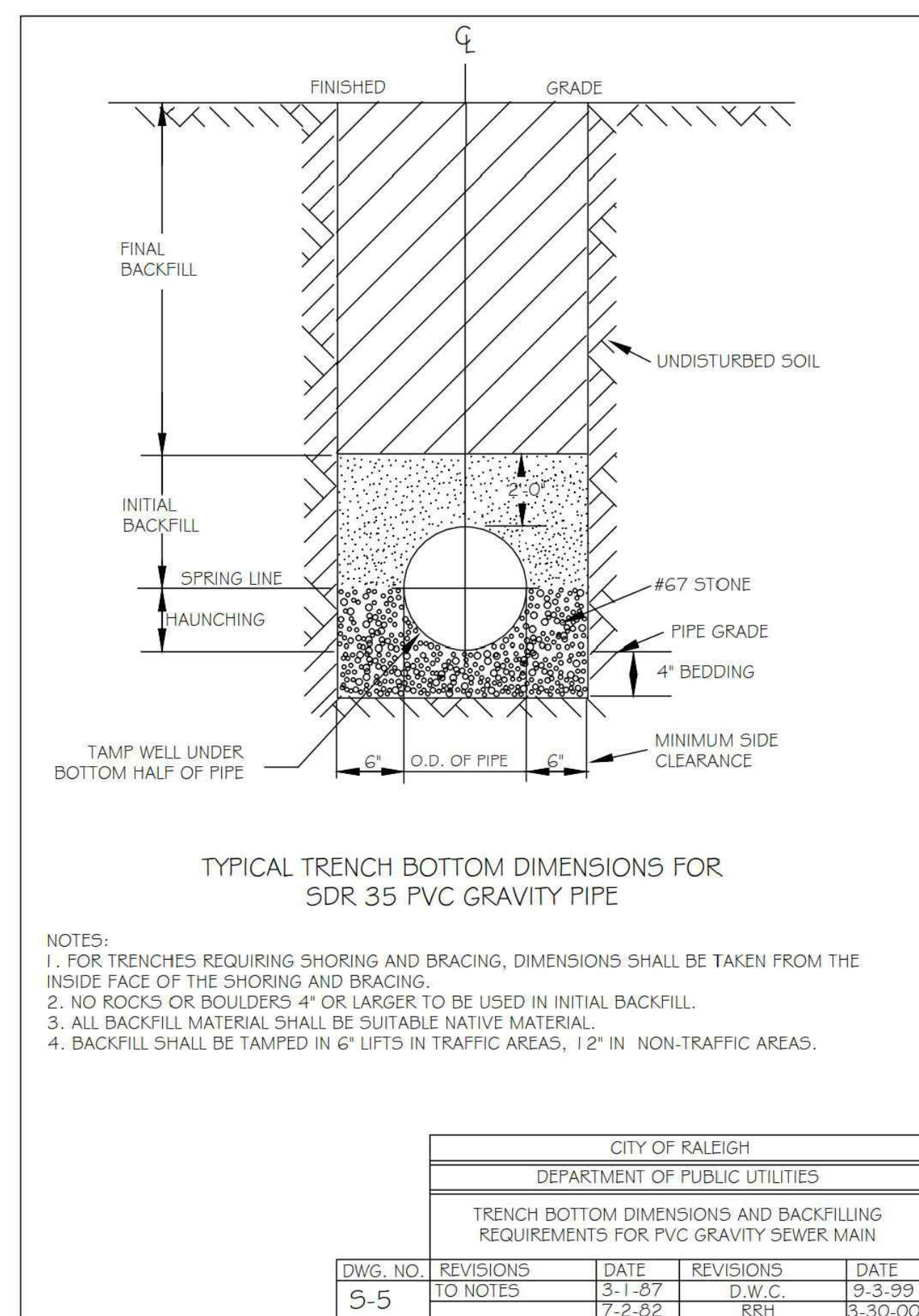
www.mcadamsco.com

CLIENT

NORTHWOOD RAVIN LLC
3015 CARRINGTON MILL BLVD
SUITE 460
RALEIGH, NORTH CAROLINA 27560



BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607



REVISIONS

NO. DATE

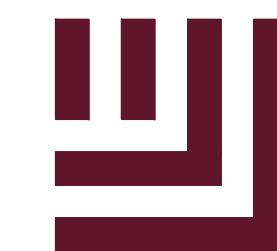
PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-01
CHECKED BY
DRAWN BY
SCALE N/A
DATE 09.06.2024

SHEET

SANITARY SEWER
DETAILS

C8.03



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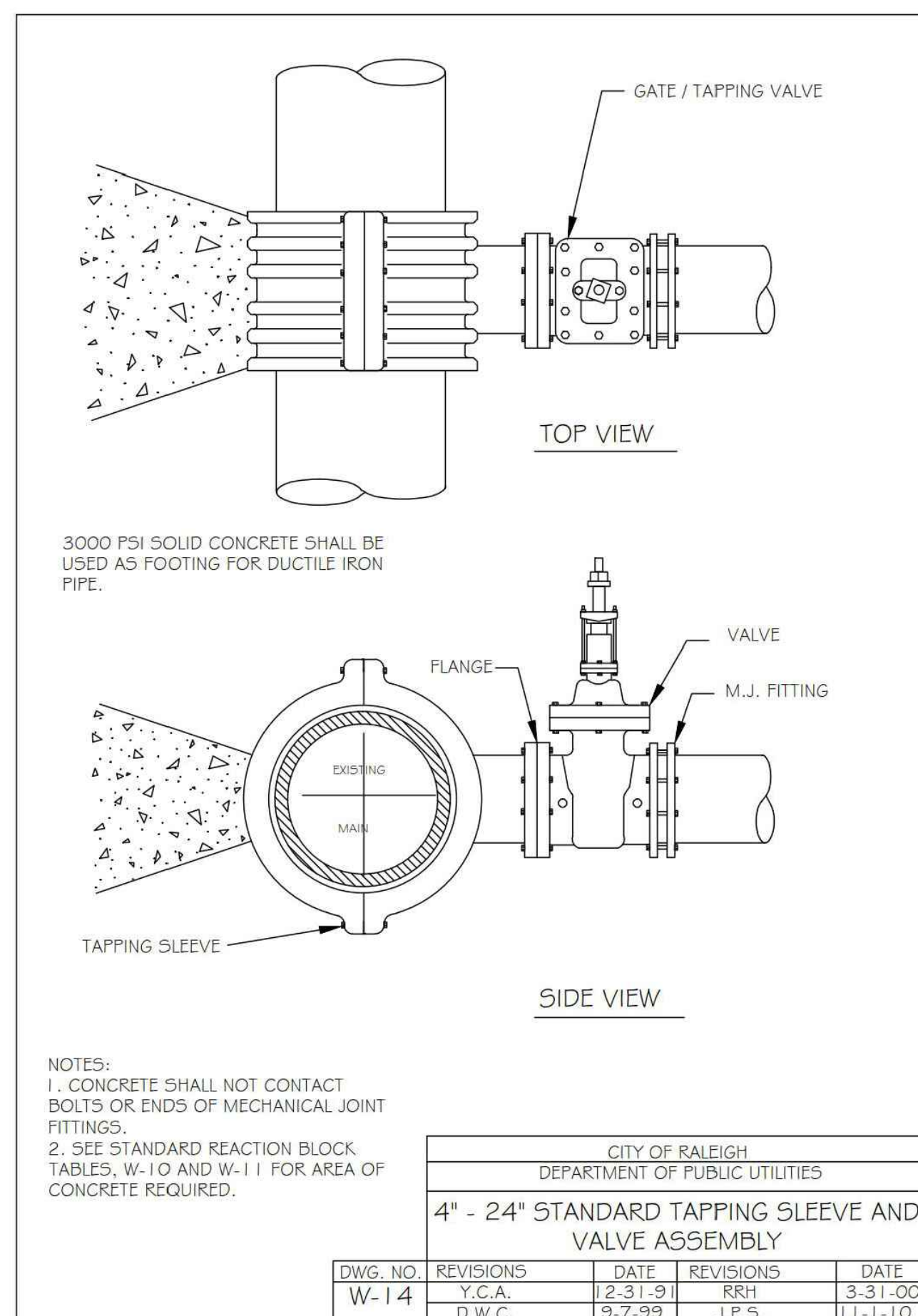
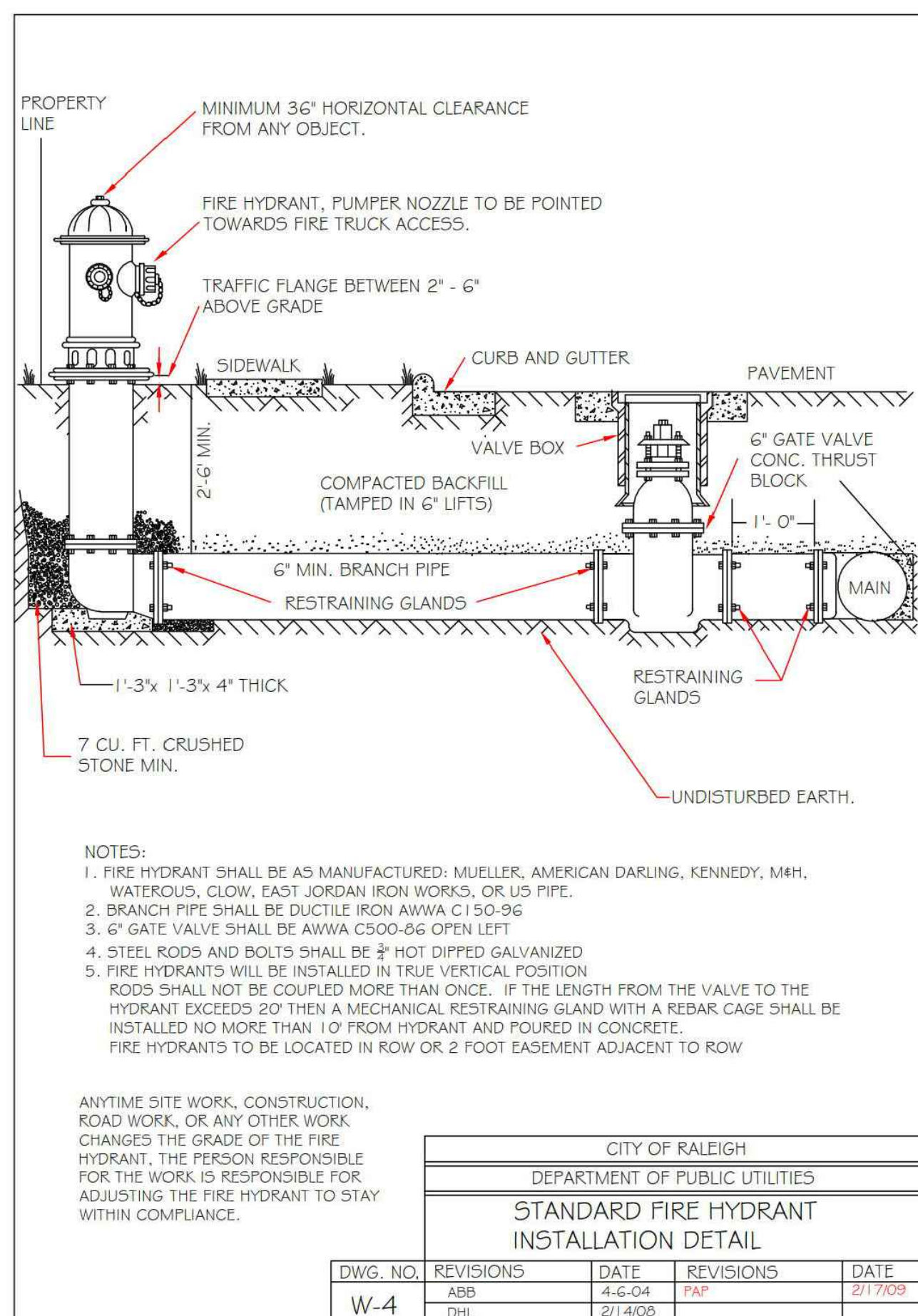
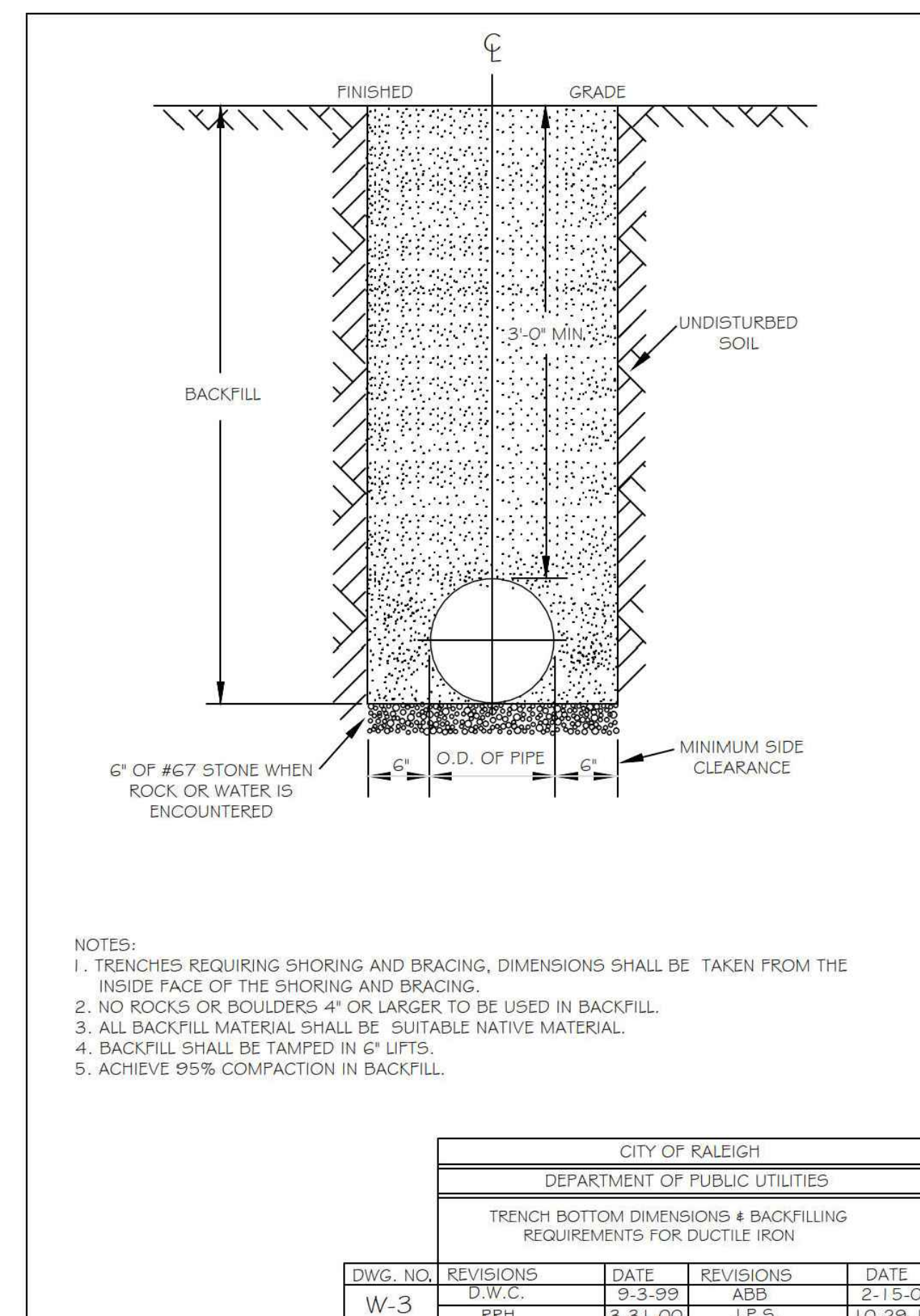
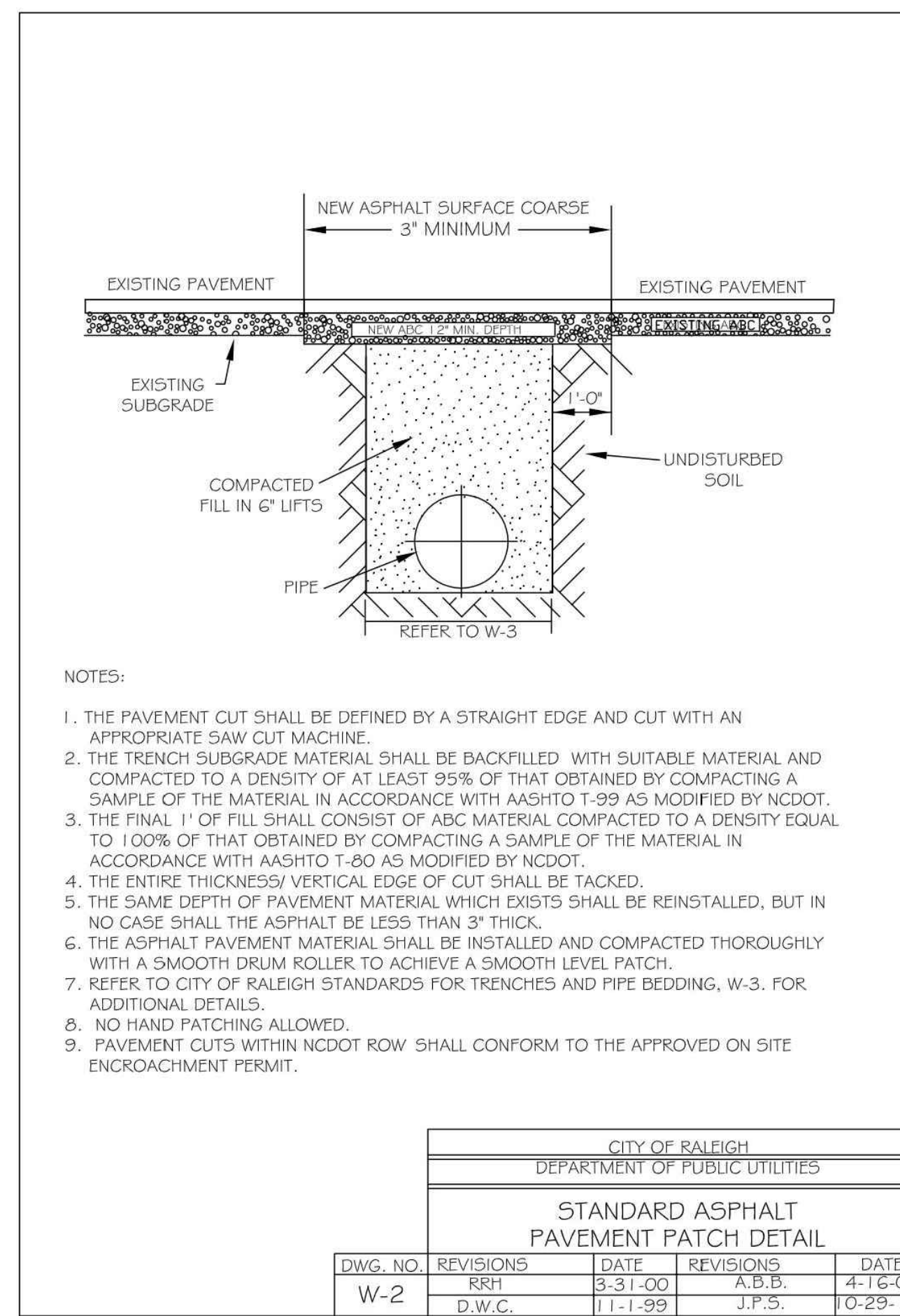
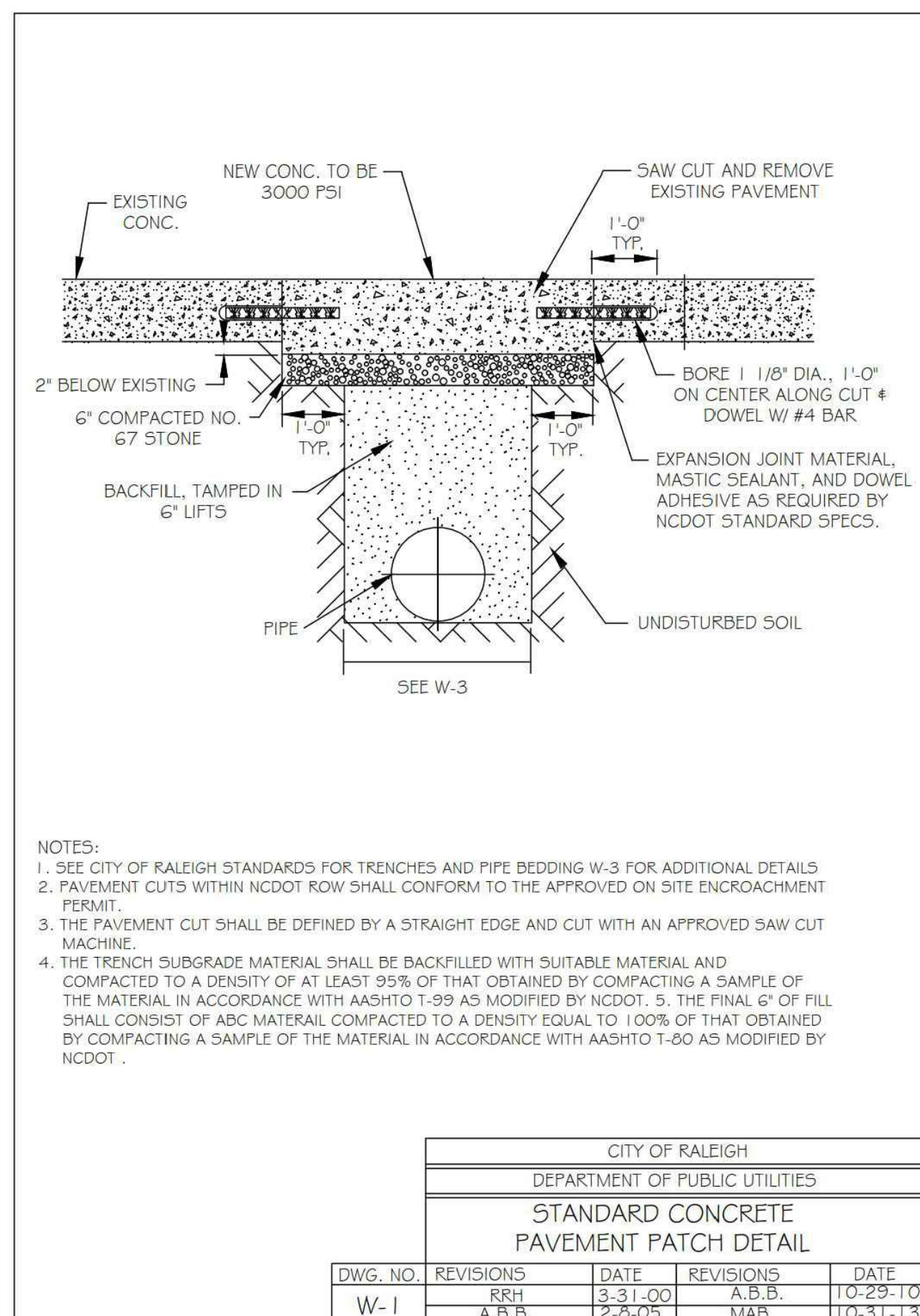
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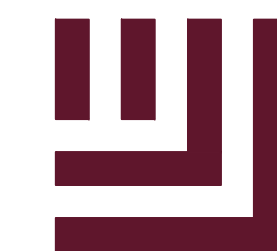
PLAN INFORMATION

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FILENAME RAV23003-ASR-D1
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SHEET

WATER DETAILS

C8.04



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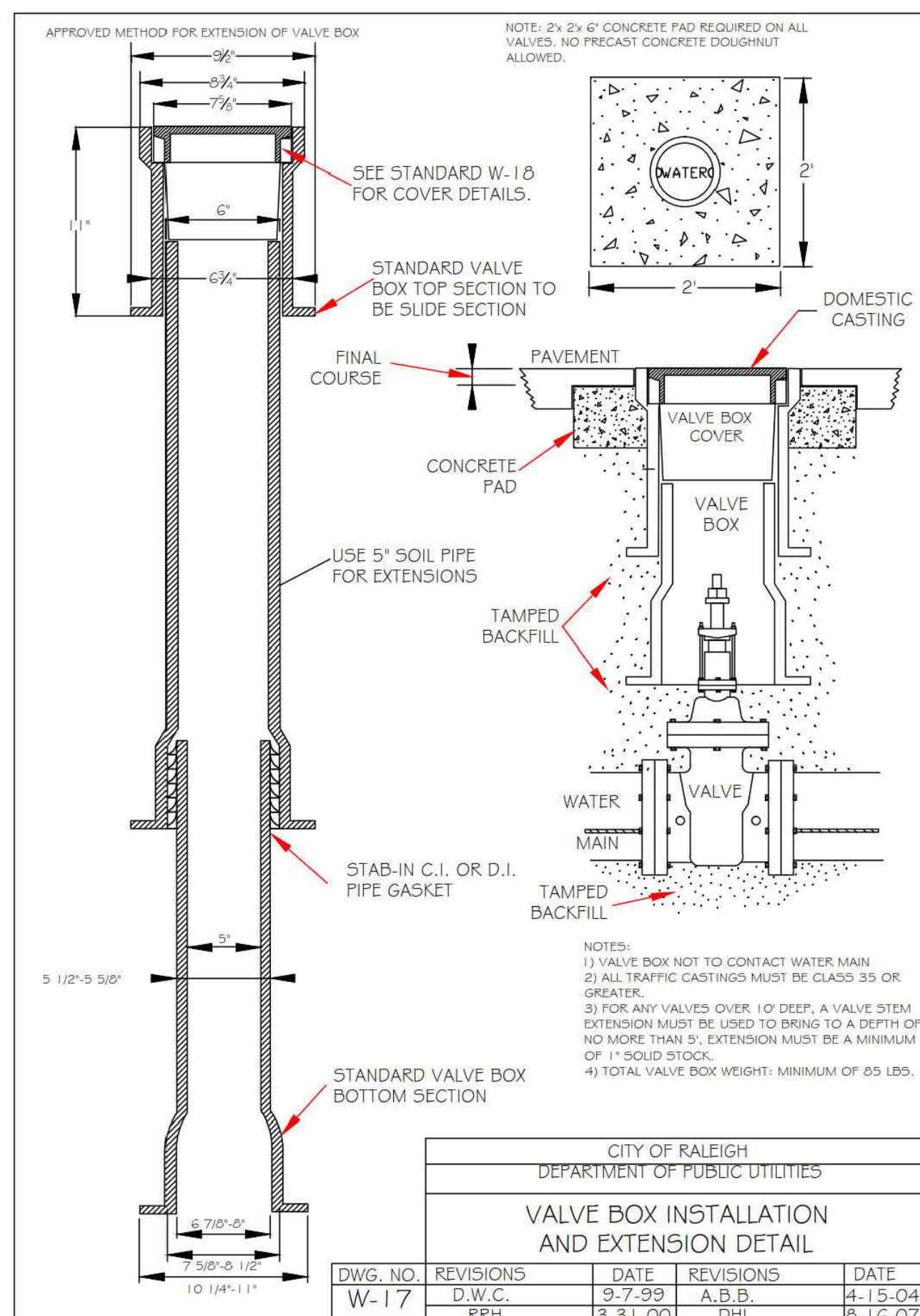


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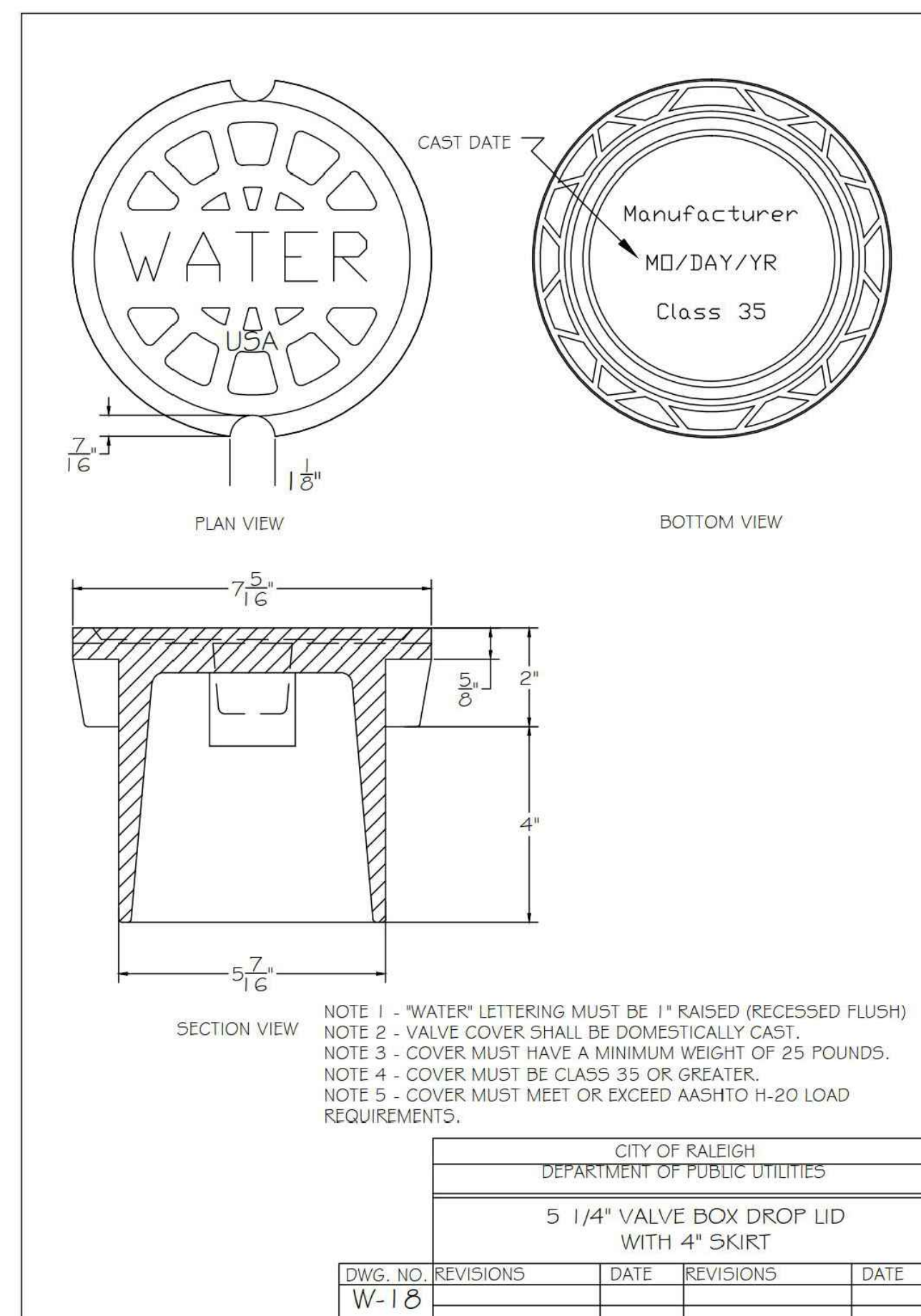


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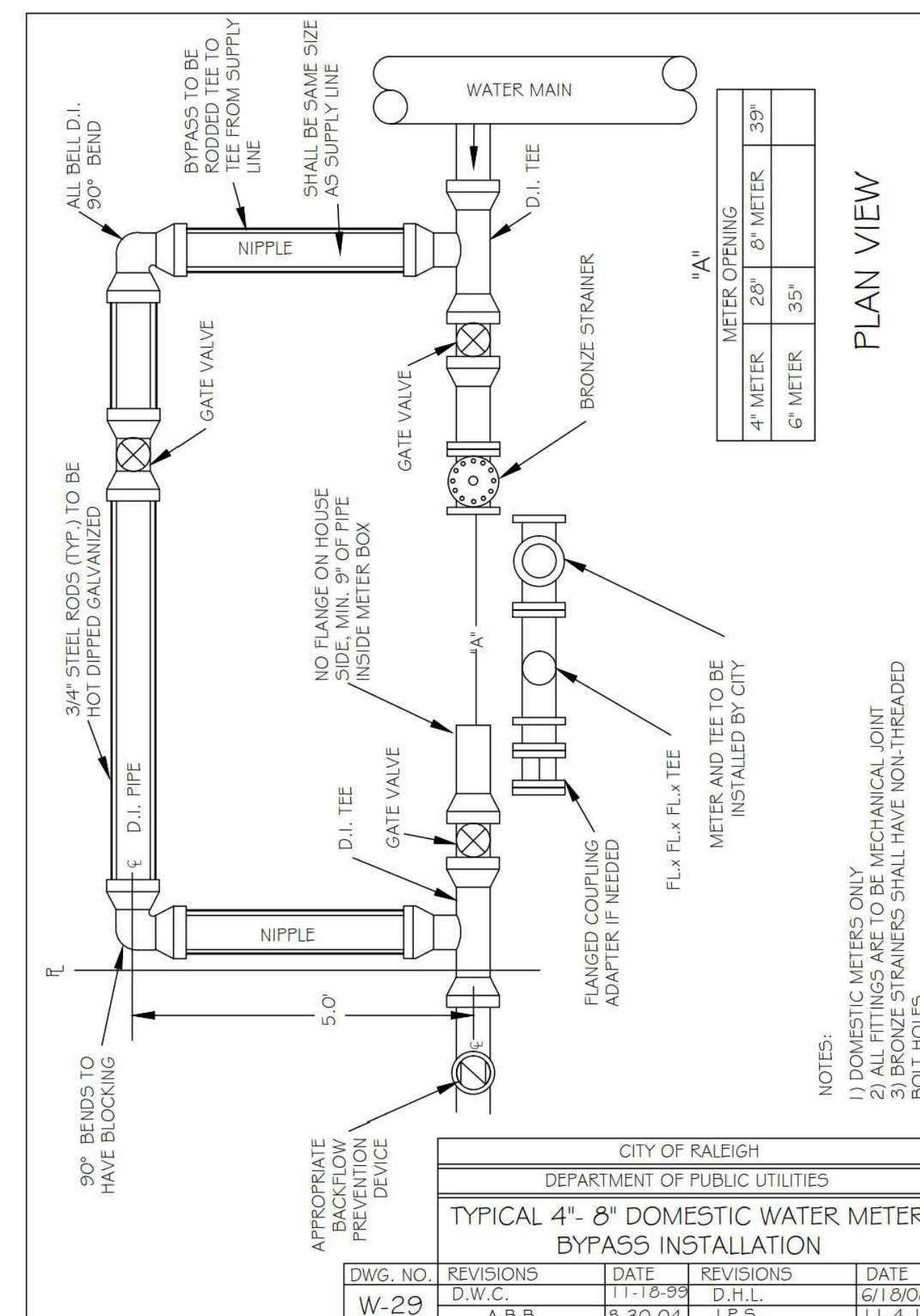


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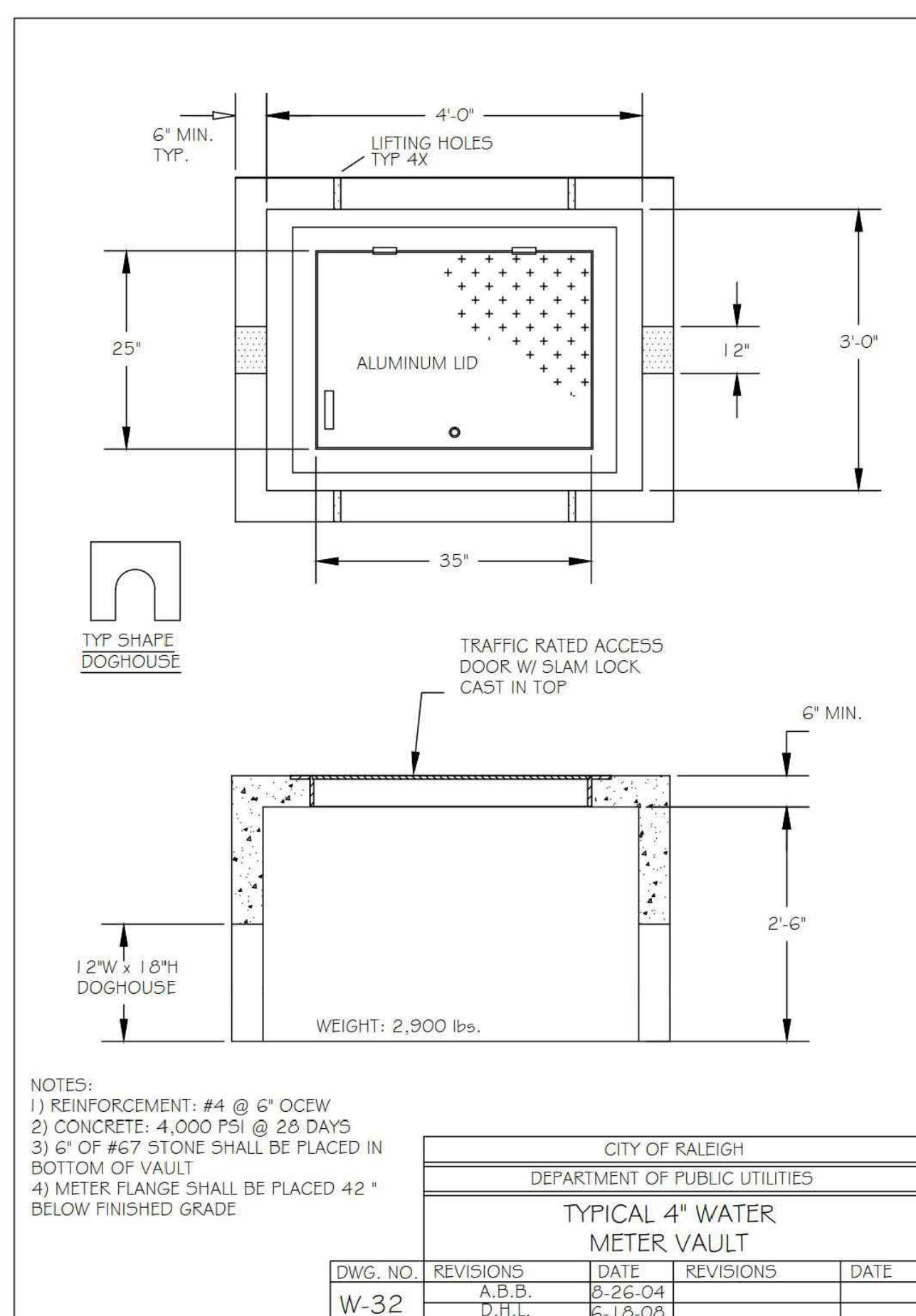


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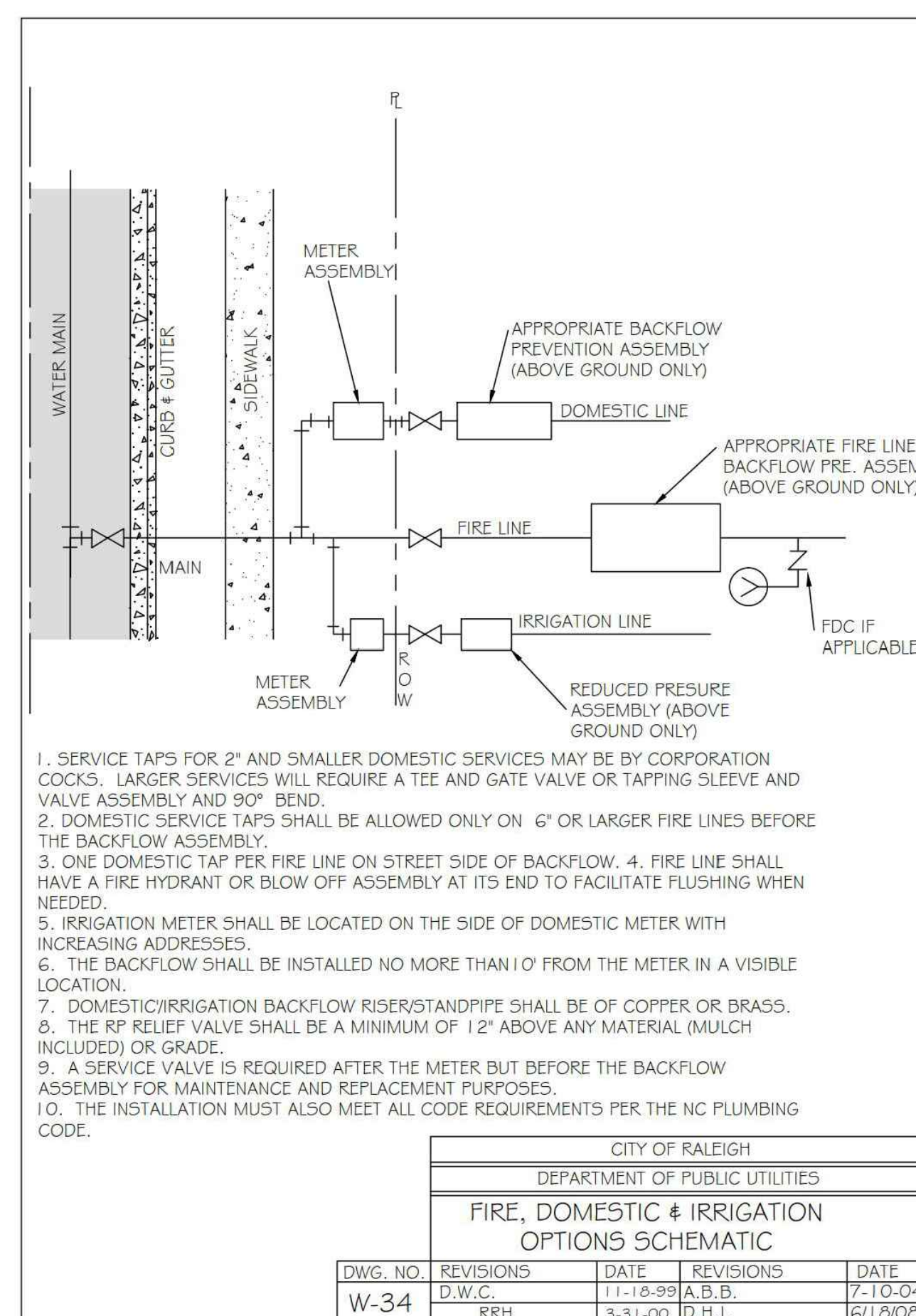
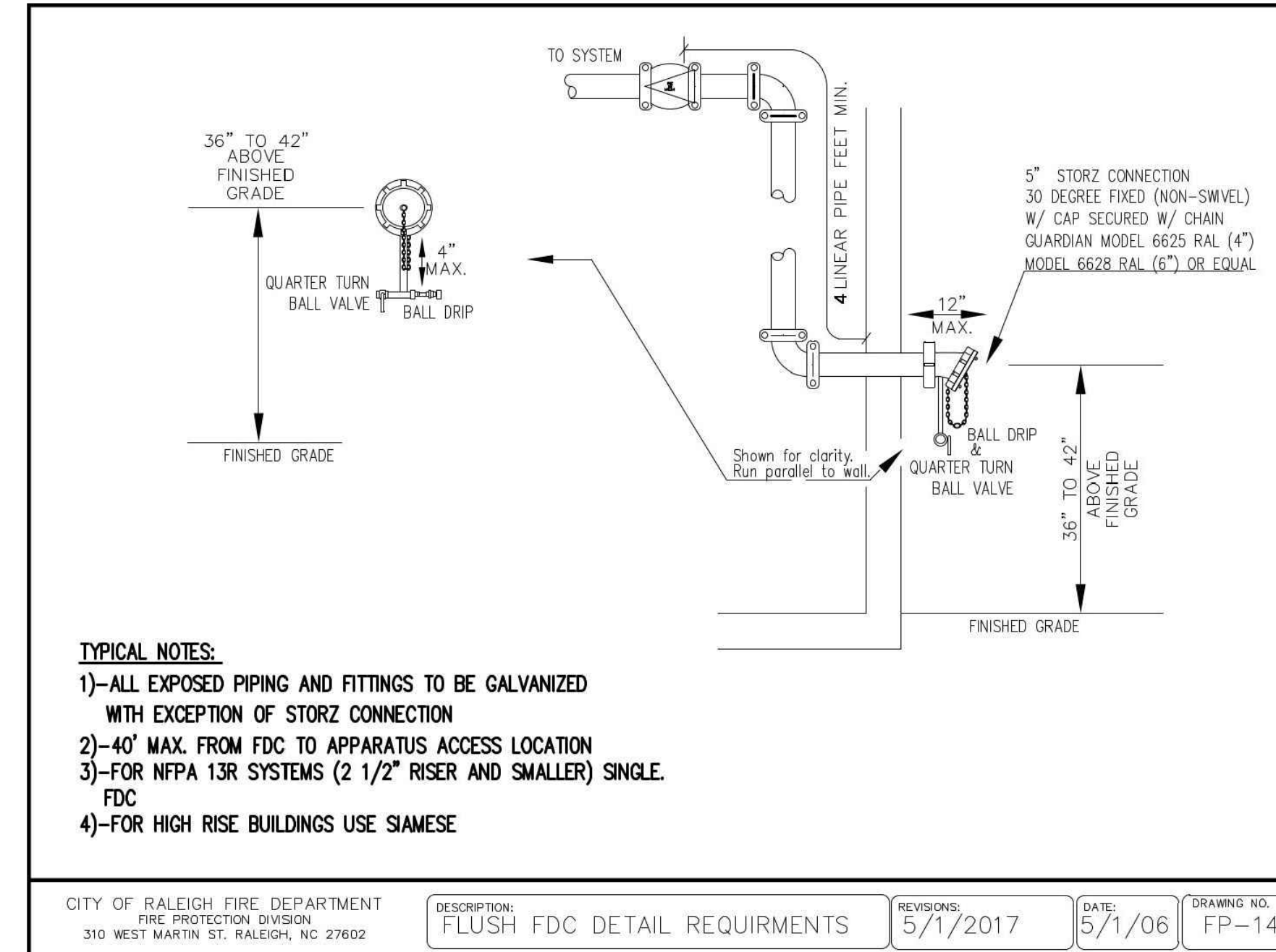


Table with 5 columns: DWG. NO., REVISIONS, DATE, REVISIONS, DATE. Includes revision history for DWG. NO. W-34.



TYPICAL NOTES:
1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
2)-40" MAX. FROM FDC TO APPARATUS ACCESS LOCATION
3)-FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
4)-FOR HIGH RISE BUILDINGS USE SIAMESE

Table with 5 columns: CITY OF RALEIGH FIRE DEPARTMENT, DESCRIPTION, REVISIONS, DATE, DRAWING NO. Includes revision history for DWG. NO. W-34.

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-D1
CHECKED BY
DRAWN BY
SCALE N/A
DATE 09.06.2024

SHEET

WATER DETAILS

C8.05

STORMWATER CONTROL MEASURE 'A' CONSTRUCTION SPECIFICATIONS

GENERAL NOTES

1. ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
2. PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE STORMWATER AND STORMFILTER VAULTS WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS THE STORMWATER AND STORMFILTER VAULTS PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
3. THE STORMWATER AND STORMFILTER VAULTS SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
4. PRIOR TO PLACING THE STORMFILTER CARTRIDGES WITHIN THE VAULT, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO ENSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL REPLACE, AS NECESSARY, THE STORMFILTER CARTRIDGES NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE SHOULD THE STORMFILTER NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DEPOSITION) DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA.
5. ONCE CONSTRUCTED, THE STORMWATER AND STORMFILTER VAULTS SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREAS TO THE STORMWATER AND STORMFILTER VAULTS HAVE BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
6. ALL COMPONENTS OF THE STORMWATER AND STORMFILTER VAULTS (JOINT/RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. PRIOR TO ORDERING OR INSTALLATION, THE SITE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN NORTH CAROLINA, TO THE DESIGN ENGINEER FOR REVIEW. THE STRUCTURAL DESIGN OF THE STORMWATER AND STORMFILTER VAULTS, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. McADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE STORMWATER AND STORMFILTER VAULTS.
7. THE STRUCTURAL DESIGN FOR THE STORMWATER AND STORMFILTER VAULTS SHALL INCLUDE A FOUNDATION DRAIN (DESIGN BY OTHERS). THE FOUNDATION DRAINS SHALL BE PLACED ON ALL FOUR SIDES OF THE STORMWATER AND STORMFILTER VAULTS WITHIN THE FOUNDATION (NOT DIRECTLY BENEATH). THE FOUNDATION DRAIN SYSTEM SHALL TIE TO THE NEAREST STORM SEWER INLET WITH INVERT LOWER THAN THE INVERT OF THE FOUNDATION DRAIN. THE FOUNDATION DRAIN SYSTEM DESIGN SHALL BE INCLUDED WITH THE STORMWATER AND STORMFILTER VAULTS SHOP DRAWINGS SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
8. ALL PIPE/RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE STORMWATER AND STORMFILTER VAULTS SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE INCLUDED WITH THE SHOP DRAWINGS SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
9. INVERTS OF ALL CONCRETE STORM DRAINAGE MANHOLE STRUCTURES SHALL BE FORMED WITH NON-SHRINK GROUT TO THE INVERT ELEVATION OF THE LOWEST PIPE.
10. ALL PIPE PENETRATIONS THROUGH CONCRETE STRUCTURES SHALL BE MADE WATERTIGHT USING NON-SHRINK CEMENTITIOUS GROUT.
11. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE STORMWATER AND STORMFILTER VAULT SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY). THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDESLOPES ARE STABLE.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY.
13. SCHEDULE A FINAL AS-BUILT INSPECTION AND AS-BUILT SURVEY WITH THE ENGINEER. AN AS-BUILT INSPECTION SHOULD BE SCHEDULED A MINIMUM OF 60 DAYS BEFORE A PERMIT TO IMPOUND IS REQUIRED. ANY COMMENTS OR DEFICIENCIES IN SYSTEM CONSTRUCTION MUST BE CORRECTED TO THE SATISFACTION OF THE ENGINEER AND OWNER BEFORE CERTIFICATION SHALL BE GRANTED. NO WATER SHALL BE IMPOUNDED BEFORE AN APPROVAL TO IMPOUND IS ISSUED FROM THE CITY OF RALEIGH.
14. CITY OF RALEIGH INSPECTOR MUST ISSUE FINAL SITE REPORT INDICATING CONSTRUCTION IS COMPLETE PRIOR TO SUBMITTAL OF AS-BUILT CERTIFICATION PACKAGE TO THE CITY.

STORMWATER MANAGEMENT SYSTEM MATERIAL SPECIFICATIONS

1. THE 15" RCP INLET BARREL SHALL BE CLASS III RCP, MODIFIED BELL AND SPIGOT, MEETING THE REQUIREMENTS OF ASTM C76-LATEST. THE PIPE SHALL HAVE CONFINED O-RING RUBBER GASKET JOINTS MEETING ASTM C-443-LATEST. THE PIPE JOINTS SHALL BE TYPE R-4.
2. GEOTEXTILE FABRIC FOR THE 15" RCP INLET BARREL JOINTS SHALL BE MIRAFI 180N OR ENGINEER APPROVED EQUAL (NON-WOVEN FABRIC). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
3. THE CONCRETE SPLITTER CONTROL BOX SHALL BE PROVIDED WITH STEPS 1"-2" ON CENTER. STEPS SHALL BE PROVIDED ON THE INNER WALL OF THE CONTROL BOX. STEPS SHALL BE IN ACCORDANCE WITH NCDOT STD. 840.66 OR APPROVED EQUAL. PLEASE REFER TO SHEET C9.01 FOR LOCATION OF THE ACCESS STEPS.
4. ALL POURED CONCRETE SHALL BE MINIMUM 3000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
5. ALL STRUCTURAL DESIGN ASSOCIATED WITH THE STORMWATER AND STORMFILTER VAULTS AND SURROUNDING STRUCTURES SHALL BE DESIGNED BY OTHERS.
6. CONTRACTOR TO PROVIDE A LETTER FROM MATERIAL SUPPLIER(S) STATING MATERIALS MEET THE SPECIFIED STANDARDS PRIOR TO INSTALLATION.

FOUNDATION/BEDDING NOTES

1. ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM, THE ONSITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE STORMWATER MANAGEMENT SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DEEMS THE FOUNDATION SOILS AS UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIAL SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE MIGRATION OF FINES, WHICH COULD CAUSE SETTLEMENT OF THE STORMWATER MANAGEMENT SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC (IF USED) IS TO BE SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.
2. PLEASE NOTE THAT IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE EXCAVATION FOR THE UNDERGROUND VAULT SYSTEM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
3. THE FOUNDATION SUBGRADE SHALL BE GRADED TO A UNIFORM OR SLIGHTLY SLOPING GRADE PRIOR TO PLACEMENT OF THE BEDDING MATERIAL. IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD OF TIME DURING CONSTRUCTION, THEN IT SHOULD BE GRADED TO A SLIGHT SLOPE SUCH THAT SATURATION OF THE SUBGRADE DOES NOT OCCUR.
4. THE EXCAVATION PIT SHALL BE LINED (ON THE BOTTOM AND ALL FOUR SIDES) WITH A NON-WOVEN GEOTEXTILE FABRIC (MIRAFI 180N OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
5. THE BEDDING MATERIAL FOR THE STORMWATER MANAGEMENT SYSTEM SHALL BE SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. TYPICALLY, A WELL-GRADED GRANULAR MATERIAL WILL BE USED FOR THE BEDDING. PLEASE NOTE THAT IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN APPROPRIATE MEASURES (E.G. ENGINEERED FIBER, STIFF GEORGRID, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.
6. THE CONTRACTOR SHALL PROVIDE A FOUNDATION DRAIN FOR THE STORMWATER MANAGEMENT SYSTEM. THE FOUNDATION DRAIN SHALL CONSIST OF 6-INCH DIA. PERFORATED PVC PIPE WRAPPED IN GEOTEXTILE (SEE MATERIAL SPECIFICATIONS). THESE PIPES SHALL BE PLACED ON ALL FOUR SIDES OF THE STORMWATER MANAGEMENT SYSTEM WITHIN THE FOUNDATION (NOT DIRECTLY BENEATH THE STORMWATER MANAGEMENT SYSTEM). THE 6-INCH PIPES SHALL POSITIVELY DRAIN TO DOWNSTREAM STORM DRAINAGE STRUCTURE.

STORMWATER AND STORMFILTER VAULT CONSTRUCTION NOTES

1. STORMFILTER VAULT CONFIGURATION IS PROVIDED ON SHEET C9.02.
2. ABSOLUTELY NO RUNOFF SHALL ENTER THE STORMWATER AND STORMFILTER VAULTS UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
3. MANHOLE ACCESS SHALL BE PROVIDED FOR THE STORMWATER AND STORMFILTER VAULTS. MANHOLES SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS (OR MINIMUM OSHA REQUIREMENTS APPLICABLE AT TIME OF CONSTRUCTION). CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.

BACKFILL MATERIAL NOTES

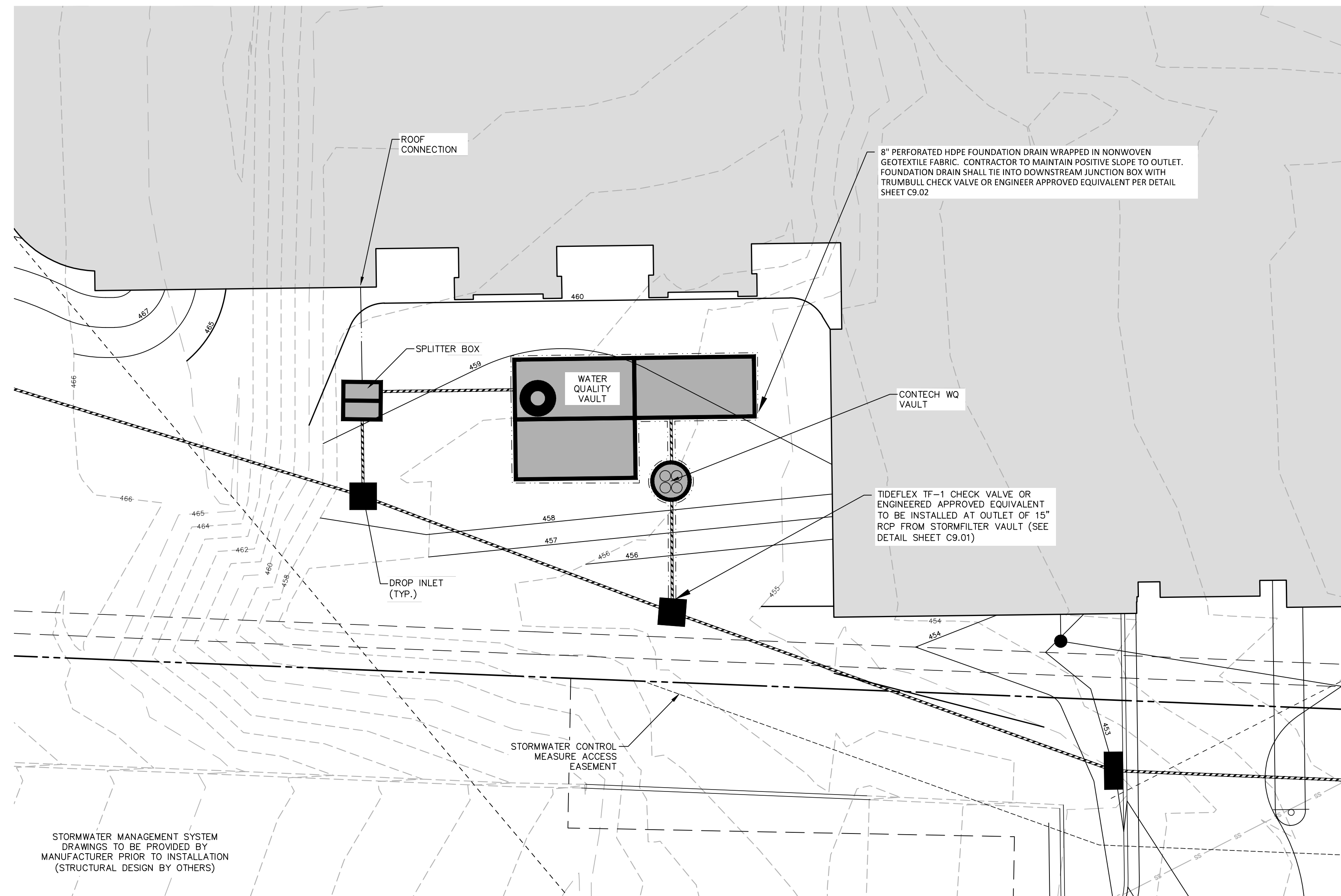
1. THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE VAULT SYSTEM.
2. THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOIDS.
3. HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
4. THE BACKFILL MATERIAL AND PLACEMENT SHALL MEET THE SPECIFICATIONS OF THE INTENDED USE OF THE AREA. SOILS, COMPACTION, AND PLACEMENT METHODS SHALL MEET THE OVERALL CRITERIA FOR THIS USE.
5. ANY MATERIAL STOCKPILING ON TOP OF THE VAULT SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER.

SYSTEM TESTING NOTES

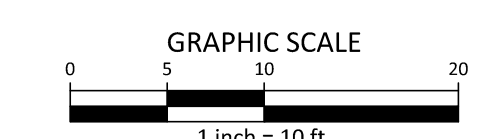
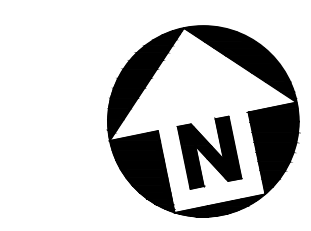
1. PRIOR TO PLACEMENT OF THE BACKFILL MATERIAL, CONTRACTOR SHALL TEST FOR WATER TIGHTNESS. ENTRANCES AND EXITS SHALL BE PLUGGED AND THE SYSTEM COMPLETELY FILLED WITH WATER TO DEMONSTRATE WATER TIGHTNESS. WATER TIGHTNESS MEANS NO LEAKAGE FOR A PERIOD OF 24 HOURS. CONTRACTOR SHALL CALL AND SCHEDULE THE FIELD TESTING OF STORMWATER CONTROL MEASURE WITH THE ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO THE TEST. THE CONTRACTOR SHALL PROVIDE WRITTEN REPORTS TO THE ENGINEER VERIFYING THE WATER TIGHTNESS OF THE STORMWATER MANAGEMENT SYSTEM.

STATEMENT OF RESPONSIBILITY

1. ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.



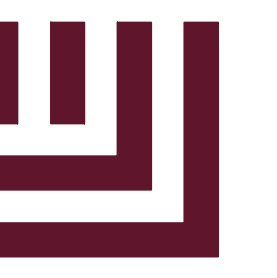
STORMFILTER VAULT PLAN VIEW



SEE SHEET C0.00 FOR ALL PROJECT NOTES.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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CLIENT

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SUITE 460
RALEIGH, NORTH CAROLINA 27560



**BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607**



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. RAV-23003
FILENAME RAV23003-ASR-SW1
CHECKED BY LJV
DRAWN BY LLH
SCALE 1"=10'
DATE 09.06.2024

SHEET

**STORMWATER CONTROL
MEASURE PLAN VIEW**

C9.00

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McAdams

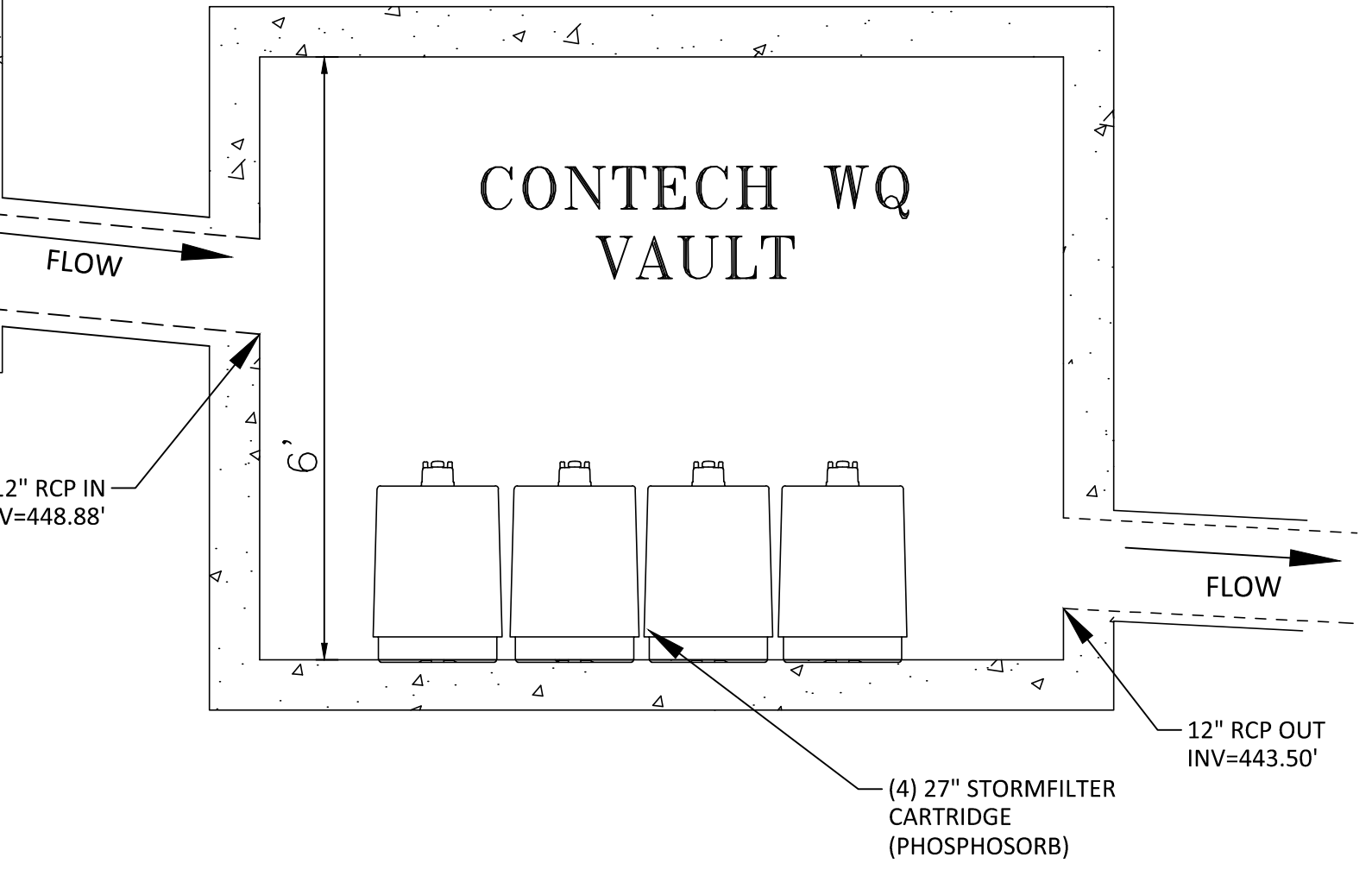
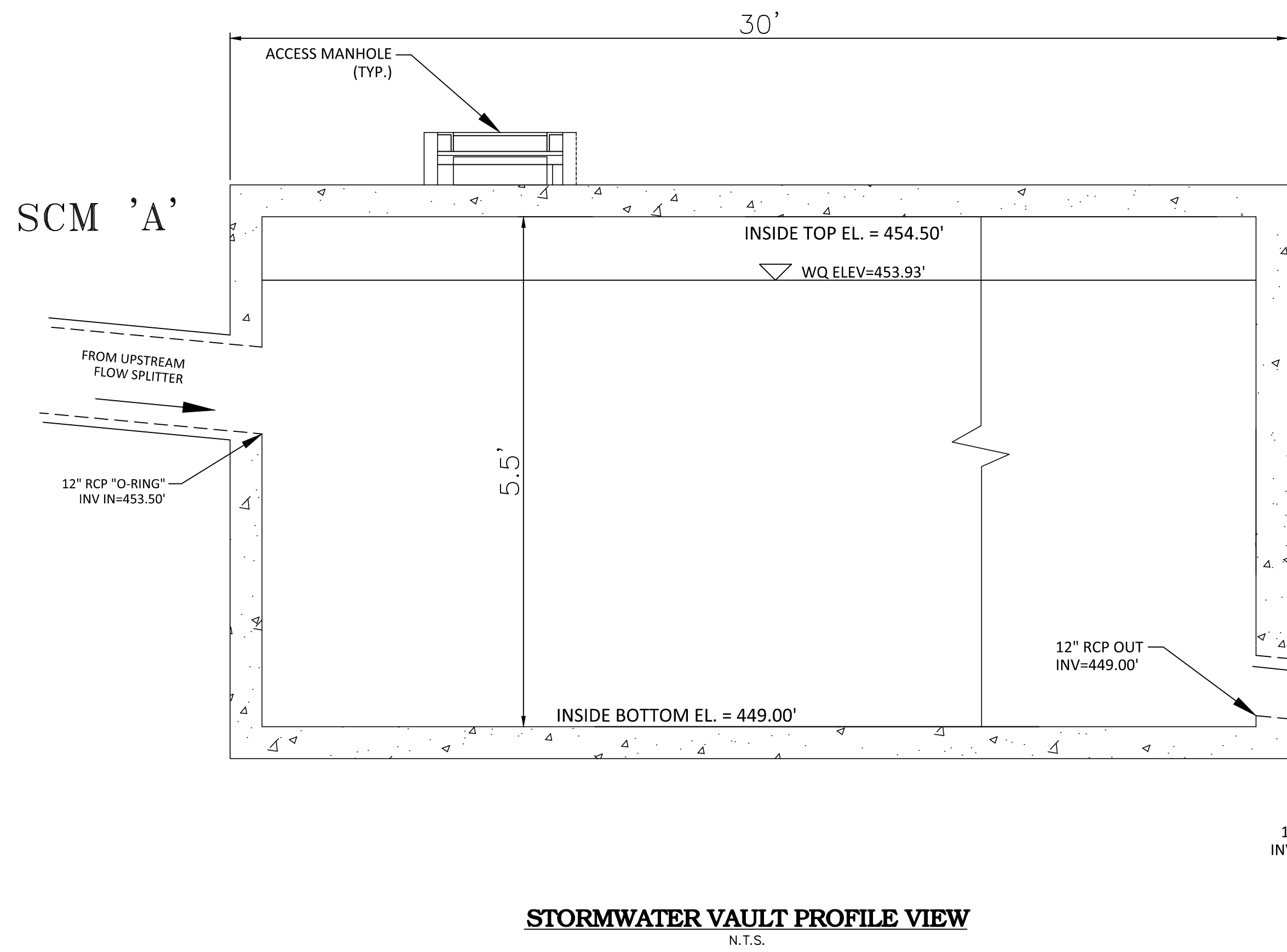
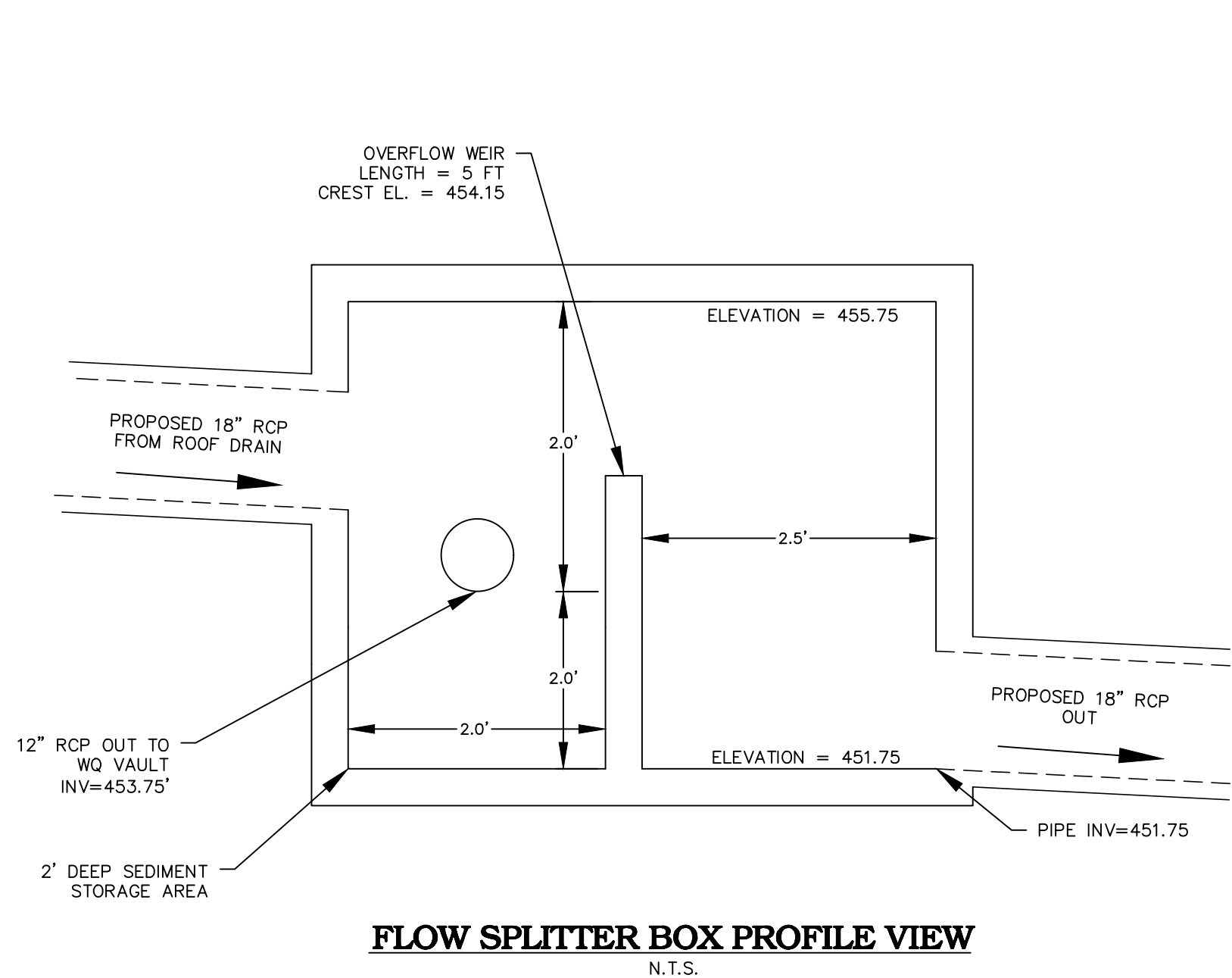
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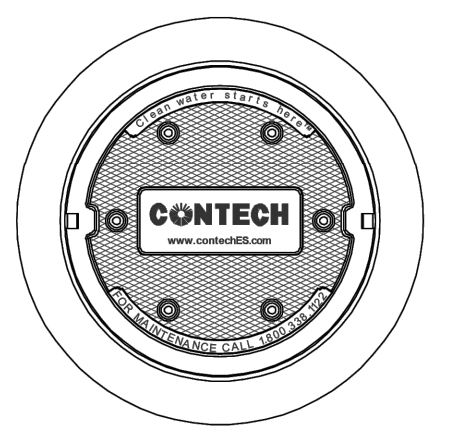
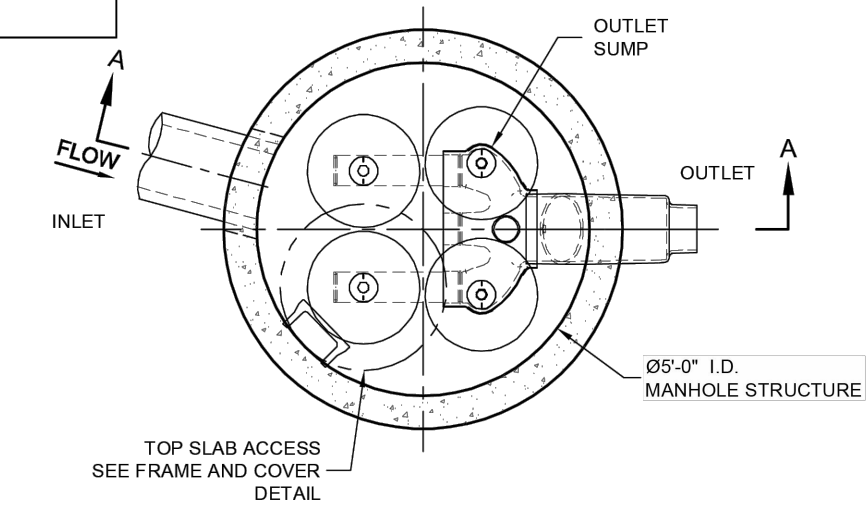
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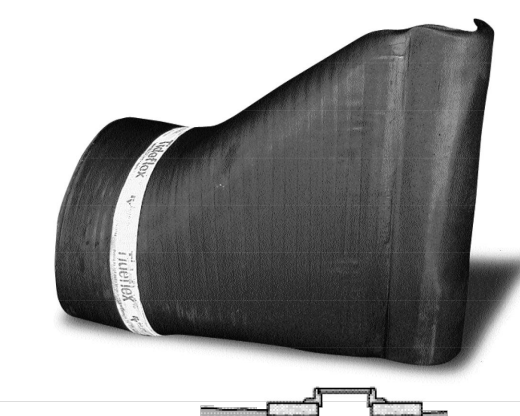
STORMFILTER DESIGN NOTES table with columns for Cartridge Height, Minimum Activation Head, Specific Flow Rate, and Cartridge Flow Rate.



Blue Ridge Mixed Use
Raleigh, NC CES #816,646
CARTRIDGE HEIGHT (SEE TABLE ABOVE) 27"
NUMBER OF CARTRIDGES REQUIRED 4
MEDIA TYPE Phosphosorb
NOTES/SPECIAL REQUIREMENTS:

Series TF-1

- Ideal for manhole installations
Minimal bottom clearance required
Lightweight, all-elastomer design
Seals around small solids
Available in slip-on or flanged design



Materials of Construction: Neoprene, Hypalon, Buna-N, EPDM, Viton.

Mounting Bands: 304 or 316 Stainless steel.

The TF-1 is designed for installation in existing structures such as interceptors, manholes and vaults where the invert of the pipe is close to the floor.

The TF-1 offers low cracking pressure to reduce the potential for standing water and very low headloss which is not affected by rust, corrosion or lack of lubrication.

The TF-1 is ideal for sewer systems because it will seal around small debris.

The TF-1 design is available with a slip-on or flanged pipe connection.

Tideflex® TF-1 valves are constructed with a curved ball as standard.

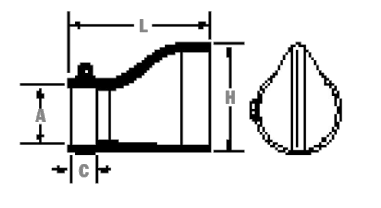
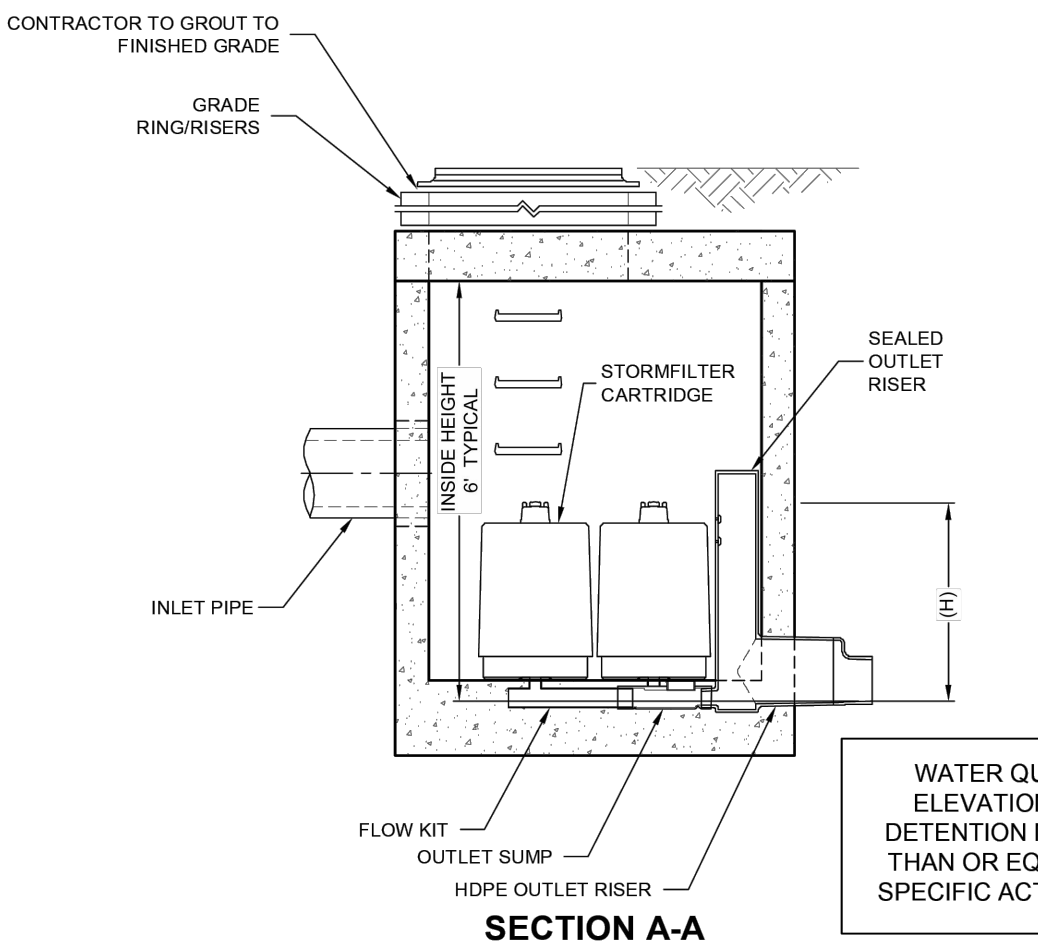


Table with columns: Pipe O.D., Length, Bill Height, Cut Length. Lists various sizes and dimensions for the TF-1 valve.

TIDEFLEX CHECK VALVE DETAIL

- GENERAL NOTES: 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. 2. DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. 3. FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS. 4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. 5. STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING. 6. FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. 7. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft/m²). 8. STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

- INSTALLATION NOTES: A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD. B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE. C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE. D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPE(S). E. CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. F. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



WATER QUALITY VOLUME ELEVATION IN UPSTREAM DETENTION MAY BE GREATER THAN OR EQUAL TO PROJECT SPECIFIC ACTIVATION HEAD (H)

CONTECH ENGINEERED SOLUTIONS LLC logo and contact information. SFMH60 POST DETENTION STORMFILTER DETAIL.

SEE SHEET C0.00 FOR ALL PROJECT NOTES.

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO. DATE

PLAN INFORMATION

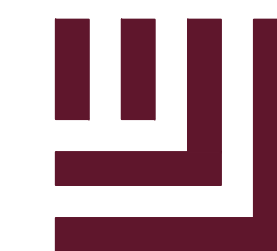
PROJECT NO. RAV-23003
FILENAME KAN22002-ASR-SW1
CHECKED BY LJV
DRAWN BY LLH
SCALE 1"=30'
DATE 09.06.2024

SHEET

STORMWATER CONTROL MEASURE DETAILS

C9.01

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SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTERLINE

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
TREES					
	AM	7	Acer truncatum Shantung 'Baby Dragon' Shantung Maple 'Baby Dragon'	2" min	6' min
	CC	4	Cercis canadensis Eastern Redbud	2" min	10' min
	PS	2	Prunus serrulata Japanese Flowering Cherry	2" min	10' min
	QS	9	Quercus shumardii Shumard Oak	2" min	10' min
SHRUBS					
	IC	35	Ilex cornuta 'Carissa' Carissa Chinese Holly	3 gal	
	LG	34	Loropetalum chinense Chinese Fringe Flower	3 gal	

LANDSCAPE CALCULATIONS

STREET TREES
LAKE BOONE: 428 LF
TREES REQUIRED: 10 (1/40 LF)
PROVIDED: 10

BLUE RIDGE: 265 LF
TREES REQUIRED: 6 (1/40 LF)
TREES PROVIDED: 6

URBAN PLAZA (3,180 SF OUTDOOR AMENITY AREA REQUIRED)

SEATING REQUIRED: 308 LF (1/50 SF)
SEATING PROVIDED: 308 LF (SEE NOTE 1 BELOW)

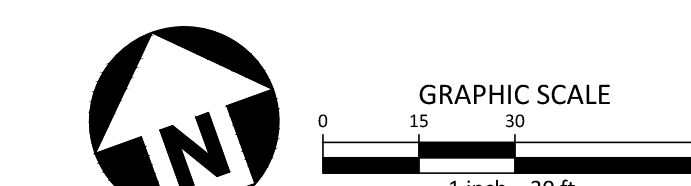
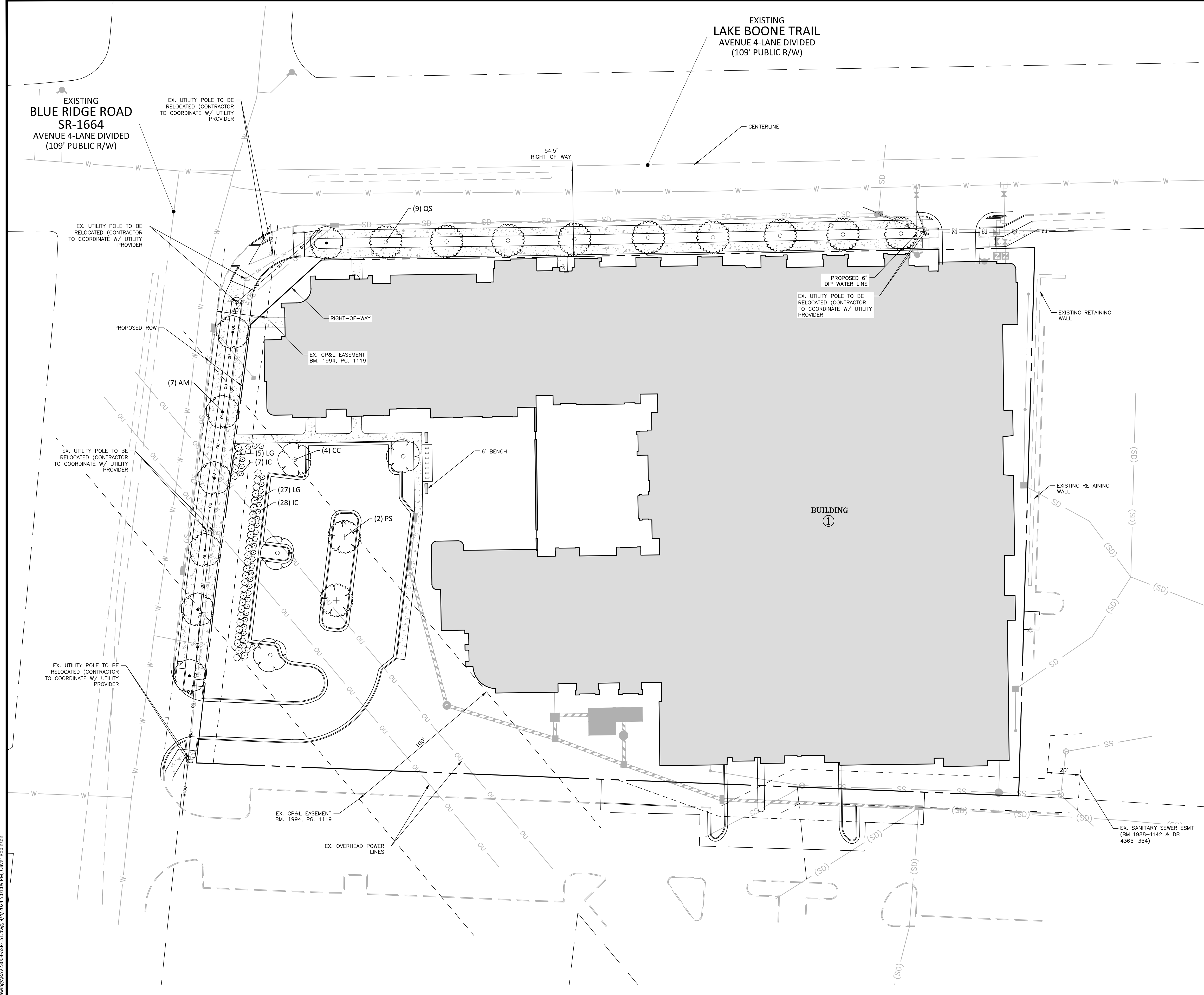
2" CALIPER TREES REQUIRED: 15 TREES (1/1,000 SF)
2" CALIPER TREES PROVIDED: 15 TREES

OUTDOOR AMENITY AREA ELEMENTS REQUIRED: 1
OUTDOOR AMENITY AREA ELEMENTS PROVIDED: 1*

*PER UDO SECTION 1.5.3.C.2 OUTDOOR AMENITY AREAS SHALL CONTAIN AT LEAST ONE OF THE FOLLOWING: TABLES, EATING AREAS, FOUNTAINS, ACTIVE RECREATION AREAS, OR PUBLIC ART

NOTES:

- SEATING AREAS INCLUDE BENCHES, OUTDOOR DINING TABLES, MOVABLE/FIXED CHAIRS AND SEAT WALLS. REQUIRED AMENITY AREA SEATING SHALL BE LOCATED WITHIN THE AMENITY AREAS.
- ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO A MINIMUM 8' ABOVE FINISHED GRADE AT MATURITY.
- STREET TREES MUST BE MAINTAINED FOR A PERIOD OF ONE YEAR FOLLOWING THE CITY'S APPROVAL OF THE STREET TREE PLANTING.
- PLANTING BEDS AND POTS TO BE IRRIGATED. CONTRACTOR TO PROVIDE COMPLETE IRRIGATION SYSTEM INCLUDING EMITTERS, LINES, AND OPERATION MANUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLATED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL TPP-03, TPP-06 AND TPP-07.



SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



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REVISIONS

NO. DATE

PLAN INFORMATION

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 CHECKED BY JLB
 DRAWN BY LLH
 SCALE 1"=30'
 DATE 09.06.2024

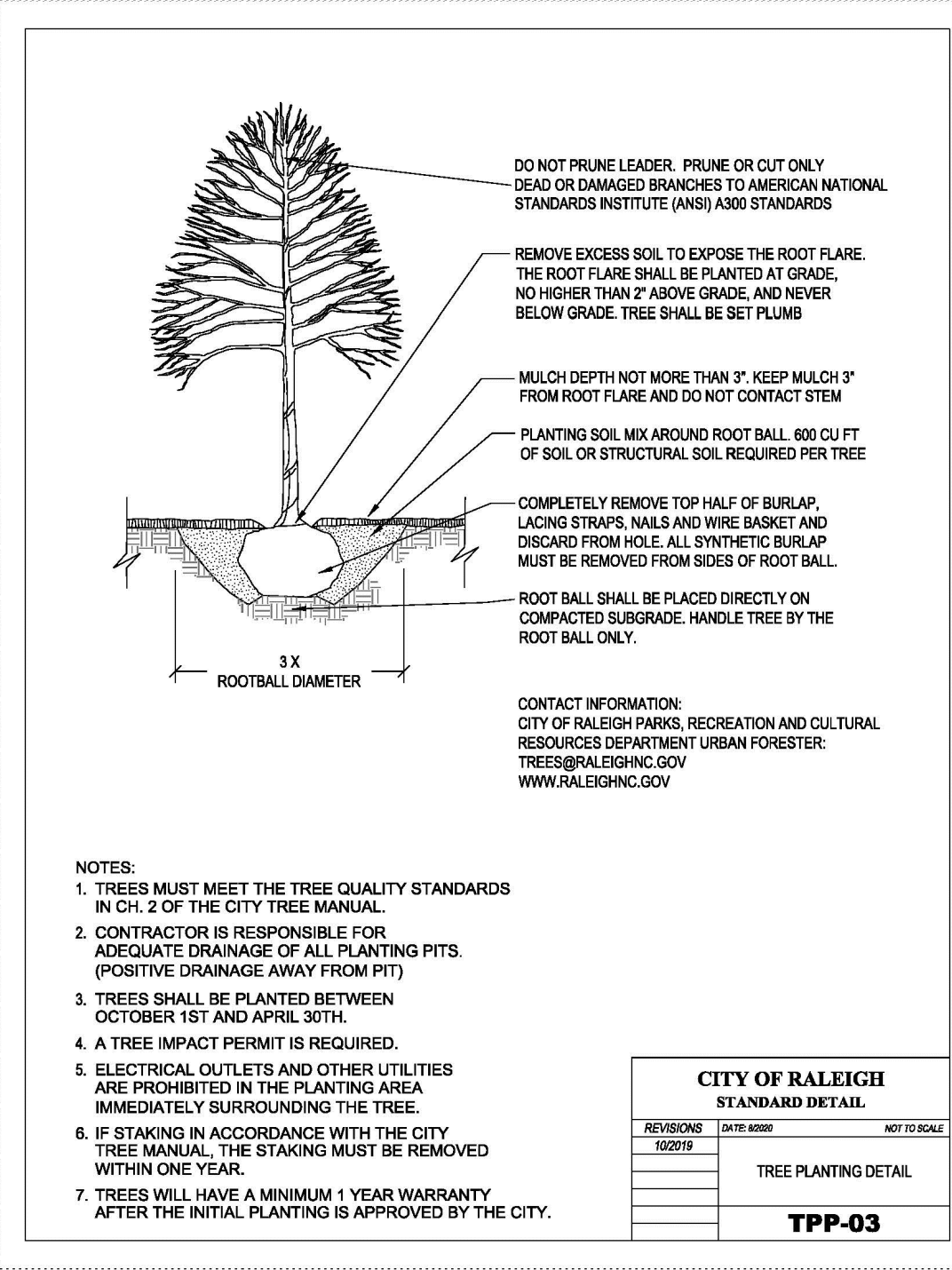
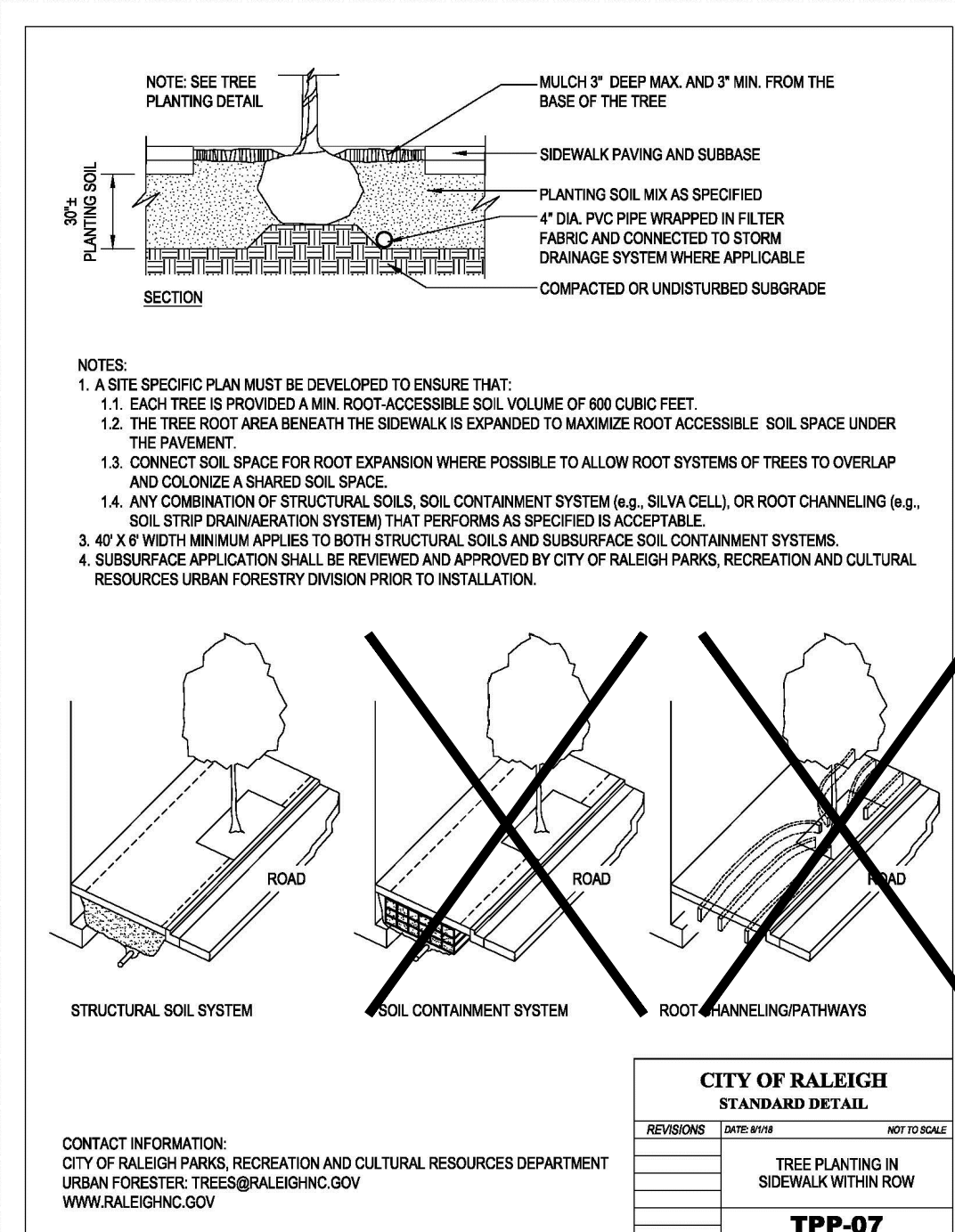
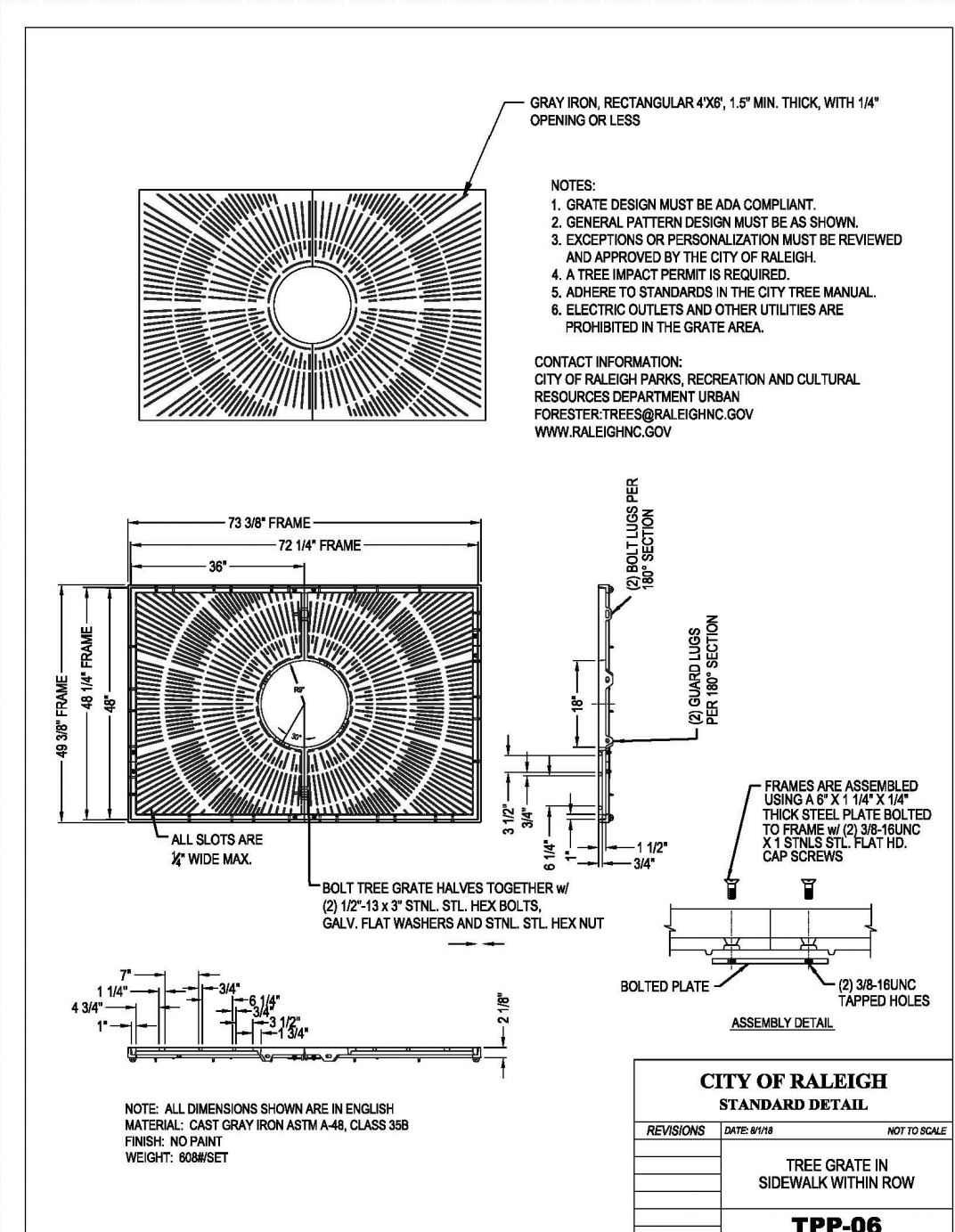
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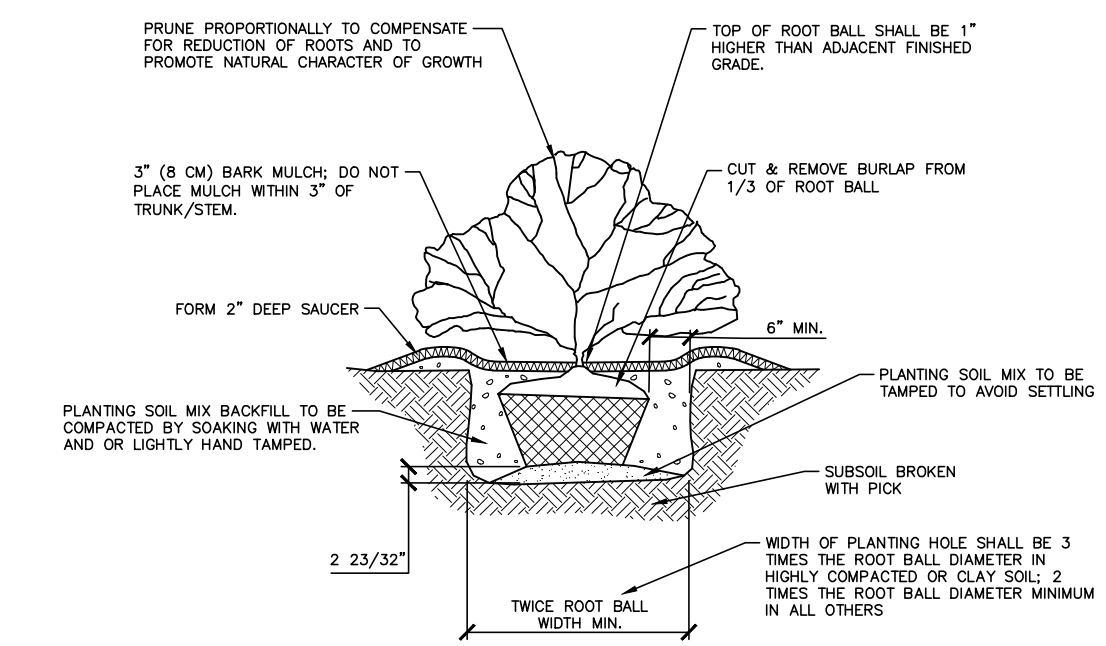
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GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 20 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



01 SHRUB INSTALLATION
SCALE: 3/8"=1'-0"



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

McADAMS

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CLIENT

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RALEIGH, NORTH CAROLINA 27560



BLUE RIDGE MULTIFAMILY
ADMINISTRATIVE SITE REVIEW
2500 BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA 27607



REVISIONS

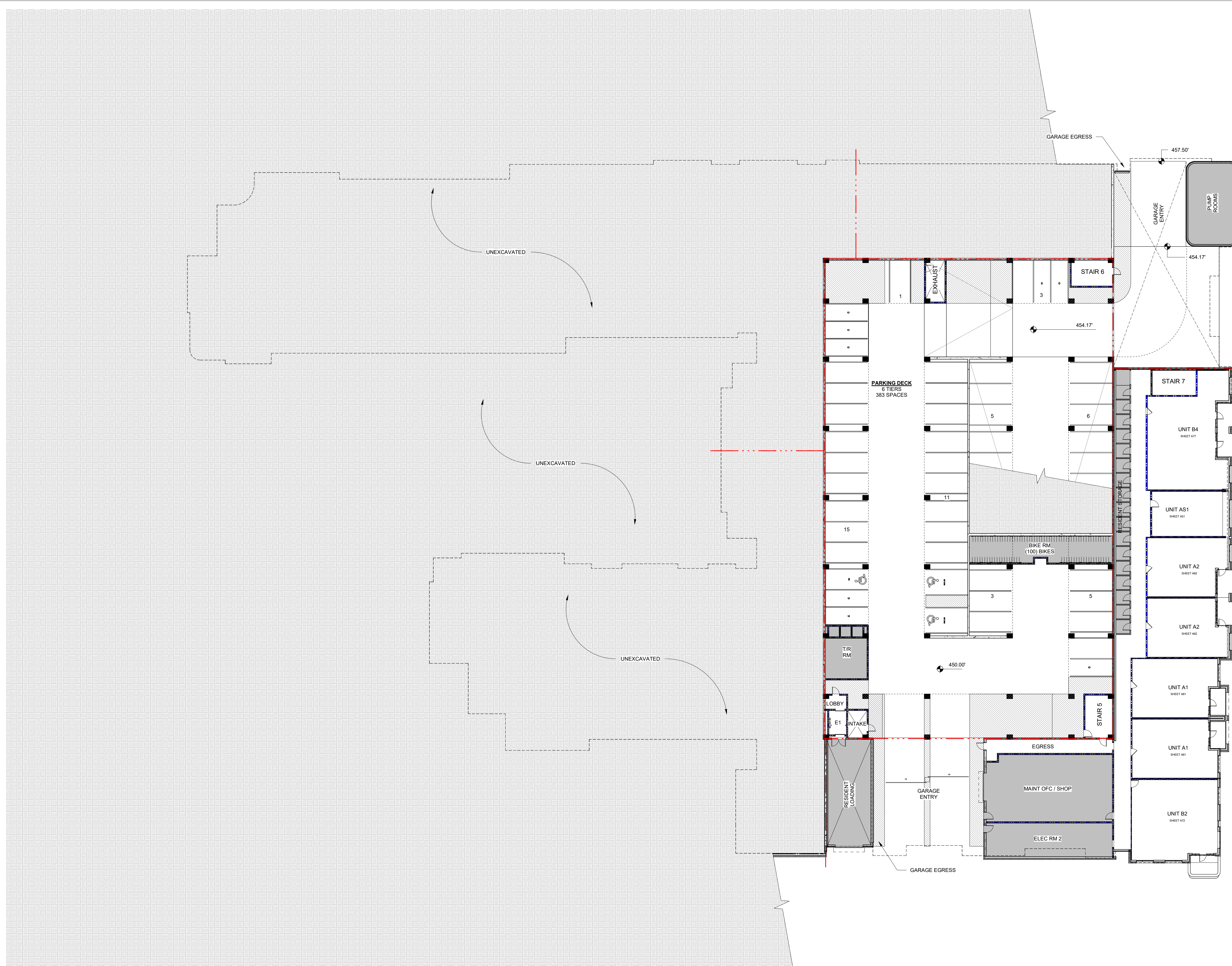
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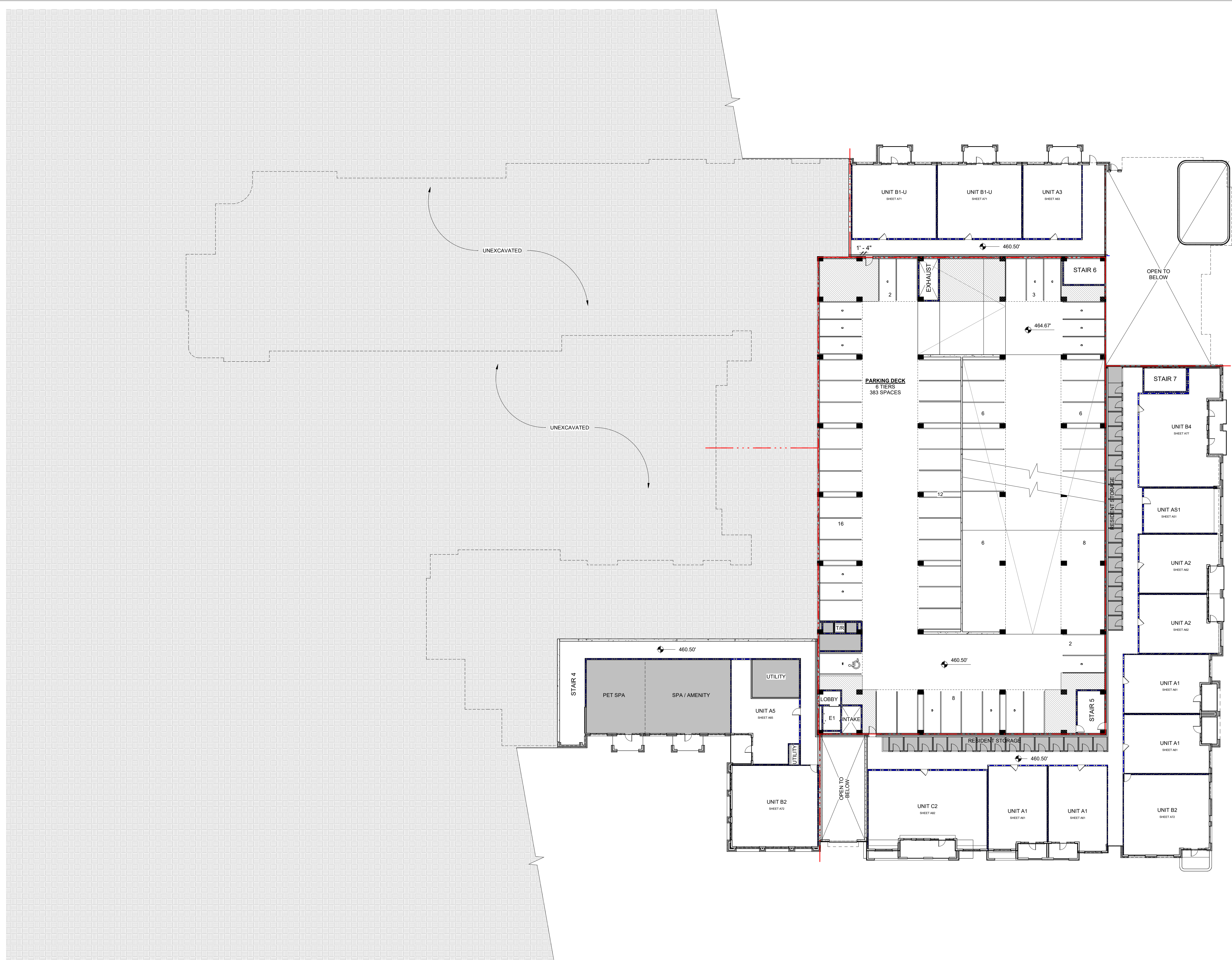
PLAN INFORMATION

PROJECT NO.	RAV-23003
FILENAME	RAV23003-ASR-LS1
CHECKED BY	-
DRAWN BY	LLH
SCALE	1"=30'
DATE	08.23.2024

CODE LANDSCAPE DETAILS

L5.01





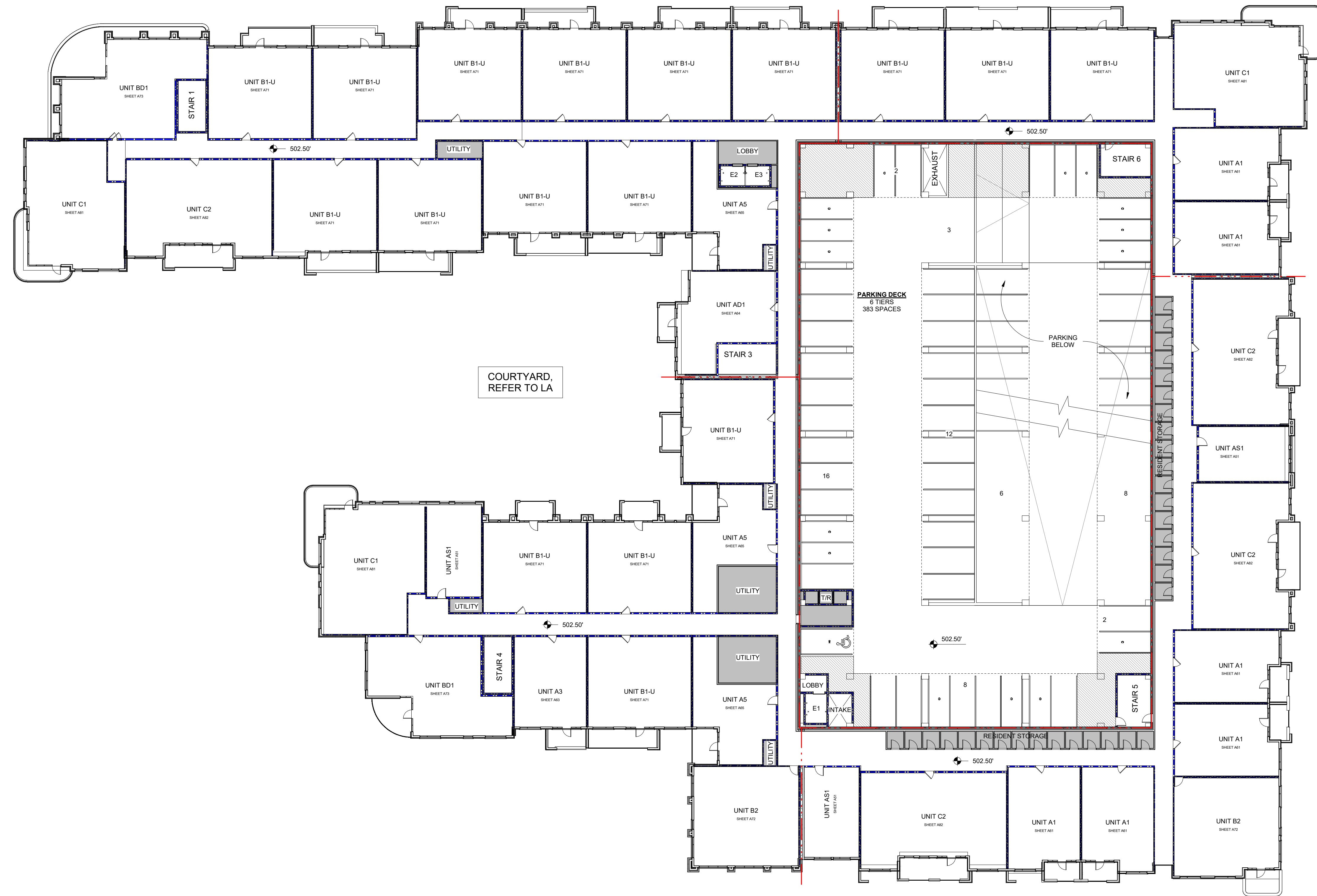


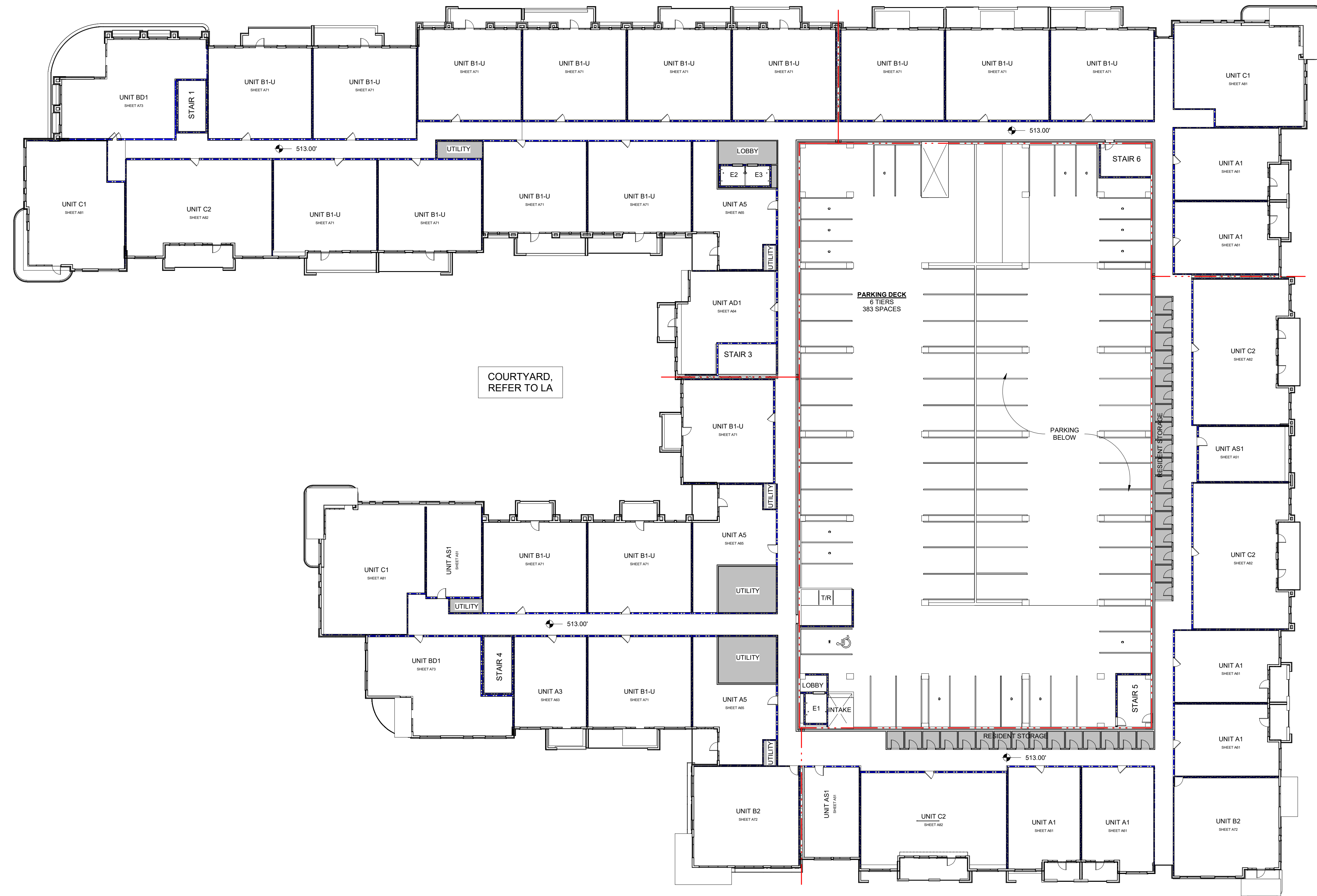
FOR SURFACE PARKING,
REFER TO CIVIL

COURTYARD,
REFER TO LA

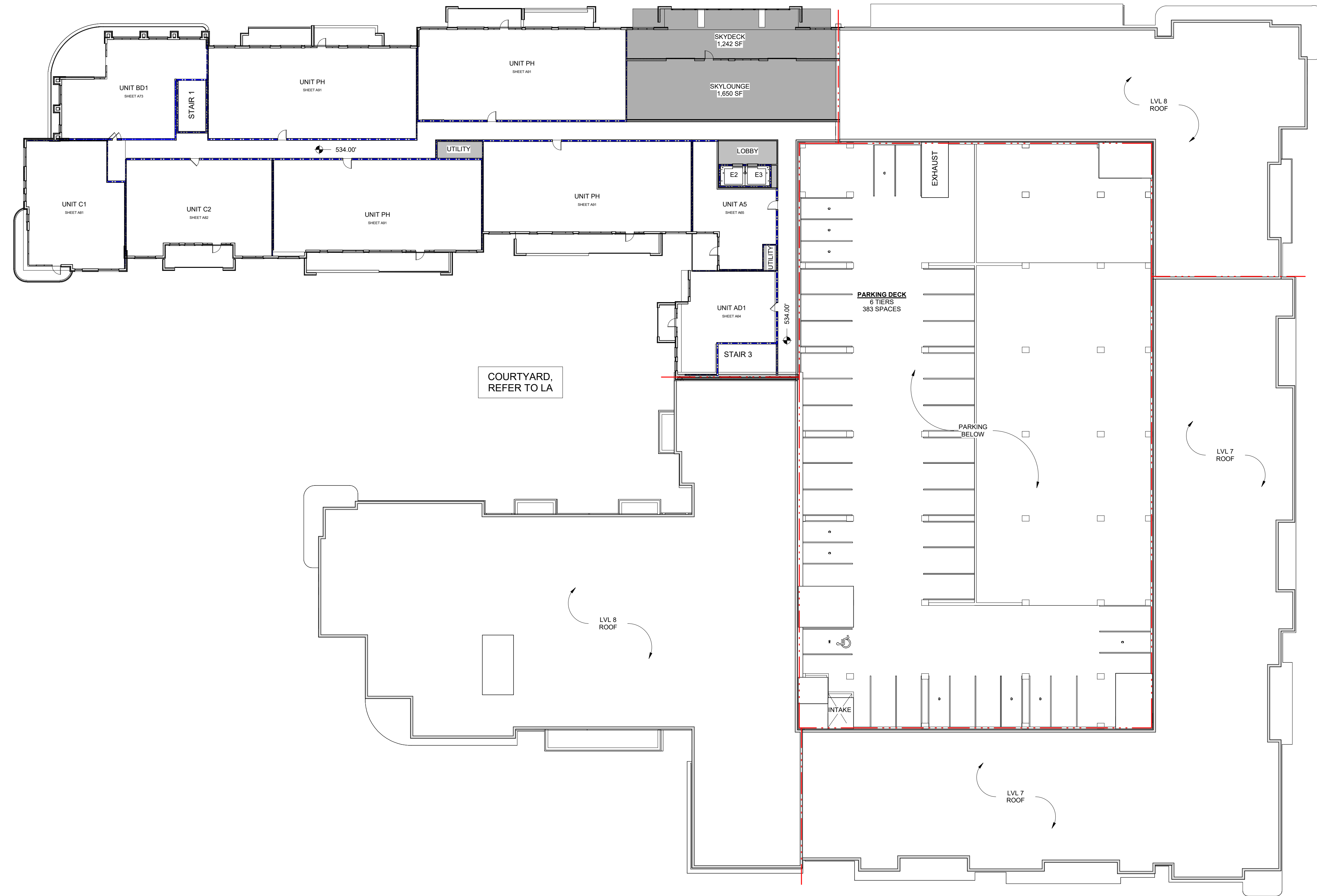












UPPER LEVELS TRANSPARENCY:
 OVERALL: 26,028 SF REQUIRED: 15%
 OPENINGS: 12,486 SF PROVIDED: 48%

GROUND LEVEL TRANSPARENCY:
 OVERALL: 6,160 SF REQUIRED: 20%
 OPENINGS: 2,532 SF PROVIDED: 41%



NORTH ELEVATION

UPPER LEVELS TRANSPARENCY:
 OVERALL: 16,592 SF REQUIRED: 15%
 OPENINGS: 6,854 SF PROVIDED: 41%

GROUND LEVEL TRANSPARENCY:
 OVERALL: 2,994 SF REQUIRED: 20%
 OPENINGS: 1,187 SF PROVIDED: 40%



SOUTH ELEVATION



BLUE RIDGE RD APTS
 RALEIGH, NC

EXTERIOR ELEVATIONS A41

1/16" = 1'-0" | TBD | 08.26.2024

UPPER LEVELS TRANSPARENCY:	
OVERALL: 19,071 SF	REQUIRED: 15%
OPENINGS: 8,974 SF	PROVIDED: 47%
GROUND LEVEL TRANSPARENCY:	
OVERALL: 2,214 SF	REQUIRED: 20%
OPENINGS: 1,097 SF	PROVIDED: 50%



EAST ELEVATION

UPPER LEVELS TRANSPARENCY:	
OVERALL: 12,289 SF	REQUIRED: 15%
OPENINGS: 5,076 SF	PROVIDED: 41%
GROUND LEVEL TRANSPARENCY:	
OVERALL: 2,850 SF	REQUIRED: 20%
OPENINGS: 1,196 SF	PROVIDED: 42%



WEST ELEVATION



GROUND LEVEL TRANSPARENCY:		UPPER LEVELS TRANSPARENCY:	
OVERALL: 3,237 SF	REQUIRED: 20%	OVERALL: 12,413 SF	REQUIRED: 15%
OPENINGS: 1,481 SF	PROVIDED: 46%	OPENINGS: 5,907 SF	PROVIDED: 48%



GROUND LEVEL TRANSPARENCY:		UPPER LEVELS TRANSPARENCY:	
OVERALL: 1,071 SF	REQUIRED: 20%	OVERALL: 5,879 SF	REQUIRED: 15%
OPENINGS: 443 SF	PROVIDED: 41%	OPENINGS: 2,536 SF	PROVIDED: 43%

WEST COURTYARD ELEVATION



GROUND LEVEL TRANSPARENCY:		UPPER LEVELS TRANSPARENCY:	
OVERALL: 1,351 SF	REQUIRED: 20%	OVERALL: 6,753 SF	REQUIRED: 15%
OPENINGS: 676 SF	PROVIDED: 50%	OPENINGS: 3,253 SF	PROVIDED: 48%

SOUTH COURTYARD ELEVATION